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BRMD87185- 2240 2 ~~Shen~~ St

BRMD187185

WALLS - LEGEND	
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN
	NEW 2"x4" STUDS WALL @ 16" O.C. USE 2"x6" STUD WALLS AT PLUMBING WALLS (U.N.C.)
	DRY / NEW ARC
	EXISTING WINDOW TO BE REMOVED AND CLOSED
	EXISTING DOOR TO BE REMOVED AND CLOSED

ELECTRICAL LEGEND	
	SINGLE POLE
	AFCI ARC-FAULT CURRENT INTERRUPTER FOR ALL (1TP)
	GFCI GROUND FAULT CURRENT INTERRUPTER
	SWITCH LEG, ELECTRICAL CIRCUIT
	RECESSED FLUORESCENT LIGHT FIXTURE
	SMOKE ALARM * SHALL BE INTERCONNECTED HARD-WIRED W/ A BATTERY BACKUP.
	CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED HARD-WIRED W/ A BATTERY BACKUP.

DOORS & WINDOWS LEGEND	
	DUAL GLAZING
	TEMPERED EXISTING
	NEW REMODEL CONVERTED
	SLIDER
	SINGLE HUNG
	HOME CORE SOLID CORE CASEMENT (Left Swing)
	HOME CORE SOLID CORE CASEMENT (Right Swing)

WINDOW SCHEDULE						
SYM	WIDTH	HEIGHT	QTY	TYPE	MATERIAL	REMARKS
1	4'-0"	4'-0"	7	SHG/DBL Glass	Vinyl	E-GRESS
2	2'-0"	4'-0"	5	SHG/DBL Glass	Vinyl	---
3	2'-0"	4'-0"	1	SHG/DBL Glass	Vinyl	Tempered
4	2'-0"	3'-0"	2	SHG/DBL Glass	Vinyl	---
5	4'-0"	3'-0"	1	SHG/DBL Glass	Vinyl	---
6	3'-0"	1'-0"	1	SHG/DBL Glass	Vinyl	---

1. ALL GLAZING WITH IN SHOWER ENCLOSURE AND TUB SHALL BE SAFETY GLAZING PER USC STANDARD 24-2 PART 1

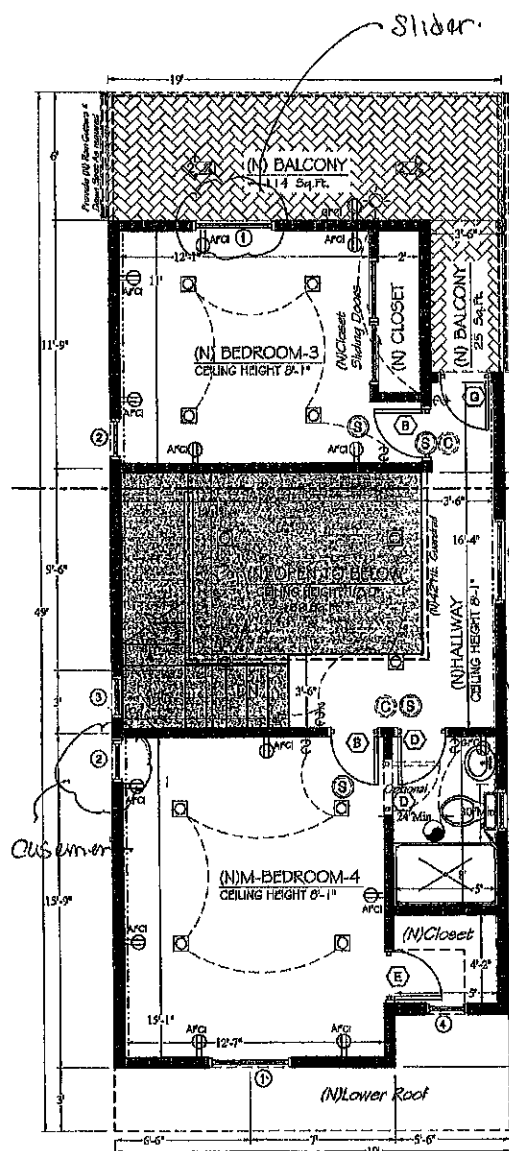
2. ALL GLAZING WITH IN A DOOR AND WITH IN 24" OF A DOOR SHALL BE TEMPERED AND LABELED A SUCH

3. ALL GLAZING SHALL HAVE A 0.40 MAX. U-FACTOR AND TO BE LABELED

DOORS SCHEDULE						
SYM	WIDTH	HEIGHT	QTY	TYPE	MAT.	REMARKS
A	3'-0"	6'-8"	1	SOLID CORE	SOLID CORE	W/ Windows
B	2'-8"	6'-8"	5	HOLLOW CORE	HOLLOW CORE	---
C	2'-8"	6'-8"	1	SELF CLOSING	SOLID CORE	20 MIN. FIRE RATED
D	2'-8"	6'-8"	2	HOLLOW CORE	HOLLOW CORE	---
E	2'-8"	6'-8"	1	HOLLOW CORE	HOLLOW CORE	---
F	2'-8"	6'-8"	1	SOLID CORE	SOLID CORE	---
G	2'-8"	6'-8"	1	SOLID CORE	SOLID CORE	---
H	18'-0"	7'-0"	1	GARAGE DOOR	ALUM.	See A-3 North Elev.

1. ALL DOORS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION

8" HEADERS



(N) 2nd. FLOOR PLAN 559 Sq.Ft. SCALE: 1/4" = 1'-0"

Door at Entry 1/2" Min. Threshold 7/8" Rise Max. 2" Rise Min. 10" Rise Max. (2010, CBC)

NO 40 OR 50 GALL. WATER HEATER WITH RECIRCULATION PUMP AND STRAP TO CODE

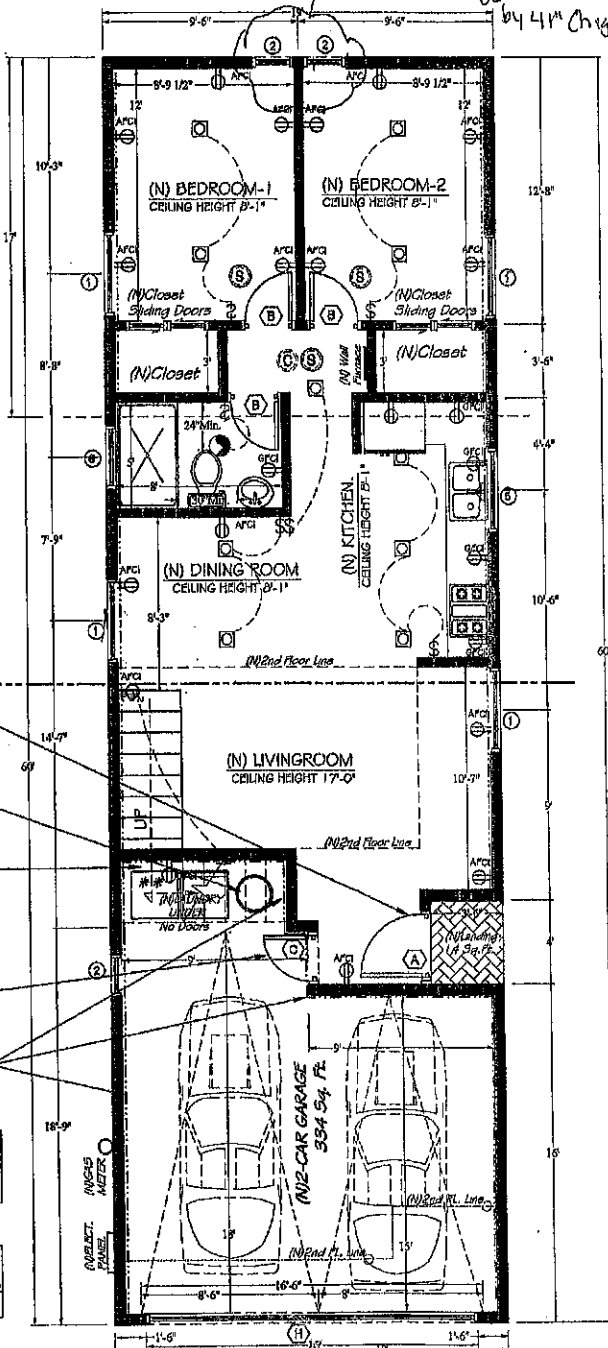
1 HOUR FIRE WALL: ANY WALL UNDER STAIRS OR ATTACHED SHALL BE PROTECTED WITH 5/8" TYPE X GYPSUM BOARD (1.5 HRS. FIRE RESISTANCE)

THE DOOR SHALL BE SOLID WOOD OR HONEYCOMB CORE. SIZE NOT LESS THAN 1 3/4" OR 30 MIN. RATED A SELF-CLOSING & LATCHING, EGRESS ONLY.

PROVIDE (1) MARK OF 9 GYPSUM BOARD TYPE X ON THE GARAGE WALL, CEILING, POSTER, UNDER STAIR CASE & BAYS FOR 1 1/2 HRS. FIRE RESISTANCE

MAX. FLOW RATE: WATER CLOSERS (1.25 GPM) SHOCKWAVE CLOSERS (2.0 GPM @ 80 psi) SHOCKWAVE CLOSERS (1.5 GPM @ 80 psi)

** BUCKS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSIDERED OF ALUM. NO. 25 GAGE (0.40 mil) STEEL SHEET OR OTHER APPROVED MATERIAL (2002.5.2)



(N) 1st. FLOOR PLAN 791 Sq.Ft. SCALE: 1/4" = 1'-0"

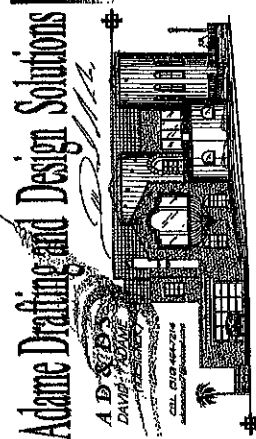
City of Long Beach
Building and Safety Bureau
Building Plan Check

APPROVED

This set of plans MUST be at the job site during construction. It is unlawful to alter, change, or duplicate from these plans, without approval from the Building and Safety Bureau. The stamping of this plan SHALL NOT be held in permit or to be an approval of the violation of any provisions of Ordinance or Law. SEPARATE permits are required for ELECTRICAL, MECHANICAL, AND PLUMBING unless the permit was issued as a combination building permit for a One or Two Family dwelling and the work by that trade does not require Plan Check.

BY: NE DATE: 7/24/14

PERMIT NO: _____



CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE DESIGNER OR I.N.G. ALL CONSTRUCTION SHALL BE CONFORM TO THE C.B.C.

Project Title:
BENGAL RESIDENCE

Project / Scope Of Work:
**NEW 2-STORY S.F.D. AS:
4- Bedrooms, 2-Bathrooms
Kitchen & Living room
1,350 Sq.Ft
New 2-Car Garage
334 Sq.Ft.
Rear Balcony-1 114 Sq.Ft
Rear Balcony-2 25 Sq.Ft**

Project Address:
**230 E. SUNSET ST.
LONG BEACH CA 90805**

Owner / Sponsor's Name:
**BENGAL HOUSING
INVESTMENTS INC.**

Owner / Sponsor's Name:
**Mr. ABDUL HOQUE
562 / 235-7058**

Revisions

No.	Description	Date
1	As Noted	

Designed: D. A.

Drawn: T. A. J. / D. A.

Checked: D. A.

Job Reference: 13-145

Date: 04/27/2014

Scale: AS NOTED

Sheet Title:

**NEW 1st & 2nd
FLOOR PLANS
AND NOTES**

Sheet Number:
A-2.0

ATTIC VENTILATION (CBC 1203.2)				
NEW ATTIC AREA = 736 Sq. Ft.		746 Sq. Ft. = 4.97 Sq. Ft.		
ITEM	FREE AIR AREA (Sq. Ft.)	QTY.	AREA	
A) 24" X 12" Half Round Dome	0.8	2	1.6	
B) 14" X 6" Eave Vent	0.8	5	2.4	
C) 14" X 10" Sq. Gable Vent	0.8	2	1.6	
D) 8" Dia. Hole Through Eave Block	.05	0	0	
A) B) C) D) TOTAL			5.6 Sq. Ft.	

1. ATTIC VENTILATION: EXISTING ATTIC AND EXISTING RAFTERS SPACES (No. 144) SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE, BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW, THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1% OF THE AREA OF THE SPACE VENTILATED, AND 50% BY VENTILATIONS LOCATED IN THE UPPER PORTION OF THE SPACE AT LEAST 3 FEET ABOVE EAVE.

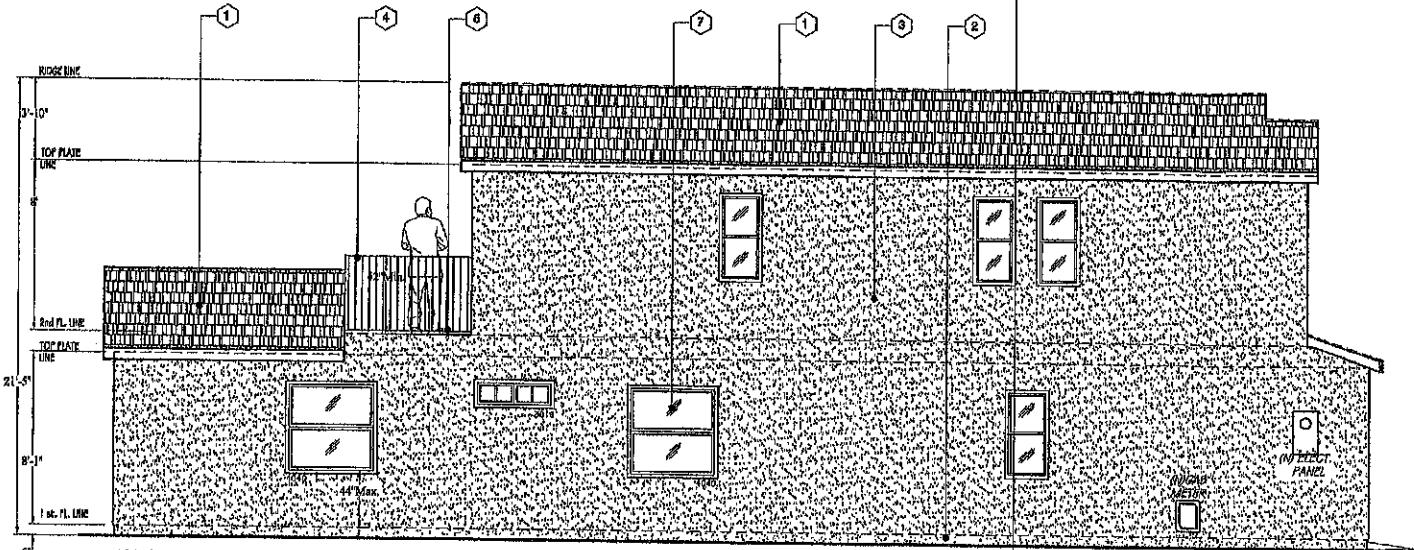
WINDOWS NOTE

* WINDOWS SHALL BE SINGLE OR DOUBLE HUNG IN TAN, BEIGE OR ALMOND COLOR, WINDOWS WITH SANDWICH INTERIOR MULLIONS ARE NOT PERMITTED.

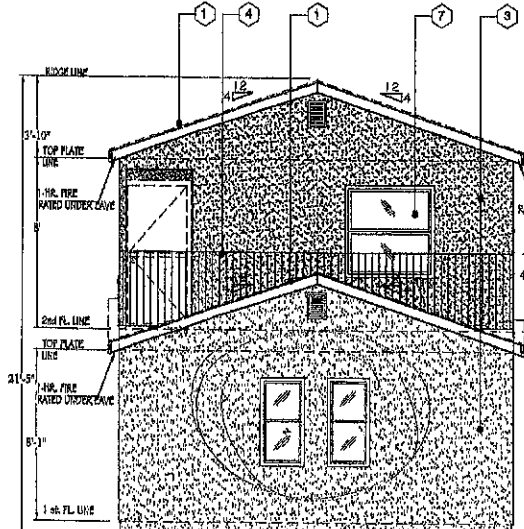
ELEVATIONS LEGEND

- (1) NO DIMENSIONAL COMPOSITION ROOF IN TAN TIMBERLINE BARKWOOD COLOR, CLASS "A" (no seconds allowed) OVER 1-1/2" FELT.
- (2) NO 6" STUCCO WEEP SCREWS 26 Ga. M.S. OR PLASTIC AT A MIN. ABOVE GRADE AND ABOVE CONC. SLAB (4" MIN).
- (3) NO 3" STUCCO (TYP) SHALL BE LIGHT SAND OR SMOOTH FINISH ONLY (USE SLAYERS OF GRADE "D" FELT BACKING WHEN STUCCO IS APPLIED OVER FLYWOOD.) THE PAINT COLOR SHALL BE A TAN / BEIGE SUCH AS:
- 880 SILVERADO,
- 880 CLAY,
- 84 SANTA FE OR
- 81565 CHARLESTON.
- (4) PROVIDE 42 INCH (1066 MM) HIGH (MINIMUM) PROTECTIVE GUARDRAIL FOR DECKS, PORCHES, BALCONIES AND RAISED FLOORS (WHEN MORE THAN 30 INCHES (762 MM) ABOVE GRADE FLOOR BELOW, AND OPEN SIDES) OF LANDINGS. OPENING BETWEEN BALUSTERS/RAILS SHALL PRECLUDE PASSAGE OF 4 INCH (102 MM) DIAMETER SPHERE UP TO 54" HEIGHT AND 8 INCH (204 MM) OPENINGS ABOVE 54".
- (5) NO DECK MATERIAL DOKO-TEX ICE RES-1757 RR # 2360
- (6) A 1-1/4" MAX. WOOD TRIM SHALL BE ADDED AROUND THE TWO WINDOWS ON THE FRONT ELEVATION AND PAINTED A LIGHTER CREAM COLOR.
- (7) (A) ALL WINDOWS SHALL BE A BASH STYLE IN COLORED VINYL, TAN, BEIGE OR ALMOND.

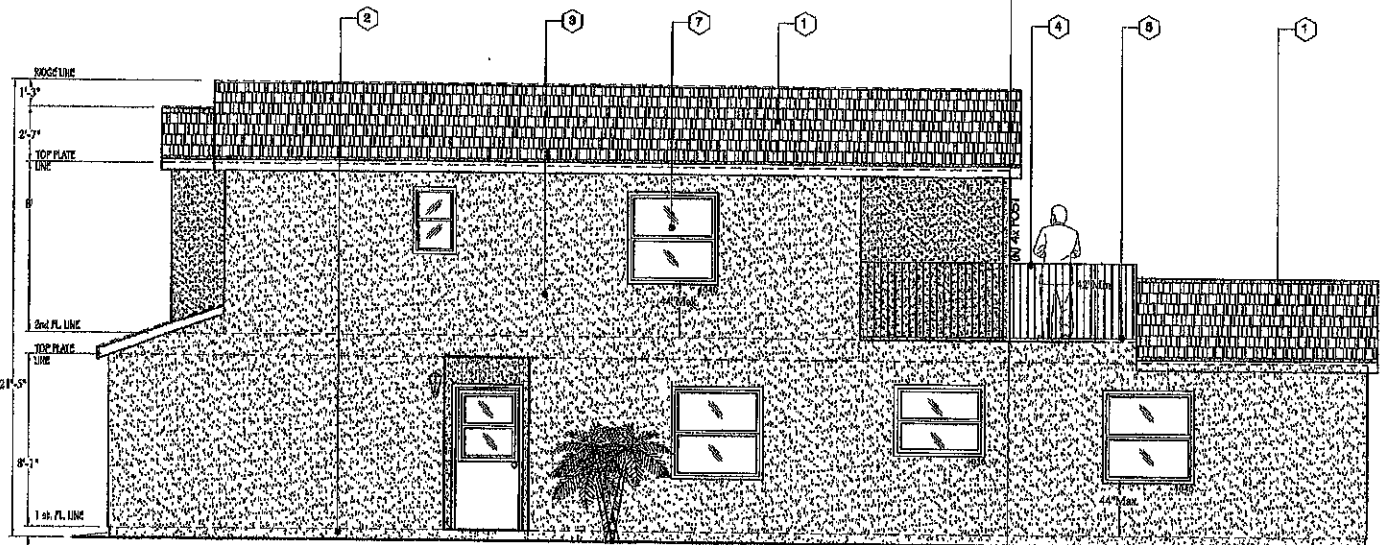
25'-0" MAX. HIGH IN THE R-1-1/2 ZONE FROM THE GRADE TO THE MIDPOINT OF THE HIGHEST SLOPED ROOF. A HEIGHT SURVEY CONDUCTED BY A LICENSED SURVEYOR MAY BE REQUIRED AT TIME OF INSPECTION AND PRIOR TO APPROVAL OF ROUGH FRAMING.



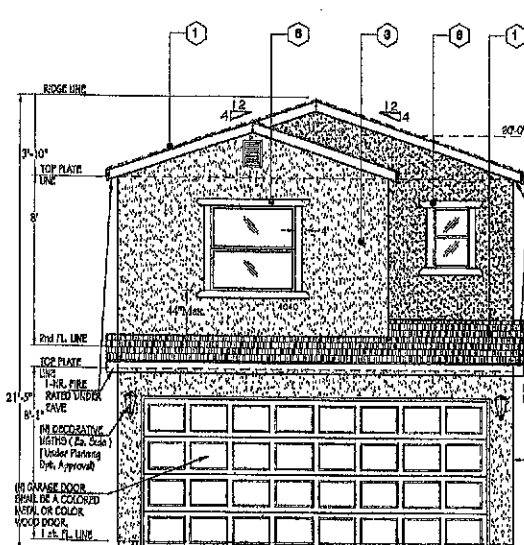
EAST ELEVATION
SCALE: 1/4" = 1'-0"



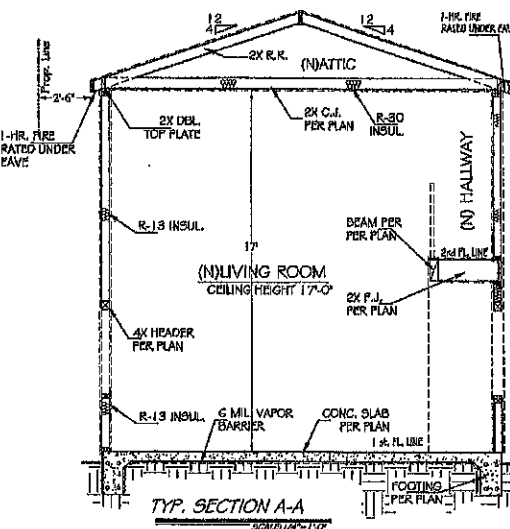
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



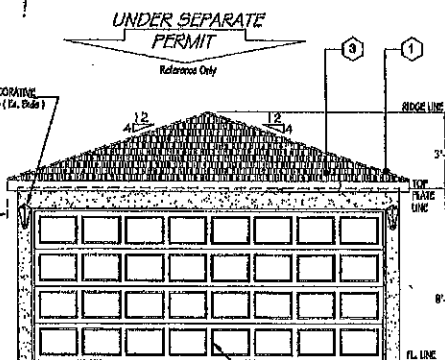
WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



TYP. SECTION A-A
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

(B) 6'-0" WOOD OR VINYL FENCE ALONG SIDE AND REAR YARD IF NONE EXISTS.

(C) GARAGE DOOR SHALL BE A COLORED METAL OR WOOD DOOR.

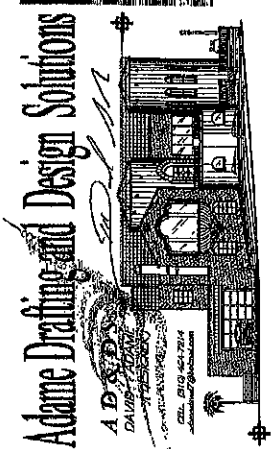
(B) 1-STORY S.F.D. AT THE ADJACENT PROPERTY TO BE CONVERTED INTO (B) 2-CAR GARAGE. (REFERENCE ONLY)

City of Long Beach Building and Safety Bureau Building Plan Check

APPROVED

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BY: [Signature] DATE: 7/24/14 PERMIT NO.: [Number]



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Mr. ABDUL HOQUE
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Revisions

No.	Description	Date
1	DESIGNED BY: [Signature]	
2	DESIGNED BY: D. A.	
3	DRAWN BY: T. A. J. / D. A.	
4	CHECKED BY: D. A.	
5	JOB REFERENCE: 18-145	
6	DATE: 04/27/2014	
7	SCALE: AS NOTED	
8	SHEET TITLE:	

ELEVATIONS,
SECTIONS AND
DETAILS

Sheet Number:
A-3.0