

CULTURAL HERITAGE COMMISSION MAJOR PROJECT APPLICATION

3042 EAST 6th STREET

Attachment C



PROJECT DATA

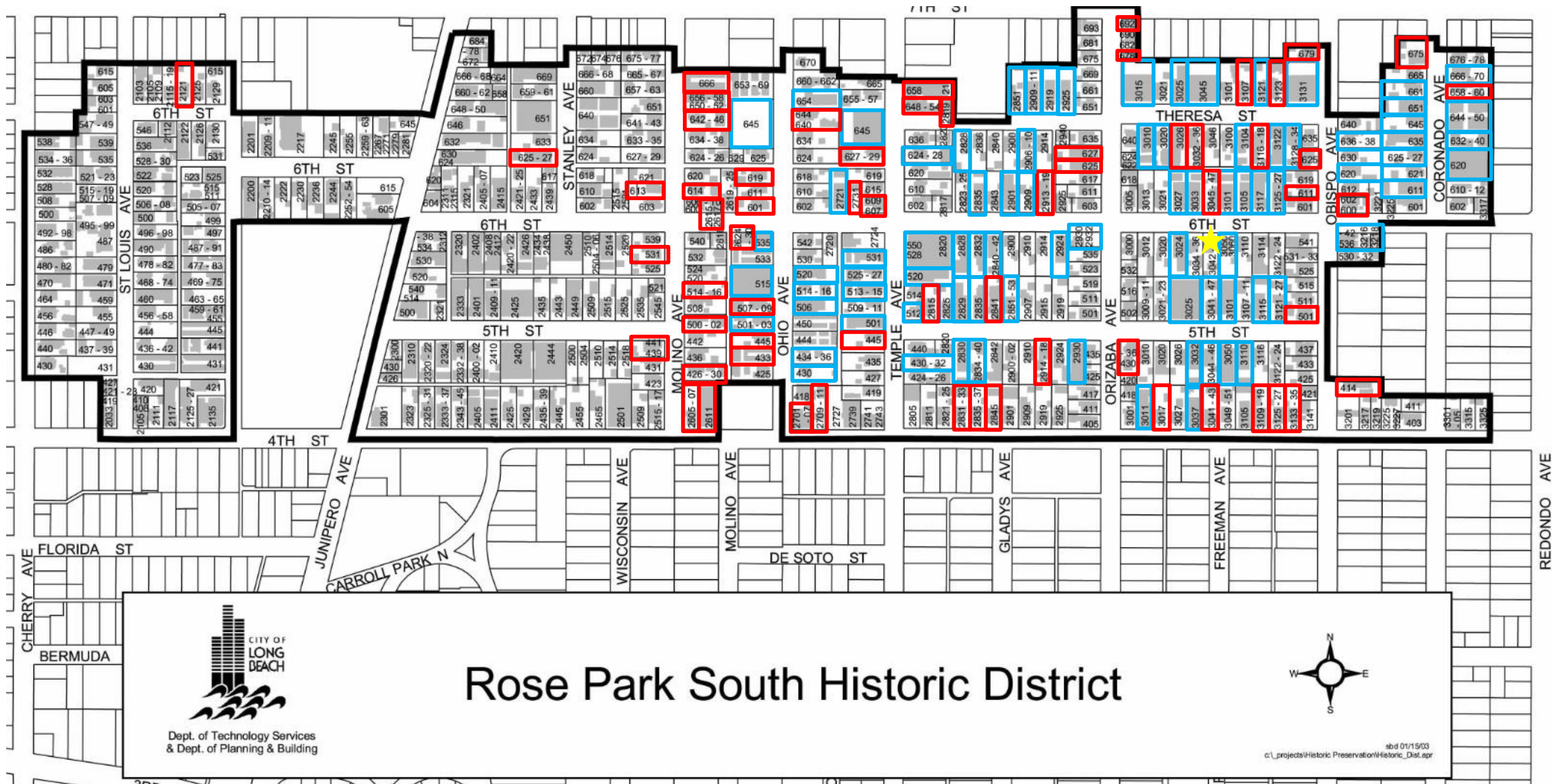
PROJECT DESCRIPTION:	375 SQUARE FIRST FOOT FLOOR AND 824 SF SECOND FLOOR REAR ADDITIONS WITH 140 SF OPEN PATIO TO EXCITING ONE STORY SINGLE FAMILY RESIDENCE	
ZONE:	R - 2 - N	
OCCUPANCY:	R - 3	
CONSTRUCTION TYPE:	V - B, NON - SPRINKLED	
MAX HEIGHT:	25 FT. 2 STORY	
SITE AREA:	50' x 135' = 6,750 SF	
AREA CALCULATIONS:		
EXISTING APARTMENT BUILDING	APARTMENT FIRST FLOOR:	676 SF
	APARTMENT SECOND FLOOR:	600 SF
	TOTAL:	1,276 SF
SINGLE FAMILY RESIDENCE	EXISTING FIRST FLOOR:	985 SF
	FIRST FLOOR ADDITION:	375 SF
	SECOND FLOOR ADDITION:	824 SF
	TOTAL:	2,184 SF
	GRAND TOTAL:	3,460 SF
	COVERED PATIO	140 SF

SETBACKS:	FRONTYARD:	15'
	SIDE YARD:	4'
	REAR YARD:	20'
FLOOR AREA RATIO (FAR)	MAXIMUM FAR:	.6 = 4,050 SF
	ACTUAL FAR:	.51 = (3,460 SF / 6,750 SF)
LOT COVERAGE:	MAXIMUM LOT COVERAGE:	.6 = 4,050 SF
	ACTUAL LOT COVERAGE:	.33 ((676 SF +985 SF + 375 SF + 140 SF) / 6,650 SF)
OPEN SPACE:	OPEN SPACE REQUIRED:	6% = 405 SF
	ACTUAL OPEN SPACE	= 33% (2,238 SF / 6,750 SF)
	PARKING REQUIRED:	6
	PARKING PROVIDED:	0
	NOTE: This property is classified a non-conforming due to lack of required parking. Long Beach Municipal Code Section 21.27.130 (Historic landmark and landmark district exemption) allows properties locate in a historic district to expand regardless of required parking.	

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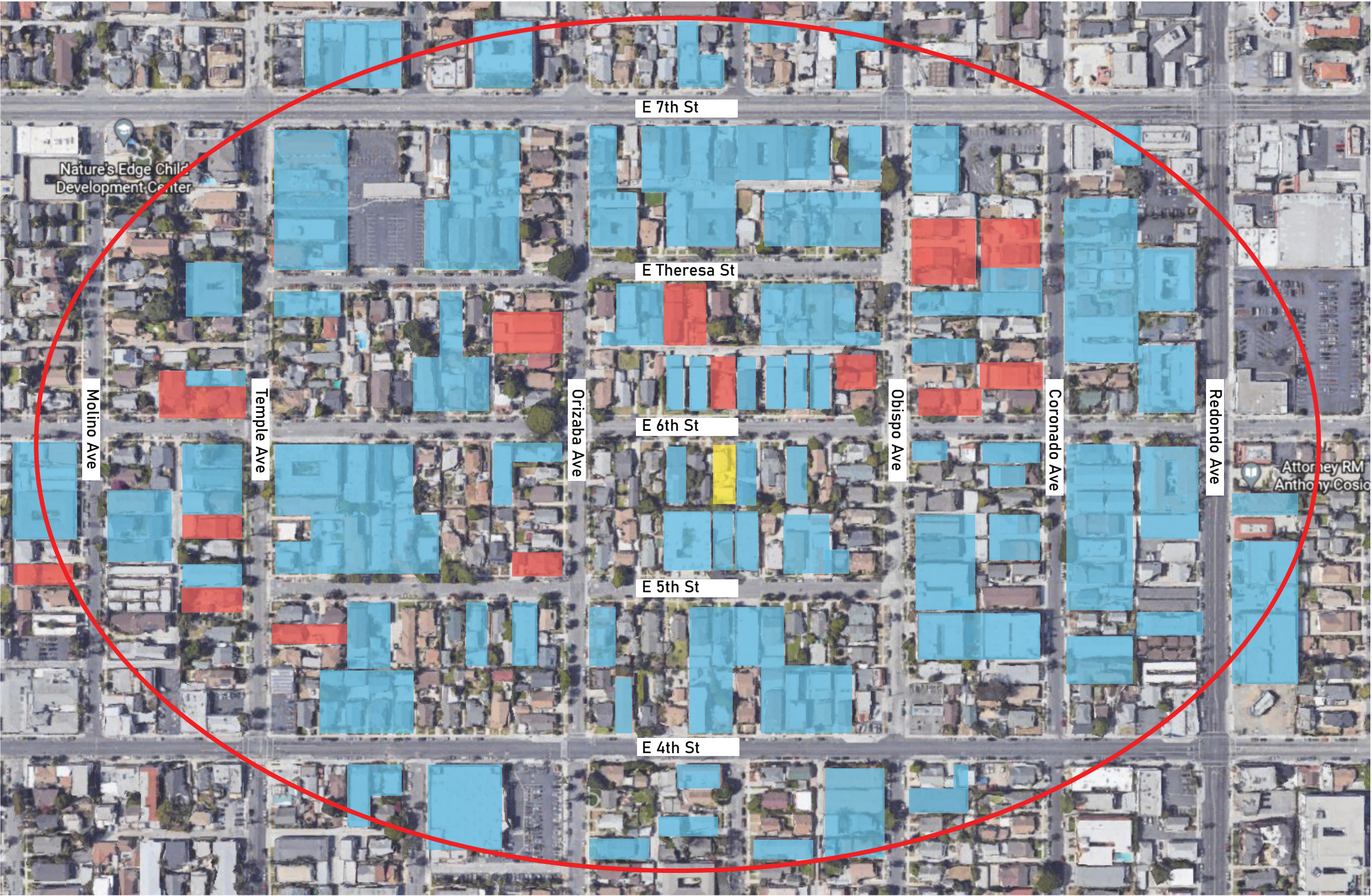


LEGEND:

SUBJECT PROPERTY

CONTRIBUTING STRUCTURES WITH SECOND STORIES

PROPERTIES THAT HAVE TWO STORIES



LEGEND:

SUBJECT PROPERTY

CONTRIBUTING STRUCTURES WITH SECOND STORIES 3

PROPERTIES THAT HAVE TWO STORIES 12



Architect

NEIGHBORHOOD COMPATIBILITY- 6TH STREET 3000 BLOCK

| LAGUERRE RESIDENCE
| 3042 E. 6th St. LONG BEACH, CA 90814
06/09/2021



VIEW FROM NORTHWEST



EAVE OVERHANG



FRONT - NORTH ELEVATION



REAR - SOUTH ELEVATION



REAR - EAST ELEVATION



SOUTH ELEVATION



6th STREET VIEW - NORTH SIDE OF STREET -
LOOKING SOUTHWEST



SIDEWALK VIEW - VIEWING EAST



6th STREET VIEW - SOUTH SIDE OF STREET VIEWING EAST



VIEW TO 6th STREET LOOKING NORTHWEST

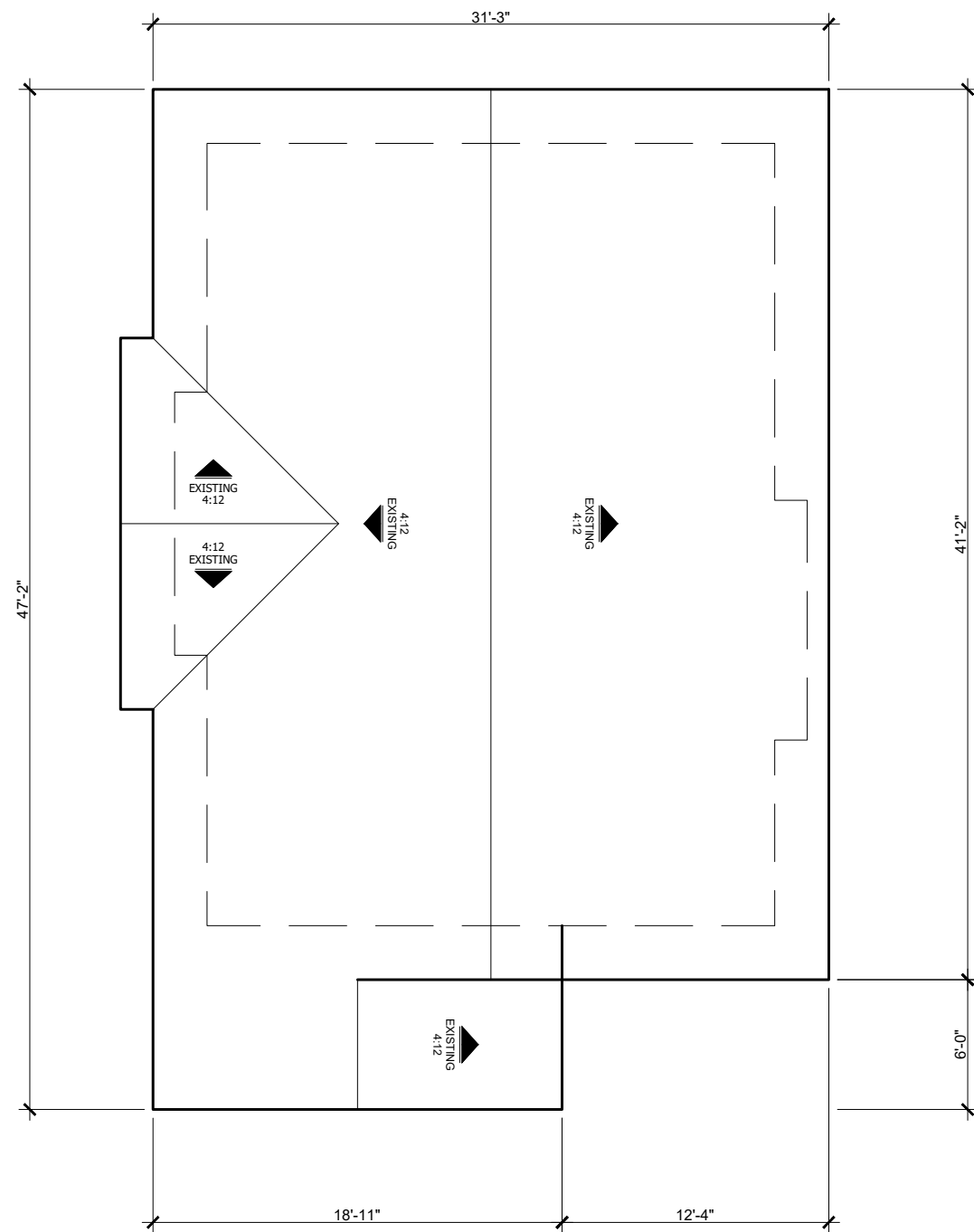


VIEW FROM PROPERTY - LOOKING NORTH

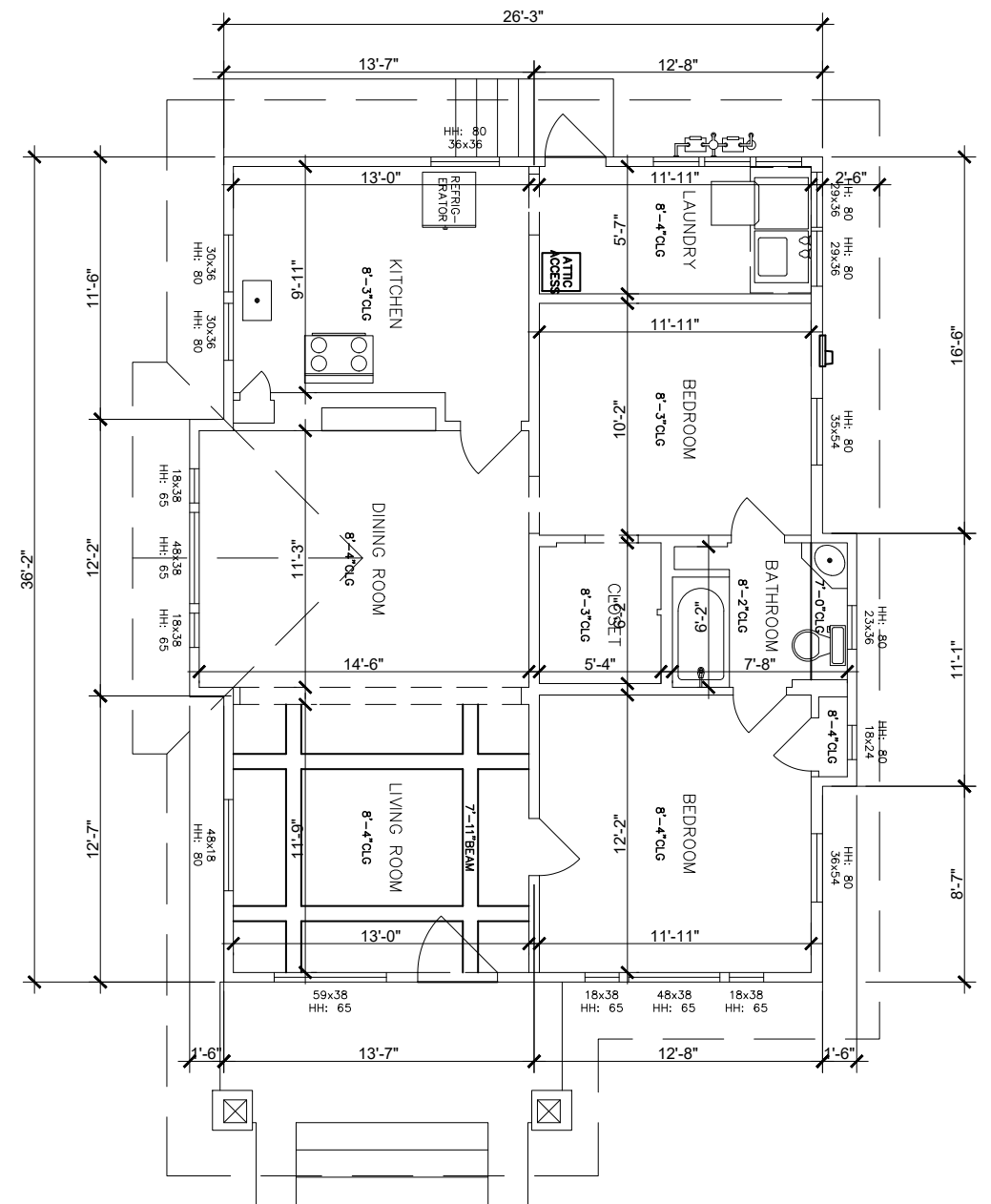


6th STREET VIEW - NORTH SIDE OF STREET -
LOOKING SOUTHEAST





2 EXISTING ROOF PLAN
1/8" = 1' - 0"



1 EXISTING FIRST FLOOR PLAN
1/8" = 1' - 0"



- ELEVATIONS' KEY NOTES
- E1. EXISTING PAINTED WOOD SIDING.

E2. EXISTING PAINTED CONCRETE FOOTING.

E3. EXISTING ASPHALT SHINGLES.

E4. EXISTING PAINTED WOOD WINDOWS.

E5. EXISTING PAINTED WOOD DOOR.

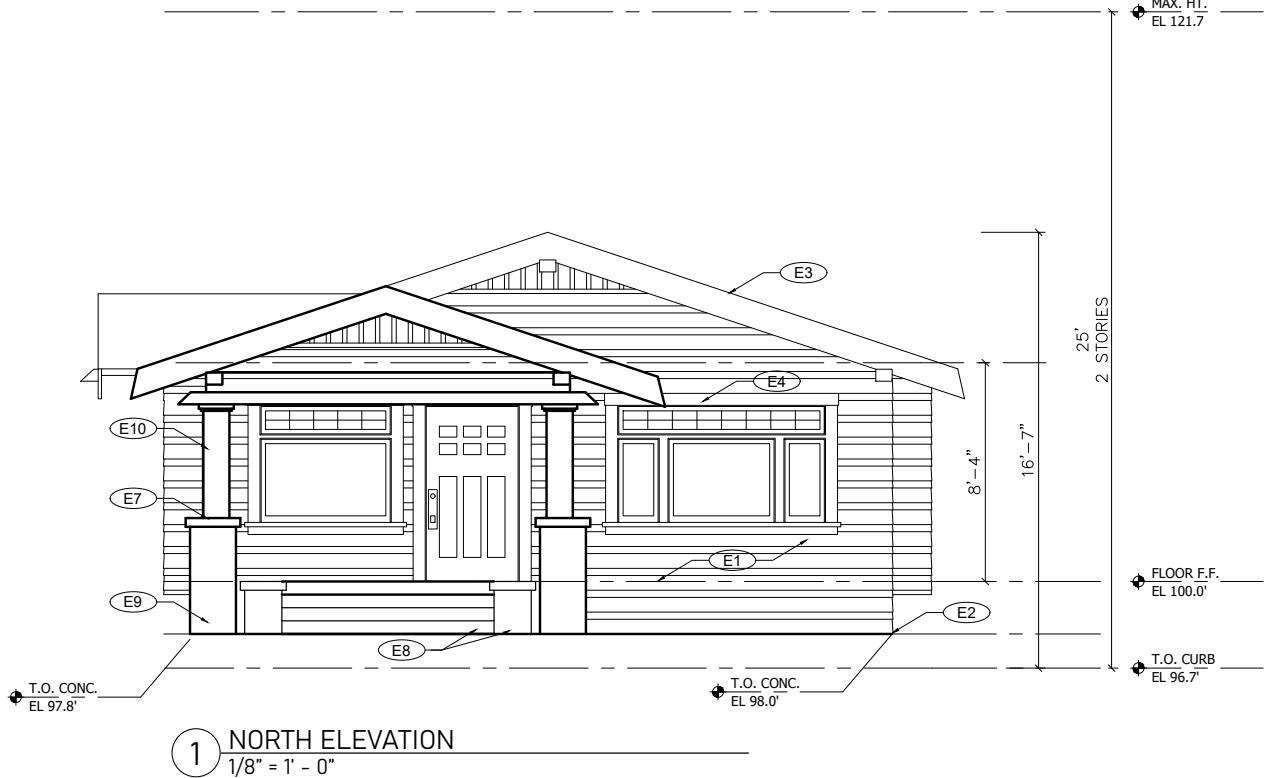
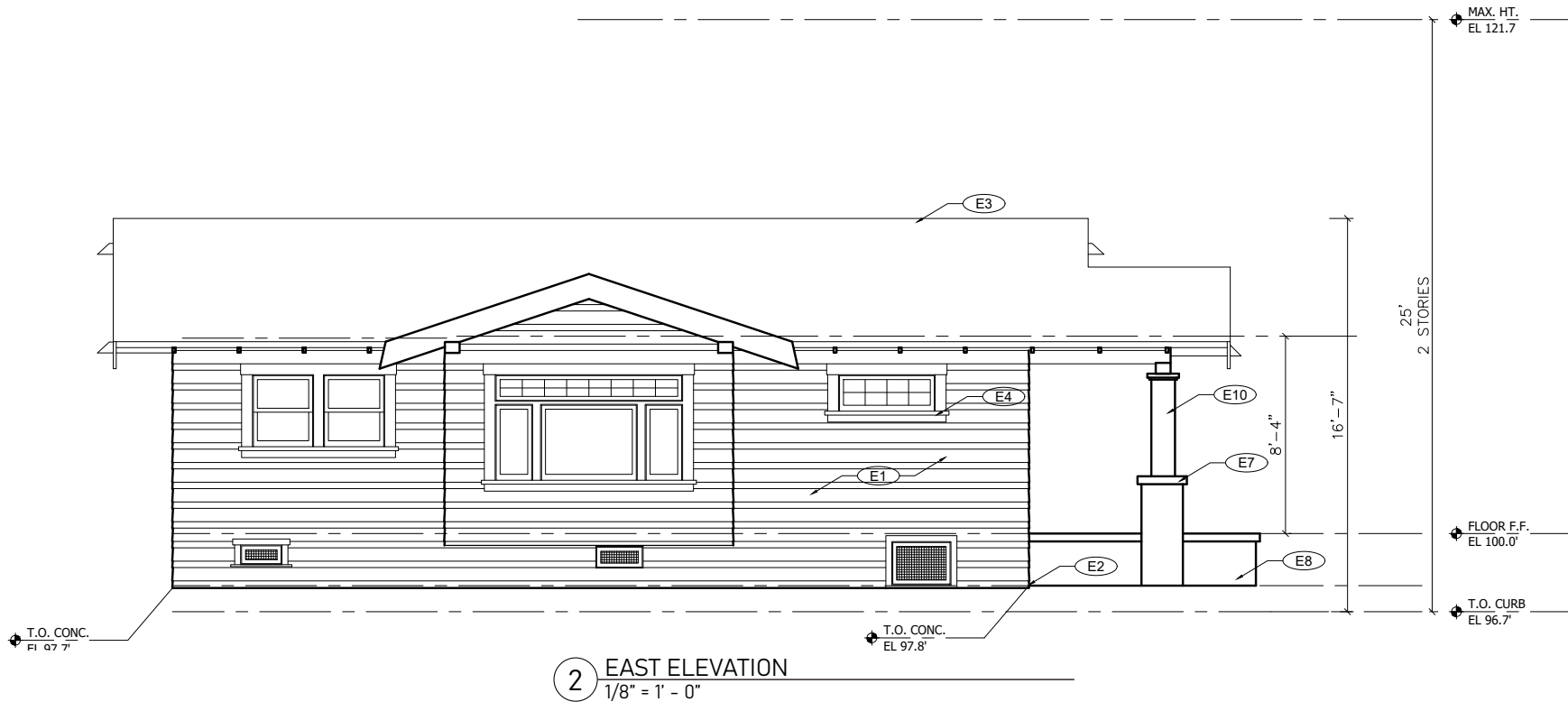
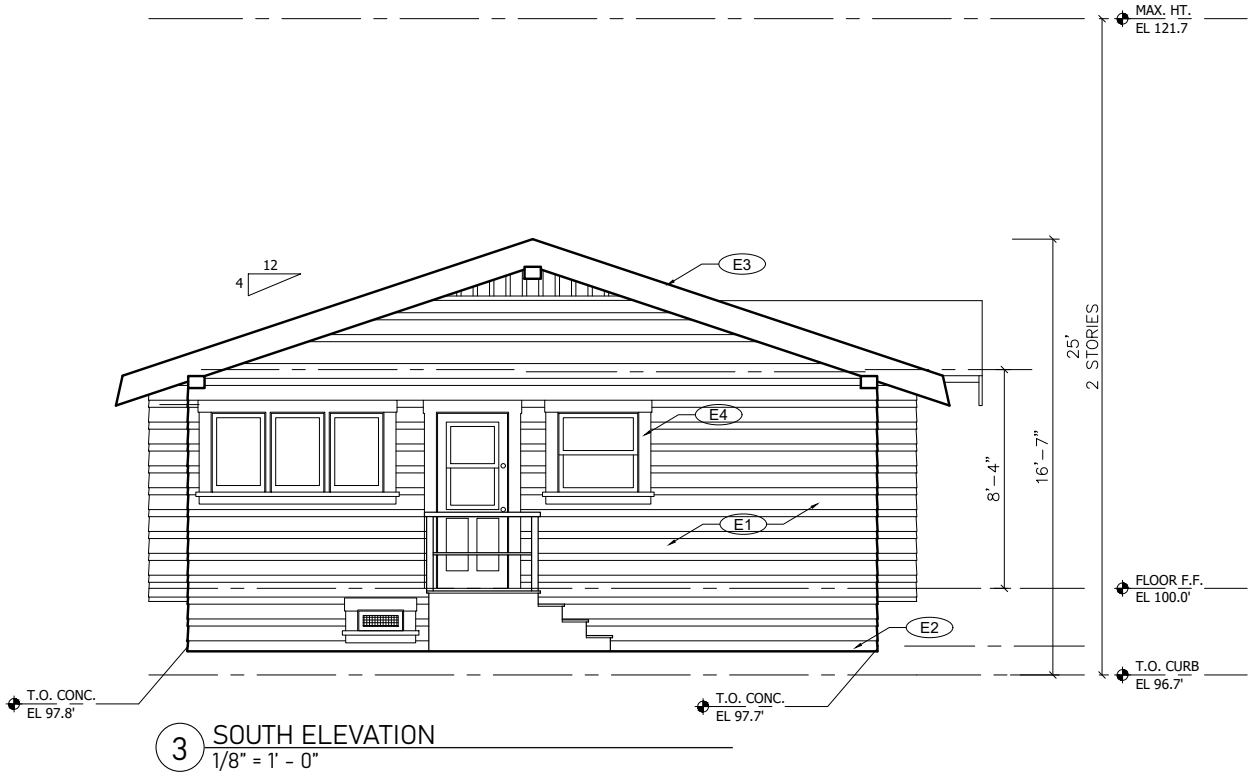
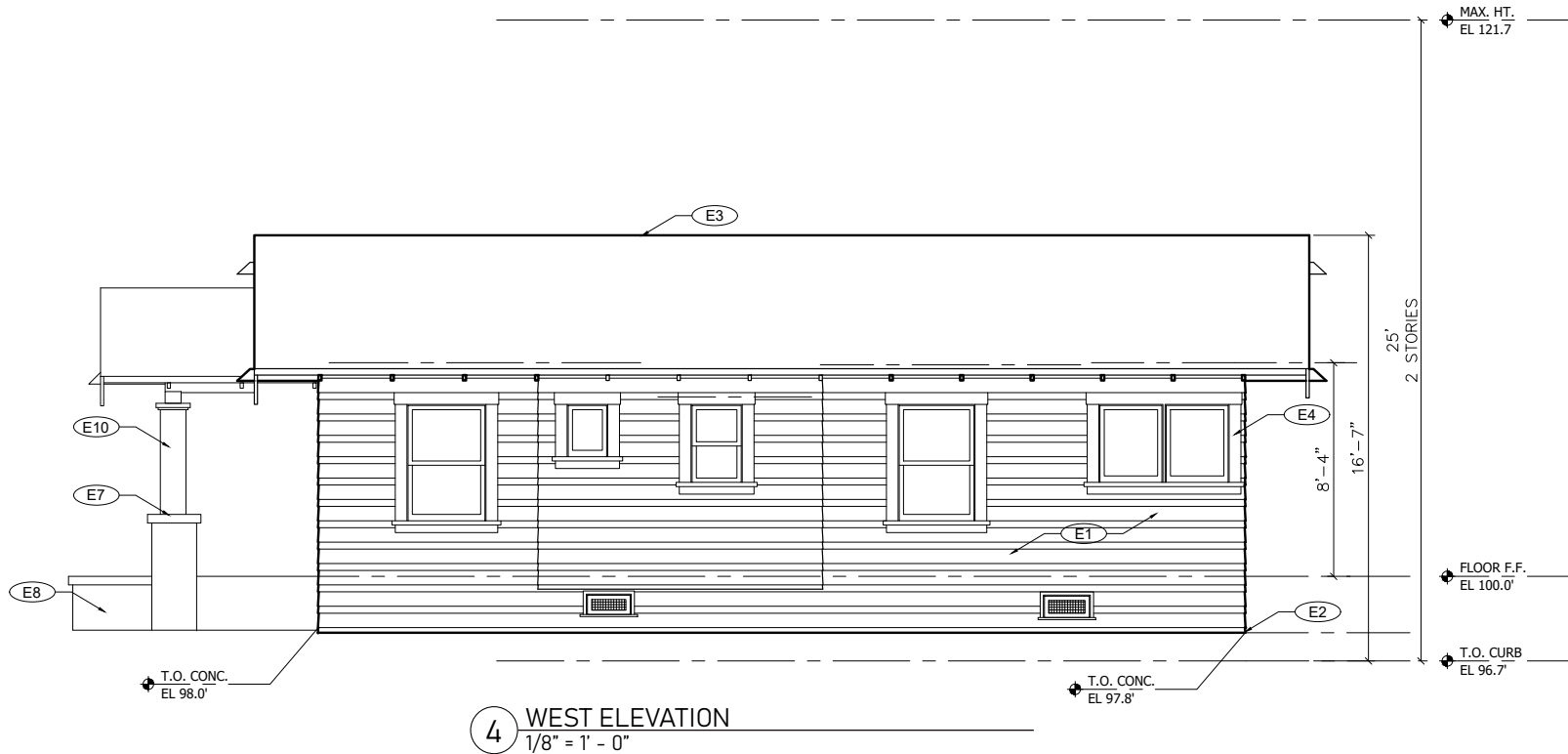
E6. NOT USED.

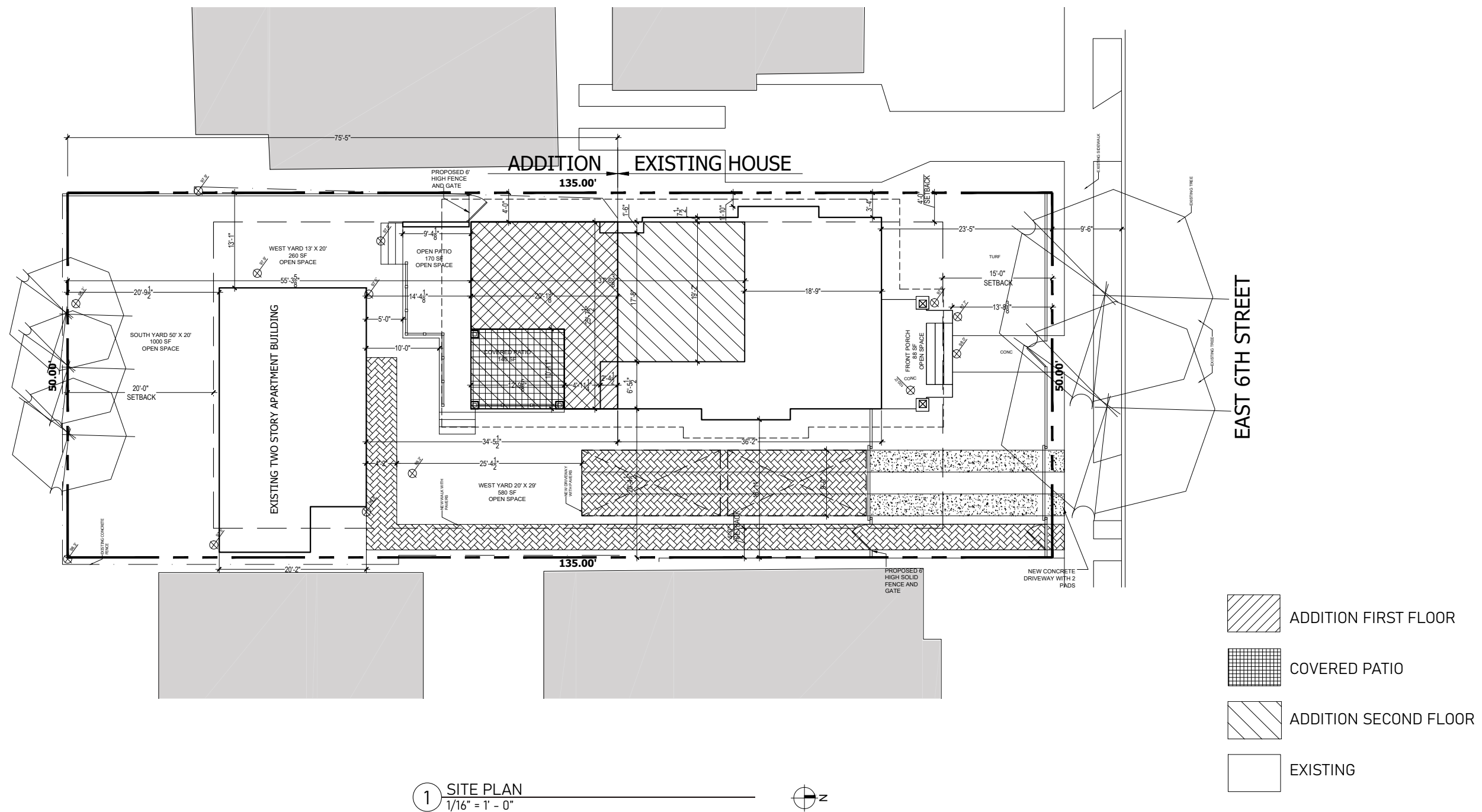
E7. EXISTING PAINTED CONCRETE PLINTH.

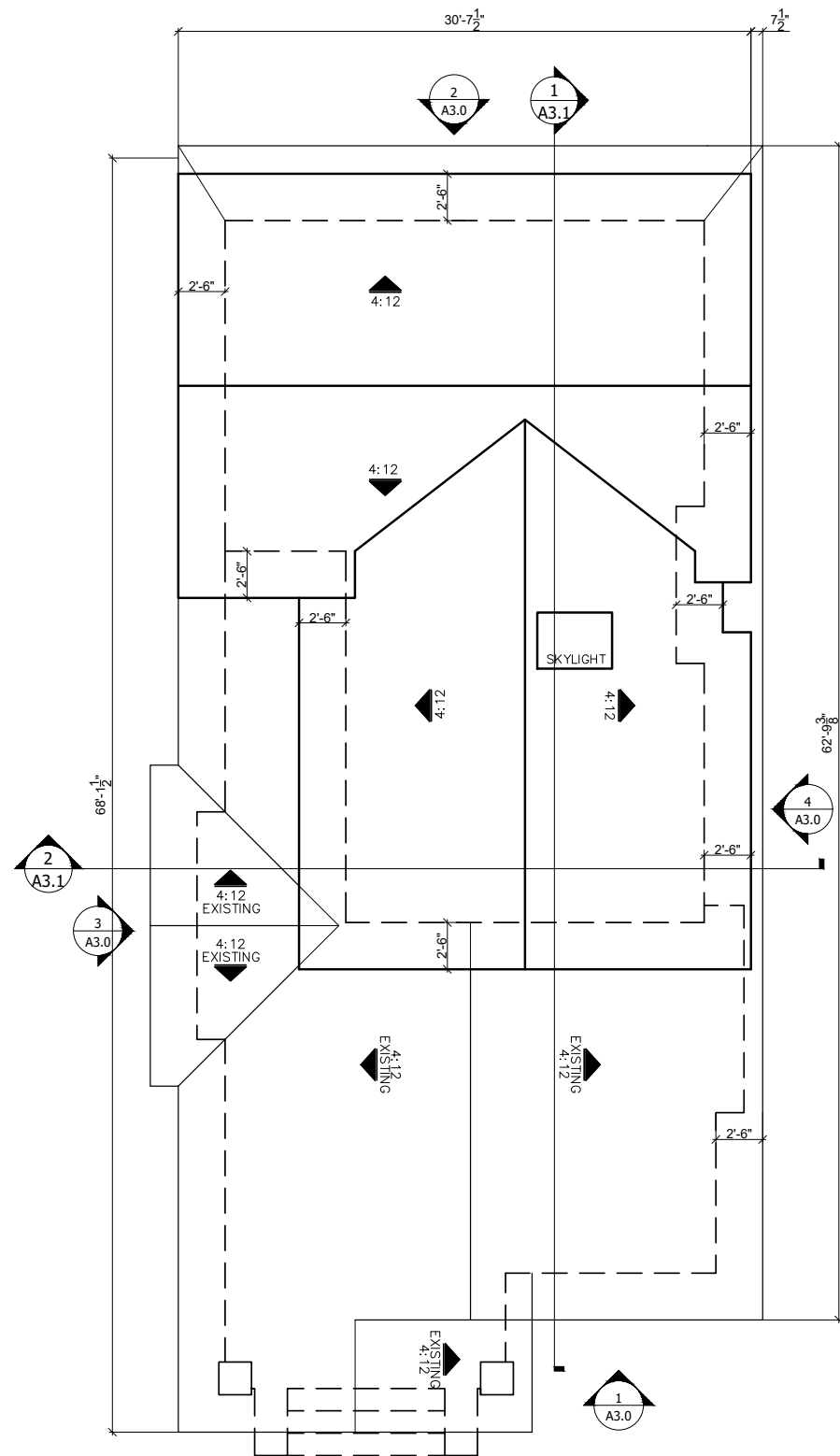
E8. EXISTING CONCRETE PORCH WITH BRICK COVERED IN STUCCO.

E9. EXISTING PORCH COLUMN BASE WITH BRICK COVERED IN STUCCO.

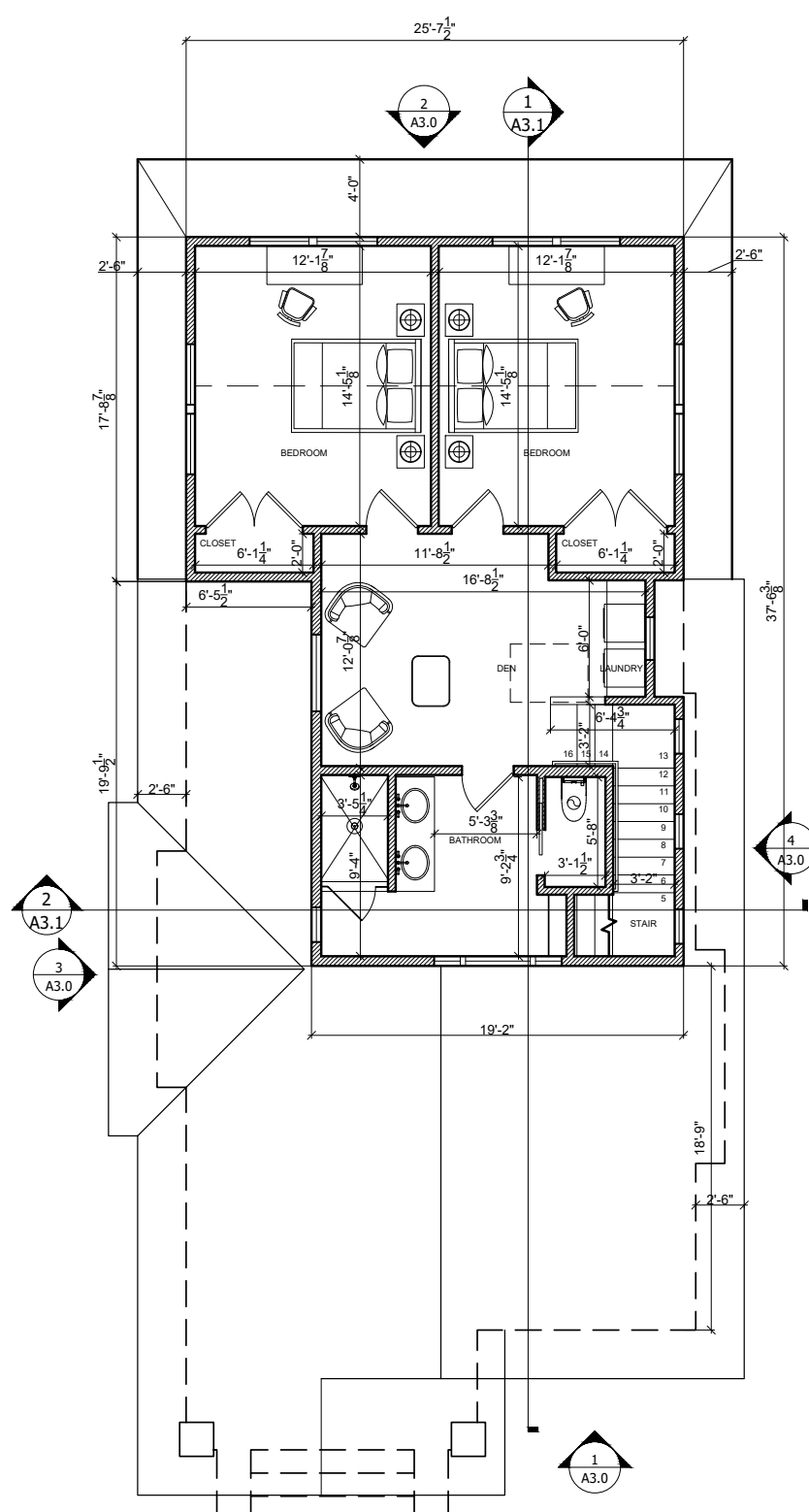
E10. EXISTING PAINTED WOOD PORCH COLUMN.



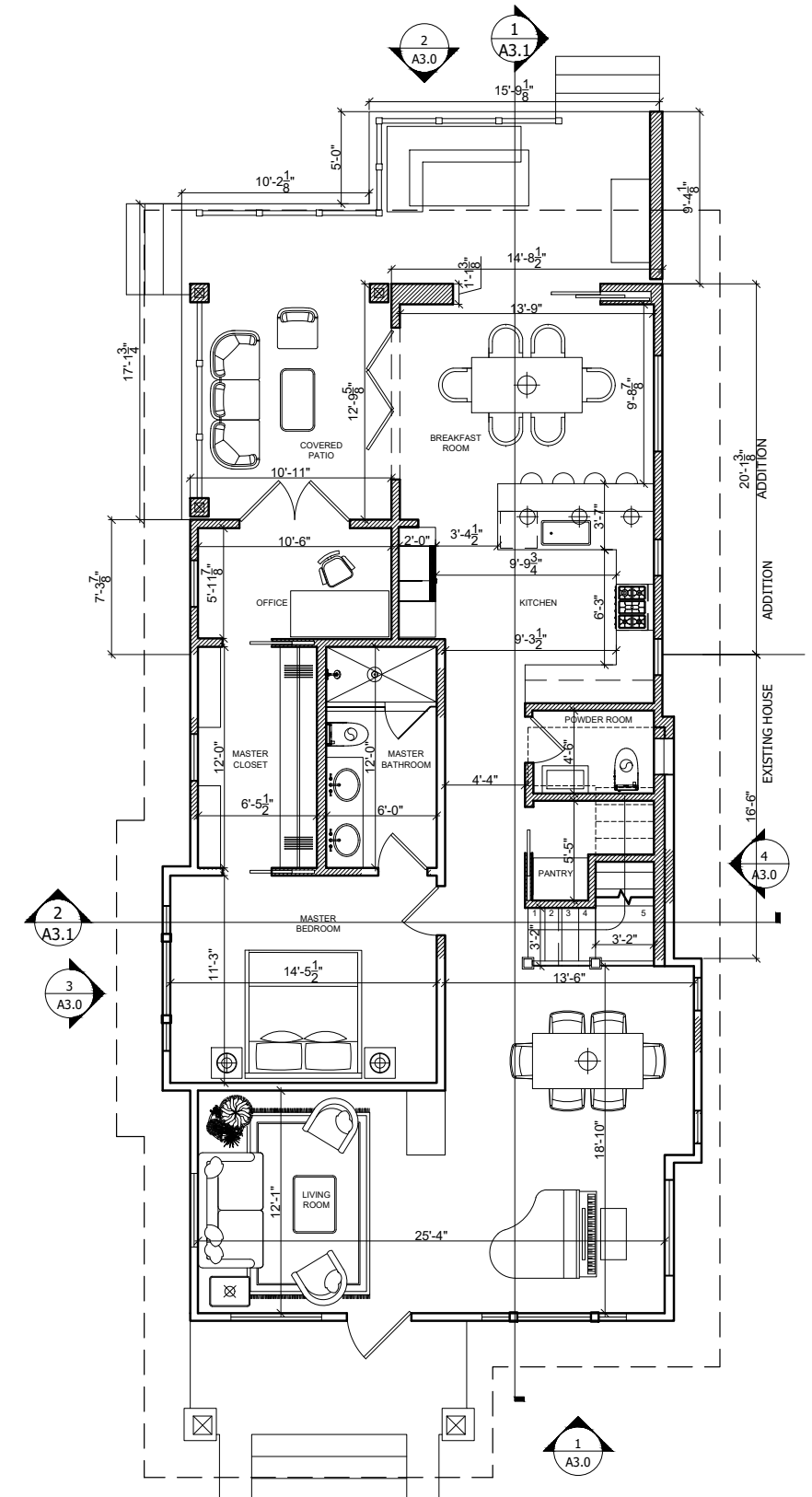




3 ROOF LEVEL
3/32" = 1' - 0"



2 SECOND LEVEL
3/32" = 1' - 0"



1 FIRST LEVEL
3/32" = 1' - 0"

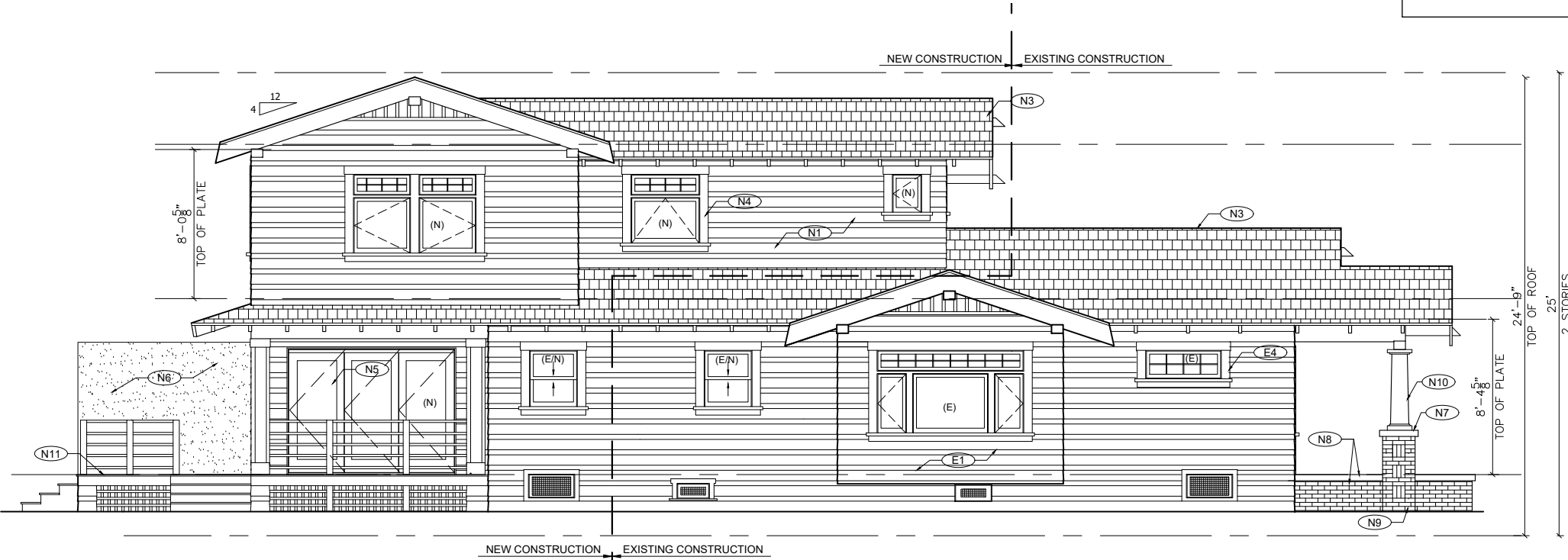
ELEVATIONS KEY NOTES

E1. EXISTING PAINTED WOOD SIDING.
E2. EXISTING PAINTED CONCRETE FOOTING.
E3. EXISTING ASPHALT SHINGLES.
E4. EXISTING PAINTED WOOD WINDOWS.
E5. EXISTING PAINTED WOOD DOOR.
E6. NOT USED.
E7. EXISTING PAINTED CONCRETE PLINTH.
E8. EXISTING CONCRETE PORCH WITH BRICK COVERED IN STUCCO.
E9. EXISTING PORCH COLUMN BASE WITH BRICK COVERED IN STUCCO.
E10. EXISTING PAINTED WOOD PORCH COLUMN.

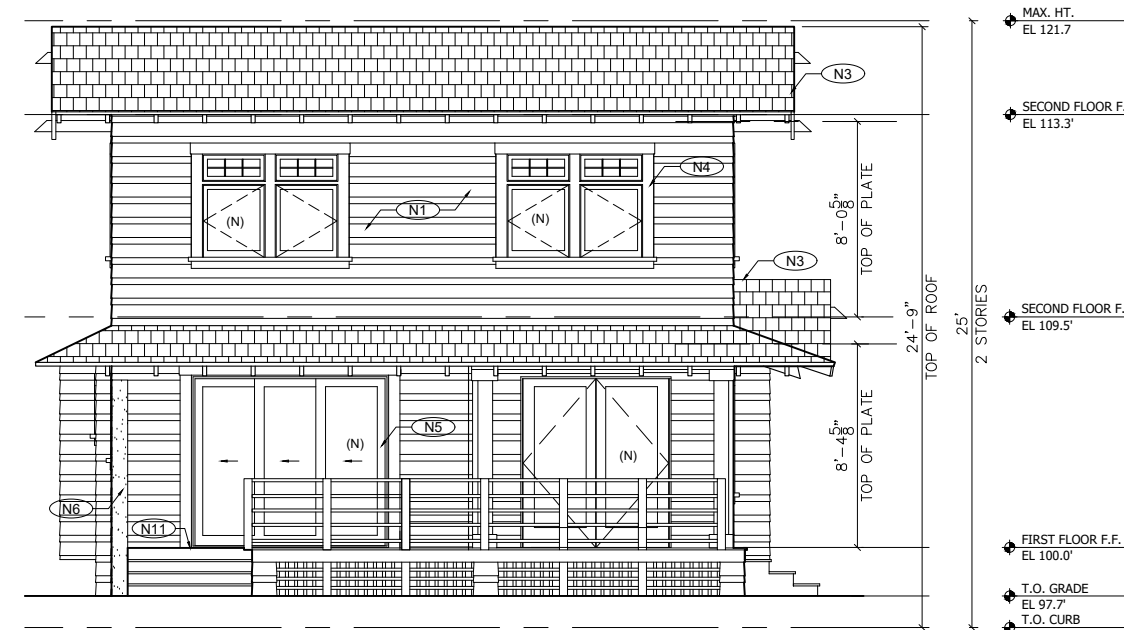
N1. NEW PAINTED WOOD SIDING TO MATCH EXISTING.
N2. NEW PAINTED CONCRETE FOOTING TO MATCH EXISTING.
N3. NEW ASPHALT SHINGLES TO MATCH EXISTING.
N4. NEW PAINTED WOOD WINDOWS TO MATCH EXISTING.
N5. NEW PAINTED WOOD DOOR TO MATCH EXISTING.
N6. NEW PAINTED STUCCO.
N7. NEW PAINTED CONCRETE PLINTH.
N8. NEW CONCRETE PORCH WITH BRICK VENEER.
N9. NEW PORCH COLUMN BASE WITH BRICK VENEER
N10. NEW PAINTED WOOD PORCH COLUMN.
N11. NEW PORCH

LEGEND:

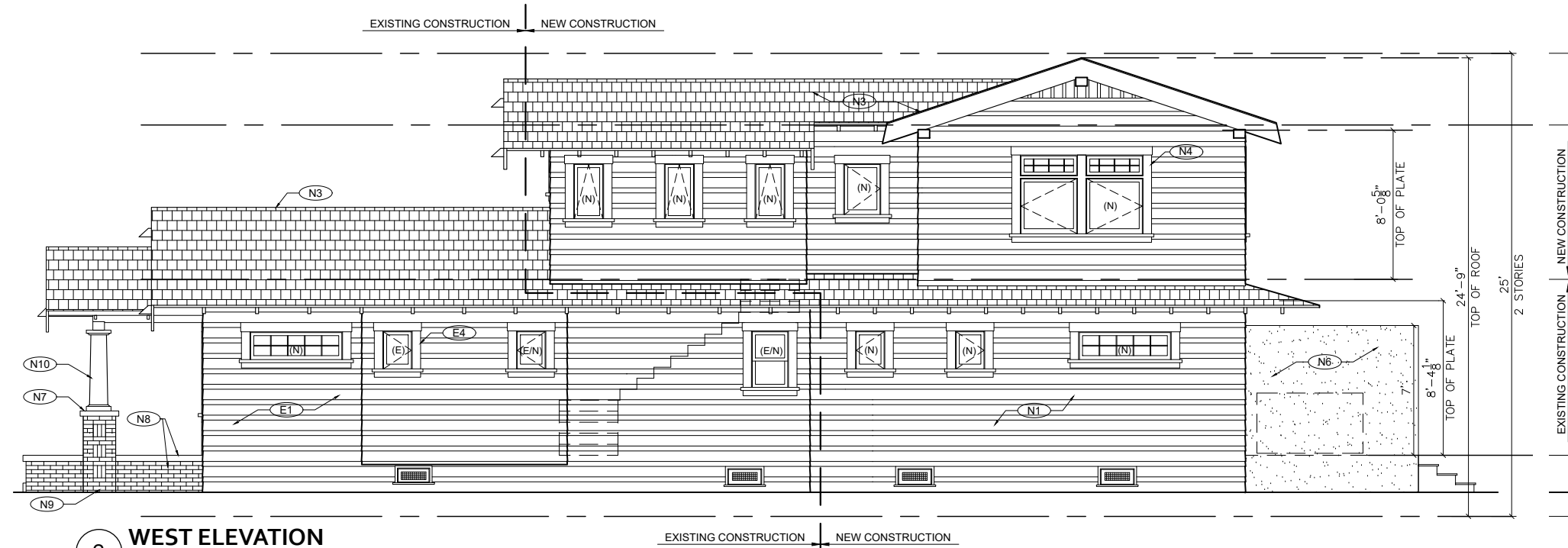
(E): EXISTING WINDOW.
(N): NEW WINDOW.
(E/N): EXISTING WINDOW RELOCATED TO NEW OPENING.



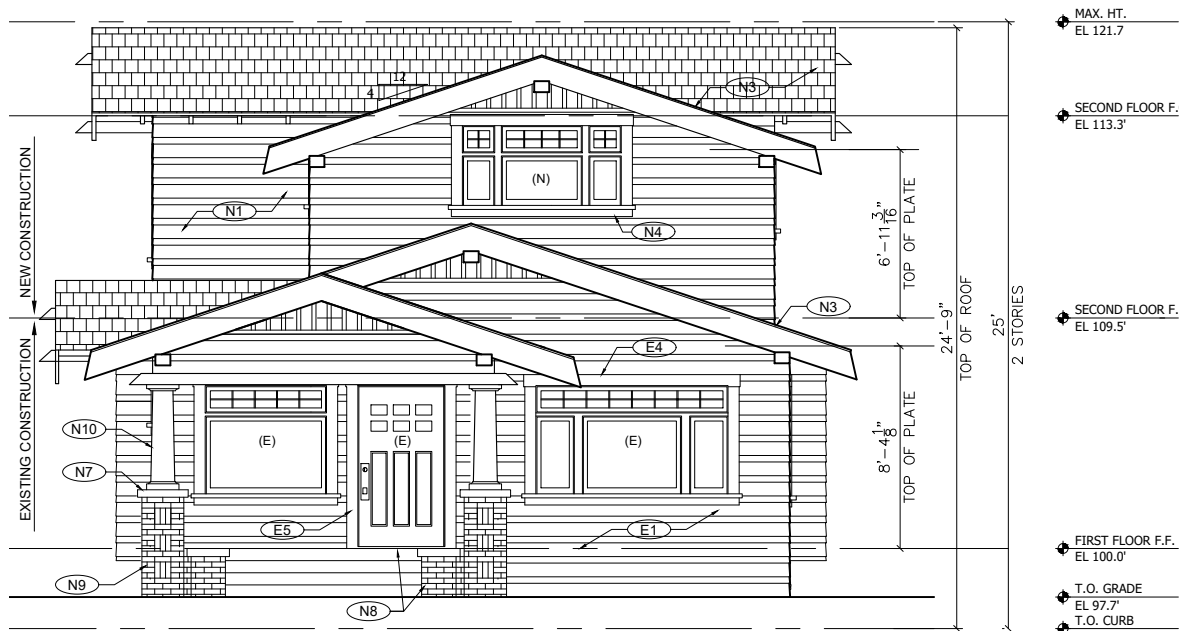
4 EAST ELEVATION
1/8" = 1' - 0"



3 SOUTH ELEVATION
1/8" = 1' - 0"



2 WEST ELEVATION
1/8" = 1' - 0"



1 NORTH ELEVATION
1/8" = 1' - 0"



6th STREET VIEW - LOOKING SOUTHWEST



6th STREET VIEW - LOOKING SOUTHEAST



VIEW FROM SOUTHEAST - INSIDE PROPERTY



VIEW FROM NORTH - 6th STREET



6th STREET VIEW - NORTH SIDE OF STREET -
LOOKING SOUTHWEST



6th STREET VIEW - NORTH SIDE OF STREET -
LOOKING SOUTHEAST

