

HOURS OF OPERATION

MONDAY THROUGH SUNDAY 8:00 AM TO 5:00 PM

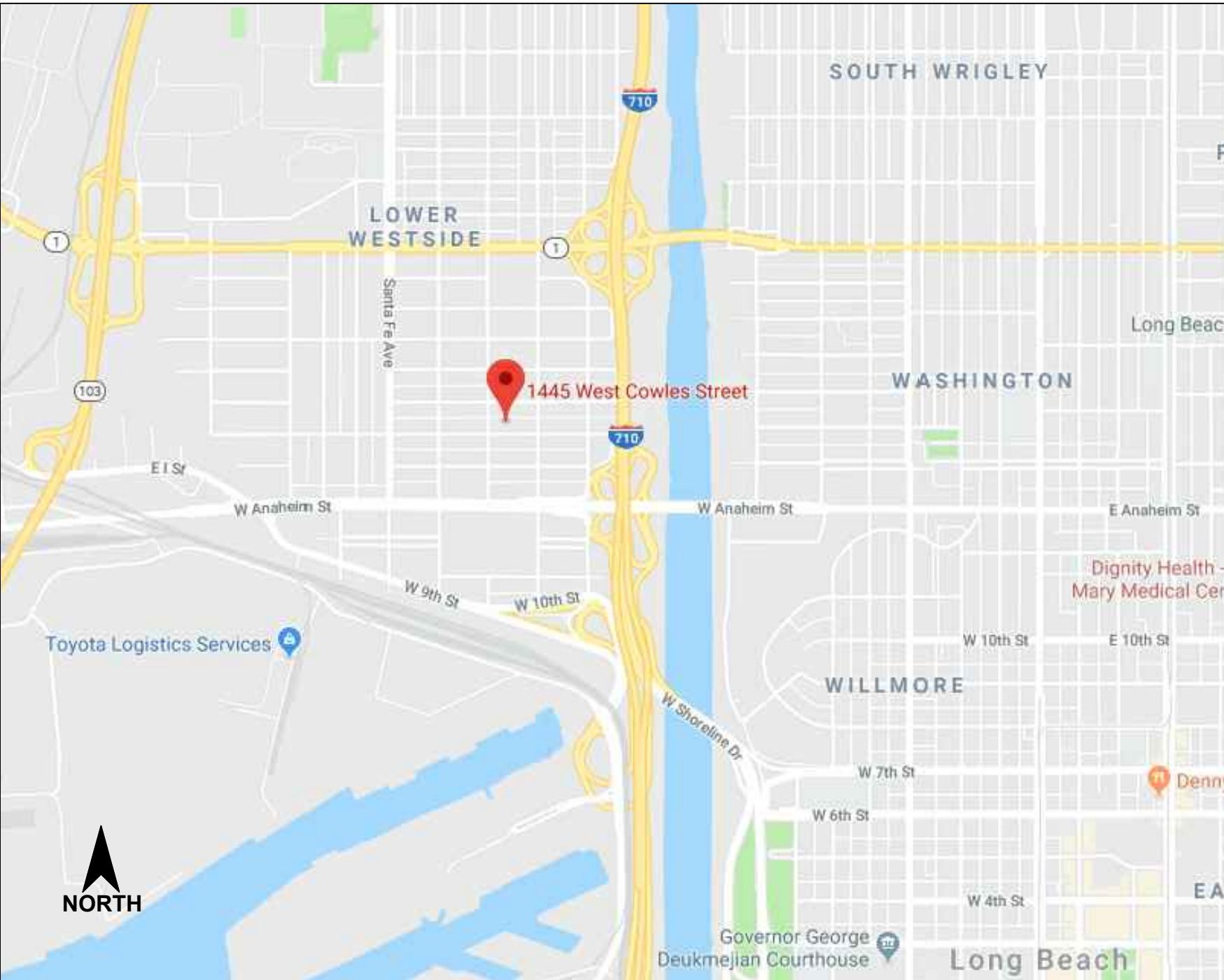
NUMBER OF OCCUPANTS

3 (2 OFFICE PERSONAL AND 1 DRIVER)

BUSINESS SYNOPSIS

Cowles Ventures will operate a medical and adult-use cannabis distribution business. This business will provide secure transportation, storage, arrange for testing and ensure proper packaging and labeling requirements are met for cannabis and cannabis products. This facility will not store, nor distribute non-cannabis goods. Cowles Ventures will start their distribution business with the 1 mid-size transportation vehicle (Sprinter Van) and possibly add another in 6-12 months. They will utilize the distribution license to primarily distribute their own products that will be produced by their manufacturing facility but will also distribute some cannabis goods from other cannabis businesses. Cowles Ventures anticipates the following delivery schedule: receiving 2-3 shipments per day and delivering 2-3 shipments per day. They do not believe that this will cause any disruptions to the surrounding businesses as the loading and unloading area is located in the rear of the business in a secured and gated area.

VICINITY MAP, NTS:
1445 W. COWLES ST.



APPLICABLE CODES:	
1. 2016 CALIFORNIA BUILDING CODE	6. 2016 CALIFORNIA ELECTRIC CODE
2. 2016 CALIFORNIA MECHANICAL CODE	7. 2016 CALIFORNIA FIRE CODE (CFC)
3. 2016 CALIFORNIA PLUMBING CODE	
4. 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE	
5. 2016 CALIFORNIA ENERGY EFFICIENCY STANDARD, AND TITLE 18 OF LONG BEACH MUNICIPAL CODE.	

BUILDING INFO:	
BUILDING AREA:	
(E) COMMERCIAL & INDUSTRIAL SPACE:	TOTAL BUILDING (GFA) = 5,120 SF
LOT SIZE:	9,200 SF
(N) ADDITION	NO
PROPOSE FLOOR AREA TOTAL	GROSS FLOOR AREA (GFA) = 5,120 SF
OCCUPANCY & CONSTRUCTION TYPE:	
CONST. TYPE:	TYPE IV
FIRE PROTECTION:	SPRINKLERED
OCCUPANCY:	B, F-1 & S
NUMBER OF STORIES:	1
MAXIMUM HEIGHT:	16'-0"

PROPERTY DESCRIPTION:	
LEGAL DESC.	INNER HARBOR TRACT, LOT 14 & 15, BLK 33
APN NO.	7432-017-019 & 7432-017-020
LOT AREA:	9,200 SF
ZONING:	EXISTING ZONE IS (IG)
HILLSIDE:	NO

SHEET INDEX

- CS1.0: COVER SHEET
- SITE 1.0: (E) SITE PLAN
- SITE 1.1: PROPOSED SITE PLAN
- A1.0: EXISTING & DEMOLITION PLAN
- A2.0: PROPOSED PLAN
- A3.0: ROOF PLAN
- A4.0: EXISTING & PROPOSED ELEVATIONS
- A4.1: EXISTING & PROPOSED COLOR ELEVATIONS
- A5.0: PHOTO INDEX (EXISTING CONDITION OF SITE PHOTO)

PARKING MATRIX

PROPOSED:
ADULT USE DISTRIBUTION & MANUFACTURING:

TOTAL GFA = 5,120 SF

THEREFORE:

NON-USABLE AREA FOR PARKING CALCULATION :

- MECHANICAL ROOM = 80 SF
- ELECTRICAL ROOM = 40 SF
- RESTROOM = 62 SF
- TRASH ENCLOSURE = 48 SF
- TOTAL AREA IS = 230 SF

THEREFORE:
5,120 SF - 230 SF = 4,890 SF
TOTAL USEABLE AREA (UFA) = 4,890 SF

THEREFORE:
1 SPACE PER 500 SF :
4,890 SF / 500 = 9.78 PARKING NEEDED
PROVIDED 10 SPACE PARKING INCLUDING
1 ADA PARKING + 1 TRUCK LOADING

COWLES VENTURES, LLC

1445-1449 W. COWLES ST.
LONG BEACH, CA 90813

Exhibit B

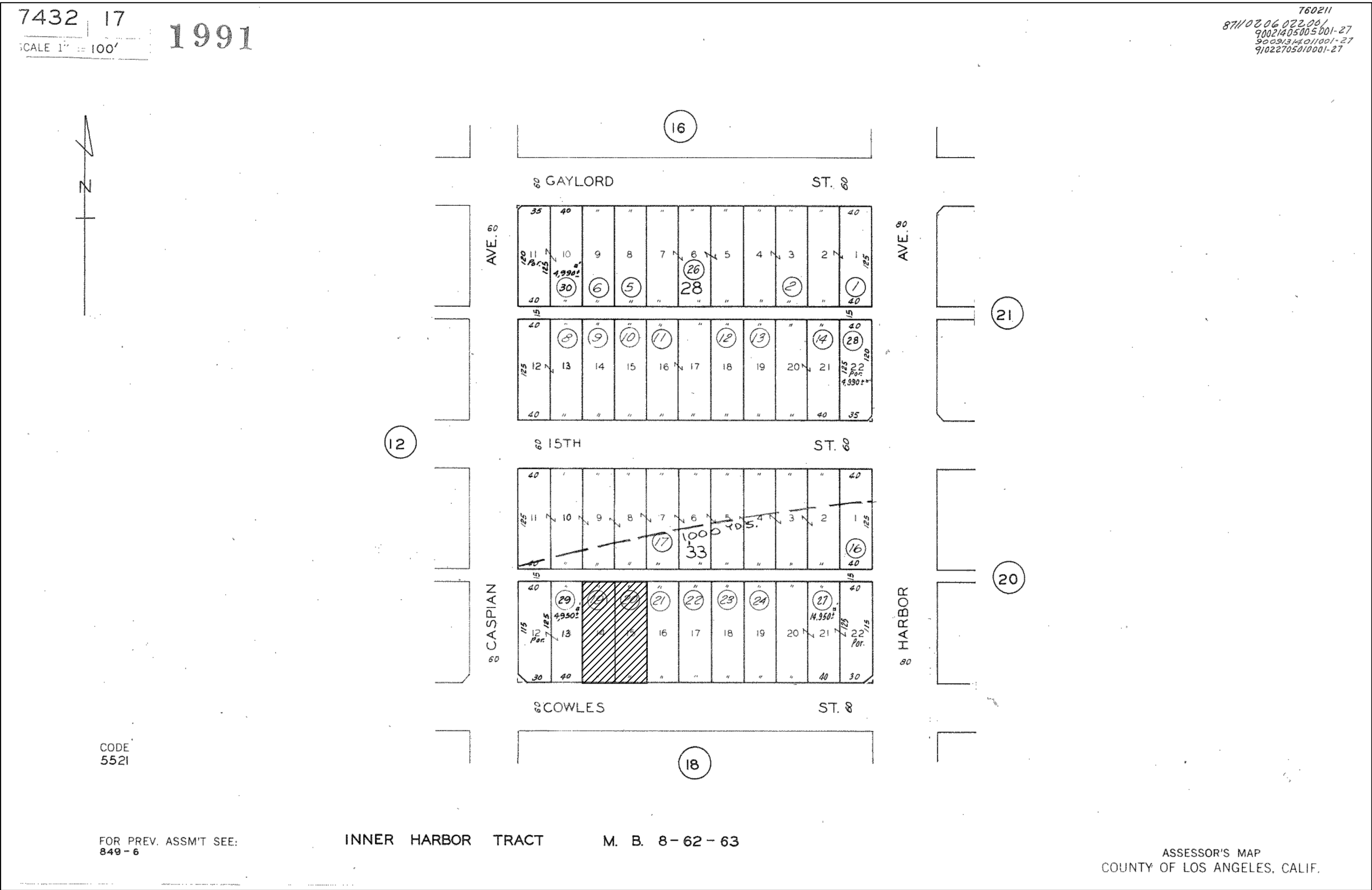
SCOPE OF WORK:

- CONDITIONAL USE PERMIT FOR AN ADULT USE DISTRIBUTION & MANUFACTURING:
DISTRIBUTION = (GFA) 1,366 SF
MANUFACTURING = (GFA) 3,334 SF
COMMON AREA = (GFA) 420 SF

- NOTE:
EXISTING ZONE FOR THIS PROJECT IS (IG)

- NOTE:
THERE IS NO HABITABLE LIVING SPACE IN THE BUILDING UNDER THIS PROPOSED TENANT IMPROVEMENT

- NO ADDITIONAL SQUARE FOOTAGE PROPOSED
- CHANGE IN SITE PLAN & PARKING LAYOUT PROPOSED
- NO NEW STRUCTURAL WORK PROPOSED
- INTERIOR CONSTRUCTION PROPOSED
- ELECTRICAL, PLUMBING & MECHANICAL UNDER SEPARATE PERMIT



1/CS1.0: PARCEL MAP, NTS

OWNER:
COWLES VENTURES, LLC
ARAIK GEVORGYAN
1445-1449 W. COWLES ST.
LONG BEACH, CA 90813
NICKPROPERTY7@GMAIL.COM

DESIGN:
RAMON BAGUIO
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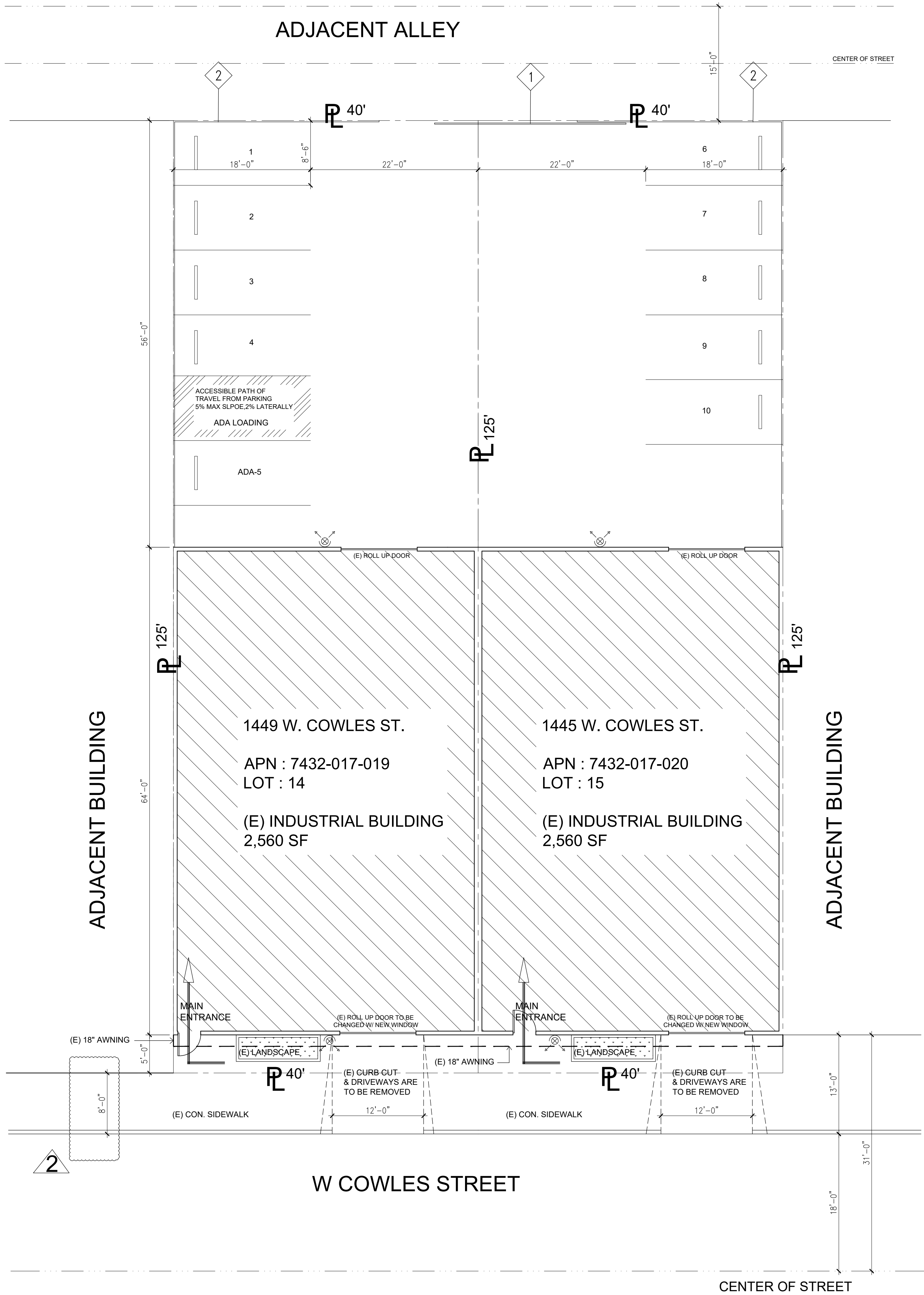
APPLICANT :
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ADULT USE DISTRIBUTION & MANUFACTURING
1445-1449 W. COWLES ST, LONG BEACH, CA 90813
CONDITIONAL USE PERMIT FOR
AN ADULT USE DISTRIBUTION & MANUFACTURING

PROJECT TITLE
ADULT USE
DISTRIBUTION
&
MANUFACTURING

COVER SHEET
101519

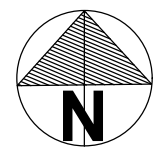
CS1.0



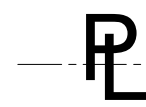
1/SITE1.0: EXISTING SITE PLAN

SCALE:

1/8" = 1'-0"



SITE LEGEND



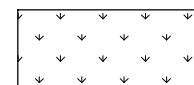
PROPERTY LINE

1

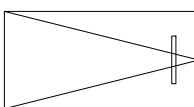
(E) WROUGHT IRON METAL SLIDING PARKING DOOR (6' HIGH)

2

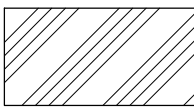
(E) METAL FENCE (6' HIGH)



(E) LANDSCAPE TO REMAIN



PARKING SPACE



ACCESSIBLE PATH OF TRAVEL FROM
PARKING 5% MAX SLOPE, 2% LATERALLY



(E) FLOOD LIGHT TO REMAIN

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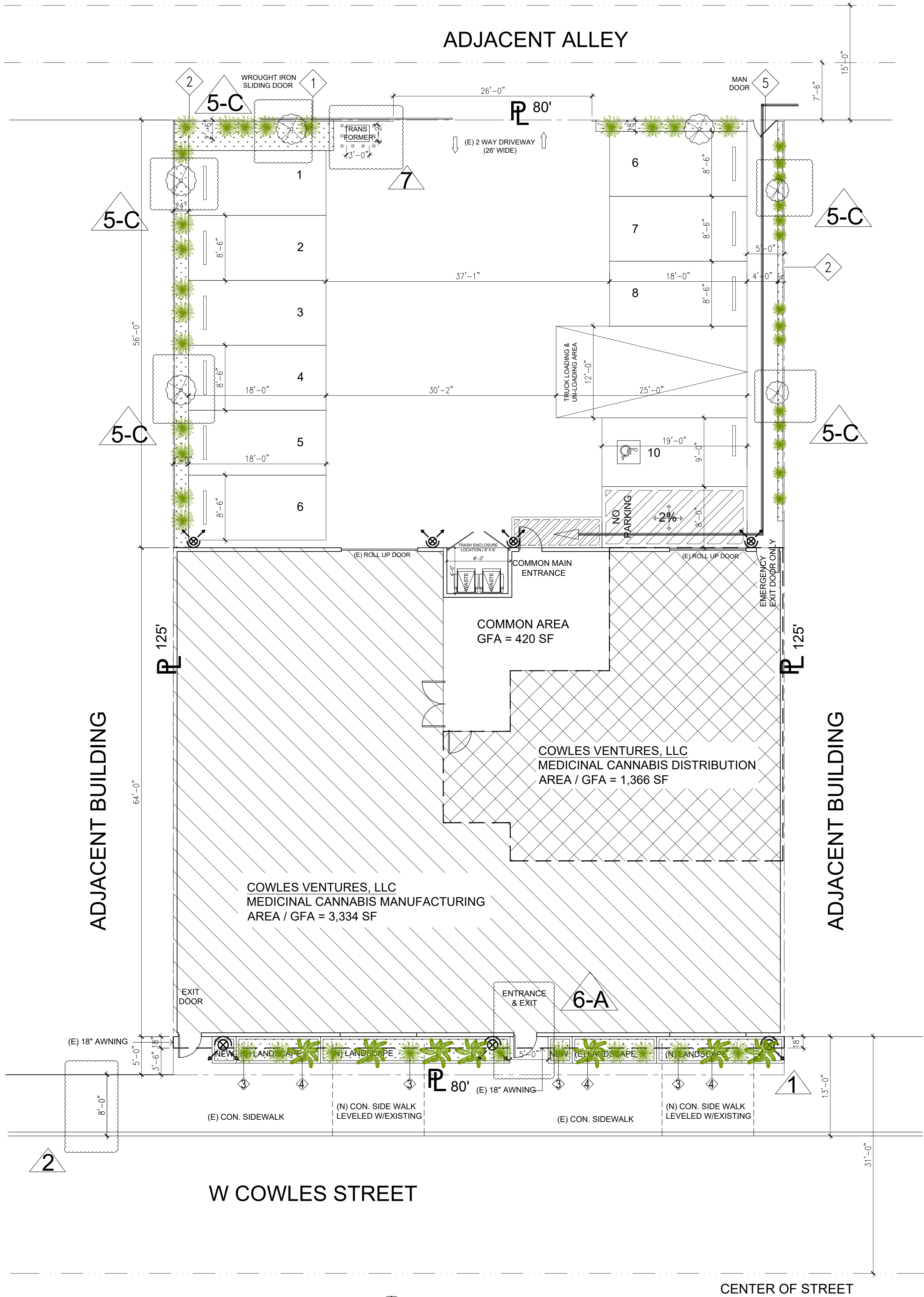
ADULT USE DISTRIBUTION & MANUFACTURING
1445-1449 W. COWLES ST, LONG BEACH, CA 90813
CONDITIONAL USE PERMIT FOR
AN ADULT USE DISTRIBUTION & MANUFACTURING

PROJECT TITLE:
ADULT USE
DISTRIBUTION
&
MANUFACTURING

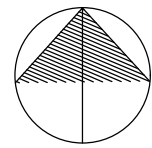
EXISTING SITE
PLAN

101519

SITE1.0



1/SITE1.1: PROPOSED SITE PLAN



1445-1449 W. COWLES ST.

APN : 7432-017-019 & 20
LOT : 14 & 15

PROPOSED:
ADULT USE DISTRIBUTION & MANUFACTURING:

MANUFACTURING = 3,334 SF
DISTRIBUTION = 1,366 SF
COMMON AREA = 420 SF

TOTAL GFA = 5,120 SF

PARKING MATRIX:

PROPOSED:
ADULT USE DISTRIBUTION & MANUFACTURING:

TOTAL GFA = 5,120 SF

THEREFORE:

NON-USABLE AREA FOR PARKING CALCULATION :

- MECHANICAL ROOM = 80 SF
- ELECTRICAL ROOM = 40 SF
- RESTROOM = 62 SF
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TOTAL AREA IS = 230 SF

THEREFORE:

5,120 SF - 230 SF = 4,890 SF
TOTAL USEABLE AREA (UFA) = 4,890 SF

THEREFORE:

1 SPACE PER 500 SF :
4,890 SF / 500 = 9.78 PARKING NEEDED
PROVIDED 10 SPACE PARKING INCLUDING
1 ADA PARKING + 1 TRUCK LOADING

NOTE:
PER SECTION 5.92.765 OF THE MUNICIPAL CODE,
THE ENTRANCE TO THE CANNABIS FACILITY SHALL
BE VISIBLE FROM THE STREET.

ITEM NO.9:
AS NOTED IN THE WINDOW REQUIREMENT,
THE WINDOWS SHALL BE TRANSPARENT.
THEREFORE, PROPOSED LANDSCAPING
SHOULD NOT OBSCURE THE WINDOWS ON
THE STREET FRONTAGE.
NOTE:
LANDSCAPING PROPOSED TO USE CACTUS
PLANTS AND THE MAXIMUM HEIGHT IS 24"

SITE LEGEND

- PROPERTY LINE
- (E) WROUGHT IRON METAL SLIDING PARKING DOOR (6' HIGH)
- (E) METAL FENCE (6' HIGH)
- (E) & (N) LANDSCAPE TO REMAIN
- (N) GOLDEN BARREL CACTUS (MAX. HEIGHT IS 24")
- (N) APPLE CACTUS (MAX. HEIGHT IS 24")
- (N) MAN DOOR
- (N) TREES (EACH 4 PARKING SPACE 1 TREE REQUIRED)
- PARKING SPACE
- ACCESSIBLE PATH OF TRAVEL FROM PARKING 5% MAX SLOPE, 2% LATERALLY
- (E) & (N) FLOOD LIGHT TO REMAIN

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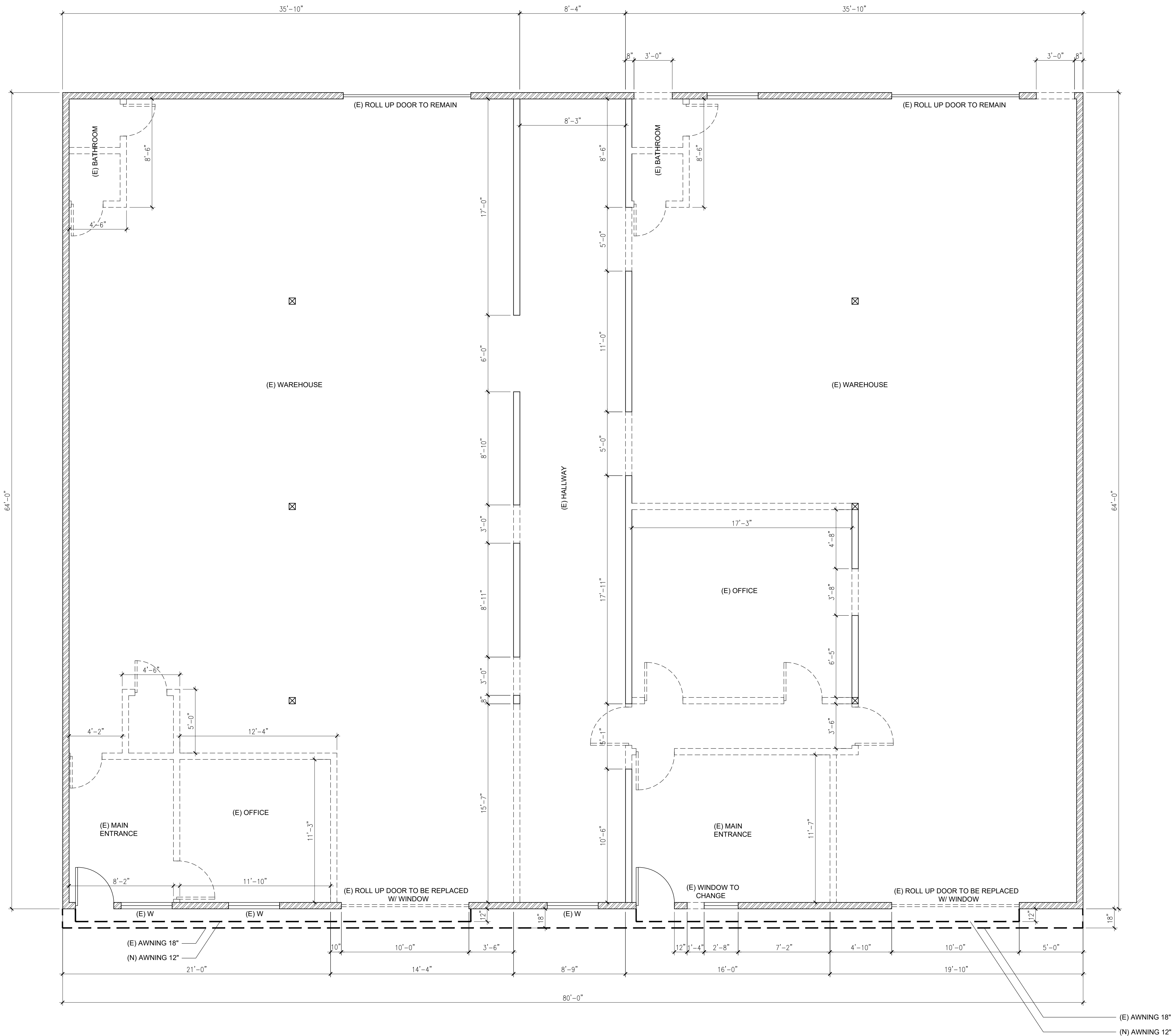
PROJECT TITLE:

ADULT USE
DISTRIBUTION
&
MANUFACTURING

PROPOSED SITE
PLAN

101519

SITE1.1



1/A1.0: EXISTING & DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND

- (E) 1-HR EXTERIOR WALL TO REMAIN
- (E) 1-HR INTERIOR WALLS
NON-LOAD BERING PARTITION WALL
2X4 STUDS @ 16" OC. 5/8" TYPE 'X'
RESISTANT GYP. BRD. @ EACH SIDE
- (E) WALLS, DOORS & WINDOWS TO BE REMOVED

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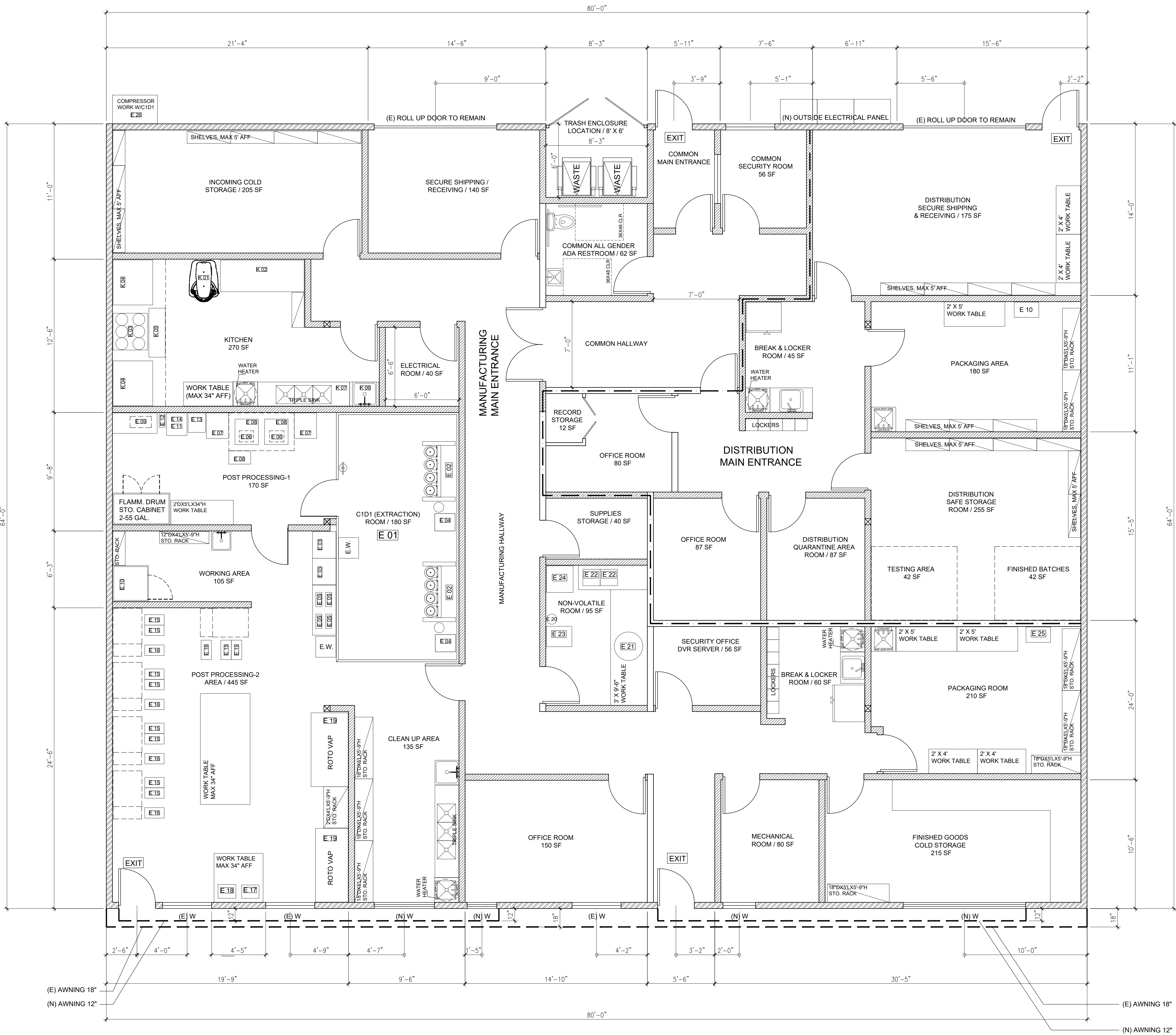
CONDITIONAL USE PERMIT FOR
AN ADULT USE DISTRIBUTION & MANUFACTURING

PROJECT TITLE:
ADULT USE
DISTRIBUTION
&
MANUFACTURING

EXISTING PLAN

101519

A1.0



1/A2.0: PROPOSED PLAN
SCALE: 1/4" = 1'-0"

WINDOWS CALCULATION:
WINDOWS SHALL COMPRISE AT LEAST FORTY PERCENT (40%) OF THE GROUND FLOOR BUILDING ELEVATION.

- BLDG. FRONT STREET LENGTH IS = 80 FEET
THEREFORE :
80 FEET X 40% = 32 FT. WINDOW NEEDED
PROVIDED 32 FT LENGTH WINDOWS

WINDOWS TRANSPARENCY:
PURSUANT TO SECTION 5.92.765 OF THE MUNICIPAL CODE, WINDOWS ALONG THE STREET-FACING FRONTAGE SHALL BE TRANSPARENT.SUCH GLASS SHOULD BE CLEAR WITH AN EXTERIOR DAYLIGHT REFLECTANCE OF NOT MORE THAN EIGHT PERCENT (8%).

WALL LEGEND

- (E) 1-HR EXTERIOR WALL TO REMAIN
- (E) 1-HR INTERIOR WALLS NON-LOAD BERING PARTITION WALL 2X4 STUDS @ 16" OC. 5/8" TYPE 'X' RESISTANT GYP. BRD. @ EACH SIDE
- (E) 1-HR INTERIOR WALLS NON-LOAD BERING PARTION WALL 2X4 STUDS @ 16" OC. 5/8" TYPE 'X' RESISTANT GYP. BRD. @ EACH SIDE
- (N) 2-HR INTERIOR SEPARATION WALL 2X4 STUDS @ 16" OC. 5/8" TYPE 'X' RESISTANT GYP. BRD. @ EACH SIDE

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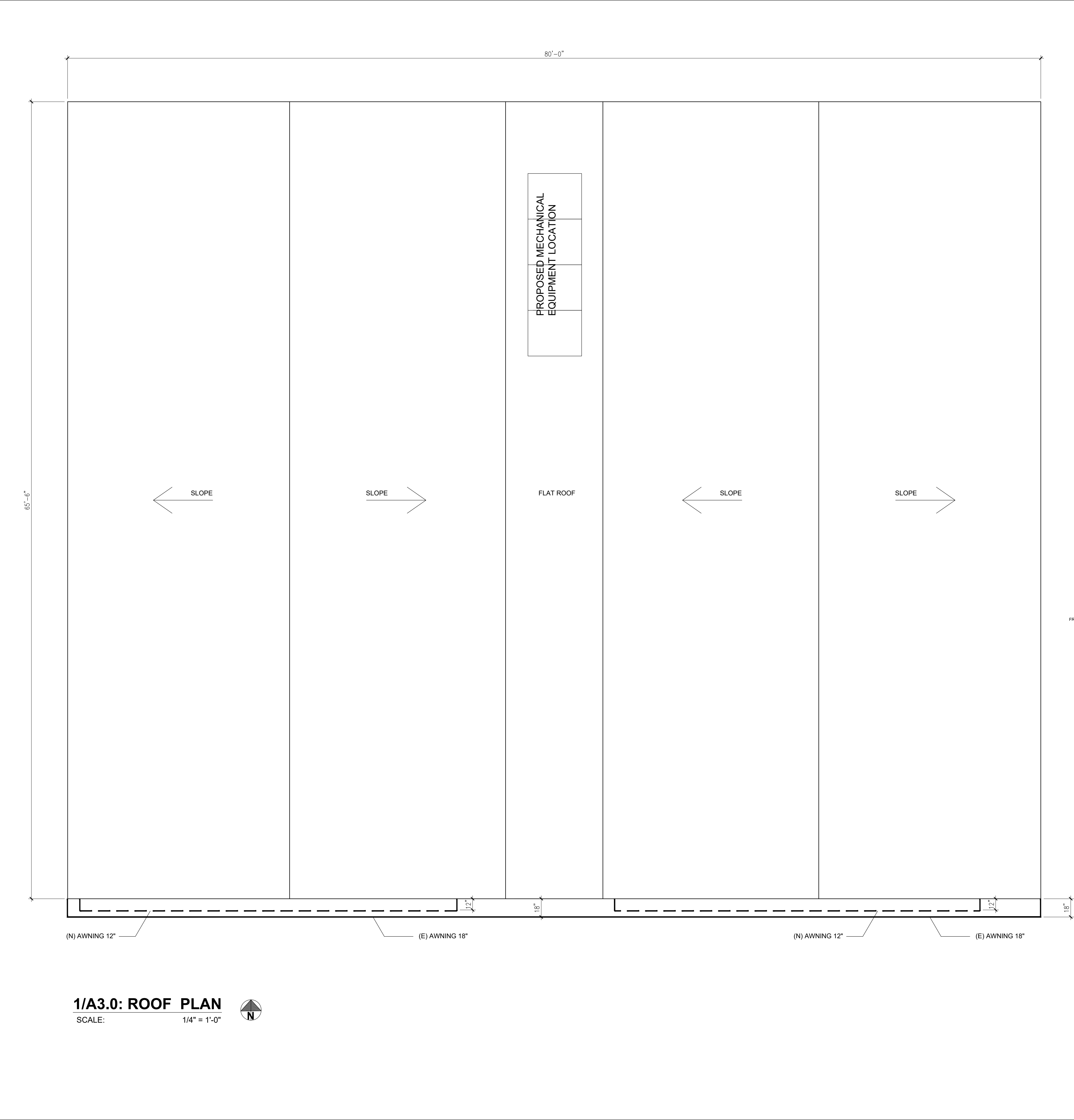
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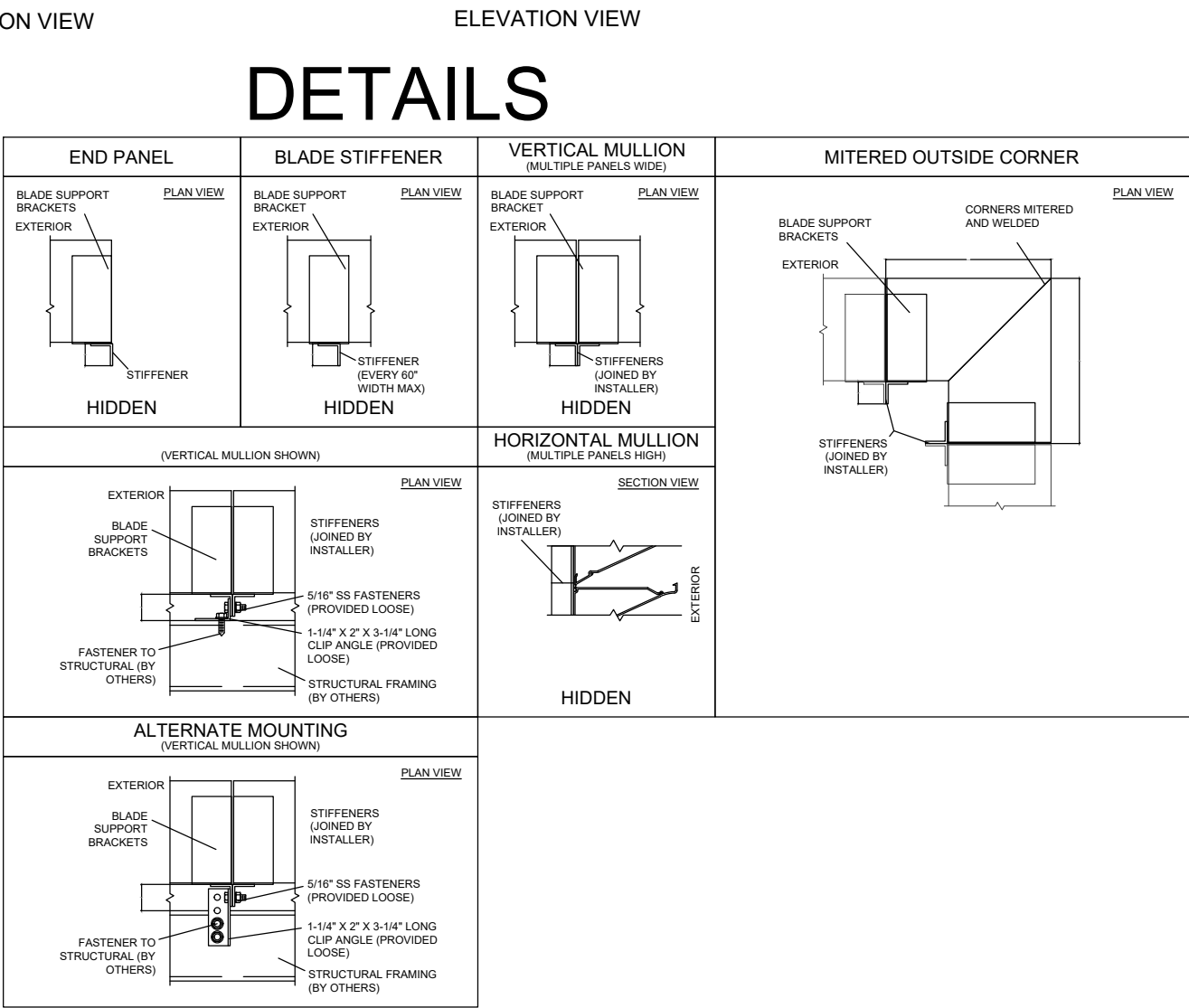
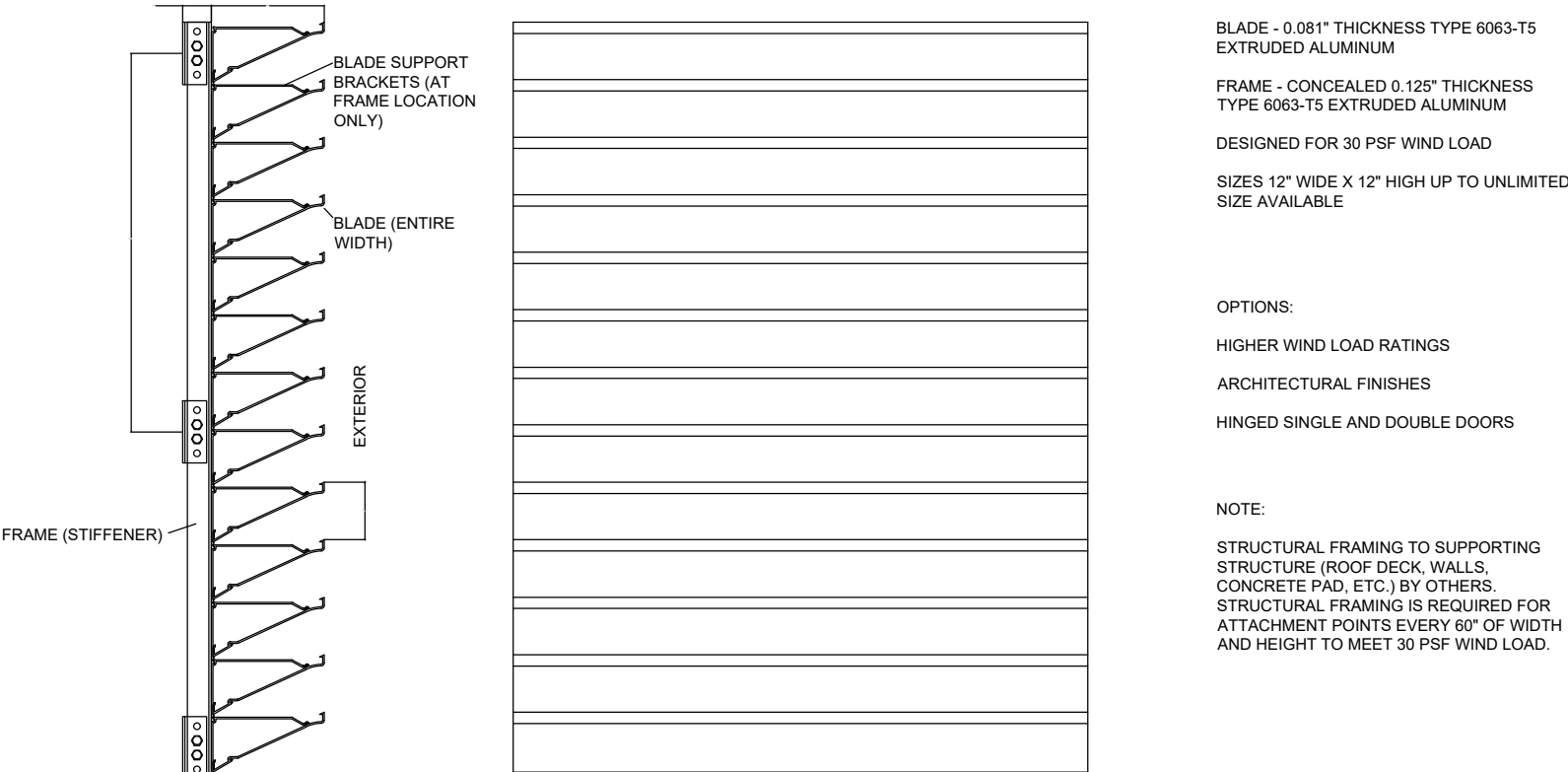
PROPOSED PLAN

101519

A2.0



V6JN3



4/A7.0: ROOF MOUNTED EQUIPMENT SCREENING
SCALE: N.T.S.

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CONDITIONAL USE PERMIT FOR
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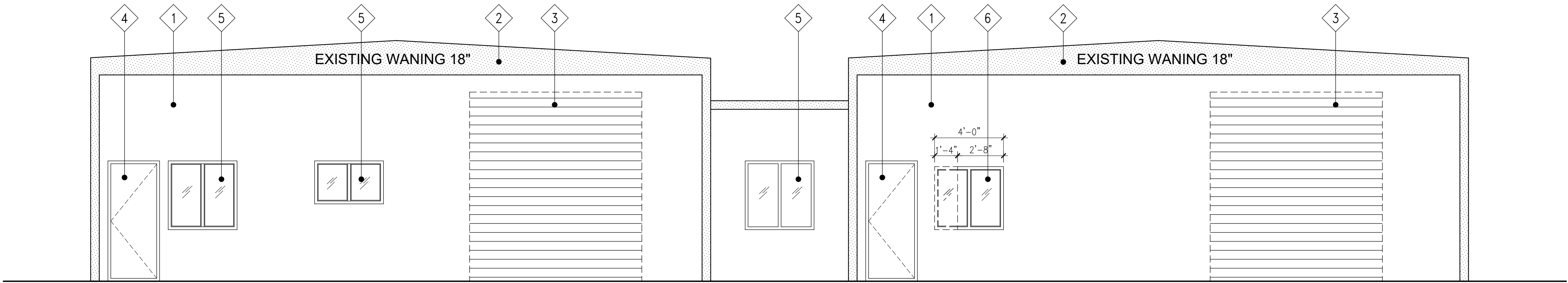
PROJECT TITLE:

ADULT USE
DISTRIBUTION
&
MANUFACTURING

ROOF PLAN

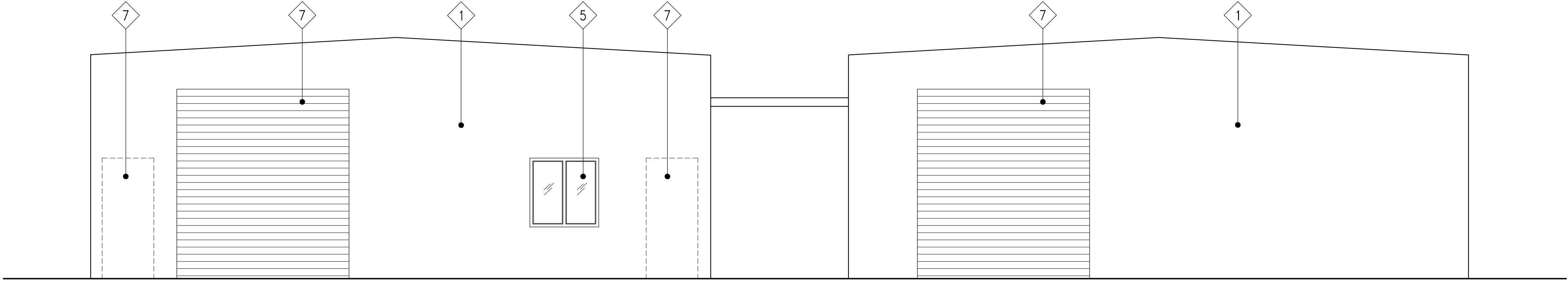
101519

A3.0



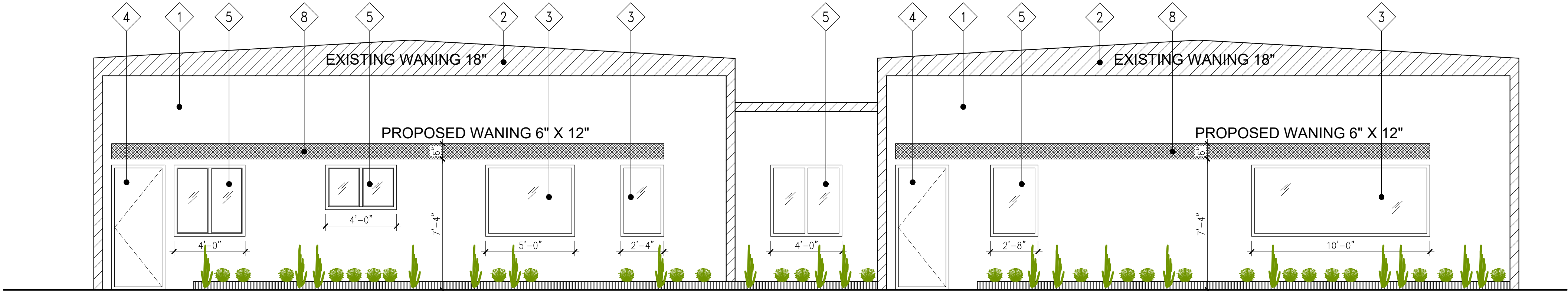
1/A4.0: EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



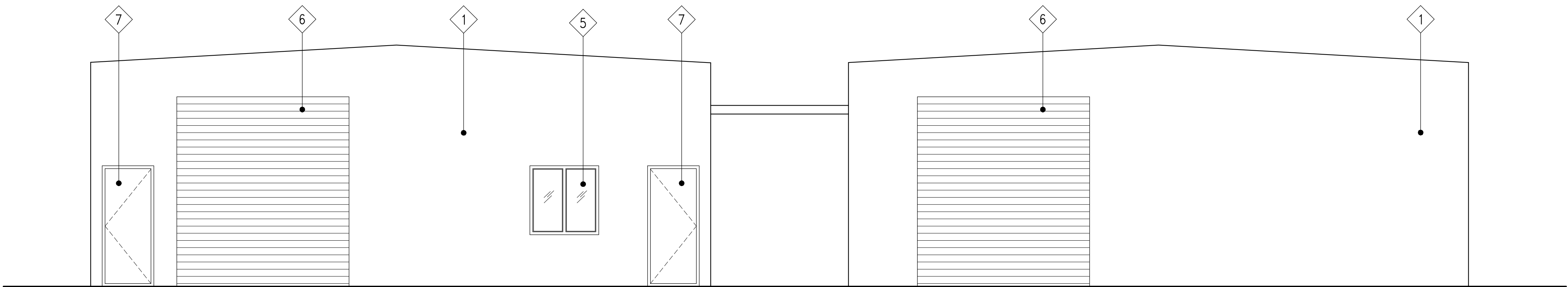
2/A4.0: EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



3/A4.0: PROPOSED SOUTH (STREET FRONT) ELEVATION

SCALE: 1/4" = 1'-0"



4/A4.0: PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

(E) ELEVATION NOTE:

KEY NOTE	INFORMATION	FINISHING TO BE CHANGE OR REMAIN
1	(E) SMOOTH STUCCO TO REMAIN	(E) WHITE COLOR TO BE CHANGE TO CONCRETE TEXTURE FINISHED
2	(E) 18" AWNING TO REMAIN	(E) WHITE COLOR TO BE CHANGE TO RECLAIMED LUMBER
3	(E) ROLL UP DOOR TO BE CHANGED TO FIXED WINDOW, NO CHANGE IN WIDTH	(E) GRAY COLOR TO BE CHANGED
4	(E) EXIT DOOR TO REMAIN	(E) LIGHT GRAY COLOR TO REMAIN
5	(E) GLAZED WINDOW TO BE CHANGED TO FIXED WINDOW	(E) WINDOW SIZE TO REMAIN
6	(E) GLAZED WINDOW TO BE CHANGED TO FIXED WINDOW & CHANGED THE SIZE	(E) WINDOW SIZE TO BE CHANGED
7	(N) DOORS LOCATION AT BACK SIDE OF THE BUILDING	

WINDOWS CALCULATION:
WINDOWS SHALL COMPRISE AT LEAST FORTY PERCENT (40%) OF THE GROUND FLOOR BUILDING ELEVATION.

- BLDG. FRONT STREET LENGTH IS = 80 FEET
THEREFORE :
80 FEET X 40% = 32 FT. WINDOW NEEDED
PROVIDED 32 FT LENGTH WINDOWS

WINDOWS TRANSPARENCY:
PURSUANT TO SECTION 5.92.765 OF THE MUNICIPAL CODE, WINDOWS ALONG THE STREET-FACING FRONTAGE SHALL BE TRANSPARENT. SUCH GLASS SHOULD BE CLEAR WITH AN EXTERIOR DAYLIGHT REFLECTANCE OF NOT MORE THAN EIGHT PERCENT (8%).

ITEM NO.9:
AS NOTED IN THE WINDOW REQUIREMENT, THE WINDOWS SHALL BE TRANSPARENT. THEREFORE, PROPOSED LANDSCAPING SHOULD NOT OBSCURE THE WINDOWS ON THE STREET FRONTAGE.
NOTE:
LANDSCAPING PROPOSED TO USE CACTUS PLANTS AND THE MAXIMUM HEIGHT IS 24"

(N) ELEVATION NOTE:

KEY NOTE	INFORMATION	FINISHING TO BE CHANGE OR REMAIN
1	(N) CONCRETE TEXTURE FINISHING	(N) CONCRETE FINISH
2	(N) RECLAIMED LUMBER @ (E) 18" AWNING (JUST MATERIAL CHANGED)	(N) VARIES WOOD
3	(N) FIXED WINDOW, 1/2" TEM. GLAZING, 2" BUSH ALU FRAMING	SMOKED 70% OPAQUE
4	(E) EXIT DOOR TO REMAIN (LOCKED FROM OUTSIDE)	(N) LIGHT GRAY COLOR
5	(N) FIXED WINDOW, NO CHANGE IN DIMS 1/2" TEMPERED GLAZING, 2" BRUSH ALU FRAMING	SMOKED 70% OPAQUE FRONT STREET WINDOWS REFLECTANCE OF NOT MORE THAN 8%
6	(E) ROLL UP DOOR @ BACK SIDE OF BLDG TO REMAIN	(E) LIGHT GRAY COLOR
7	(N) EXIT DOOR TO REMAIN (LOCKED FROM OUTSIDE)	(N) LIGHT GRAY COLOR
8	(N) 6" X 12" SOLID CONSTRUCTION AWNING, TO MATCH WIDTH OF NEW PLANTER. FINISHED TO MATCH COLORING OF PLANTER RAW STEEL	PAINTED TO MATCH RAW STEEL FINISH
8	(N) LANDSCAPING (USE CACTUS PLANTS) MAX. HEIGHT IS 24" (NOT OBSCURE THE WINDOWS	

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CONDITIONAL USE PERMIT FOR
AN ADULT USE DISTRIBUTION & MANUFACTURING

PROJECT TITLE:

ADULT USE
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&
MANUFACTURING

EXISTING & PROPOSED
ELEVATIONS

101519

A4.0



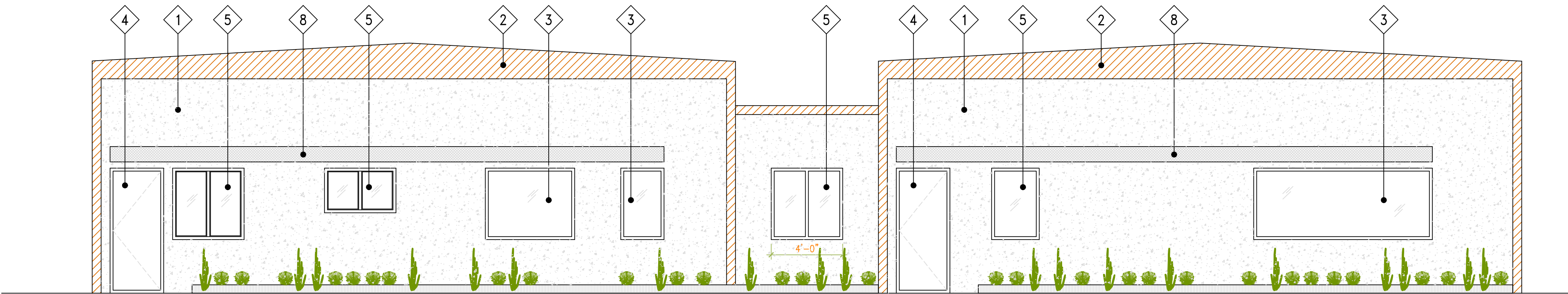
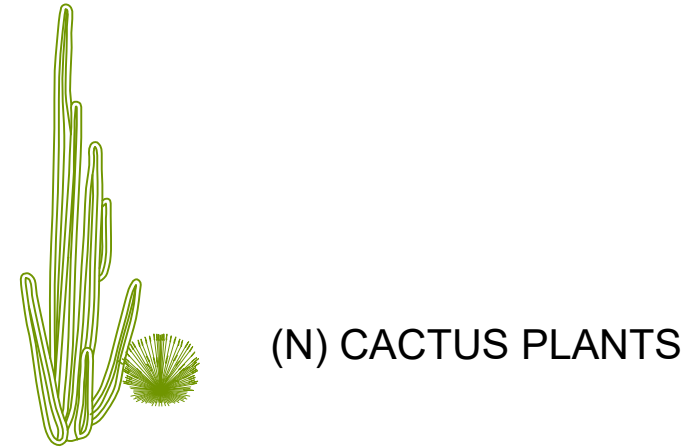
1/A4.1: (E) FRONT BUILDING FACADE
SCALE: N.T.S.



2/A4.1: (N) FRONT BUILDING FACADE
SCALE: N.T.S.



(N) LANDSCAPING LEGEND



3/A4.1: PROPOSED SOUTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

(N) ELEVATION NOTE:

KEY NOTE	INFORMATION	FINISHING TO BE CHANGE OR REMAIN
1	(N) CONCRETE TEXTURE FINISHING	(N) CONCRETE FINISH
2	(N) RECLAIMED LUMBER @ (E) 18" AWNING (JUST MATERIAL CHANGED)	(N) VARIES WOOD
3	(N) FIXED WINDOW, 1/2" TEM. GLAZING, 2" BUSH ALU FRAMING	SMOKED 70% OPAQUE
4	(E) EXIT DOOR TO REMAIN (LOCKED FROM OUTSIDE)	(N) LIGHT GRAY COLOR
5	(N) FIXED WINDOW, NO CHANGE IN DIMS 1/2" TEMPERED GLAZING, 2" BRUSH ALU FRAMING	SMOKED 70% OPAQUE FRONT STREET WINDOWS REFLECTANCE OF NOT MORE THAN 8%
6	(E) ROLL UP DOOR @ BACK SIDE OF BLDG TO REMAIN	(E) LIGHT GRAY COLOR
7	(N) EXIT DOOR TO REMAIN (LOCKED FROM OUTSIDE)	(N) LIGHT GRAY COLOR
8	(N) 6" X 12" SOLID CONSTRUCTION AWNING, TO MATCH WIDTH OF NEW PLANTER. FINISHED TO MATCH COLORING OF PLANTER RAW STEEL	PAINTED TO MATCH RAW STEEL FINISH
8	(N) LANDSCAPING (USE CACTUS PLANTS) MAX. HEIGHT IS 24" (NOT OBSCURE THE WINDOWS)	

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COWLES VENTURES, LLC
ARAIK GEVORGYAN
1445-1449 W. COWLES ST.
LONG BEACH, CA 90813
NICKPROPERTY7@GMAIL.COM

DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA 91364
310-562-5382
RBPLANDESIGN@GMAIL.COM
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APPLICANT :
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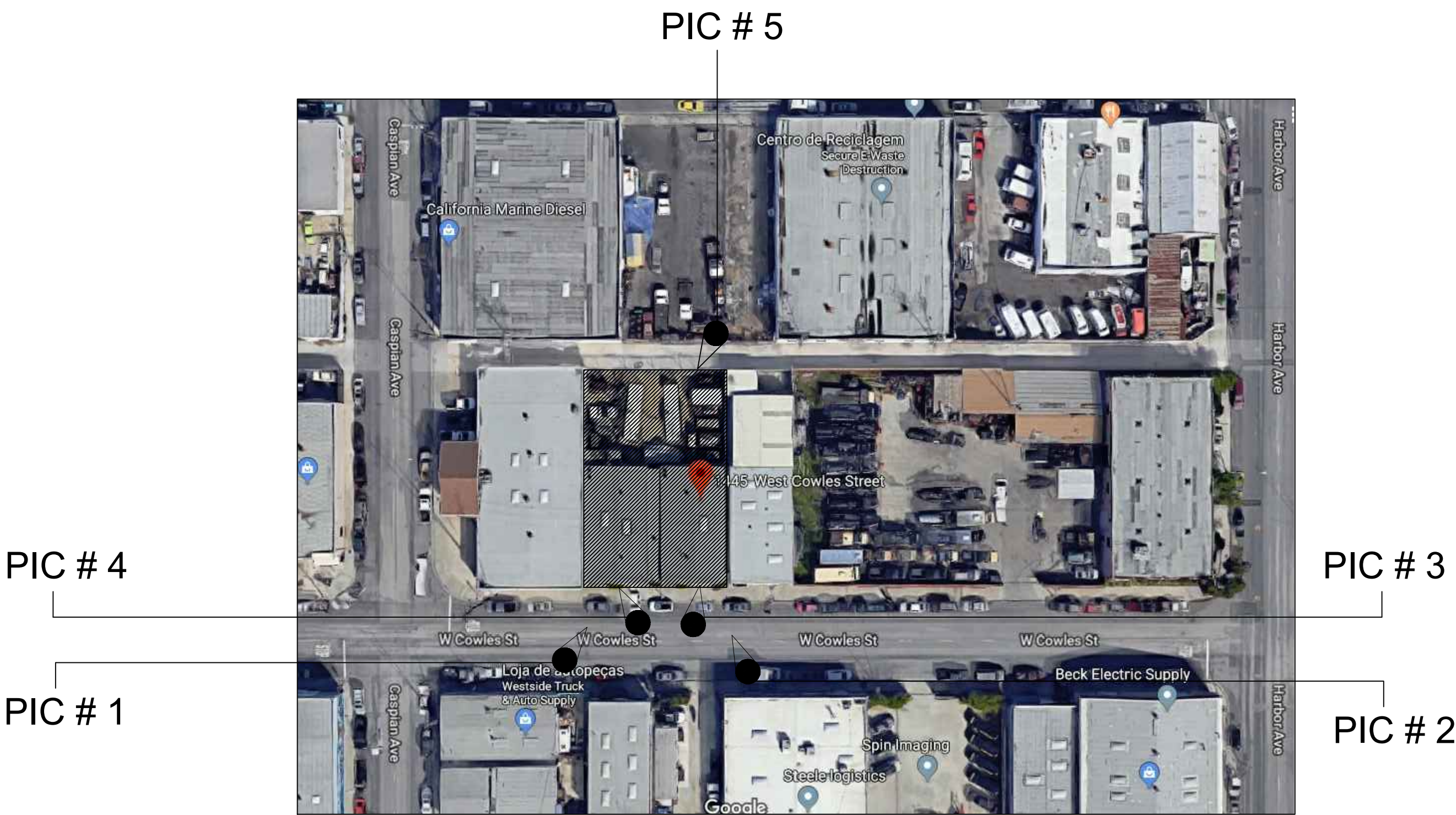
ADULT USE DISTRIBUTION & MANUFACTURING
1445-1449 W. COWLES ST, LONG BEACH, CA 90813
CONDITIONAL USE PERMIT FOR
AN ADULT USE DISTRIBUTION & MANUFACTURING

PROJECT TITLE:
ADULT USE
DISTRIBUTION
&
MANUFACTURING

EXISTING & PROPOSED
COLOR ELEVATIONS

101519

A4.1



OWNER:
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PHOTO INDEX
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