

1 PROPOSED SITE PLAN PHASE 1  
1" = 40'-0"

| DEVELOPER/OWNER  | LEGAL DESCRIPTION  | SITE LEGEND  | UTILITY PROVIDERS  | SCOPE OF WORK  | SITE PLAN GENERAL NOTES  | KEYNOTES  |  |
|--|--|--|--|--|--|---|--|
| BRIDGE DEVELOPMENT PARTNERS, LLC<br>1600 EAST FANKLIN AVE. SUITE D<br>EL SEGUNDO CA, 90245<br><br>CONTACT: ROSENDO SOLIS<br>PHONE: 213-318-4854<br>EMAIL: RSOLIS@BRIDGEDEV.COM | LOTS 31 AND 32, IN BLOCK 27, OF CALIFORNIA CO-OPERATIVE COLONY TRACT, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 21 PAGE(S) 15 AND 16 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.<br>EXCEPT THE WEST 30 FEET THEREOF, ALSO EXCEPT THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED AUGUST 6, 1951 IN BOOK 36938 PAGE 314, OFFICIAL RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:<br>PARCEL 1:<br>THE NORTHERLY 55 FEET OF LOT 32, THE NORTHERLY LINE OF SAID 55 FEET BEING COINCIDENT WITH THE CENTER LINE OF THAT CERTAIN UNNAMED STREET SHOWN ON SAID MAP AS DIVIDING BLOCKS 21 AND 27 OF SAID TRACT, NOW ARTESIA STREET, 60 FEET WIDE, AND THE EASTERLY LINE THEREOF BEING COINCIDENT WITH THE CENTER LINE OF OCEAN AVENUE, NOW PARAMOUNT BOULEVARD, 100 FEET WIDE, EXCEPT THE WESTERLY 30 FEET THEREOF.<br>PARCEL 2:<br>THAT PORTION OF LOT 32, DESCRIBED AS FOLLOWS:<br>BEGINNING AT THE INTERSECTION OF THE WESTERLY LINE OF PARAMOUNT BOULEVARD, 100 FEET WIDE, WITH THE SOUTHERLY LINE OF THE ABOVE DESCRIBED PARCEL 1;<br>THENCE SOUTHERLY ALONG SAID WESTERLY LINE, A DISTANCE OF 20 FEET; THENCE NORTHWESTERLY IN A DIRECT LINE TO A POINT IN SAID SOUTHERLY LINE, DISTANT 20 FEET WESTERLY THEREON FROM SAID POINT OF BEGINNING;<br>THENCE EASTERLY ALONG SAID SOUTHERLY LINE A DISTANCE OF 20 FEET TO SAID POINT OF BEGINNING.<br>APN: 7116-002-007<br>THIS DESCRIPTION DESCRIBES ALL THAT REAL PROPERTY DESCRIBED IN TITLE REPORT IDENTIFIED AS CHICAGO TITLE COMPANY, ORDER NO 00074739-994-L2-C, DATED JUNE 14, 2017. | <div><div></div>BUILDING</div> <div><div></div>LANDSCAPE AREA</div> <div><div></div>CONCRETE PAVING</div> <div><div>18'-0"</div><div>10'-0"</div></div> STANDARD PARKING STALL | WATER - CITY OF LONG BEACH<br>SEWER - CITY OF LONG BEACH<br>ELECTRIC - SO CAL Edison | NEW SPECULATIVE CONCRETE TILT-UP BUILDING FOR WAREHOUSE & OFFICE USE. INCLUDES SITE IMPROVEMENTS AS SHOWN. POTENTIAL OFFICES INCLUDING MEZZANINE.  | 1. SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.<br>2. GENERAL CONTRACTOR TO REVIEW SOLS REPORT PREPARED BY _____ DATED _____ AND ANY SUBSEQUENT AMENDMENTS, G.G. TO CONFORM COMPLIANCE.<br>3. REFER TO CIVIL DRAWINGS FOR ADDITIONAL UTILITY INFORMATION AND DRAINAGE POINTS OF CONNECTION TO OFFSITE UTILITIES AND BUILDING POINTS OF CONNECTION.<br>4. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION BETWEEN OFFSITES, CIVIL, M.E.P. & FP DRAWINGS.<br>5. GRADES SURROUNDING BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.<br>6. REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS AND PERFORATIONS ON NON-CONCRETE AREAS.<br>7. GENERAL CONTRACTOR TO CONFIRM AND COMPLY WITH ALL BUILDING, FIRE, AND ENGINEERING DEPARTMENT REGULATIONS DURING CONSTRUCTION INCLUDING ANY TEMPORARY FACILITIES REQUIRED.<br>8. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY 6" MIN. CONCRETE CURB TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.<br>9. ALL ADA PATHS OF TRAVEL NOTED ON PLANS TO MEET THE FOLLOWING MINIMUM REQUIREMENTS: NO abrupt CHANGES IN ELEVATION ALLOWABLE ALONG THE PATH OF TRAVEL. THE SLOPE AND CROSS-SLOPE SHALL NOT EXCEED 5% AND 2% RESPECTIVELY UNLESS AN ADA COMPLIANT RAMP OR CURB RAMP IS DESIGNED BY THE CIVIL ENGINEER.<br>IF A WALK CROSSES OR ADJAINS A VEHICLE WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILING OR OTHER ELEMENTS | 1. SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.<br>2. GENERAL CONTRACTOR TO REVIEW SOLS REPORT PREPARED BY _____ DATED _____ AND ANY SUBSEQUENT AMENDMENTS, G.G. TO CONFORM COMPLIANCE.<br>3. REFER TO CIVIL DRAWINGS FOR ADDITIONAL UTILITY INFORMATION AND DRAINAGE POINTS OF CONNECTION TO OFFSITE UTILITIES AND BUILDING POINTS OF CONNECTION.<br>4. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION BETWEEN OFFSITES, CIVIL, M.E.P. & FP DRAWINGS.<br>5. 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MONUMENT SIGN.<br>12. CONCRETE TRUCK RAMP WITH 42" HIGH CONC. TILT UP ELEVATIONS<br>13. GUARD WALLS PAINTED TO MATCH BUILDING. SEE ELEVATIONS<br>14. DRIVE THRU LOADING DOOR 12X14" WITH VISION GLAZING. PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.<br>15. WALL MOUNTED LIGHT PACK, CENTER ON PANEL.<br>16. REVEALS. COORDINATE WITH ELECTRICAL ENGINEER.<br>17. KNOX BOX<br>18. 40"x80" SOIL VAPOR EXTRACTION ABOVE GROUND STRUCTURE NO LANDSCAPES<br>19. PROTECT IN PLACE (E) MONUMENT |
| APPLICANT'S REPRESENTATIVE/ARCHITECT   | HERDMAN ARCHITECTURE + DESIGN, INC.<br>16201 SCIENTIFIC WAY<br>IRVINE, CA 92618<br>CONTACT: BRIDGET HERDMAN<br>PHONE: 714.389.2800<br>EMAIL: BRIDGET@HERDMAN-AD.COM  | <div><div></div>CONCRETE PAVING</div> <div><div>18'-0"</div><div>10'-0"</div></div> STANDARD PARKING STALL   | VICINITY   | PROJECT INFORMATION  | 10. ALL SPECIFICATIONS ON DRAWINGS ARE MINIMUM REQUIREMENTS ONLY. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY CONFLICTS IN DRAWINGS AND SPECIFICATIONS VIA TRF.<br>11. GENERAL CONTRACTOR TO REFER TO ARCHITECTURAL DETAIL SHEETS FOR TYPICAL MINIMUM SITE IMPROVEMENT STANDARDS.<br>12. CONCRETE MOW STRIP PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL GLAZING/STOREFRONT LOCATIONS WHERE ADJACENT TO LANDSCAPING.<br>13. CONCRETE SPLASH BLOCK PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL ROOF DRAINDOWN SPOUT TERMINATIONS AT NON-CONCRETE AREAS.<br>14. BRASS LAMB'S TONGUE TO BE PROVIDED AT ALL ROOF DRAIN OFFFLOWS THAT DAYLIGHT AT FACE OF BUILDING WALL.<br>15. GATES, FENCES, AND WALLS MAY BE SUBJECT TO DEFERRED SUBMITTAL REQUIREMENTS. GENERAL CONTRACTOR TO CONFIRM WITH CITY AND MUST SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.  | 11. NEW DRIVE CUT, PER CITY OR COUNTY STANDARDS. REFER TO LANDSCAPE DRAWINGS FOR FINISHED PAVING DESIGN IF APPLICABLE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFO.<br>12. CONCRETE PAVING. REFER TO CIVIL DRAWINGS FOR SECTION AND DRAINAGE. G.G. TO COORDINATE WITH SOLS REPORT. REFER TO STRUCTURAL DRAWINGS FOR CONCRETE DESIGN AT THICK WALLS IF APPLICABLE.<br>13. EXTERIOR CONCRETE STAIR WOODWORKER WALLS, WALLS & RAILINGS PAINTED PER EXTERIOR COLOR SCHEDULE. REFER TO CIVIL AND STRUCTURAL DRAWINGS.<br>14. LANDSCAPE AREA - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION<br>15. PROPOSED TRANSFORMER LOCATION. PROVIDE BOLLARDS PER UTILITY COMPANY REQUIREMENTS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.<br>16. SLIDING METAL GATE. ELECTRONICALLY OR MANUALLY OPERATED. PROVIDE CONDUIT TO OFFICE AREA FOR GATE CONTROL @ INTERCOM. PROVIDE KNOX PAD PER FIRE DEPT. STD.<br>17. PROTECTIVE METAL BOLLARDS, CONCRETE FILLED, PAINTED, TYP.<br>18. LIGHT POLE FIXTURE PER ELECTRICAL PLANS.<br>19. METAL TUBE STEEL FENCE, 8' HIGH<br>20. PUMP HOUSE<br>21. MONUMENT SIGN.<br>22. CONCRETE TRUCK RAMP WITH 42" HIGH CONC. TILT UP ELEVATIONS<br>23. GUARD WALLS PAINTED TO MATCH BUILDING. SEE ELEVATIONS<br>24. DRIVE THRU LOADING DOOR 12X14" WITH VISION GLAZING. PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.<br>25. WALL MOUNTED LIGHT PACK, CENTER ON PANEL.<br>26. REVEALS. COORDINATE WITH ELECTRICAL ENGINEER.<br>27. KNOX BOX<br>28. 40"x80" SOIL VAPOR EXTRACTION ABOVE GROUND STRUCTURE NO LANDSCAPES<br>29. PROTECT IN PLACE (E) MONUMENT |  |
| SHEET  | A1. SITE PLAN<br>A1.1 SITE DETAILS<br>A1.2 SITE DETAILS<br>A1.3 SITE DETAILS<br>A1.4 SIGNAGE PLAN<br>A1.5 FUTURE USE EXHIBIT<br>A1.6 COLOR ELEVATIONS AND 3D RENDERING<br>A1.7 MATERIAL BOARD<br>A2. FLOOR PLAN<br>A3. ROOF PLAN<br>A4. EXTERIOR ELEVATIONS<br>C1. CONCEPTUAL GRADING PLAN<br>C2. CONCEPTUAL UTILITY PLAN<br>C3. CONCEPTUAL STORM DRAIN PLAN<br>C4. CONCEPTUAL UTILITY PROFILES<br>C5. CONCEPTUAL UTILITY PROFILES<br>C6. TRUCK TURN EXHIBITS<br>L1. CONCEPTUAL LANDSCAPE PLAN   | <div><div></div>PROPERTY LINE</div> <div><div></div>DOCK HIGH DOOR</div> <div><div></div>DRIVE THRU. DOOR</div>  | 91 FWY<br>ARTESIA<br>CHERRY AVE.<br>PARAMOUNT<br>PROJECT LOCATION<br>NORTH           | PROJECT INFORMATION<br>4.22.2019<br>NOTE:<br>CLEAR HEIGHT 36' @ 6" INSIDE FIRST COLUMN<br>GROSS SITE AREA 17.24 AC 750,862 SF<br>TOTAL BUILDING AREA 415,589 SF<br>FOOTPRINT 289,282 SF<br>WAREHOUSE OFFICE 389,552 SF<br>MEZZANINE 5,000 SF<br>OFFICE 21,000 SF<br>LOT COVERAGE 52.6%<br>MAX LOT COVERAGE 80.0%<br>LANDSCAPE PROVIDED 60,981 SF<br>ALL AREAS EXCLUSIVE OF BUILDINGS, DRIVES, PARKING SPACES, WALKWAYS<br>PARKING REQUIRED BUILDING WAREHOUSE @ 17,100 416<br>OFFICE @25% - WAREHOUSE 416<br>TOTAL REQUIRED 416<br>PARKING PROVIDED 416<br>STANDARD 423<br>ADA 10<br>ADA 2<br>EVC 7<br>FUTURE EVC 84<br>TRAILER 53 | 1. SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.<br>2. GENERAL CONTRACTOR TO REVIEW SOLS REPORT PREPARED BY _____ DATED _____ AND ANY SUBSEQUENT AMENDMENTS, G.G. TO CONFORM COMPLIANCE.<br>3. REFER TO CIVIL DRAWINGS FOR ADDITIONAL UTILITY INFORMATION AND DRAINAGE POINTS OF CONNECTION TO OFFSITE UTILITIES AND BUILDING POINTS OF CONNECTION.<br>4. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION BETWEEN OFFSITES, CIVIL, M.E.P. & FP DRAWINGS.<br>5. GRADES SURROUNDING BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.<br>6. REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS AND PERFORATIONS ON NON-CONCRETE AREAS.<br>7. GENERAL CONTRACTOR TO CONFIRM AND COMPLY WITH ALL BUILDING, FIRE, AND ENGINEERING DEPARTMENT REGULATIONS DURING CONSTRUCTION INCLUDING ANY TEMPORARY FACILITIES REQUIRED.<br>8. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY 6" MIN. CONCRETE CURB TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.<br>9. ALL ADA PATHS OF TRAVEL NOTED ON PLANS TO MEET THE FOLLOWING MINIMUM REQUIREMENTS: NO abrupt CHANGES IN ELEVATION ALLOWABLE ALONG THE PATH OF TRAVEL. THE SLOPE AND CROSS-SLOPE SHALL NOT EXCEED 5% AND 2% RESPECTIVELY UNLESS AN ADA COMPLIANT RAMP OR CURB RAMP IS DESIGNED BY THE CIVIL ENGINEER.<br>IF A WALK CROSSES OR ADJAINS A VEHICLE WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILING OR OTHER ELEMENTS | 1. NEW DRIVE CUT, PER CITY OR COUNTY STANDARDS. REFER TO LANDSCAPE DRAWINGS FOR FINISHED PAVING DESIGN IF APPLICABLE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFO.<br>2. CONCRETE PAVING. REFER TO CIVIL DRAWINGS FOR SECTION AND DRAINAGE. G.G. TO COORDINATE WITH SOLS REPORT. REFER TO STRUCTURAL DRAWINGS FOR CONCRETE DESIGN AT THICK WALLS IF APPLICABLE.<br>3. EXTERIOR CONCRETE STAIR WOODWORKER WALLS, WALLS & RAILINGS PAINTED PER EXTERIOR COLOR SCHEDULE. REFER TO CIVIL AND STRUCTURAL DRAWINGS.<br>4. LANDSCAPE AREA - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION<br>5. PROPOSED TRANSFORMER LOCATION. PROVIDE BOLLARDS PER UTILITY COMPANY REQUIREMENTS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.<br>6. SLIDING METAL GATE. ELECTRONICALLY OR MANUALLY OPERATED. PROVIDE CONDUIT TO OFFICE AREA FOR GATE CONTROL @ INTERCOM. PROVIDE KNOX PAD PER FIRE DEPT. STD.<br>7. PROTECTIVE METAL BOLLARDS, CONCRETE FILLED, PAINTED, TYP.<br>8. LIGHT POLE FIXTURE PER ELECTRICAL PLANS.<br>9. METAL TUBE STEEL FENCE, 8' HIGH<br>10. PUMP HOUSE<br>11. MONUMENT SIGN.<br>12. CONCRETE TRUCK RAMP WITH 42" HIGH CONC. TILT UP ELEVATIONS<br>13. GUARD WALLS PAINTED TO MATCH BUILDING. SEE ELEVATIONS<br>14. DRIVE THRU LOADING DOOR 12X14" WITH VISION GLAZING. PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.<br>15. WALL MOUNTED LIGHT PACK, CENTER ON PANEL.<br>16. REVEALS. COORDINATE WITH ELECTRICAL ENGINEER.<br>17. KNOX BOX<br>18. 40"x80" SOIL VAPOR EXTRACTION ABOVE GROUND STRUCTURE NO LANDSCAPES<br>19. PROTECT IN PLACE (E) MONUMENT          |  |

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PATH OF TRAVEL

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PROPERTY LINE

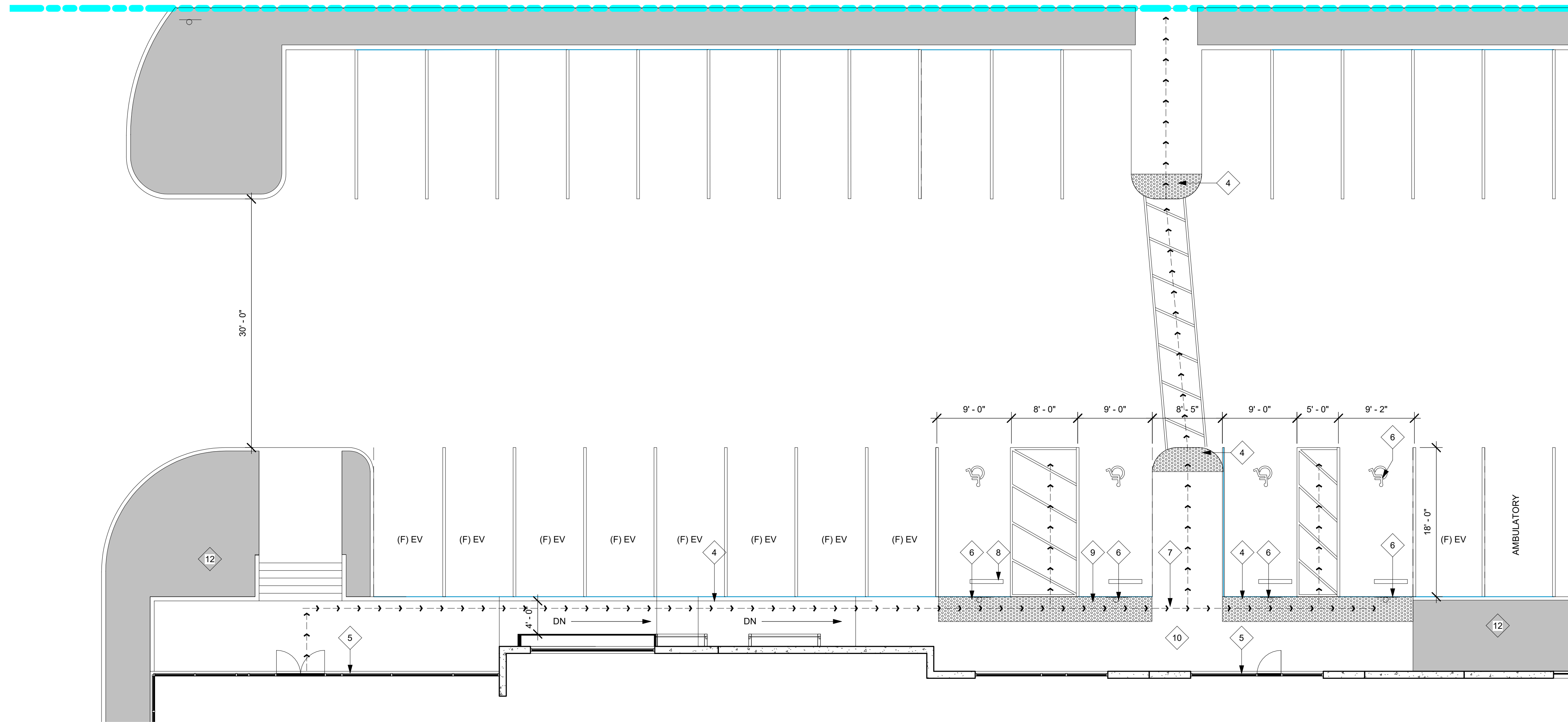
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DOCK HIGH DOOR

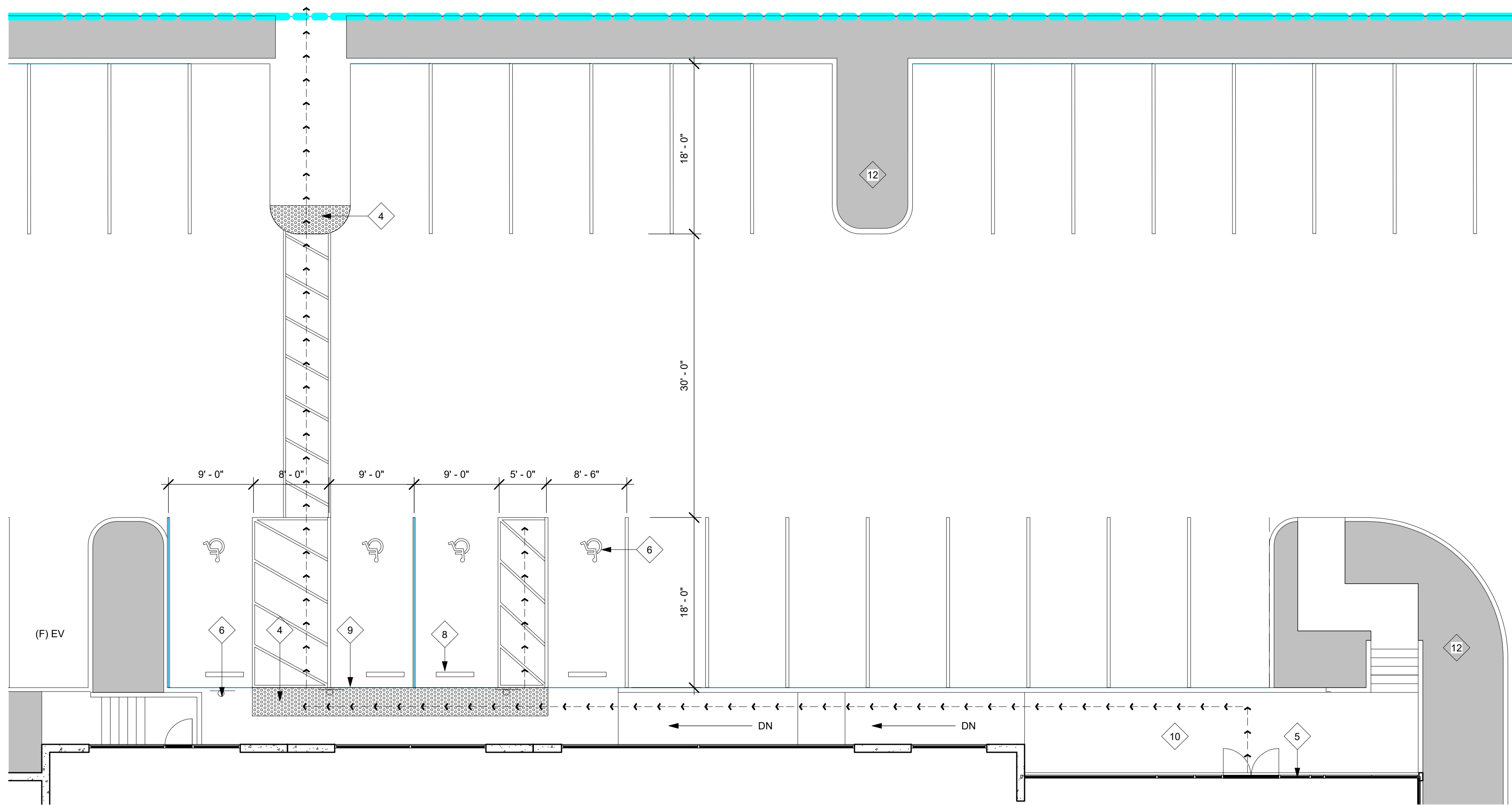
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DRIVE THRU- DOOR



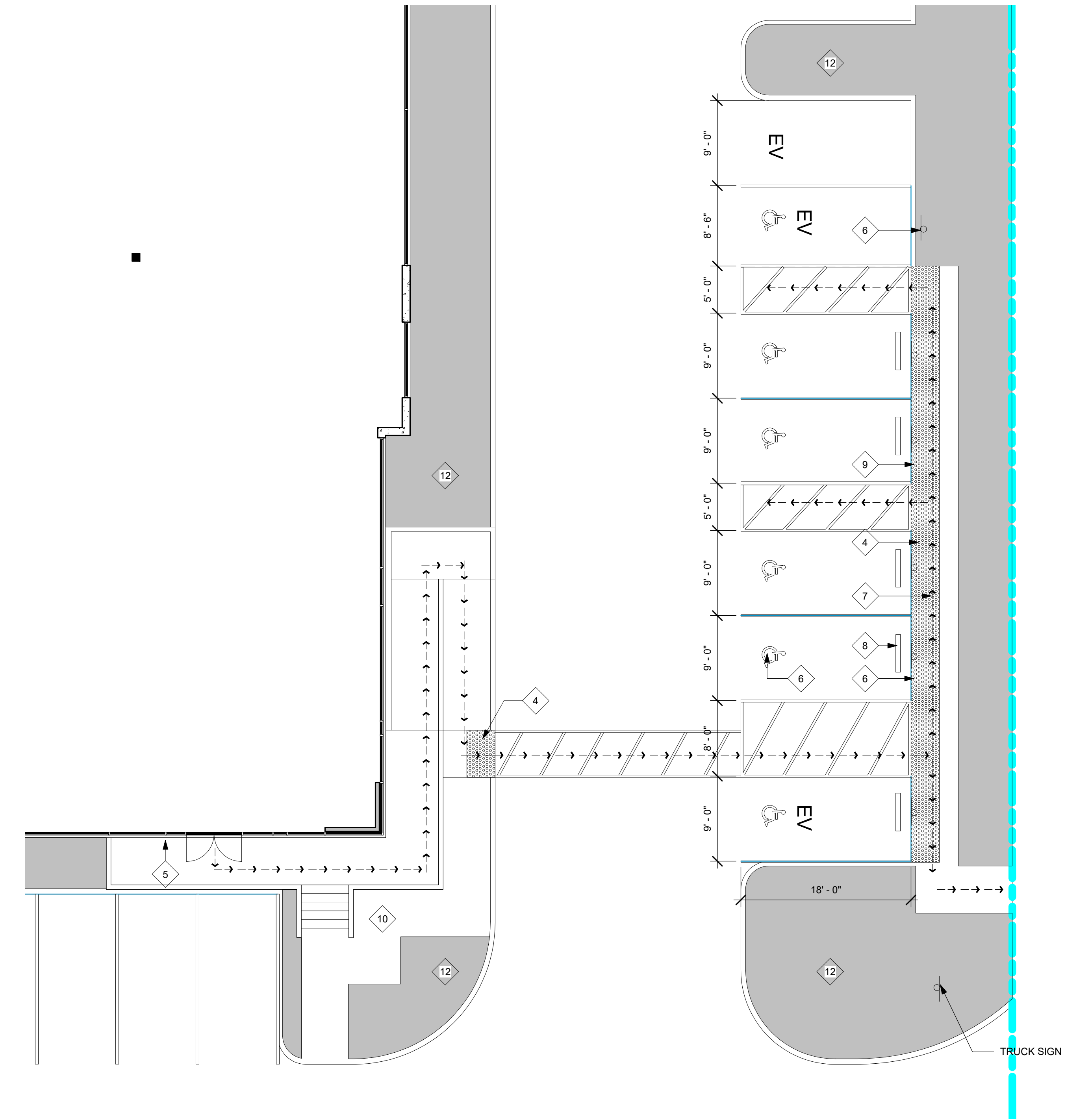


ENLARGED ADA PARKING AT  
NORTHWEST OFFICE  
①  
1/8" = 1'-0"



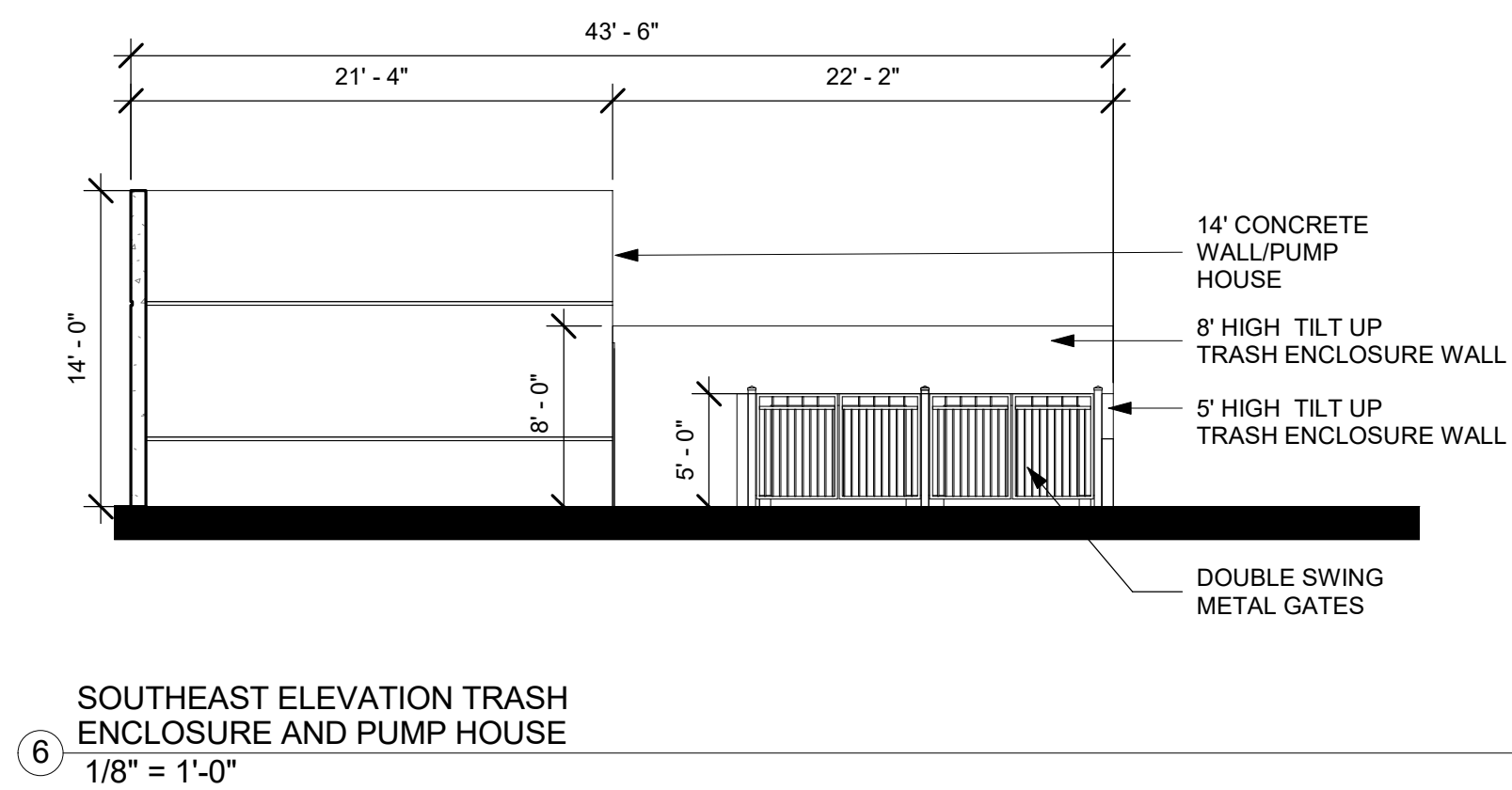
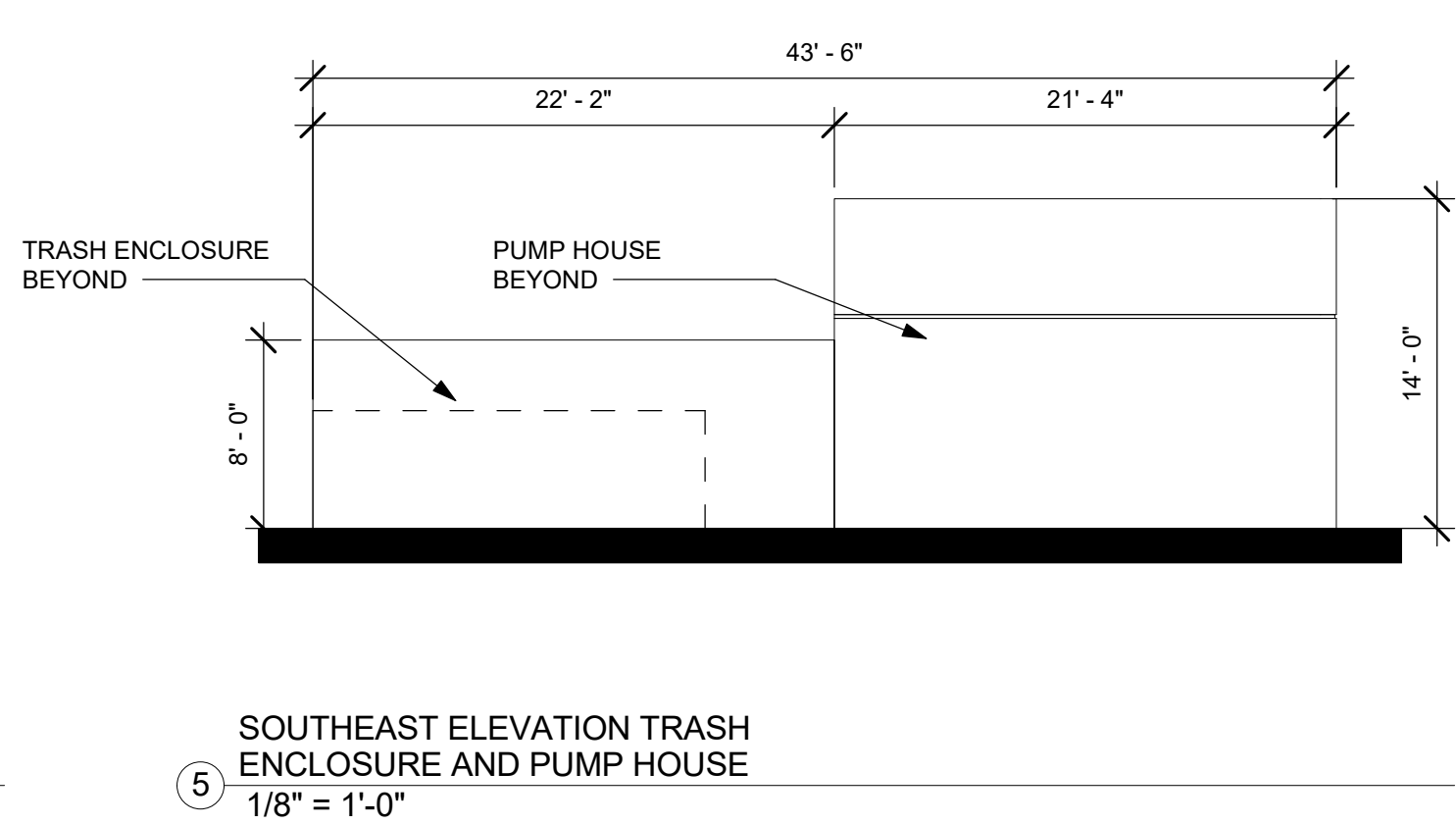
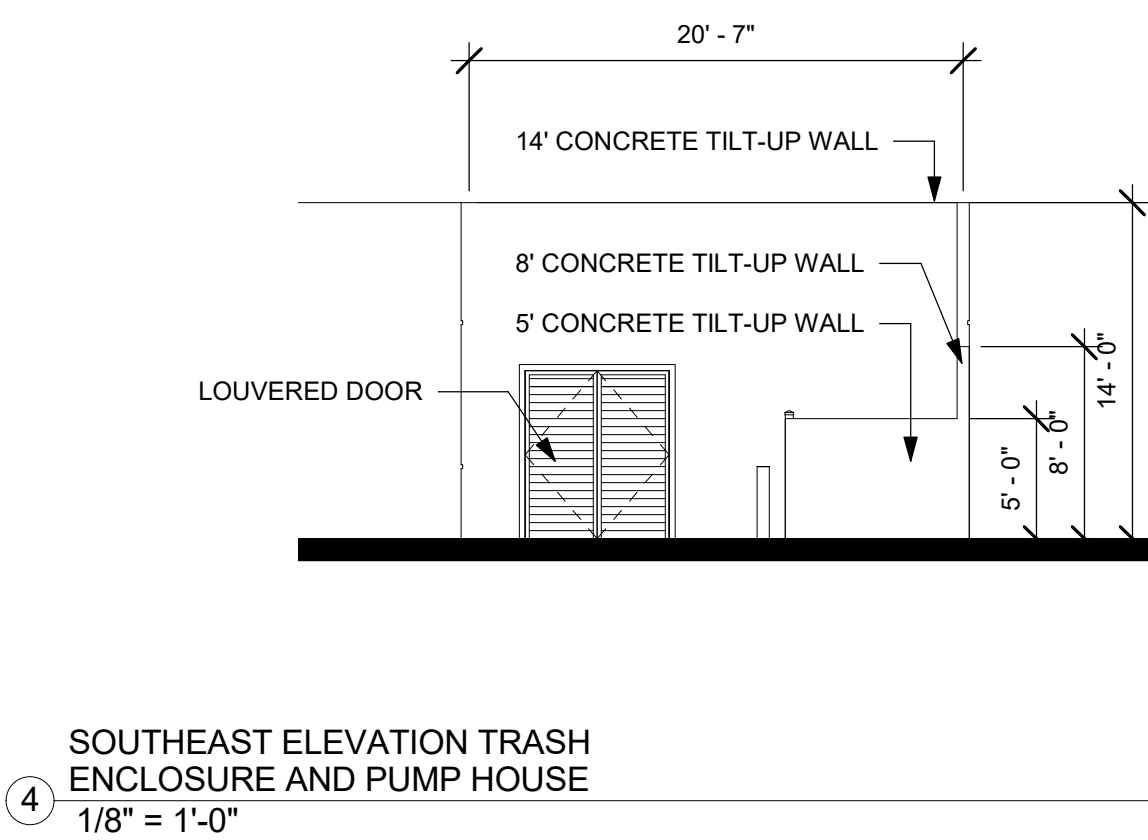
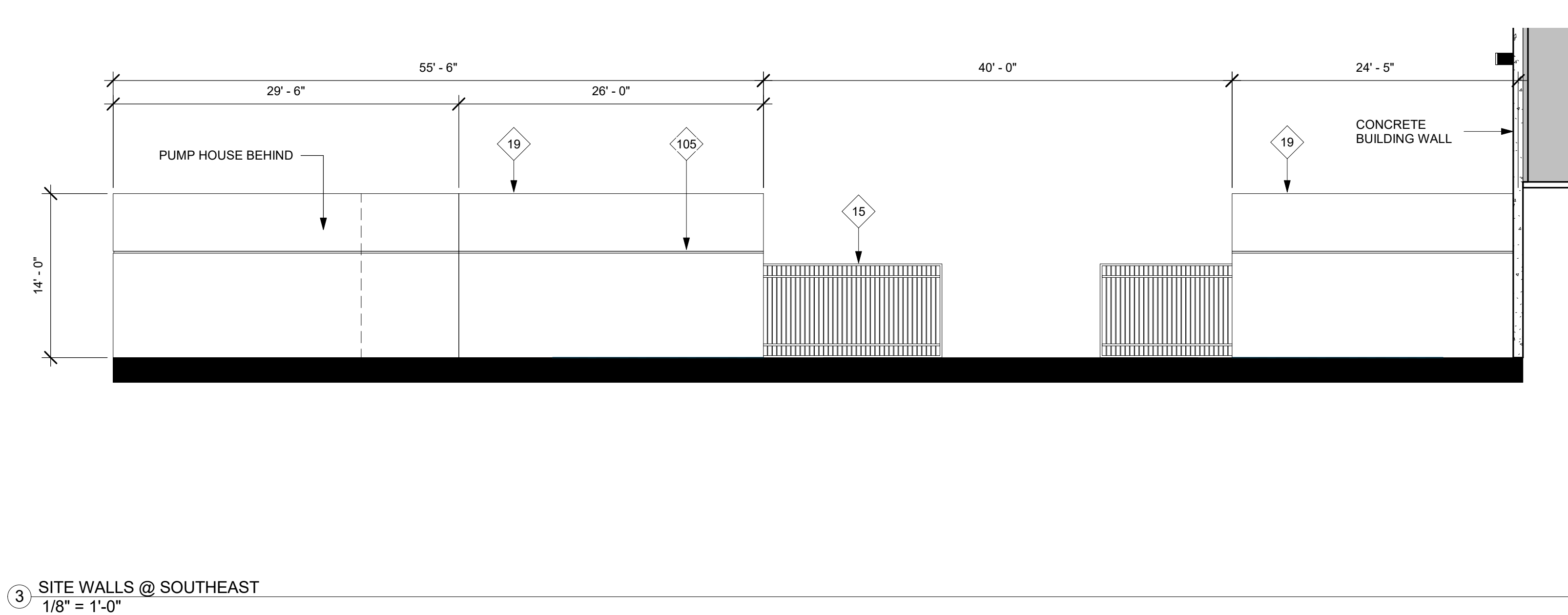
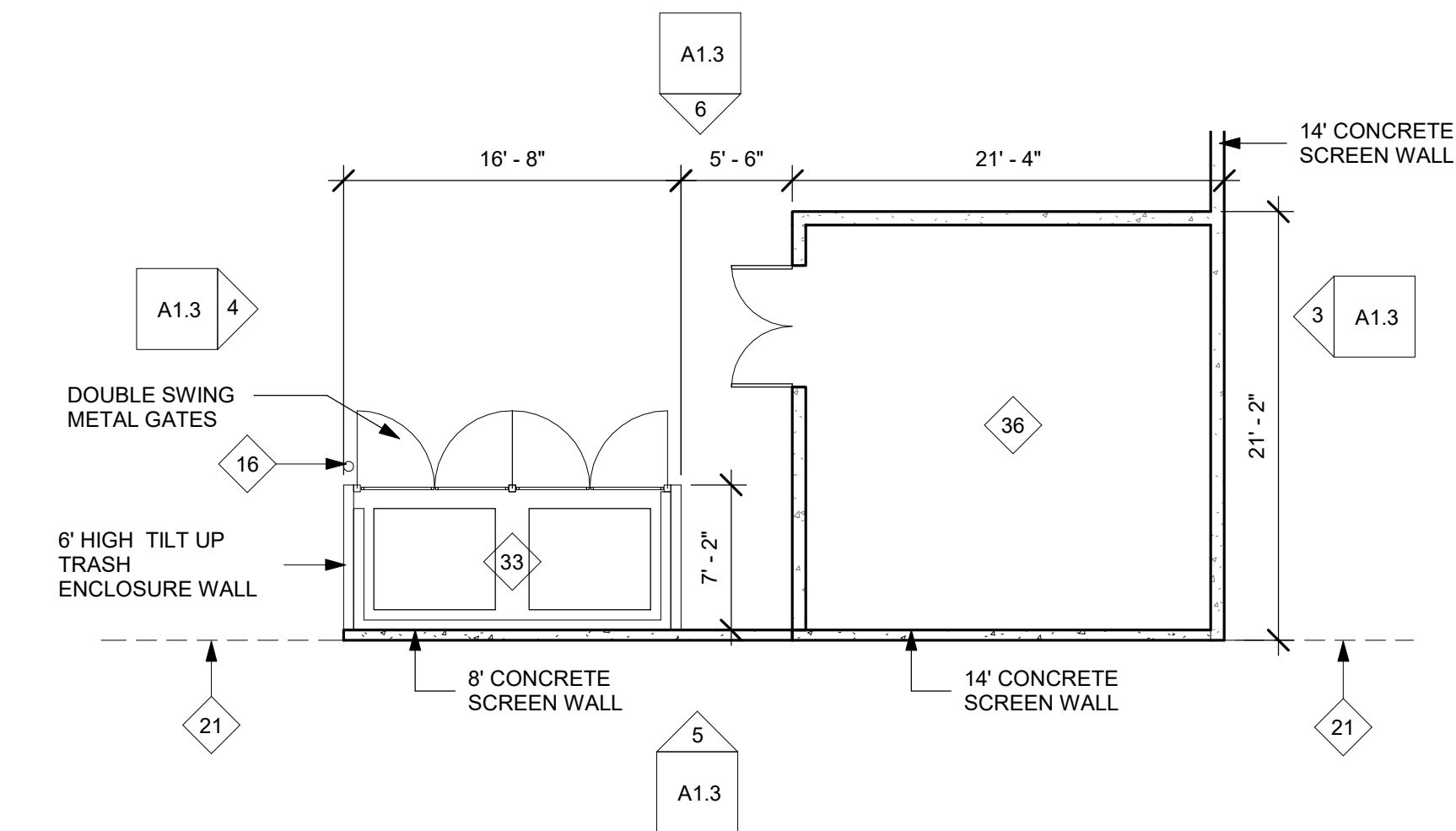
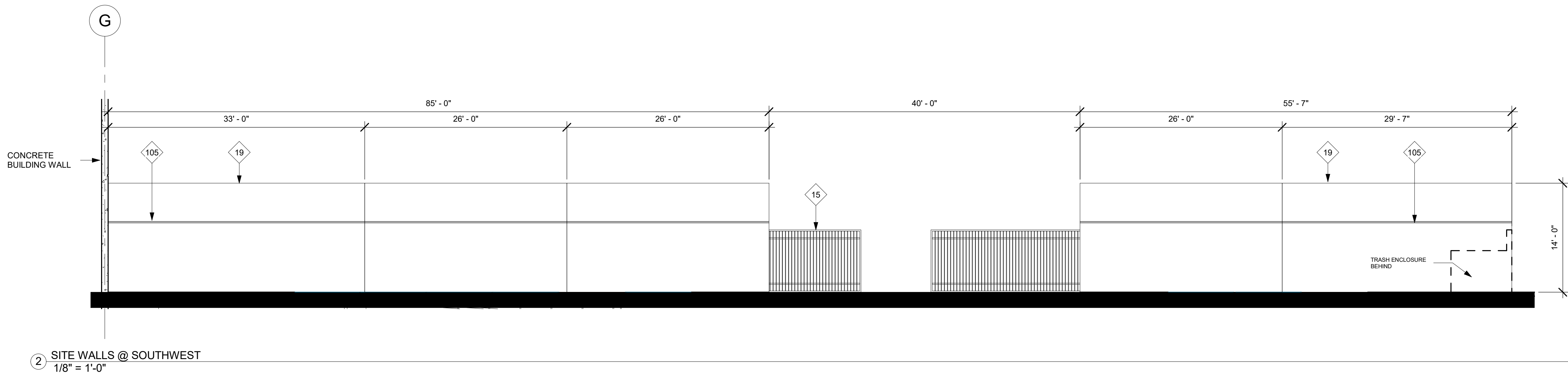
ENLARGED ADA PARKING AT NORTH  
EAST OFFICE  
②  
1/8" = 1'-0"

| KEYNOTES  |
|---|
| 4 TRUNCATED DOMES   |
| 5 ADA SITE ENTRY SIGN PER CODE, TYP.  |
| 6 ADA PARKING STALL SIGN PER CODE, TYP. PROVIDE AT ALL ADA STALLS.  |
| 7 ADA PATH OF TRAVEL  |
| 8 PRECAST CONCRETE WHEEL STOP   |
| 9 ZERO CURB FACE  |
| 10 CONCRETE WALK, SEE SITE PLAN FOR ADA PATH OF TRAVEL 4" MIN THICKNESS, SCORE CONCRETE @ 5' O.C. PROVIDE A LIGHT BROOM FINISH. REFER TO LANDSCAPE DRAWINGS FOR SPECIALTY CONCRETE FINISHING, TYP. REFER TO SOILS REPORT FOR ADDITIONAL MIN. REQ. |
| 12 LANDSCAPE AREA - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION  |

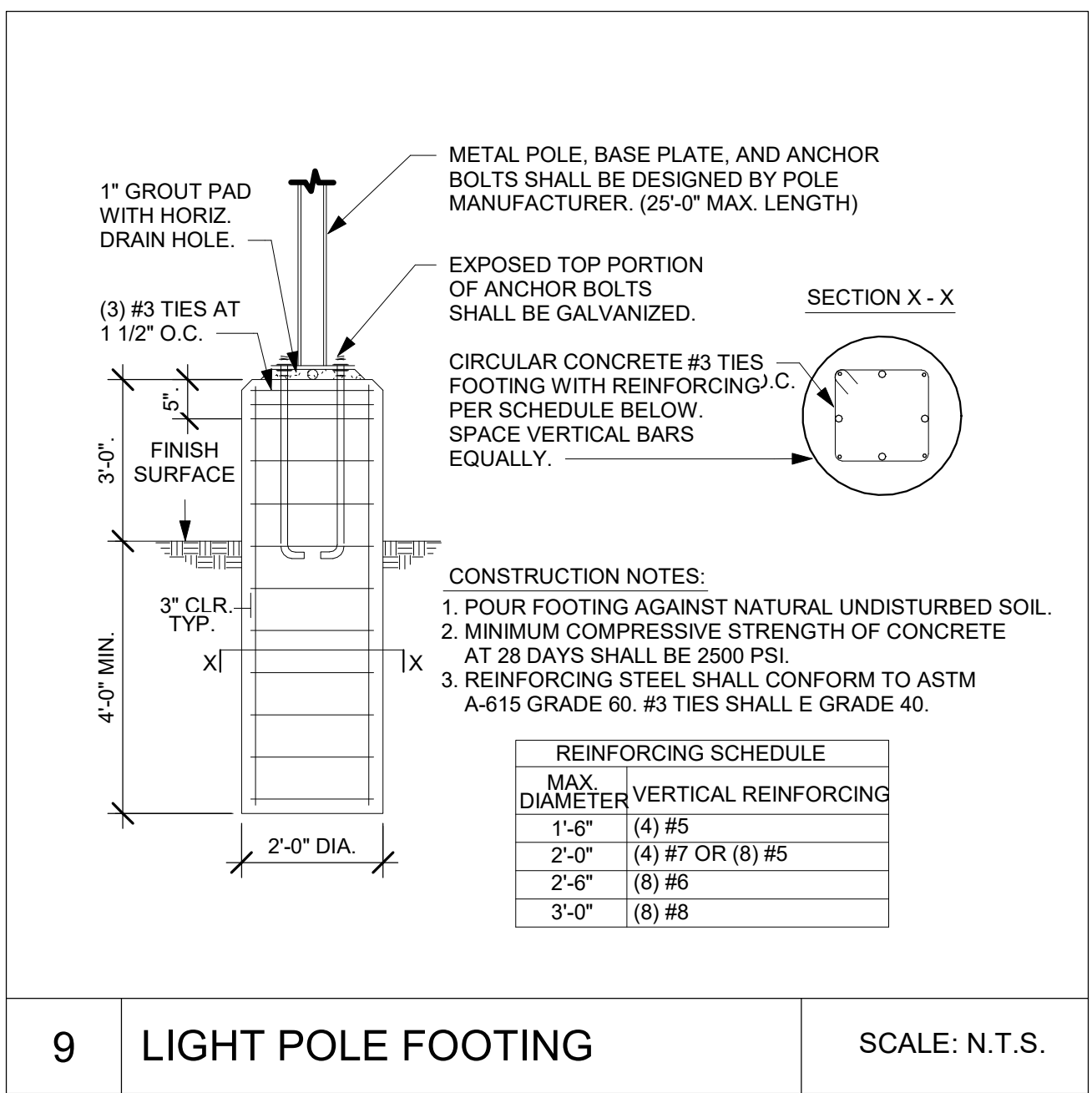
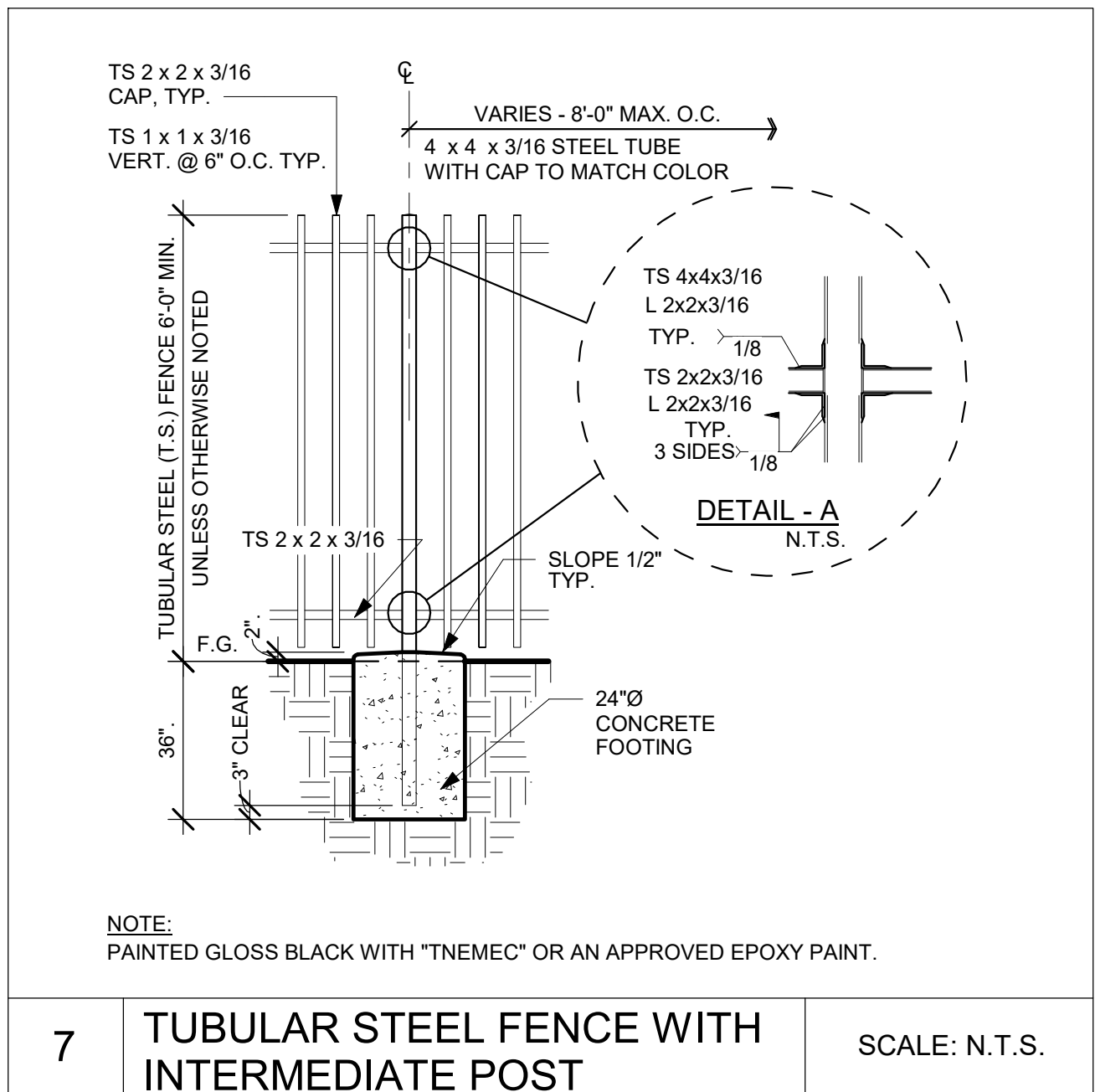


ENLARGED ADA PARKING AT SOUTH  
EAST OFFICE  
1/8" = 1'-0"

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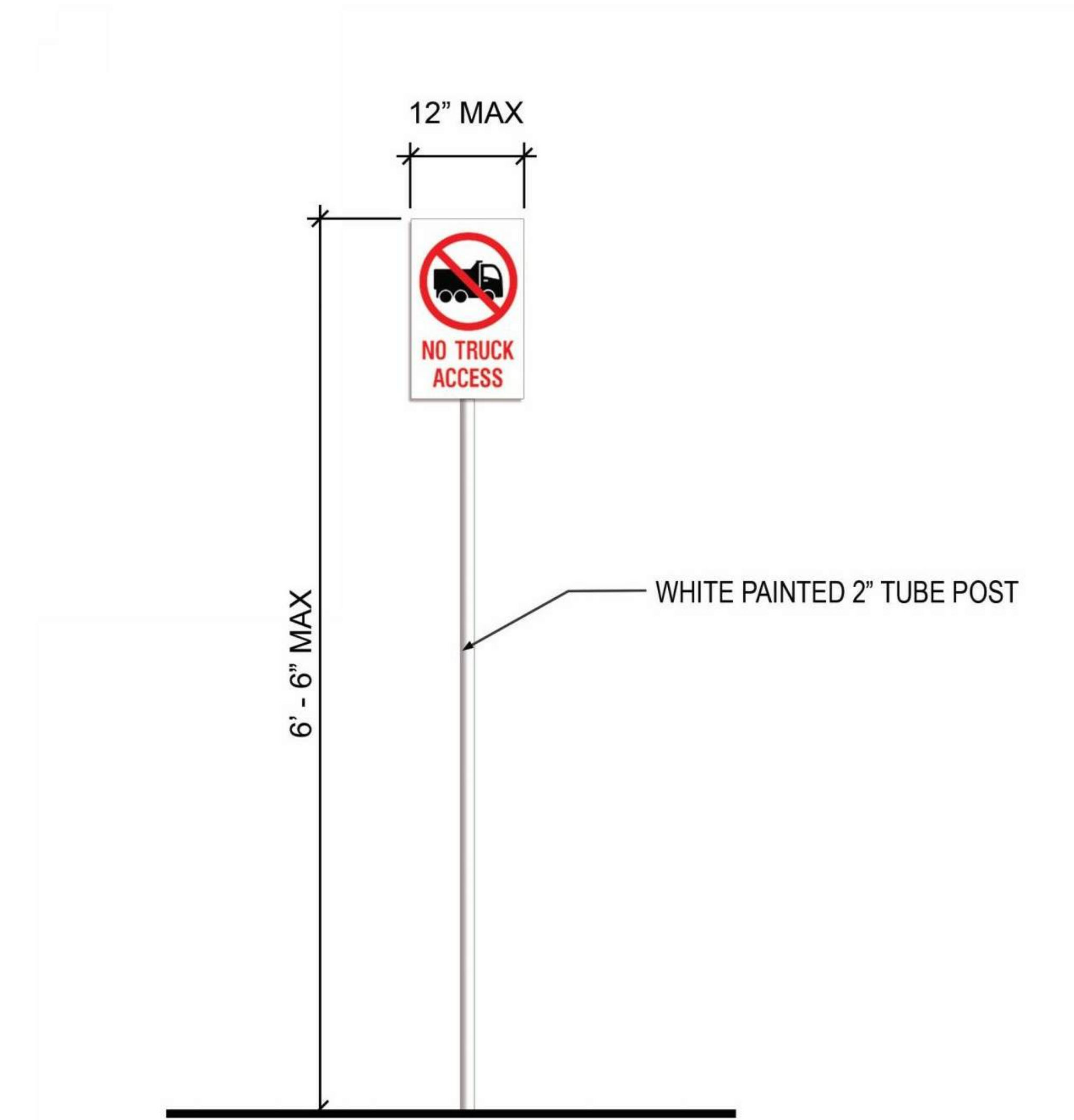
| KEYNOTES   |
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| 15 SLIDING METAL GATE, ELECTRONICALLY OR MANUALLY OPERATED. PROVIDE CONDUIT TO OFFICE AREA FOR GATE CONTROL @ INTERCOM. PROVIDE KNOX PAD PER FIRE DEPT. STD. |
| 16 PROTECTIVE METAL BOLLARDS, CONCRETE FILLED, PAINTED, TYP.   |
| 19 CONCRETE SCREEN WALL.   |
| 21 METAL TUBE STEEL FENCE, 8' HIGH CONCRETE TRASH ENCLOSURE PER CITY REQUIREMENTS.   |
| 36 PUMP HOUSE.   |
| 105 2" DECORATIVE CONCRETE REVEAL WITH CHAMFERED EDGES, TYP.   |







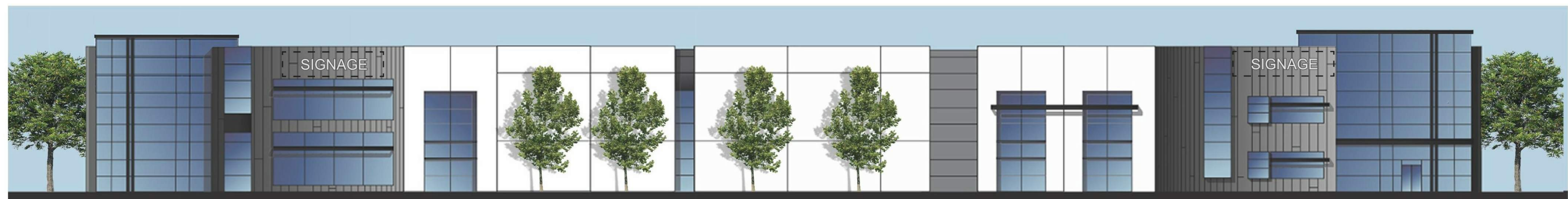
1 MONUMENT - FRONT VIEW



2 NO TRUCK ACCESS SIGNAGE

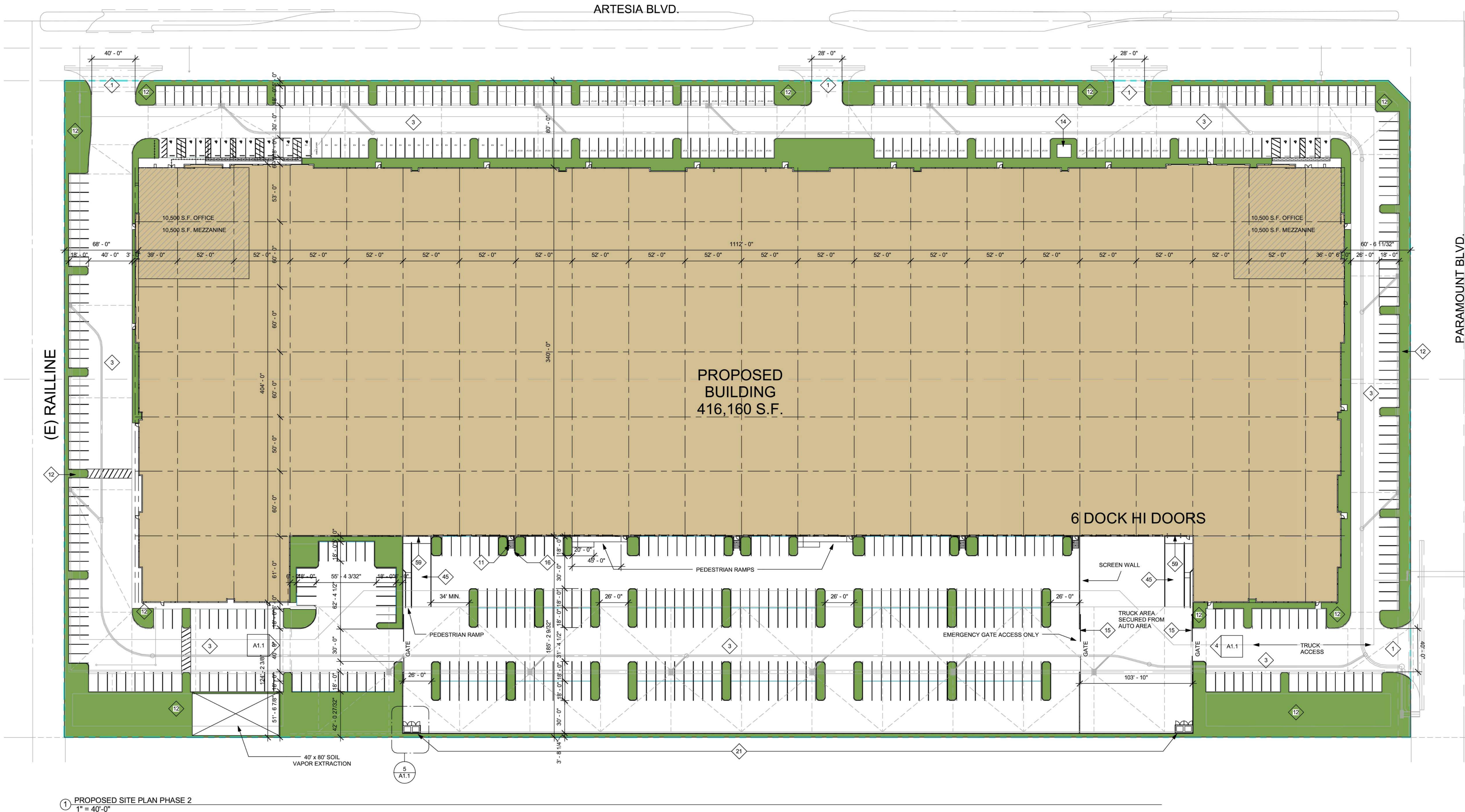


3 NORTH ELEVATION - EAST ARTESIA BLVD



4 EAST ELEVATION - PARAMOUNT BLVD





1 PROPOSED SITE PLAN PHASE 2  
1" = 40'-0"

| DEVELOPER/OWNER   | LEGAL DESCRIPTION   | SITE LEGEND  | UTILITY PROVIDERS  | SCOPE OF WORK  | SITE PLAN GENERAL NOTES  | KEYNOTES   |
|---|---|--|--|--|--|--|
| BRIDGE DEVELOPMENT PARTNERS, LLC<br>1600 EAST FANKLIN AVE. SUITE D<br>EL SEGUNDO CA, 90245<br><br>CONTACT: ROSENDO SOLIS<br>PHONE: 213-518-4654<br>EMAIL: rsolis@bridge-dev.com | LOTS 31 AND 32, IN BLOCK 27, OF CALIFORNIA CO-OPERATIVE COLONY TRACT, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 21 PAGE(S) 15 AND 16 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THE WEST 30 FEET THEREOF.<br><br>ALSO EXCEPT THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED AUGUST 6, 1951 IN BOOK 36938 PAGE 314, OFFICIAL RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:<br>PARCEL 1:<br>THE NORTHERLY 55 FEET OF LOT 32, THE NORTHERLY LINE OF SAID 55 FEET BEING COINCIDENT WITH THE CENTER LINE OF THAT CERTAIN UNNAMED STREET SHOWN ON SAID MAP AS DIVIDING BLOCKS 21 AND 27 OF SAID TRACT, NOW ARTESIA STREET, 60 FEET WIDE, AND THE EASTERLY LINE THEREOF BEING COINCIDENT WITH THE CENTER LINE OF OCEAN AVENUE, NOW PARAMOUNT BOULEVARD, 100 FEET WIDE, EXCEPT THE WESTERLY 30 FEET THEREOF.<br>PARCEL 2:<br>THAT PORTION OF LOT 32, DESCRIBED AS FOLLOWS:<br>BEGINNING AT THE INTERSECTION OF THE WESTERLY LINE OF PARAMOUNT BOULEVARD, 100 FEET WIDE, WITH THE SOUTHERLY LINE OF THE ABOVE DESCRIBED PARCEL 1; THENCE SOUTHERLY ALONG SAID WESTERLY LINE, A DISTANCE OF 20 FEET; THENCE NORTHWESTERLY IN A DIRECT LINE TO A POINT IN SAID SOUTHERLY LINE, DISTANT 20 FEET WESTERLY THERON FROM SAID POINT OF BEGINNING; THENCE EASTERLY ALONG SAID SOUTHERLY LINE A DISTANCE OF 20 FEET TO SAID POINT OF BEGINNING.<br>APN: 7119-002-007<br>THIS DESCRIPTION DESCRIBES ALL THAT REAL PROPERTY DESCRIBED IN TITLE REPORT IDENTIFIED AS CHICAGO TITLE COMPANY, ORDER NO 00074739-994-LT2-JC, DATED JUNE 14, 2017. | <div><div></div>BUILDING</div> <div><div></div>LANDSCAPE AREA</div> <div><div></div>CONCRETE PAVING</div> <div><div></div>STANDARD PARKING STALL</div> <div><div></div>PATH OF TRAVEL</div> <div><div></div>PROPERTY LINE</div> <div><div></div>DOCK HIGH DOOR</div> <div><div></div>DRIVE THRU DOOR</div> | WATER - CITY OF LONG BEACH<br>SEWER - CITY OF LONG BEACH<br>ELECTRIC - SO CAL EDISON | <div><div>VICINITY MAP</div><div><div>91 FWY</div><div>ARTESIA BLVD.</div><div>PARAMOUNT BLVD.</div><div>CHERRY AVE.</div><div>NORTH</div></div></div> <div><div>PROJECT LOCATION</div><div><div>LOT COVERAGE</div><div>52.6%</div></div><div><div>MAX LOT COVERAGE</div><div>80.0%</div></div><div><div>LANDSCAPE PROVIDED</div><div>71,999 SF</div></div><div><div>ALL AREAS EXCLUSIVE OF BUILDINGS, DRIVES, PARKING SPACES, WALKWAYS</div></div><div><div>PARKING REQUIRED BUILDING</div><div><div>WAREHOUSE @ 1/1,000</div><div>375</div></div><div><div>OFFICE @ 25% @ 1/1,000</div><div>42</div></div><div><div>TOTAL REQUIRED</div><div>417</div></div><div><div>PARKING PROVIDED</div><div><div>STANDARD</div><div>629</div></div><div><div>ADA</div><div>10</div></div><div><div>ADA EV</div><div>2</div></div><div><div>EVIC</div><div>21</div></div><div><div>FUTURE EVIC</div><div>84</div></div><div><div>TRAILER</div><div>0</div></div></div></div></div> | <div><div>1. SITE PLAN SHALL MEET ALL ENGINEERING &amp; NPDES REQUIREMENTS.</div><div>2. GENERAL CONTRACTOR TO REVIEW SOILS REPORT PREPARED BY DATED AND ANY SUBSEQUENT AMENDMENTS. G.C. TO CONFIRM COMPLIANCE.</div><div>3. REFER TO CIVIL DRAWINGS FOR ADDITIONAL UTILITY INFORMATION INCLUDING POINTS OF CONNECTION TO OFFSITE UTILITIES AND BUILDING POINTS OF CONNECTION.</div><div>4. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION BETWEEN OFFSITES, CIVIL, M.E.P. &amp; FP DRAWINGS.</div><div>5. GRADES SURROUNDING BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.</div><div>6. REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS AND PERCENTAGE SLOPES.</div><div>7. GENERAL CONTRACTOR TO CONFIRM AND COMPLY WITH ALL BUILDING, FIRE, AND ENGINEERING DEPARTMENT REGULATIONS DURING CONSTRUCTION INCLUDING ANY TEMPORARY FACILITIES REQUIRED.</div><div>8. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY 6" MIN. CONCRETE CURB TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.</div><div>9. ALL ADA PATHS OF TRAVEL NOTED ON PLANS TO MEET THE FOLLOWING MINIMUM REQUIREMENTS: NO ABRUPT CHANGES IN ELEVATION ALLOWABLE ALONG THE PATH OF TRAVEL. THE SLOPE AND CROSS-SLOPE SHALL NOT EXCEED 5% AND 2% RESPECTIVELY UNLESS AN ADA COMPLIANT RAMP OR CURB RAMP IS DESIGNED BY THE CIVIL ENGINEER.</div></div> <div><div>IF A WALK CROSSES OR ADJOINS A VEHICLE WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILING OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A 4" DEEP DETECTABLE WARNING WHICH IS 36" WIDE COMPLYING WITH CBC SECTION 11B-705.1.2.5</div><div>10. ALL SPECIFICATIONS ON DRAWINGS ARE MINIMUM REQUIREMENTS ONLY. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY CONFLICTS IN DRAWINGS AND SPECIFICATIONS VIA "RFI".</div><div>11. GENERAL CONTRACTOR TO REFER TO ARCHITECTURAL DETAIL SHEETS FOR TYPICAL MINIMUM SITE IMPROVEMENT STANDARDS.</div><div>12. CONCRETE MOW STRIP PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL GLAZING/STOREFRONT LOCATIONS WHERE ADJACENT TO LANDSCAPING.</div><div>13. CONCRETE SPLASH BLOCK PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL ROOF DRAIN/DOWN SPOUT TERMINATIONS AT NON-CONCRETE AREAS.</div><div>14. BRASS LAMB'S TONGUE TO BE PROVIDED AT ALL ROOF DRAIN OVERFLOWS THAT DAYLIGHT AT FACE OF BUILDING WALL.</div><div>15. GATES, FENCES, AND WALLS MAY BE SUBJECT TO DEFERRED SUBMITTAL REQUIREMENTS. GENERAL CONTRACTOR TO CONFIRM WITH CITY AND MUST SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.</div></div> | <div><div>1. NEW DRIVE CUT, PER CITY OR COUNTY STANDARDS. REFER TO LANDSCAPE DRAWINGS FOR ENHANCED PAVING DESIGN IF APPLICABLE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFO.</div><div>3. CONCRETE PAVING. REFER TO CIVIL DRAWINGS FOR SECTION AND DRAINAGE. G.C. TO COORDINATE WITH SOILS REPORT. REFER TO STRUCTURAL DRAWINGS FOR CONCRETE DESIGN AT TRUCK APRONS IF APPLICABLE.</div><div>11. EXTERIOR CONCRETE STAIR W/CONCRETE WALLS. WALLS &amp; RAILINGS PAINTED PER EXTERIOR COLOR SCHEDULE. REFER TO CIVIL AND STRUCTURAL DRAWINGS.</div><div>12. LANDSCAPE AREA - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.</div><div>14. PROPOSED TRANSFORMER LOCATION, PROVIDE BOLLARDS PER UTILITY COMPANY REQUIREMENTS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.</div><div>15. SLIDING METAL GATE, ELECTRONICALLY OR MANUALLY OPERATED. PROVIDE CONDUIT TO GUARD SHACK AND OFFICE AREA FOR GATE CONTROL @ INTERCOM. PROVIDE KNOX PAD PER FIRE DEPT. STD.</div><div>16. PROTECTIVE METAL BOLLARDS, CONCRETE FILLED, PAINTED, TYP.</div><div>21. METAL TUBE STEEL FENCE, 8' HIGH</div><div>45. CONCRETE TRUCK RAMP WITH 42" HIGH CONC. TILT UP GUARD WALLS PAINTED TO MATCH BUILDING. SEE ELEVATIONS.</div><div>59. DRIVE THRU LOADING DOOR 12'X14' WITH VISION GLAZING, PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.</div></div> |

BRIDGE LONG BEACH  
LONG BEACH, CA

PROJECT  
3rd PLANNING SUBMITTAL

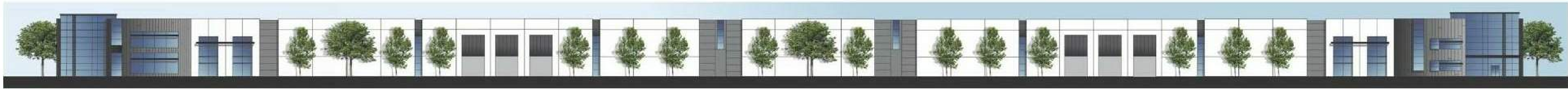


A17-2052  
06.21.2019

FUTURE USE EXHIBIT

A1.5

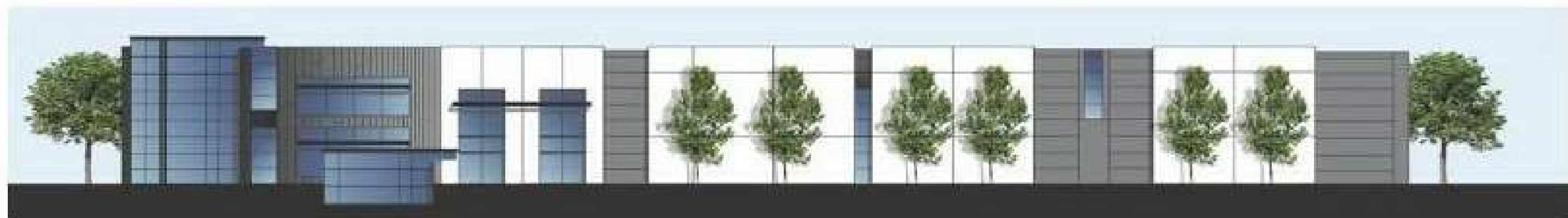




NORTH ELEVATION - EAST ARTESIA BLVD



SOUTH ELEVATION

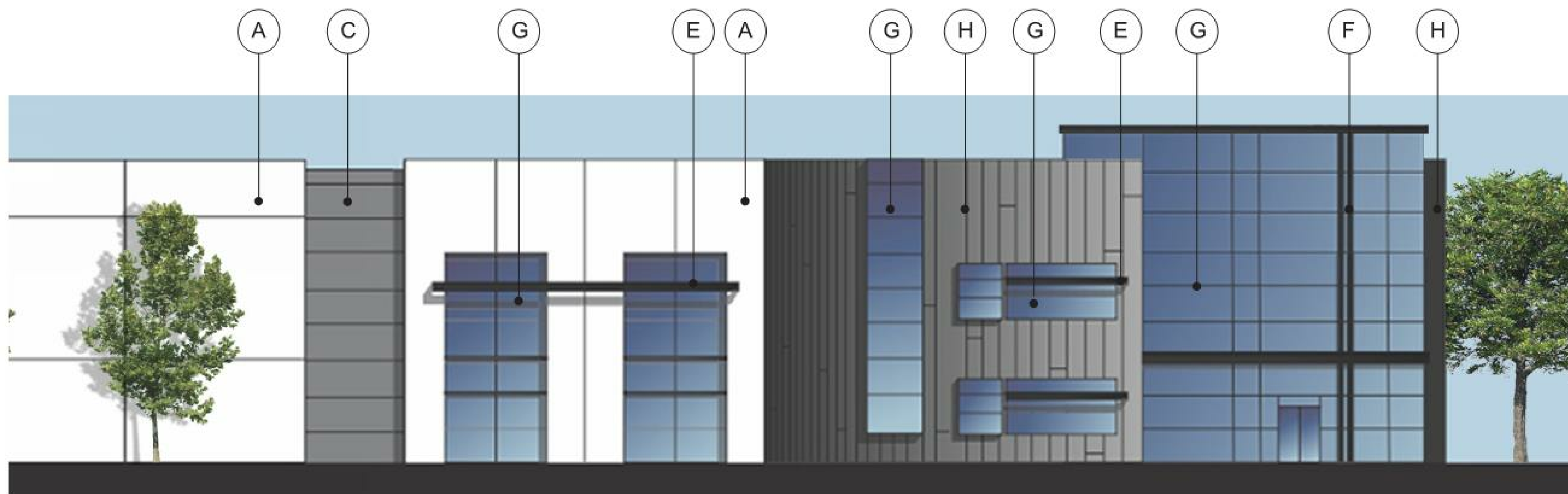


WEST ELEVATION

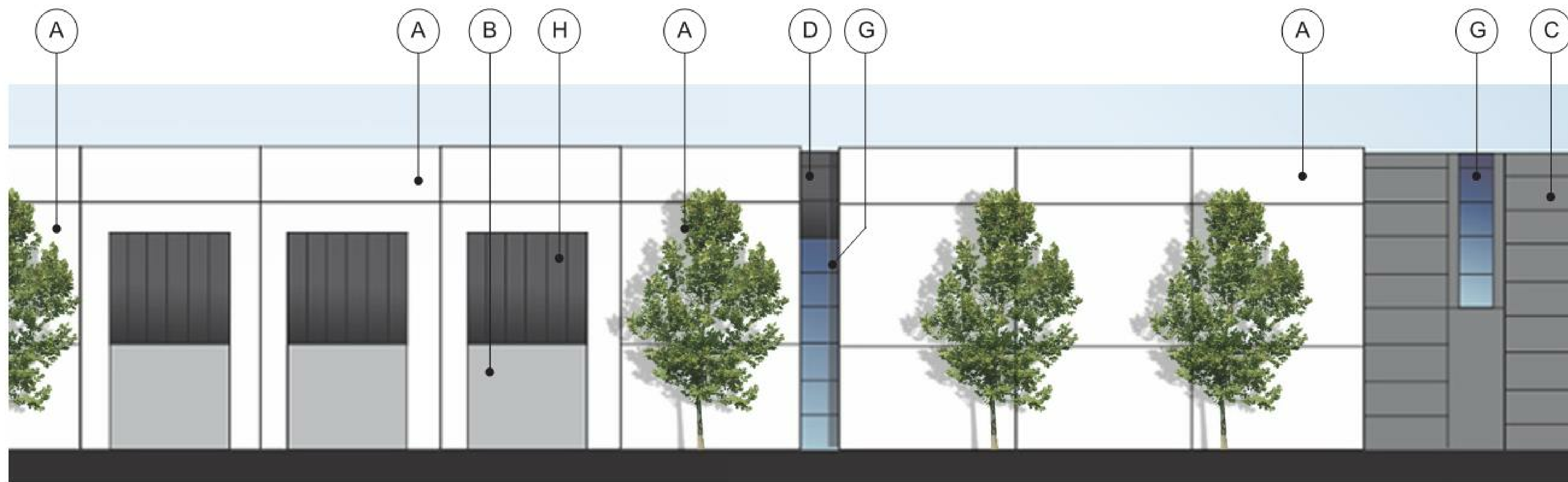


EAST ELEVATION






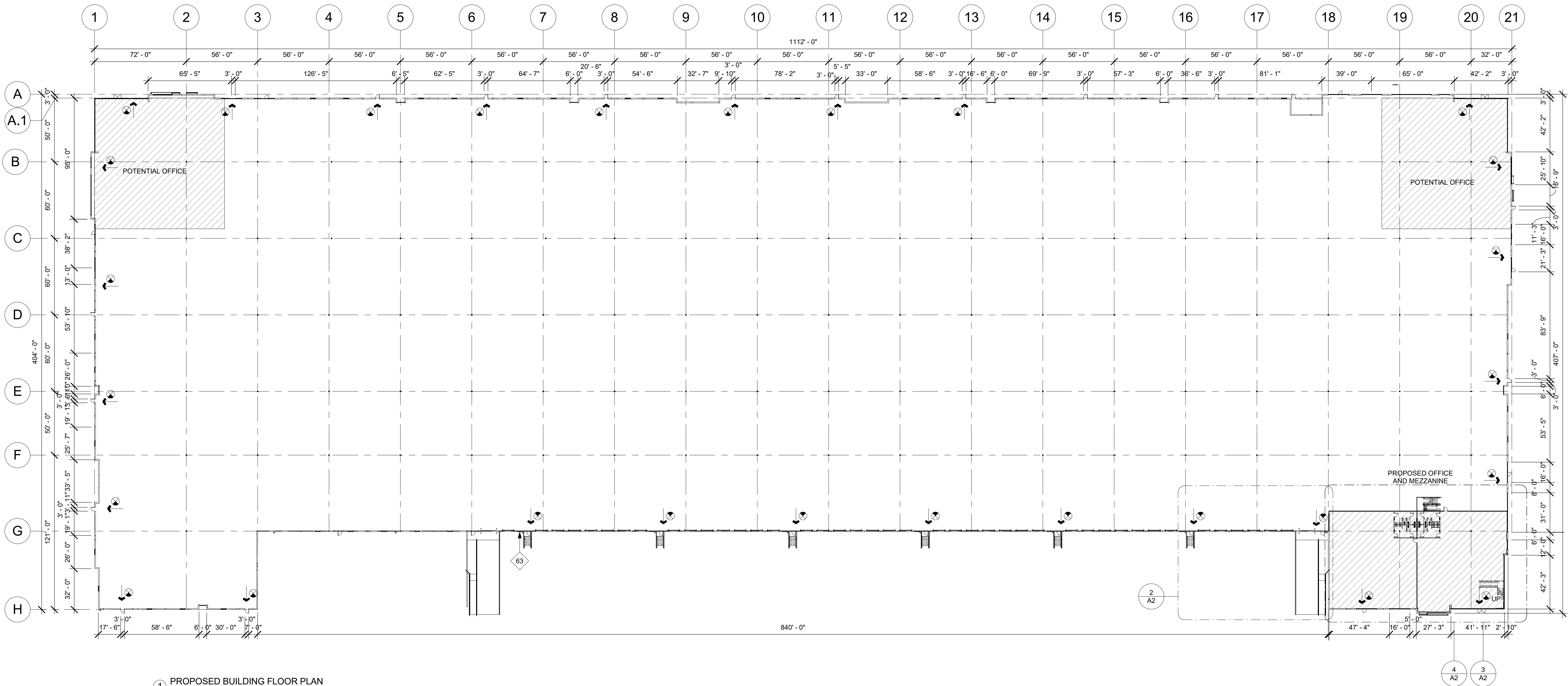
ENLARGED VIEW @ MAIN OFFICE ENTRY



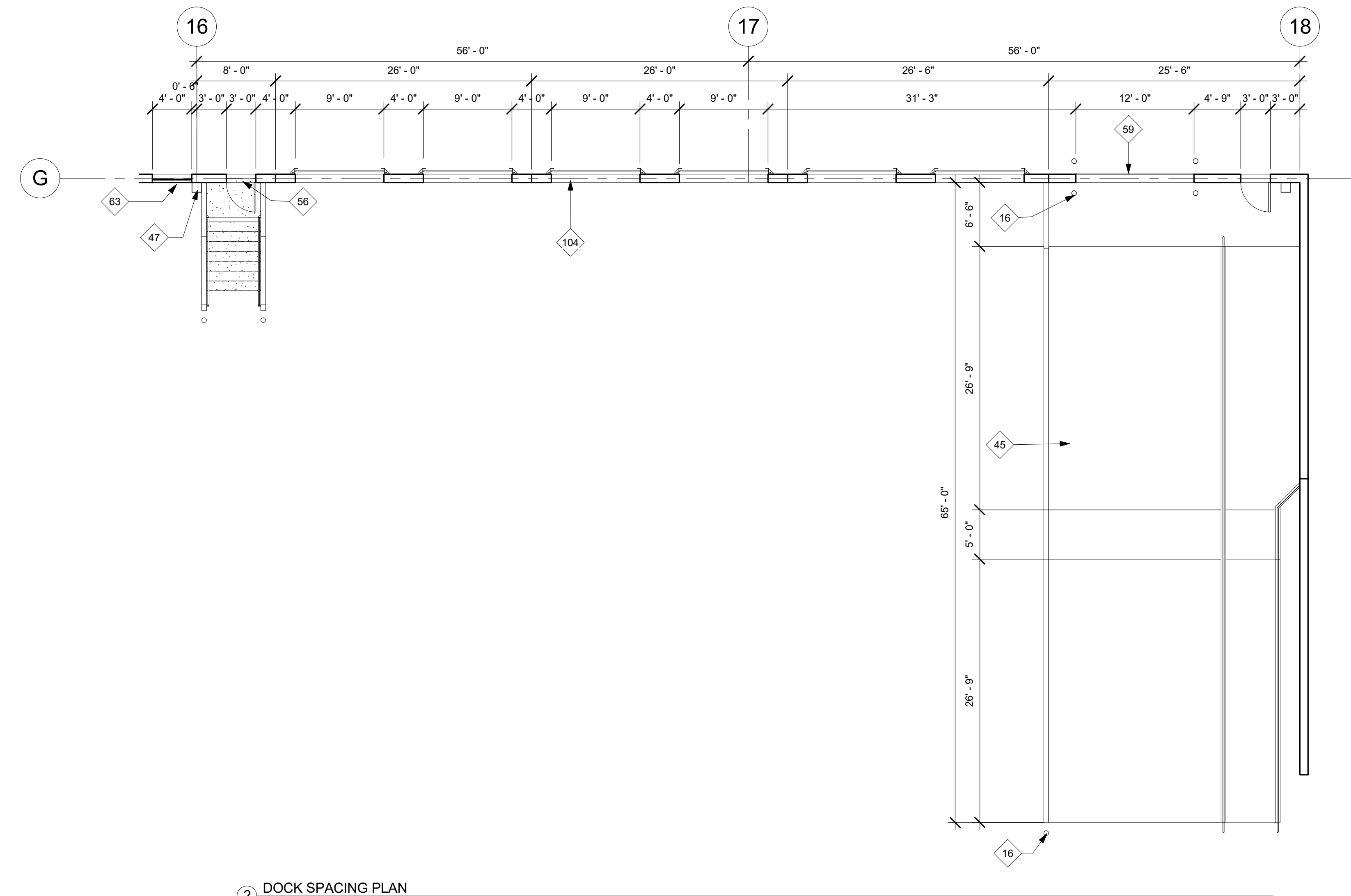
ENLARGED VIEW @ MID-ELEVATION

|   |   |
|---|---|
|    | PTD CONC. PANEL<br>A. SW7063:<br>NEBULOUS WHITE               |
|    | PTD CONC. PANEL<br>B. SW7065:<br>ARGOS                        |
|    | PTD CONC. PANEL<br>C. SW7673:<br>PEWTER CAST                  |
|    | PTD CONC. PANEL<br>D. SW7674:<br>PEPPERCORN                   |
|   | E. DECORATIVE BLACK<br>METAL BROW                             |
|  | F. DECORATIVE BREAK<br>METAL TO MATCH<br>MULLIONS             |
|  | G. BLUE REFLECTIVE<br>GLAZING WITH BLACK<br>ANODIZED MULLIONS |
|  | H. PAINTED ALUMINUM<br>DRI-DESIGN PANEL                       |

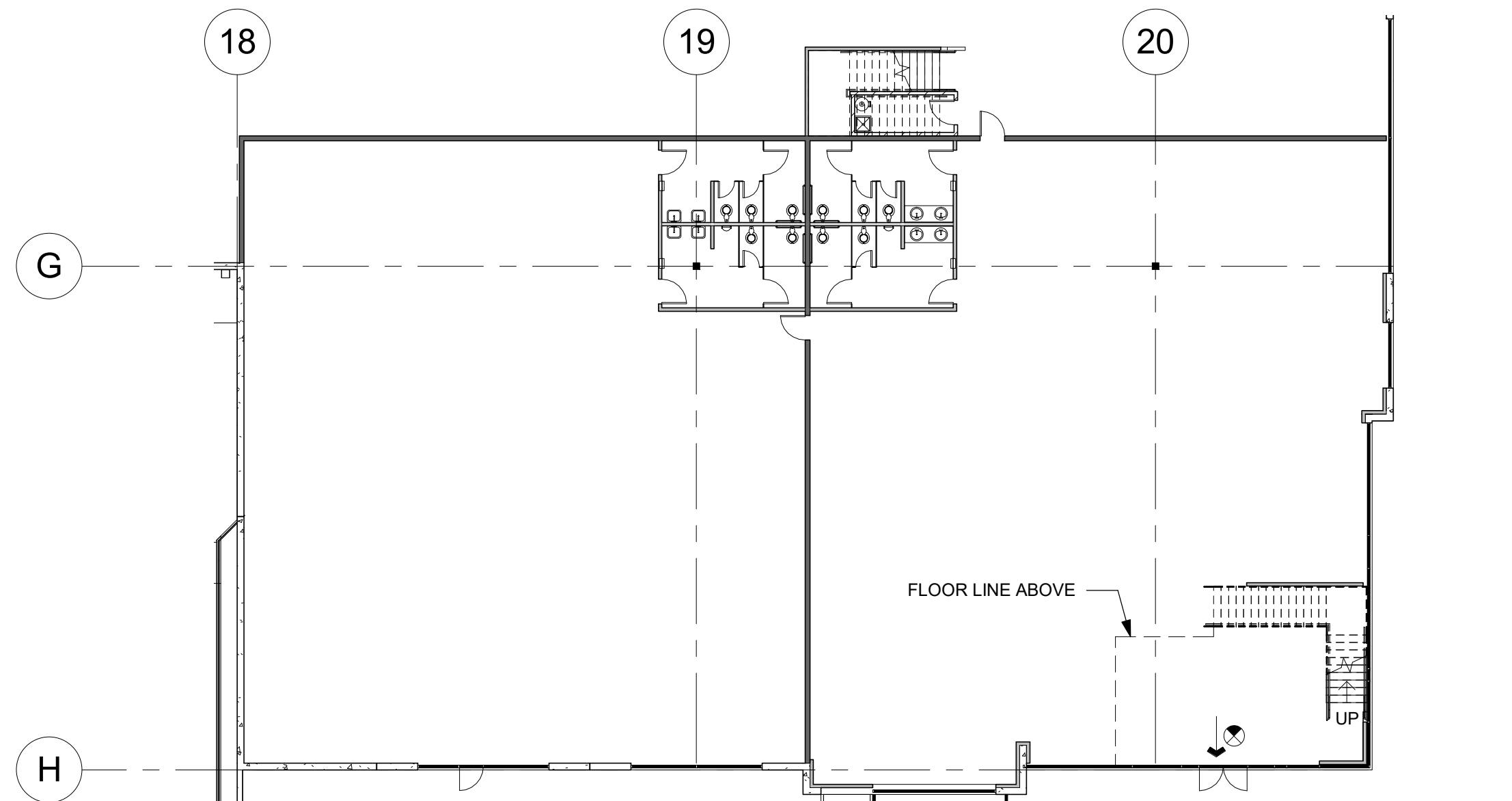




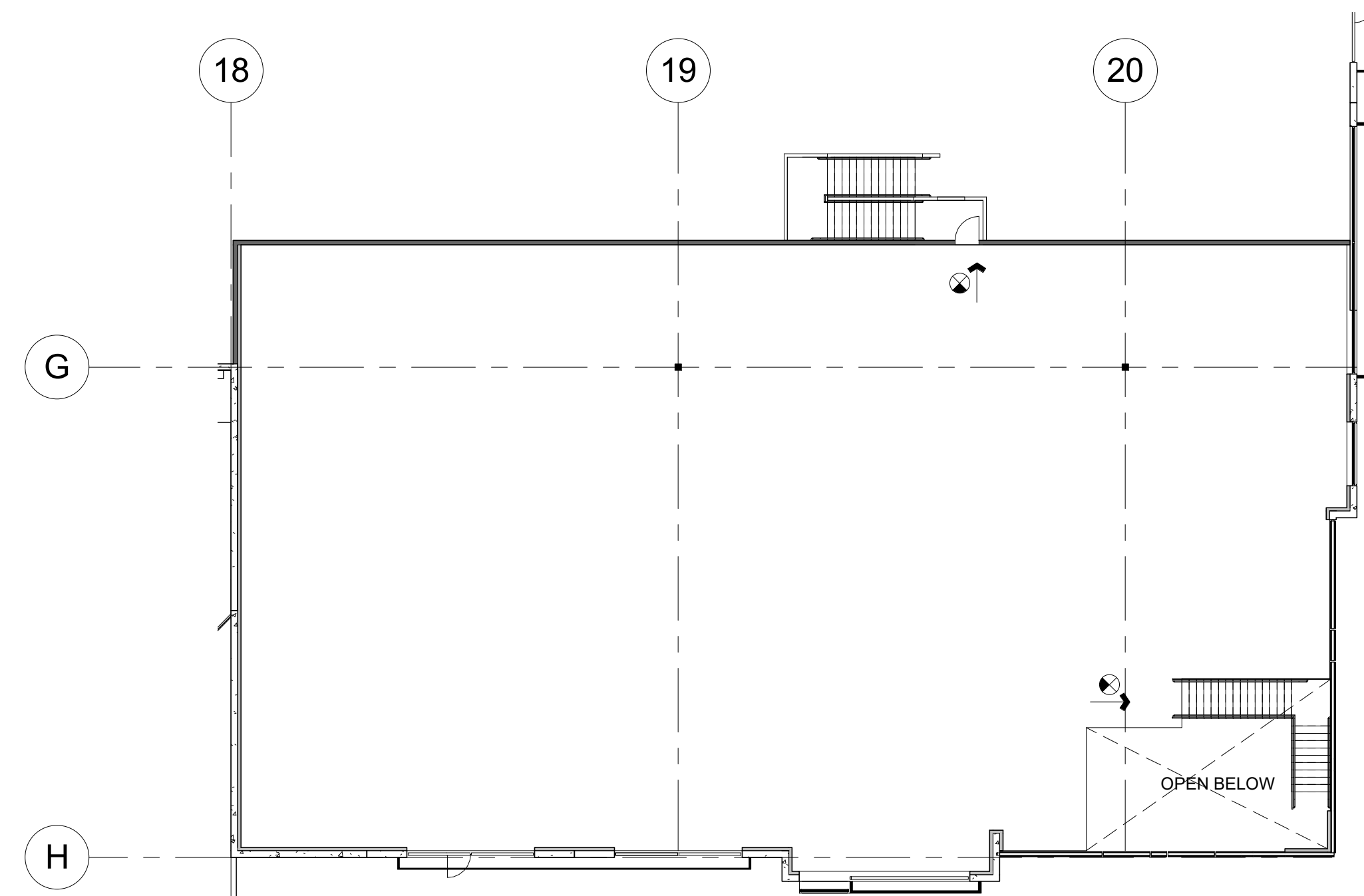
1 PROPOSED BUILDING FLOOR PLAN  
1" = 40'-0"



2 DOCK SPACING PLAN  
1/8" = 1'-0"



3 OFFICE FLOOR PLAN  
1/16" = 1'-0"



4 MEZZANINE FLOOR PLAN  
1/16" = 1'-0"

| KEYNOTES |  |
|----------|--|
| 16       | PROTECTIVE METAL BOLLARDS, CONCRETE FILLED, PAINTED, TYP.  |
| 45       | CONCRETE TRUCK RAMP WITH 42" HIGH CONC. TILT UP GUARD WALLS PAINTED TO MATCH BUILDING, SEE ELEVATIONS.   |
| 47       | EXTERIOR METAL DOWNSPOUT AND OVERFLOW SCUPPERS PAINTED TO MATCH BUILDING. REFER TO PLUMBING PLANS FOR MINIMUM SCUPPER OPENINGS ALLOWABLE PER CODE. |
| 56       | EXTERIOR MAN DOOR 3'X7', HOLLOW METAL, PAINTED, SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.                                   |
| 59       | DRIVE THRU LOADING DOOR 12'X14' WITH VISION GLAZING, PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.  |
| 63       | AIR INTAKE LOUVER, PAINT TO MATCH BUILDING WALL, TYP. SIZE VERTICAL 4'X 8', PROVIDE BIRD SCREEN, FILTER AND BURGLAR BARS.                          |
| 104      | PANEL JOINT, TYP.  |

| FLOOR PLAN GENERAL NOTES |  |
|--------------------------|--|
| 1.                       | FINISH FLOOR SLAB SLOPES, REFER TO CIVIL DRAWINGS FOR ELEVATIONS AND ADDITIONAL INFORMATION.   |
| 2.                       | PROVIDE STEGO WRAP 15MIL BARRIER BELOW SLAB PER MANUFACTURERS INSTRUCTIONS AND PER SOILS REPORT IN LOCATIONS FOR PROPOSED OFFICE AREAS. SEE FLOOR PLAN LEGEND FOR HATCHED AREAS.   |
| 3.                       | REFER TO STRUCTURAL DRAWINGS FOR DESIGN OF FOUNDATION.   |
| 4.                       | POUR STRIP TO BE SLOPED TO EXTERIOR DOORS 1/2".  |
| 5.                       | PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT AND CBC/CFC.   |
| 6.                       | PROVIDE ILLUMINATED EXIT SIGNS AT ALL EXTERIOR EXIT DOORS, DOORS EXITING FROM TENANT SPACES, DOORS INTO EXIT ENCLOSURES, AND ANY ADDITIONAL LOCATIONS NOTED ON PLANS. SEE "E" DRAWINGS FOR ADDITIONAL REQUIREMENTS SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS. |
| 7.                       | ALL FIRE RATED PARTITIONS TO EXTEND TO DECK ABOVE, AND PENETRATIONS TO BE SEALED.  |
| 8.                       | DO NOT USE CURING COMPOUND OR RELEASE AGENTS TO CURE SLAB.   |
| 9.                       | CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT PROHIBITED ON SLAB.   |
| 10.                      | FLY ASH PROHIBITED IN CONCRETE SLAB MIX.   |
| 11.                      | FLOOR SLAB TO BE CLASS V PER ACI 302-IR-89.  |
| 12.                      | FLOOR COMPACTION TO BE 95% MIN.  |
| 13.                      | TRENCH COMPACTION TO BE 90% MIN.   |
| 14.                      | SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED FINISH.  |
| 15.                      | DIMENSIONS ARE TO FACE OF CONCRETE PANEL, FINISH FACE OF DRYWALL, FINISH OPENING, TYPICAL UNLESS NOTED OTHERWISE.  |
| 16.                      | PROVIDE EXIT SIGNS INCLUDING TACTILE SIGN REQUIRED BY SECTION 1011 OF 2013 CBC. SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS.  |
| 17.                      | ALL MAN DOORS, OVERHEAD DOORS, AND ROLL-UP DOORS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY BUILDING CODE AND LOCAL JURISDICTION.   |
| 18.                      | ALL STOREFRONT SYSTEMS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY THE BUILDING CODE AND LOCAL JURISDICTION. STOREFRONT SYSTEMS TO BE DESIGN BUILD G.C. TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW.   |
| 19.                      | REFER TO CIVIL DRAWINGS FOR ALL POINT OF CONNECTIONS FOR UTILITIES CONTRACTOR TO VERIFY LOCATIONS.   |
| 20.                      | PROVIDE STEEL BOLLARDS FILLED WITH CONCRETE AND PAINTED PER FINISH SCHEDULE AT FIRE RISERS, PIVS, TRANSFORMERS, AND OTHER LOCATIONS AS REQUIRED.   |
| 21.                      | CONTRACTOR TO MAINTAIN A CLEAN FLOOR SLAB, ALL TRUCKS AND EQUIPMENT TO BE DIAPERED.  |
| 22.                      | NO ACCESS HARDWARE ON THE EXTERIOR SIDE OF THE NON-ENTRY DOORS.  |
| 23.                      | FOR TYPICAL DOOR LANDING CLEARANCES, REFER 2/A0.2.2 FOR MORE INFORMATION.  |
| 24.                      | NO SMOKING WITHIN 25' OF BUILDING ENTRIES, ACCORDING TO GREEN BUILDING STANDARD CODE DIVISION 5.504.7  |

BRIDGE LONG BEACH  
LONG BEACH, CA

PROJECT  
3rd PLANNING SUBMITTAL



HERDMAN  
ARCHITECTURE + DESIGN

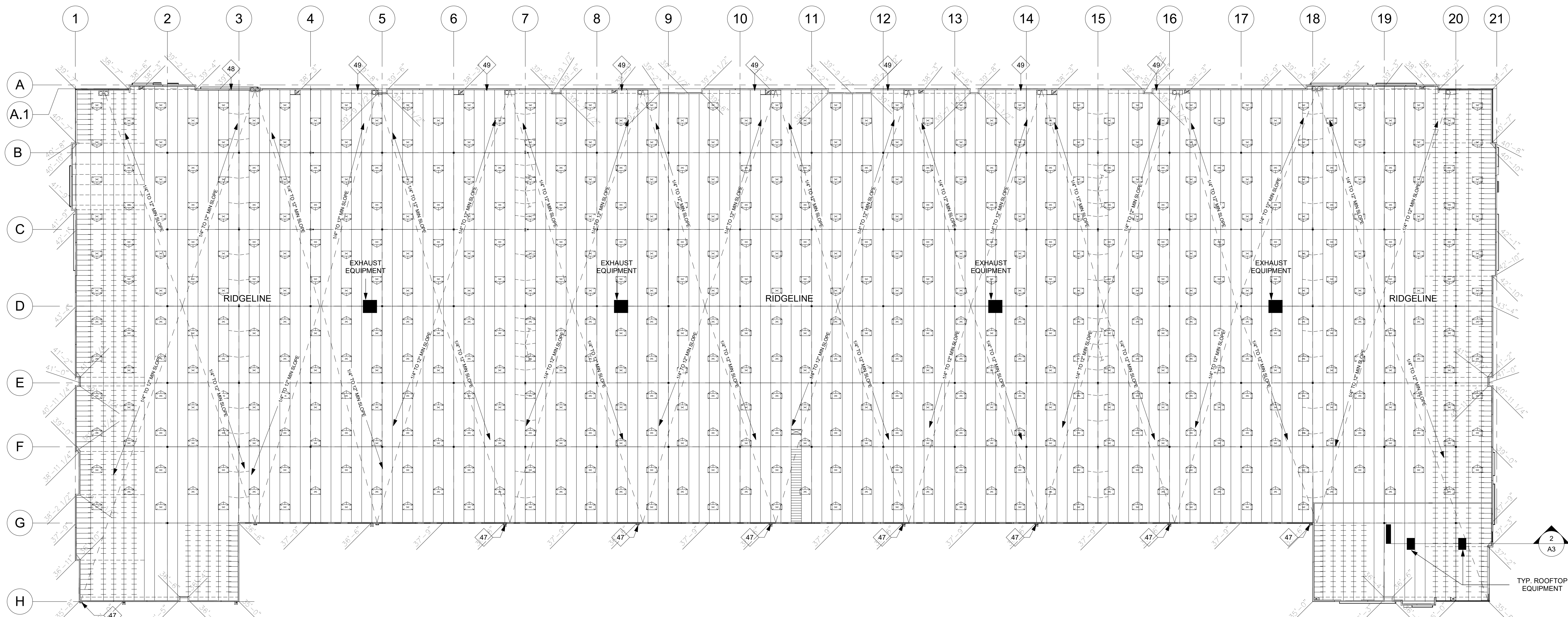
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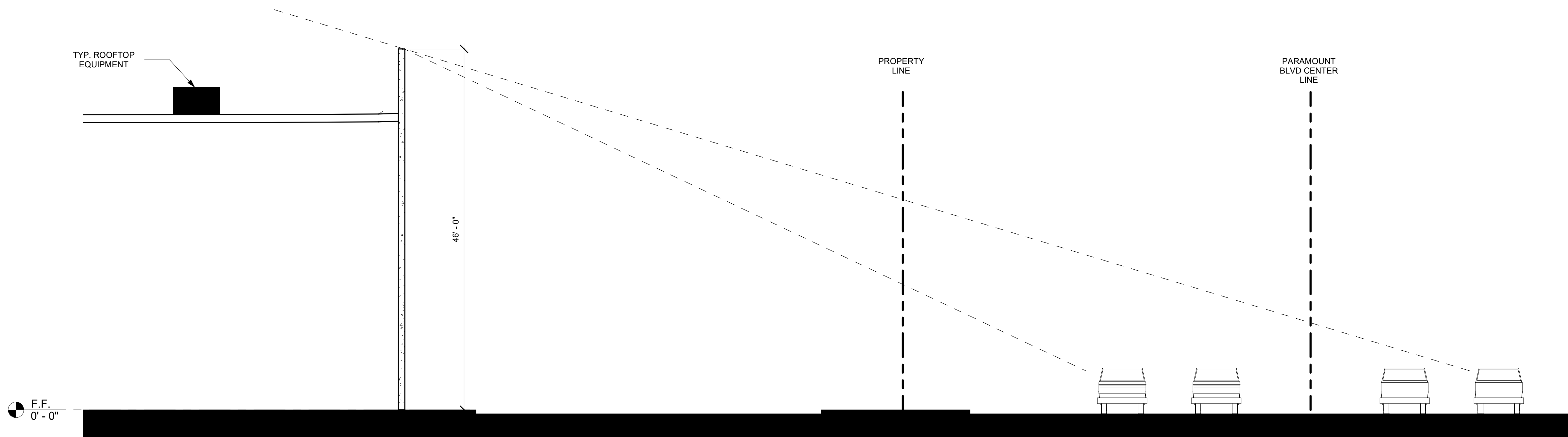
FLOOR PLAN

A2





1 PROPOSED ROOF PLAN  
1" = 40'-0"

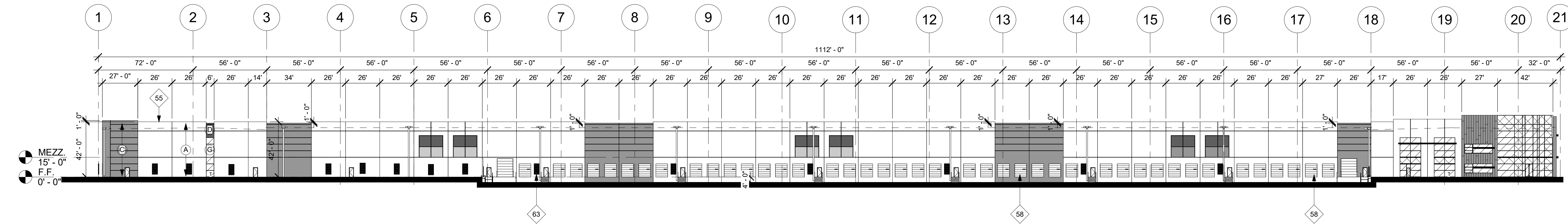


2 LINE OF SIGHT  
1/8" = 1'-0"

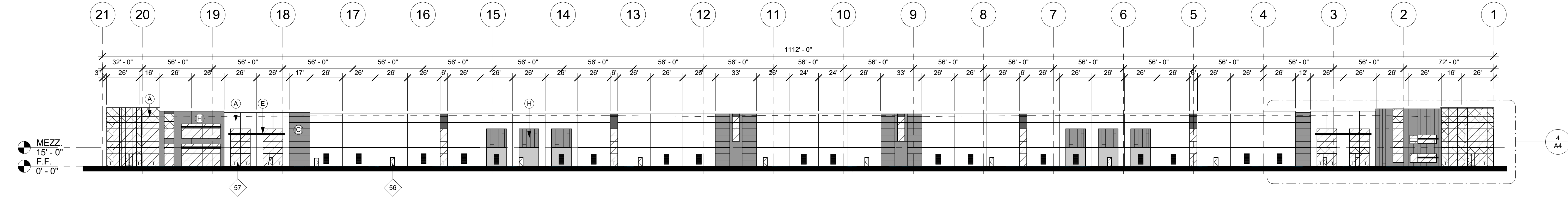
| KEYNOTES  |
|---|
| 47 EXTERIOR METAL DOWNSPOUT AND OVERFLOW SCUPPERS PAINTED TO MATCH BUILDING. REFER TO PLUMBING PLANS FOR MINIMUM SCUPPER OPENINGS ALLOWABLE PER CODE. |
| 48 INTERIOR ROOF DRAIN AND INTERIOR OVERFLOW DRAIN. PROVIDE BRASS LAMNS TONGUE AT ABOVE GRADE OUTLET.   |
| 49 INTERIOR ROOF DRAIN AND OVERFLOW SCUPPERS PAINTED TO MATCH BUILDING. REFER TO PLUMBING PLANS FOR MINIMUM SCUPPER OPENINGS ALLOWABLE PER CODE.      |

| ROOF PLAN GENERAL NOTES  |
|--|
| 1. CONTRACTOR TO VERIFY POSITIVE ROOF DRAINAGE. ROOFING CONTRACTOR TO VERIFY PRIOR TO INSTALLING RIGID INSULATION OR ROOFING. SEE "S" DRAWINGS FOR CRICKETS, ETC.  |
| 2. BUILT UP ROOFING TO BE CLASS 1 UL LISTED ROOFING ASSEMBLY DESIGNED TO RESIST 90MPH OR AS REQUIRED.  |
| 3. SEE STRUCTURAL DRAWINGS FOR ROOF ELEVATIONS. TYP.   |
| 4. REFER TO DETAIL 1/AD.1 FOR TYPICAL ROOF SECTION.  |
| 5. PROVIDE CRICKETS ON (HIGH SIDE) OF ALL MECHANICAL UNITS AND ROOF EQUIPMENT AT SKYLIGHTS & SMOKE HATCHES. PROVIDE POSITIVE DRAINAGE AROUND UNITS AT 1/2" PER SLOPE MINIMUM.  |
| 6. CONTRACTOR TO COORDINATE ALL ROOF PENETRATIONS. SEE ROOF DETAIL SHEET FOR PENETRATIONS.   |
| 7. ALL SKYLIGHTS AND SMOKE HATCHES TO BE DESIGNED TO MEET WINDLOAD AS DETERMINED BY THE BUILDING CODE AND LOCAL JURISDICTION.  |
| 8. ALL MECHANICAL CONDENSATE DRAINS TO BE BELOW ROOF.  |
| 9. G.C. TO CONFIRM REQUIREMENT FOR ROOF WALK PADS WITH OWNER.  |
| 10. ROOFING CAP SHEET TO HAVE MINIMUM AGED SOLAR REFLECTANCE EQUAL TO OR GREATER THAN 0.63, AND AN SRI EQUAL TO OR GREATER THAN 72 PER 2014 COUNTY OF LOS ANGELES GREEN BUILDING STANDARDS CODE.   |
| 11. ROOF ELEVATIONS TO BE VERIFIED WITH TABLE A5.106.11.2.2 STRUCTURAL DRAWINGS.   |
| 12. FOR ALL PIPE AND DUCT PENETRATIONS THRU ROOF, SEE DETAILS ON AD SHEETS.  |
| 13. ALL CONDESATE LINES FROM HVAC UNITS MUST BE INSTALLED BELOW ROOF.  |
| 14. ALL MECHANICAL EQUIPMENT WEIGHTS ARE OPERATING WEIGHTS.  |
| 15. PROVIDE A FULL TIME OSB MOISTURE INSPECTION AND GAP DISTANCE. BY A QUALIFIED ROOFING INSPECTION FIRM APPROVED BY THE OWNER AND THE OSB MANUFACTURER. INSPECTION FIRM TO BE ON SITE PRIOR TO THE START OF ANY BUILT UP ROOFING WORK.      |
| 16. ALL WOOD CURBS TO BE P.T.D.F.  |
| 17. ROOF EXHAUST FANS SHALL BE CENTERED DIRECTLY ABOVE A SPRINKLER HEAD. VERIFY WITH FIRE PROTECTION PLANS PRIOR TO INSTALLATION.  |
| 18. ALL SUB-PURLIN HANGERS SHALL BE "Z-MAX" TRIPLE ZINC COATED AS MANUF. BY SIMPSON OR APPROVED EQUAL.   |
| 19. AUTOMATIC SPRINKLER SYSTEMS SERVING MORE THAN 100 SPRINKLER HEADS SHALL BE SUPERVISED BY AN APPROVED CENTRAL PROPRIETARY, OR REMOTE STATION SERVICE, OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT CONSTANTLY ATTENDED LOCATION. |

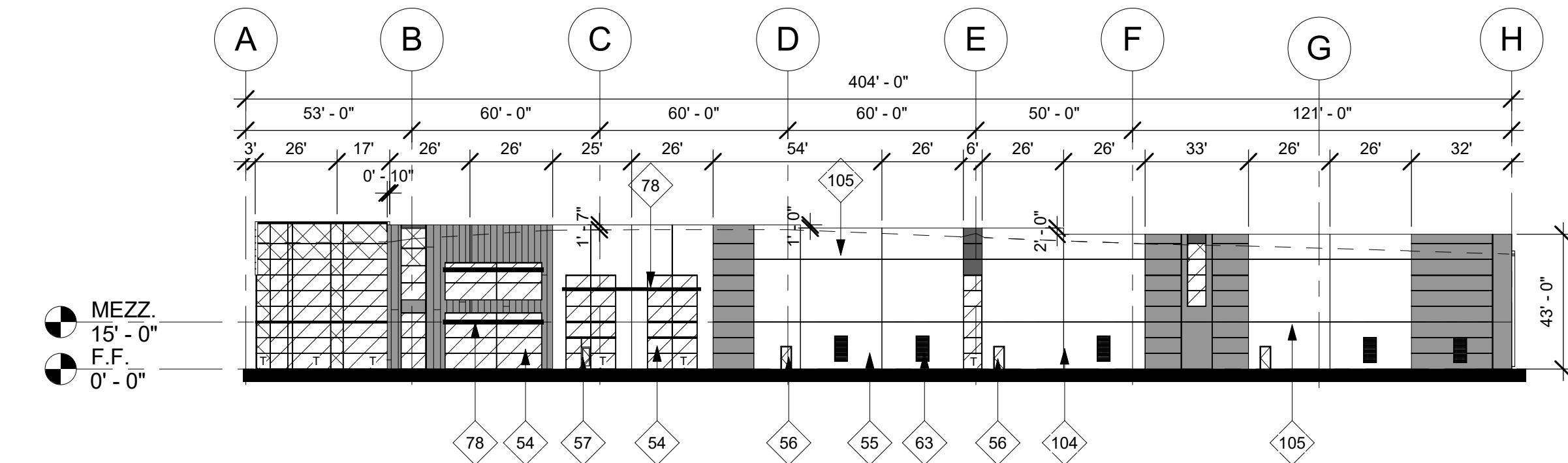




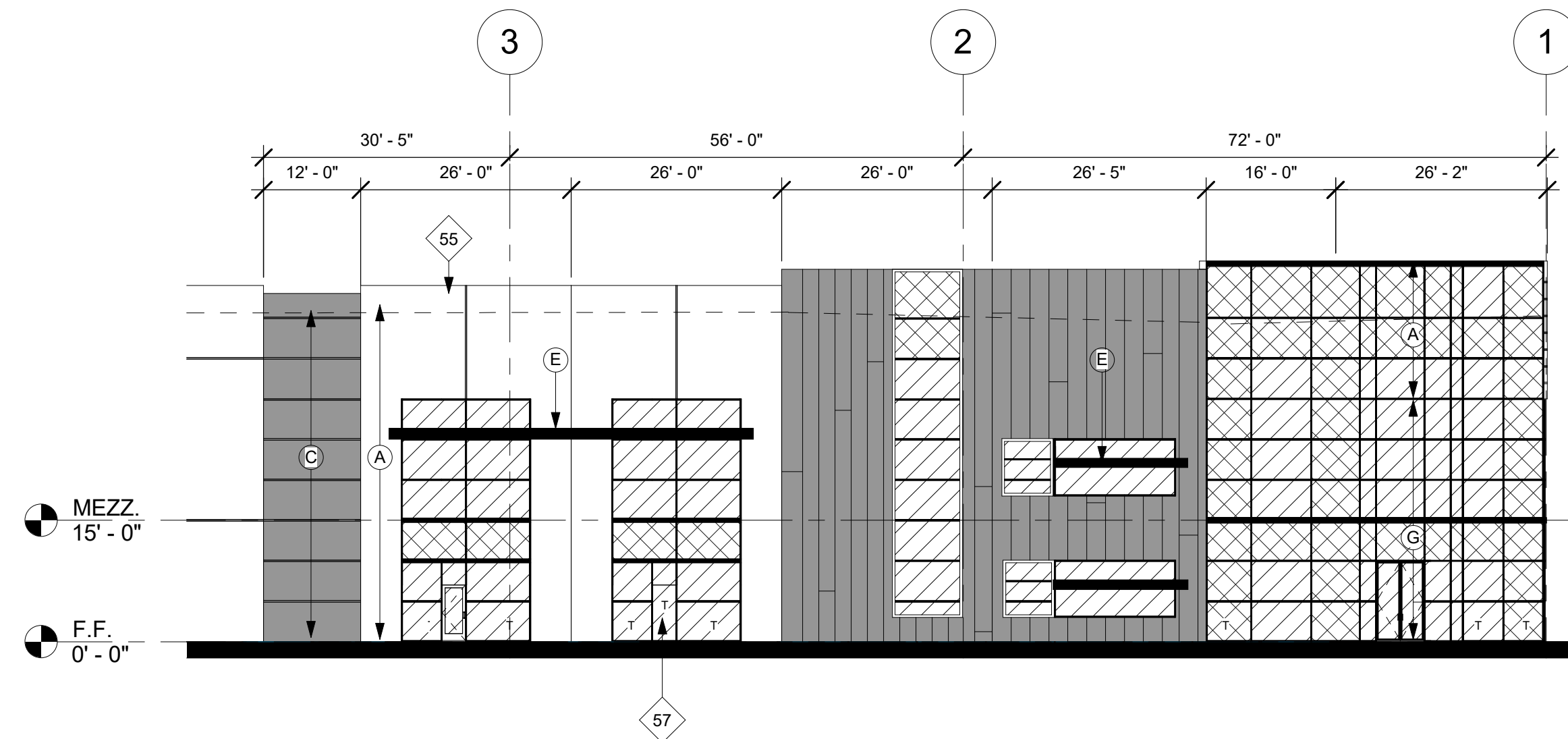
1 PROPOSED SOUTH ELEVATION  
1" = 40'-0"



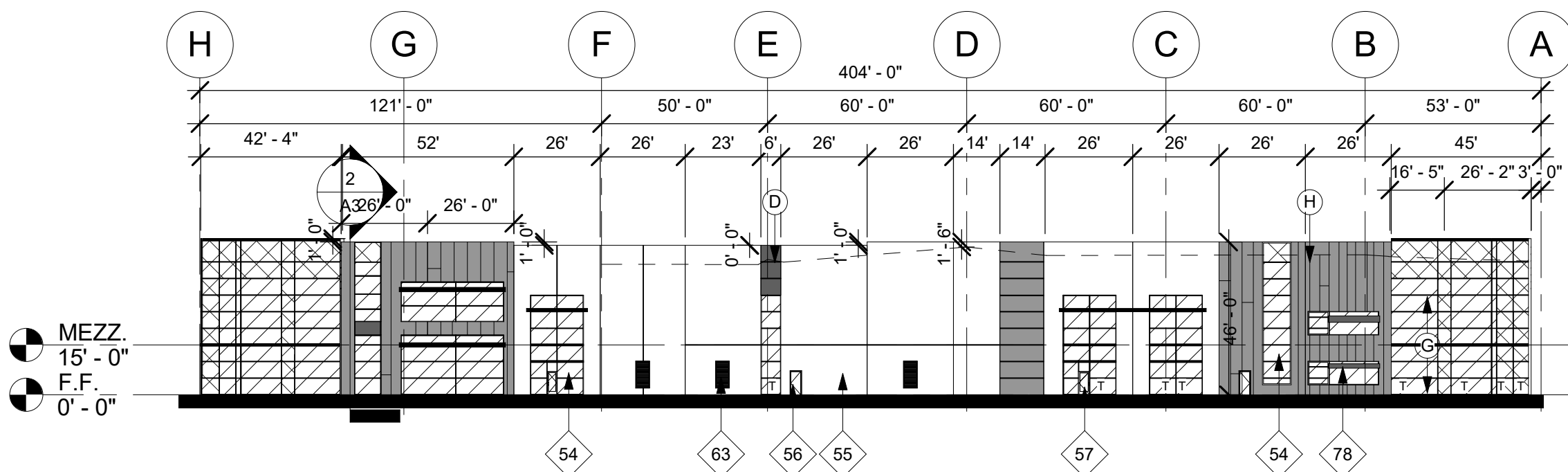
2 PROPOSED NORTH ELEVATION  
1" = 40'-0"



3 PROPOSED WEST ELEVATION  
1" = 40'-0"



4 ENLARGED NORTH-WEST ELEVATION  
1/16" = 1'-0"



5 PROPOSED EAST ELEVATION  
1" = 40'-0"

| KEYNOTES   | LEGEND   | EXTERIOR COLOR SCHEDULE  |
|--|--|--|
| 54 STOREFRONT, SEE ELEVATIONS & EXTERIOR COLOR SCHEDULE. STORE FRONT TO BE DESIGNED TO RESIST WIND LOAD AS REQUIRED BY BUILDING CODES AND LOCAL JURISDICTION. DESIGN OF STOREFRONT FRAMING SYSTEM AND STRUCTURAL CALCULATIONS TO BE DESIGN BUILD BY G.C. AND UNDER DEFERRED SUBMITTAL. | VISION GLAZING: [Symbol]   | (A) WHITE EXTERIOR PAINT<br>COLOR: SW 7063 NEBULOUS WHITE      |
| 55 CONCRETE TILT-UP PANEL, TYP. PAINTED, SEE EXTERIOR COLOR SCHEDULE. REFER TO ELEVATIONS AND "S" DRAWINGS FOR ADDITIONAL INFORMATION.   | SPANDREL GLAZING: [Symbol]   | (B) LIGHT GRAY EXTERIOR PAINT<br>COLOR: SW7065 ARGOS           |
| 56 EXTERIOR MAN DOOR 3'X7', HOLLOW METAL, PAINTED. SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.  | TEMPERED: [Symbol]   | (C) DARK GRAY EXTERIOR PAINT<br>COLOR: SW7673 PEWTER CAST      |
| 57 EXTERIOR STOREFRONT DOOR, SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.  | NOTE: SINGLE PANE GLAZING PAINT FACE OF CONCRETE PANEL BEHIND BLACK & PROVIDE AIR HOLES. NO SPANDREL COATING REQUIRED. | (D) CHARCOAL EXTERIOR PAINT<br>COLOR: SW7674 PEPPERCORN        |
| 58 DOCK-HI LOADING DOOR, 9'X10', WITH VISION GLAZING PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.  | NOTE: ALL EXTERIOR GLAZING SHALL BE TEMPERED INCLUDING SPANDREL GLAZING.   | (E) DECORATIVE METAL BROW<br>COLOR: BLACK                      |
| 63 AIR INTAKE LOUVER, PAINT TO MATCH BUILDING WALL, TYP. SIZE VERTICAL 4'X 8', PROVIDE BIRD SCREEN, FILTER AND BURGLAR BARS.   |  | (F) DECORATIVE BREAK METAL<br>TO MATCH MULLIONS                |
| 78 DECORATIVE METAL BROW, REFER TO ARCHITECTURAL-STRUCTURAL DETAILS.   |  | (G) BLUE REFLECTIVE GLAZING<br>WITH BLACK ANODIZED MULLIONS    |
| 104 PANEL JOINT, TYP.  |  | (H) PAINTED ALUMINUM<br>DRI-DESIGN PANEL                       |
| 105 2" DECORATIVE CONCRETE REVEAL WITH CHAMFERED EDGES, TYP.   |  | TRUCK DOORS TO BE PRE-FINISHED BY MANUFACTURER IN WHITE FINISH |



ARTESIA BLVD.

BOULEVARD

PARAMOUNT BLVD.

PARAMOUNT

61.66 FF  
61.16 PAD

## EARTHWORK BALANCE CALCULATIONS

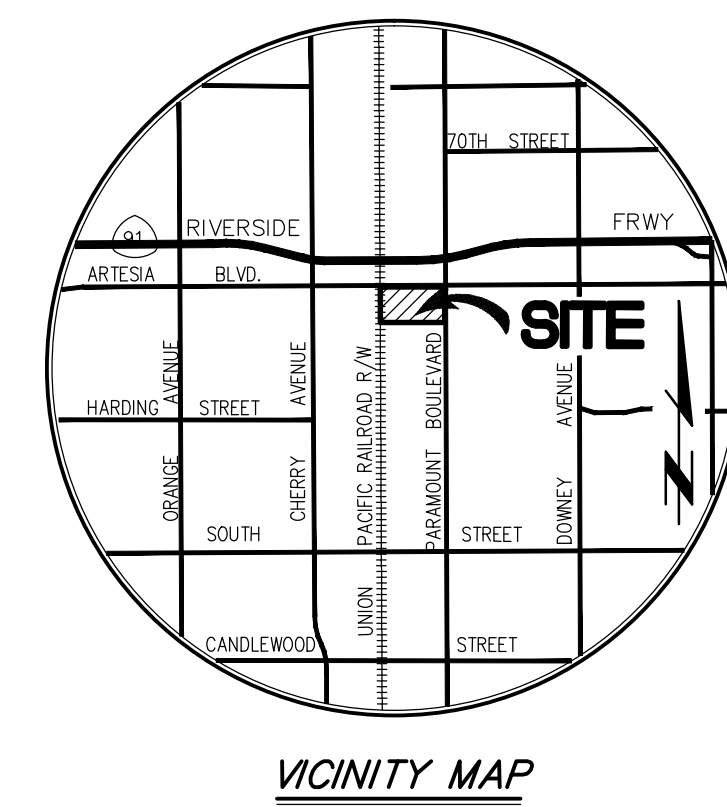
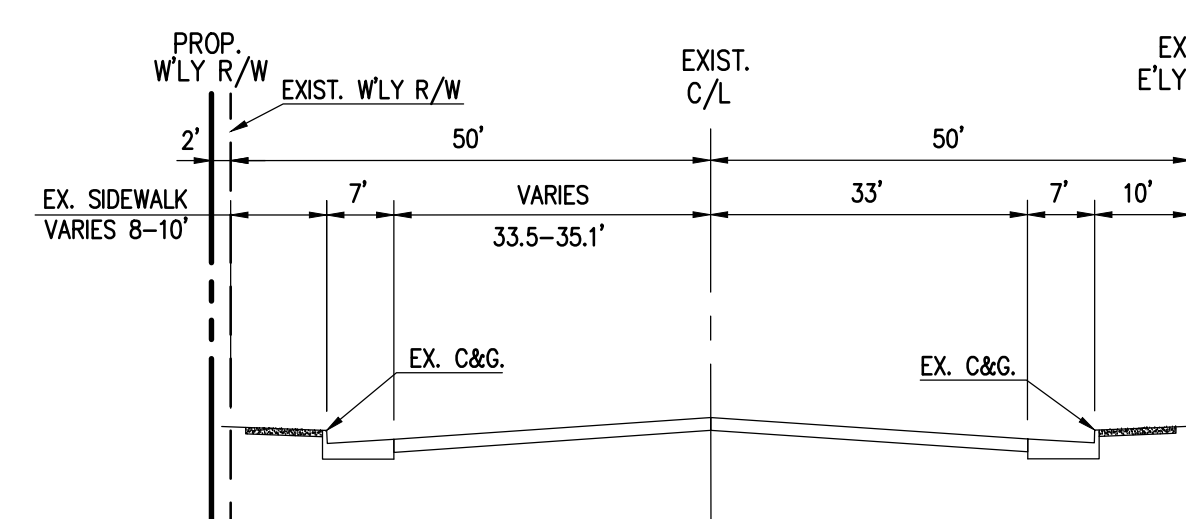
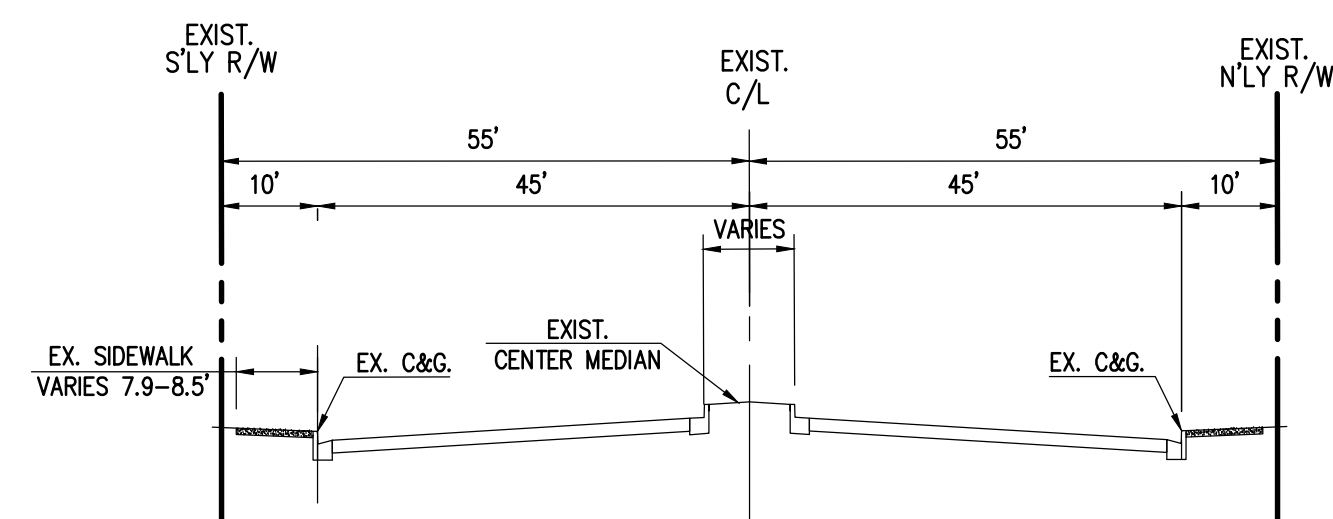
4/2/2018

PROJECT:  
JOB#Bridge Artesia Long Beach  
3639

|     |   |                    |
|-----|---|--------------------|
| K.  | SITE AREA:                              | 749,710 SF         |
| L.  | SUBSIDENCE FACTOR:                      | 0.063              |
| M.  | SHRINKAGE FACTOR:                       | 5.0 %              |
| N.  | SITE STRIPPING FACTOR:                  | 0.1                |
| O.  | OVEREXCAVATION:                         | 68,500 CY          |
| A.  | CALCULATED CUT:                         | 2,483 CY           |
| B.  | FOOTING AND UTILITY SPOILS              | 4,400 CY           |
| C1. | OFFSITE SPOILS (STREET AND STORM DRAIN) | 300                |
|     | <b>TOTAL CUT: (A+B)</b>                 | <b>7,183 CY</b>    |
| D.  | CALCULATED FILL:                        | 74,060 CY          |
| E.  | LIGHT PAVING FILL:                      | - CY               |
| F.  | SUBSIDENCE: (LxK)/27=                   | 1,735 CY           |
| G.  | SHRINKAGE: (M/100)C=                    | 359 CY             |
| H.  | SITE STRIPPING                          | 2,777              |
| I.  | OVEREXCAVATION SHRINKAGE                | 3,425 CY           |
| J.  | <b>TOTAL FILL: (D+E+F+G+H)=</b>         | <b>82,356 CY</b>   |
| K.  | <b>TOTAL (IMPORT) OR EXPORT:</b>        | <b>(75,173) CY</b> |

SITE ADJUSTMENT

(2.71)

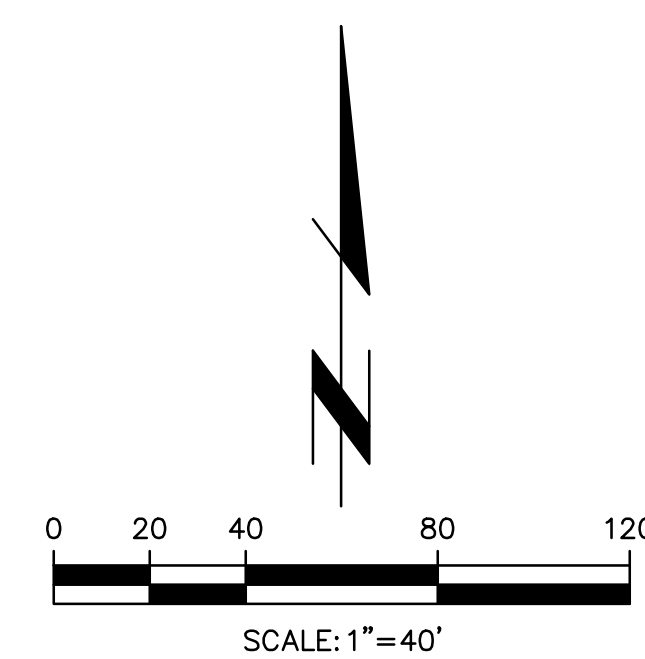
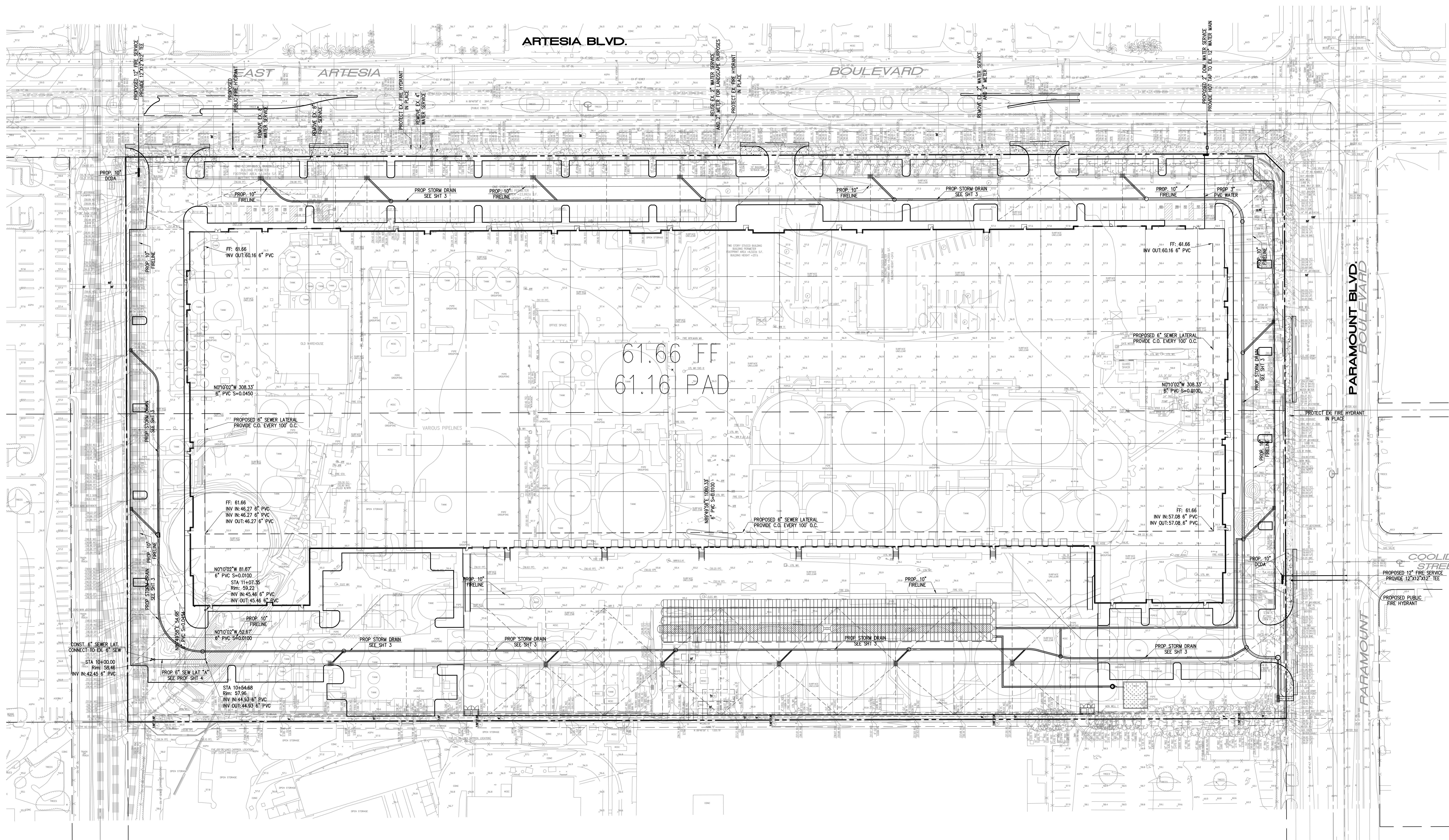
CITY OF LONG BEACH  
PUBLIC WORKS DEPARTMENT  
CONCEPTUAL GRADING PLANBRIDGE DEVELOPMENT  
ARTESIA BLVD.

|             |       |                       |       |        |       |
|-------------|-------|-----------------------|-------|--------|-------|
| Designed by | _____ | Approved by           | _____ | Date   | _____ |
| Checked by  | _____ | Public Works Director | _____ | R.C.E. | XXXXX |
| Designed by | _____ | _____                 | _____ | _____  | _____ |
| Date        | _____ | _____                 | _____ | _____  | _____ |
| Checked by  | _____ | _____                 | _____ | _____  | _____ |
| Date        | _____ | _____                 | _____ | _____  | _____ |

Sheet 1 of 5 Sheets

3639 / 1 OF 5 SHEET





PREPARED FOR:  
  
BRIDGE DEVELOPMENT PARTNERS  
1334 PARKVIEW AVENUE, SUITE 310  
MANHATTAN BEACH, CA 90266  
PHONE: (213) 805-6350  
FAX: (310) 853-8423

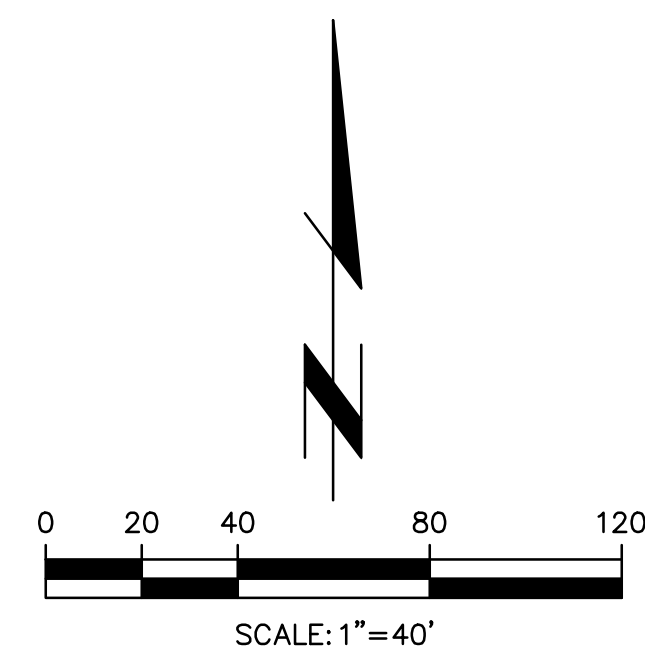
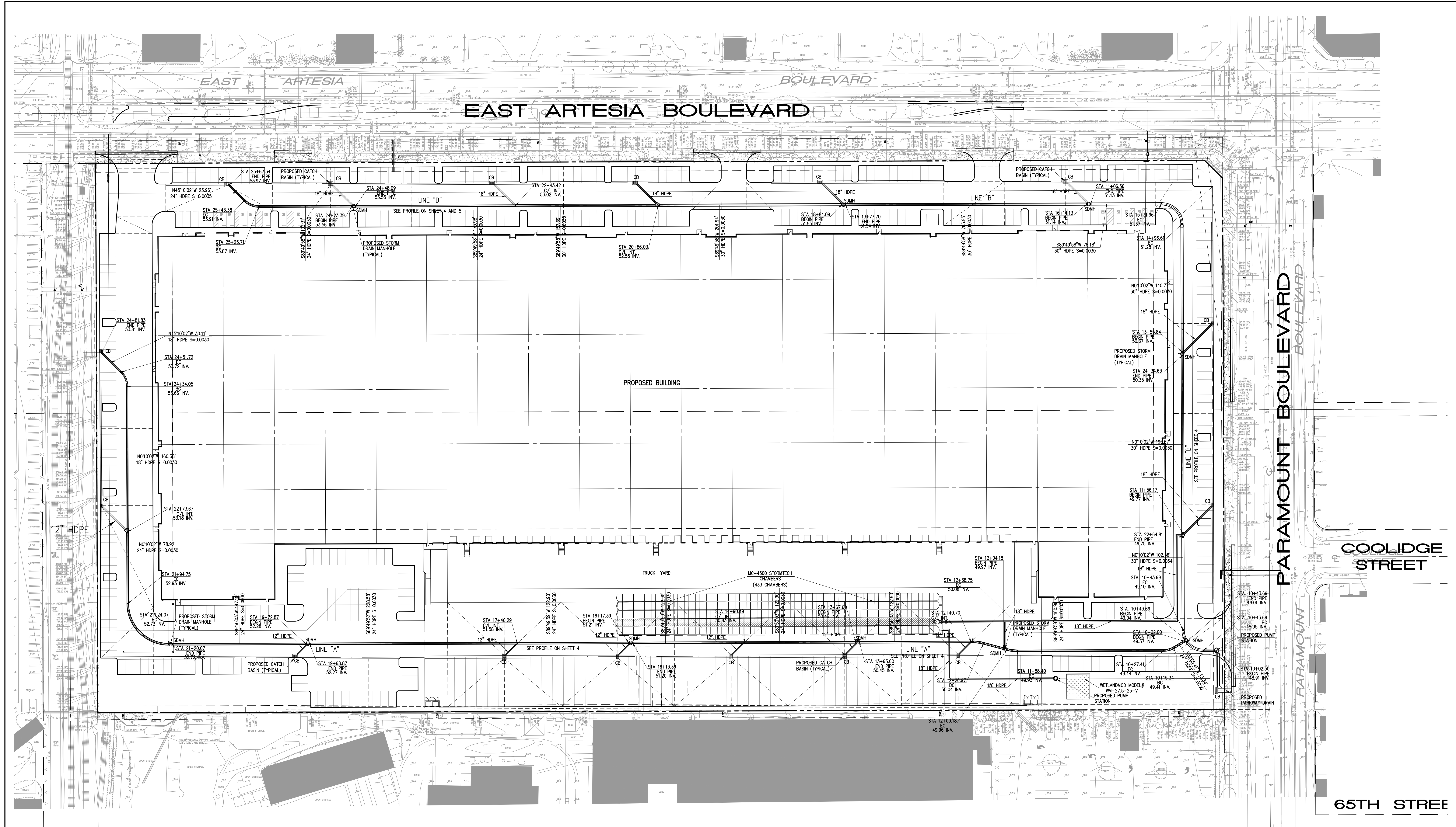
**T*e*i** Thienes Engineering, Inc.  
CIVIL ENGINEERING • LAND SURVEYING  
14140 FIRESTONE BOULEVARD  
LA MIRADA, CALIFORNIA 90638  
PH: (714) 521-4111 FAX: (714) 521-4173

| CITY OF LONG BEACH<br>PUBLIC WORKS DEPARTMENT |       |                       |              |
|---|-------|-----------------------|--------------|
| CONCEPTUAL<br>UTILITY PLAN                    |       |                       |              |
| BRIDGE DEVELOPMENT<br>ARTESIA BLVD.           |       |                       |              |
| Designed by                                   | _____ | Approved by           | _____        |
| Date  | _____ | Date                  | _____        |
| Checked by                                    | _____ | Public Works Director | R.C.E. XXXXX |
| Date  | _____ |                       |              |
| Designed by                                   | _____ |                       |              |
| Date  | _____ |                       |              |
| Checked by                                    | _____ |                       |              |
| Date  | _____ |                       |              |
| Sheet <b>2</b> of <b>5</b>                    |       | Sheets                |              |

3639 / 2 OF 5 SHEET

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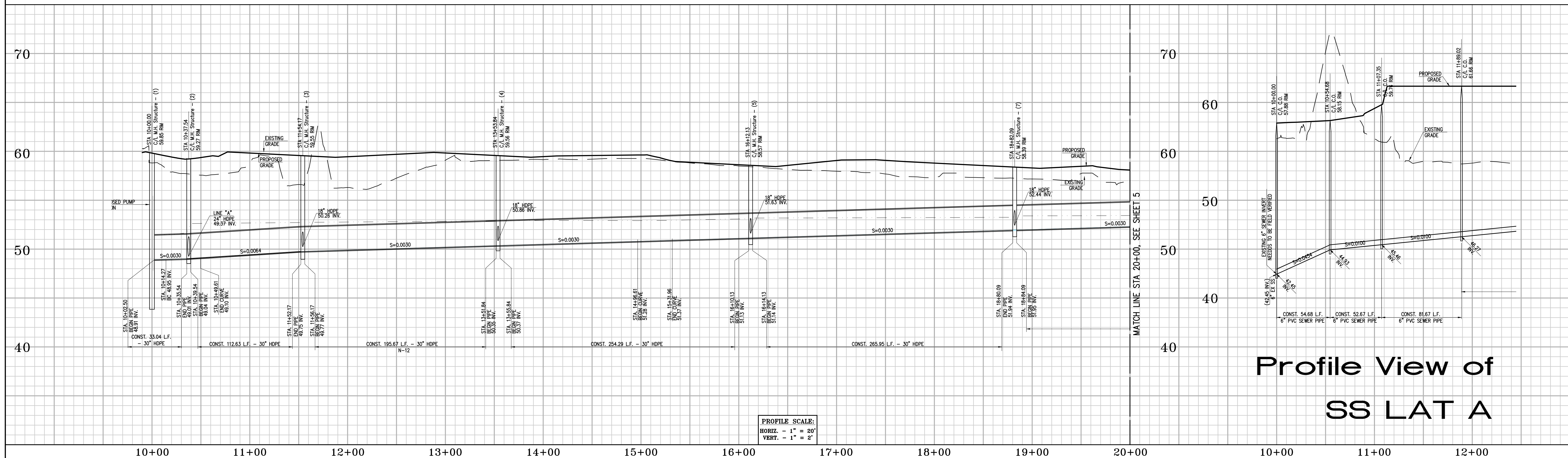
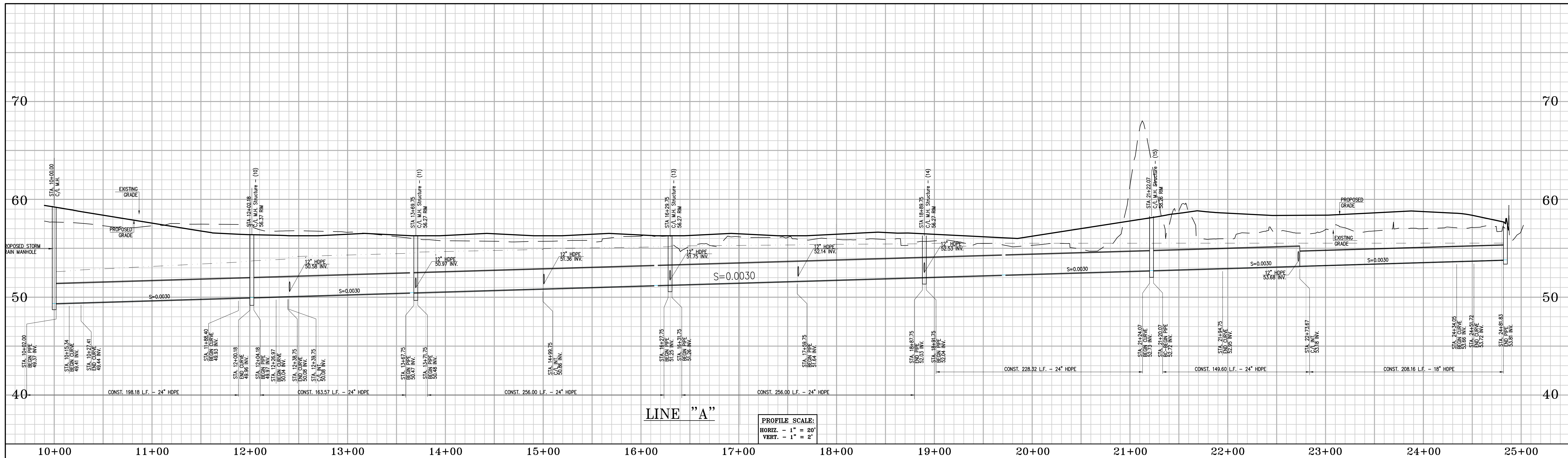
PREPARED FOR:  
**BRIDGE DEVELOPMENT PARTNERS**  
1334 PARKVIEW AVENUE, SUITE 310  
MANHATTAN BEACH, CA 90266  
PHONE: (310) 805-6350  
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14140 FIRESTONE BOULEVARD  
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| CITY OF LONG BEACH          |                             |
|-----------------------------|-----------------------------|
| PUBLIC WORKS DEPARTMENT     |                             |
| CONCEPTUAL STORM DRAIN PLAN |                             |
| BRIDGE DEVELOPMENT          |                             |
| ARTESIA BLVD.               |                             |
| Designed by _____           | Approved by _____           |
| Checked by _____            | Date _____                  |
| Date _____                  | Public Works Director _____ |
| Designed by _____           | R.C.E. XXXXX                |
| Checked by _____            |                             |
| Date _____                  |                             |
| Sheet <b>3</b> of <b>5</b>  | 3639 / 3 OF 5 SHEET         |

Last Update: 3/27/18  
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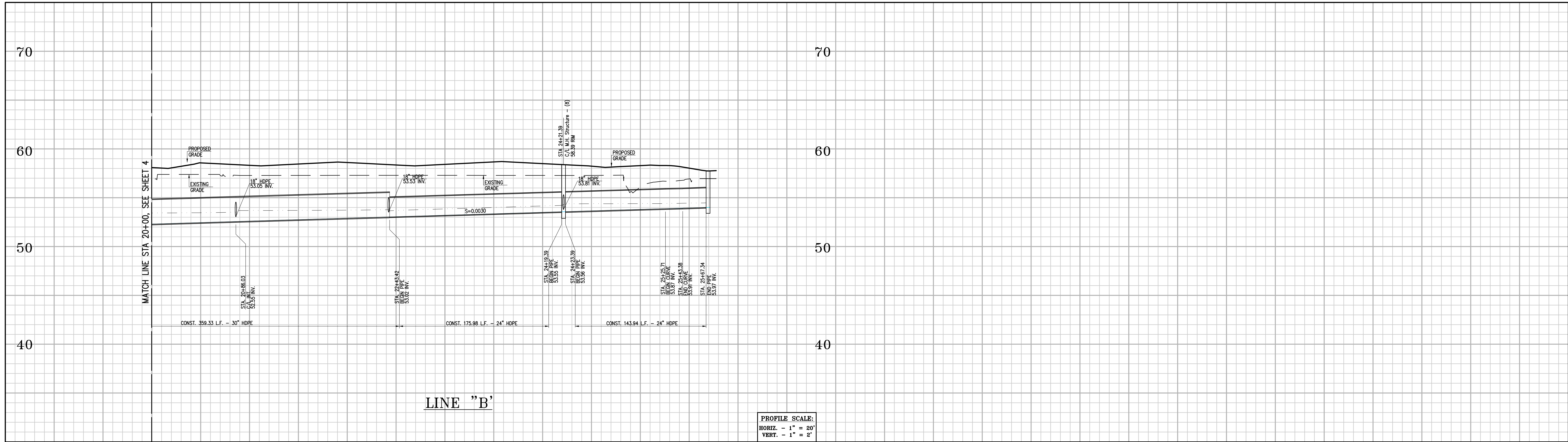


Profile View of  
SS LAT A

PREPARED FOR:  
**BRIDGE DEVELOPMENT PARTNERS**  
1334 PARKVIEW AVENUE, SUITE 310  
MANHATTAN BEACH, CA 90266  
PHONE: (310) 855-6350  
FAX: (310) 853-8423



|  |   |
|--|---|
| <b>CITY OF LONG BEACH</b><br>PUBLIC WORKS DEPARTMENT   |   |
| <b>CONCEPTUAL<br/>UTILITY PROFILES</b>   |   |
| <b>BRIDGE DEVELOPMENT<br/>ARTESIA BLVD.</b>  |   |
| Designed by _____<br>Date _____<br>Checked by _____<br>Date _____<br>Designed by _____<br>Date _____<br>Checked by _____<br>Date _____ | Approved by _____ Date _____<br>Public Works Director _____ R.C.E. XXXXX<br>Sheet <b>4</b> of <b>5</b> Sheets |



20+00 21+00 22+00 23+00 24+00 25+00

LINE "B"

PROFILE SCALE:  
HORIZ. - 1" = 20'  
VERT. - 1" = 2'

Last Update: 4/2/18  
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PROFILE SCALE:  
HORIZ. - 1" = 40'  
VERT. - 1" = 4'

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PHONE: (213) 805-6350  
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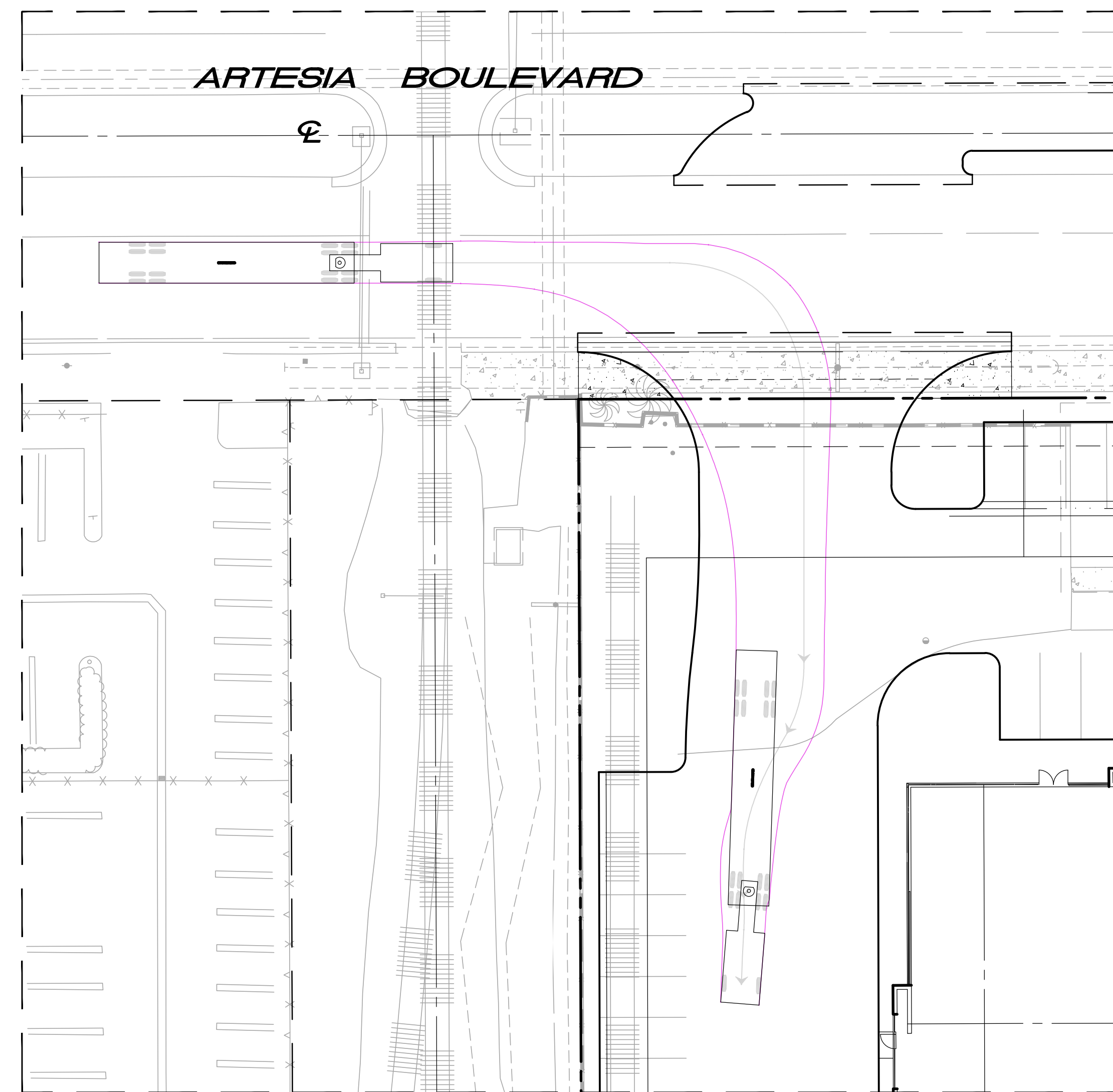


CITY OF LONG BEACH  
PUBLIC WORKS DEPARTMENT  
CONCEPTUAL  
UTILITY PROFILES  
BRIDGE DEVELOPMENT  
ARTESIA BLVD.

|                   |                       |               |
|-------------------|-----------------------|---------------|
| Designed by _____ | Approved by _____     | Date _____    |
| Checked by _____  |                       |               |
| Date _____        |                       |               |
| Designed by _____ | Public Works Director | R.C.E. XXXXX  |
| Date _____        |                       |               |
| Checked by _____  |                       |               |
| Date _____        |                       |               |
| Sheet             |                       | 5 of 5 Sheets |

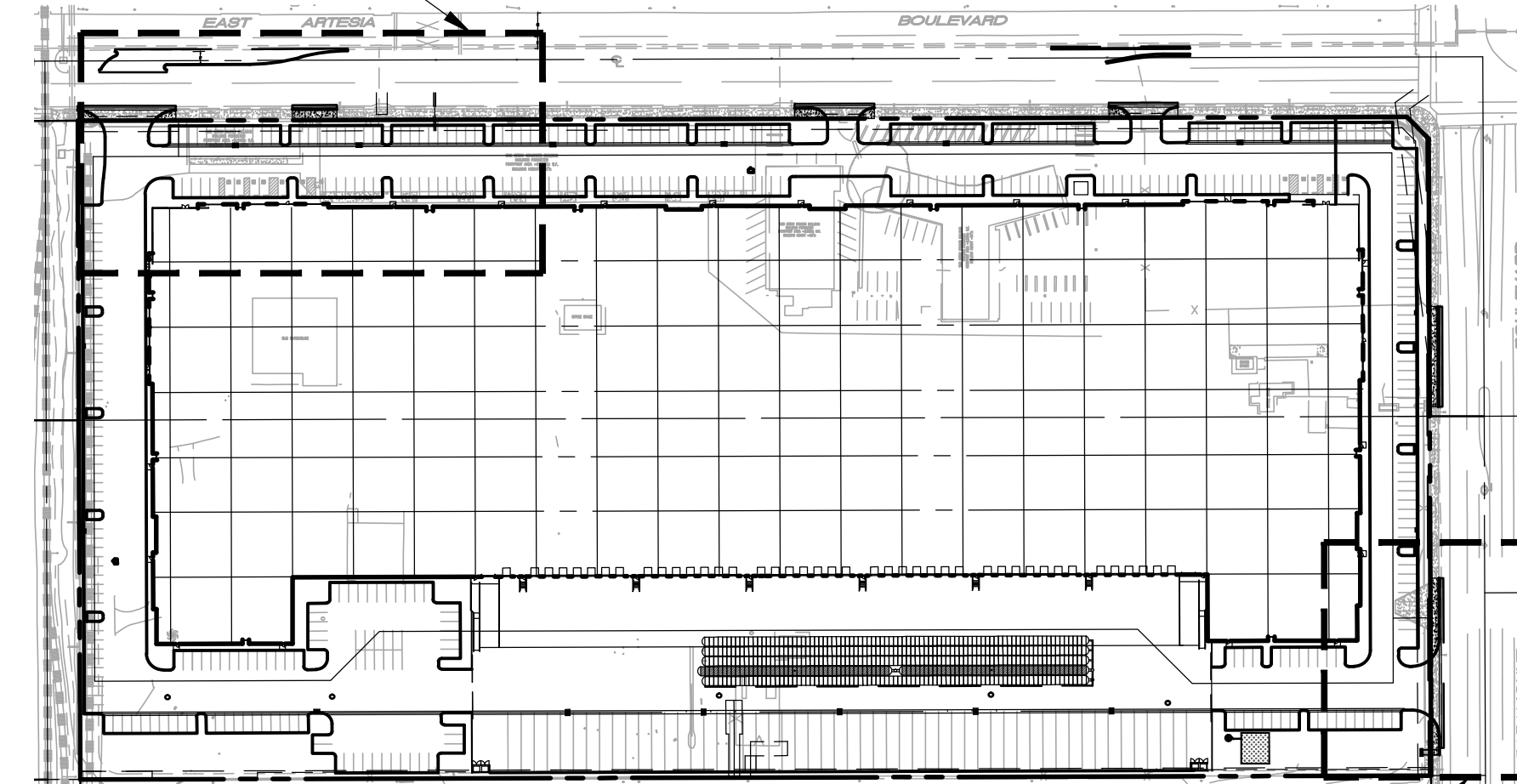


# TRUCK TURNING EXHIBIT

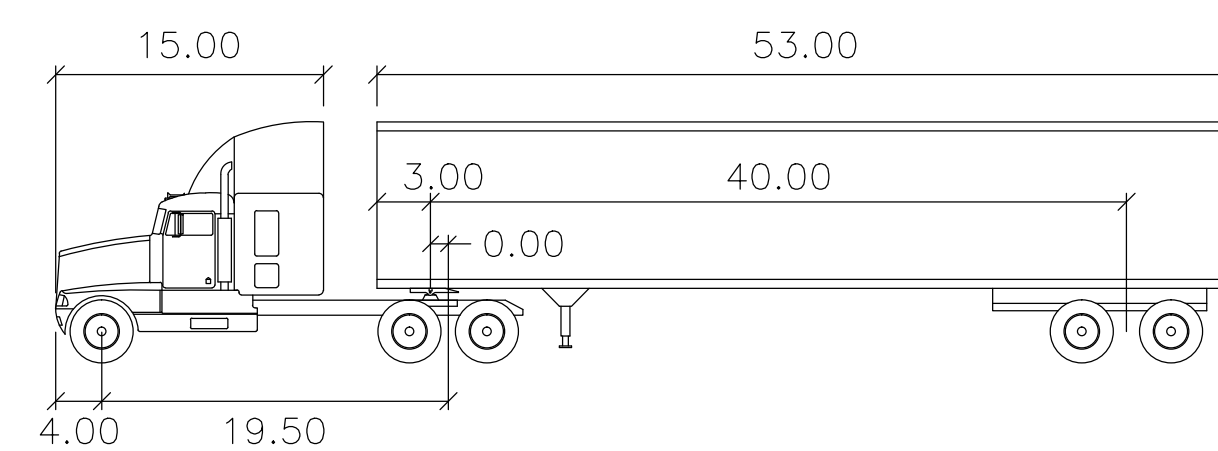


DETAIL A.1

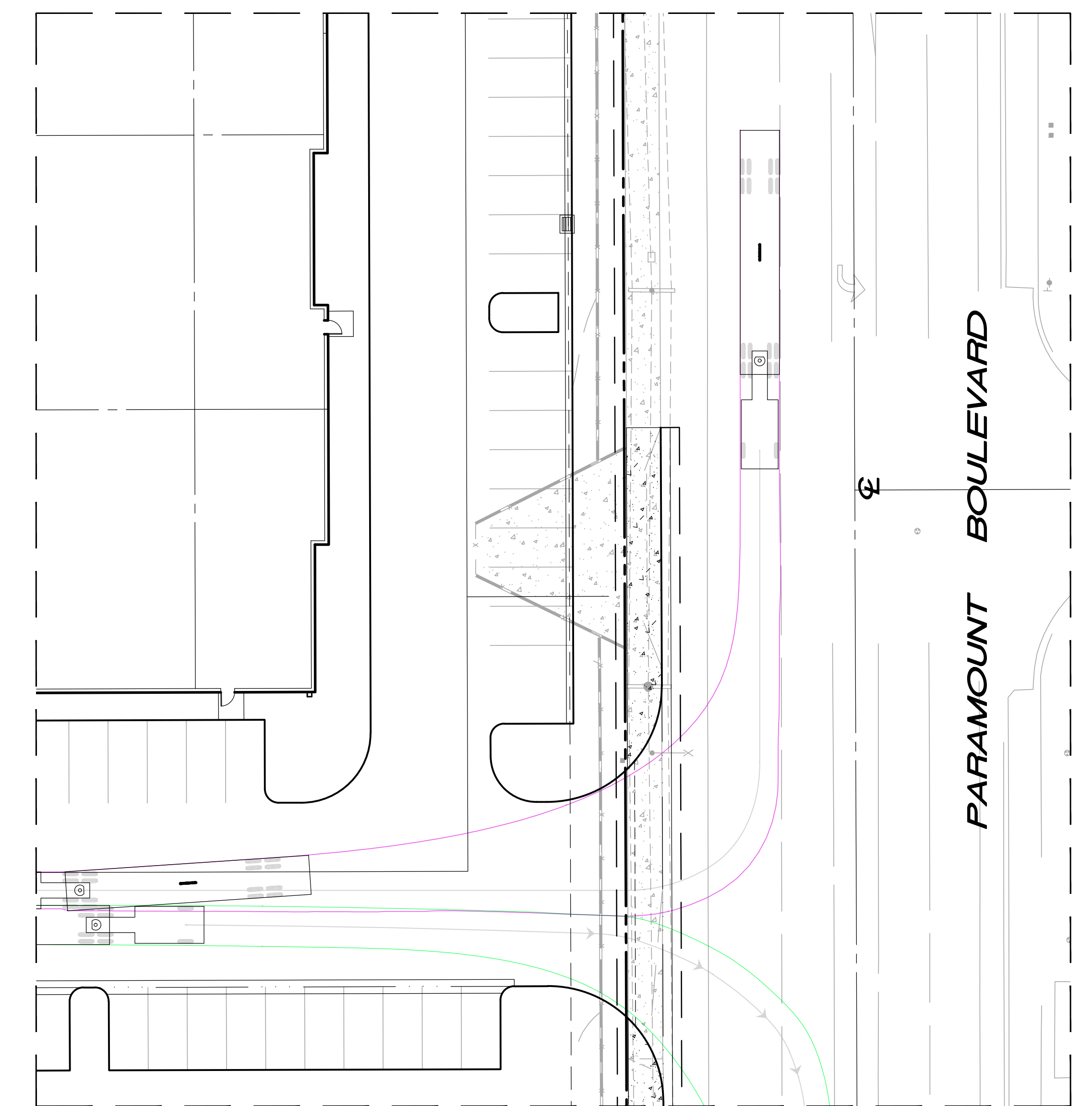
DETAIL A.1 & A.2



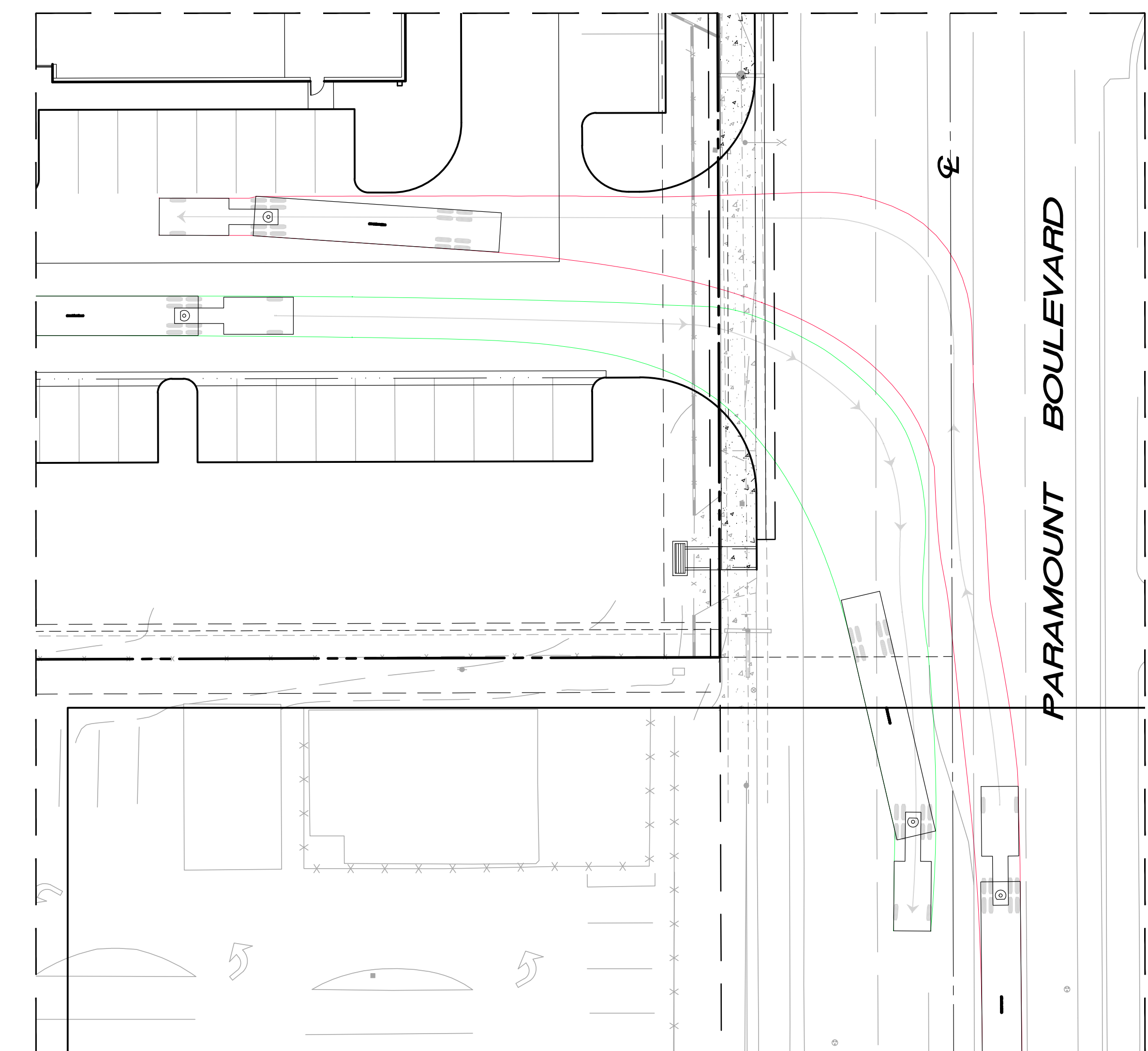
DETAIL B.1 & B.2



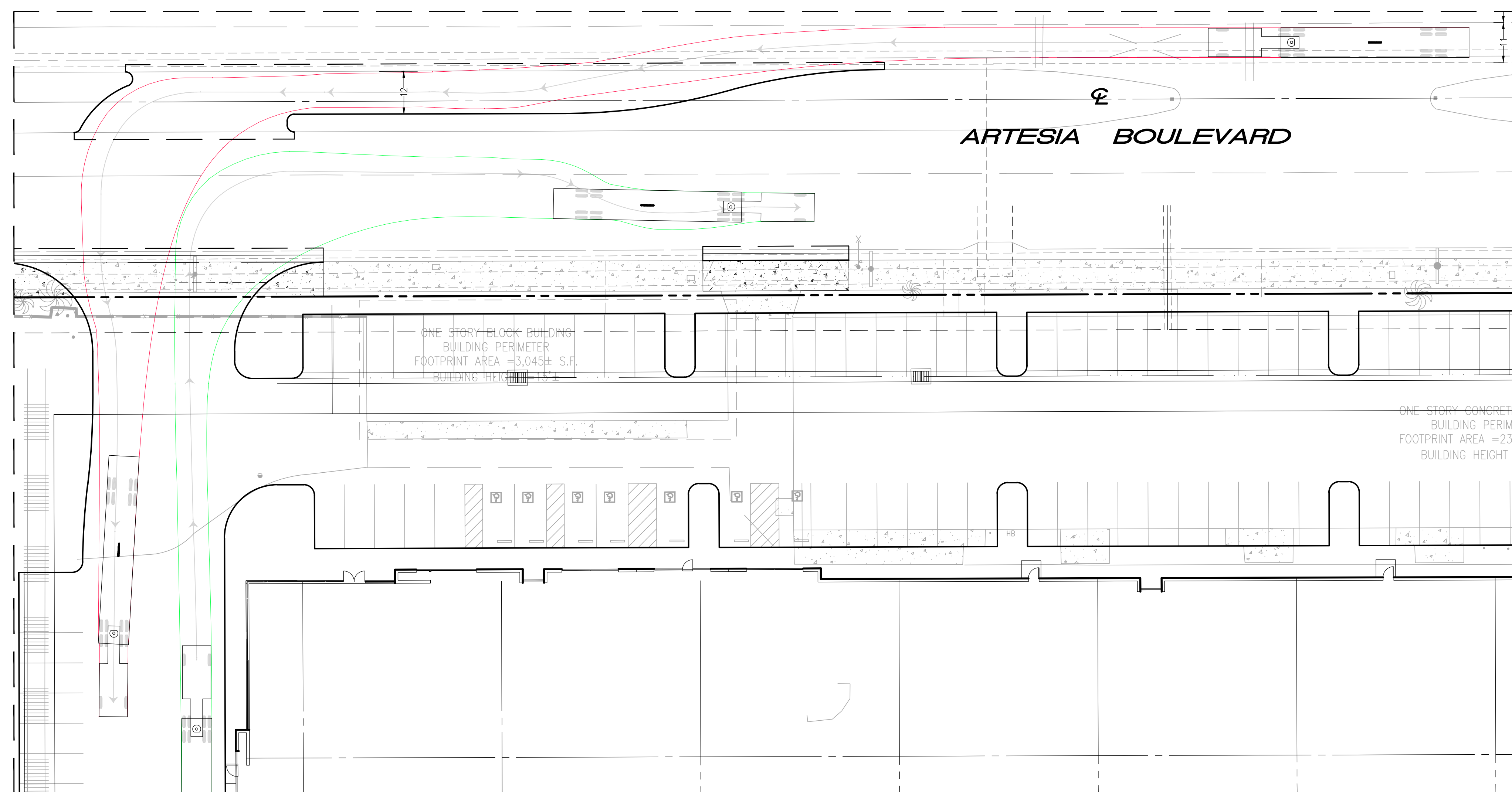
| 53 foot trailer |        | feet |                    |        |  |
|-----------------|--------|------|--------------------|--------|--|
| Tractor Width   | : 8.00 |      | Lock to Lock Time  | : 6.0  |  |
| Trailer Width   | : 8.50 |      | Steering Angle     | : 35.0 |  |
| Tractor Track   | : 8.00 |      | Articulating Angle | : 70.0 |  |
| Trailer Track   | : 8.50 |      |                    |        |  |



DETAIL B.1



DETAIL B.2



DETAIL A.2



