

BUILDING CODE SUMMARY

1. ZONING:	IG (GENERAL INDUSTRIAL)
2. BUILDING FOOTPRINT:	10,780 SF
3. TI AREA:	10,320 SF
4. CONSTRUCTION TYPE:	III-A - SPRINKLED
5. BUILDING HEIGHT:	1 STORY
6. OCCUPANCY:	F-1/ S-1/ B WAREHOUSE STORAGE

EXISTING BUILDING ANALYSIS:

BUILDING AREA:	
OFFICE AREA:	6,600 SF
WAREHOUSE:	4,180 SF

TOTAL GROSS AREA:	10,780 SF
FLOOR AREA RATIO:	
LOT SIZE:	14,701 SF
BUILDING FOOTPRINT:	9,032 SF
FLOOR AREA RATIO:	61.2%

PROPOSED BUILDING ANALYSIS:

BUILDING AREA:	
CULTIVATION AREA:	
1ST FLOOR:	10,780 SF

TOTAL GROSS AREA:	10,780 SF
FLOOR AREA RATIO:	
LOT SIZE:	23,672 SF
BUILDING FOOTPRINT:	10,780 SF
FLOOR AREA RATIO:	46.6%

EXISTING OCCUPANCY ANALYSIS:

UNIT	OCCUPANCY	SQUARE FEET
	OFFICE	6,600
	WAREHOUSE	4,180

PROPOSED OCCUPANCY ANALYSIS:

UNIT	OCCUPANCY	SQUARE FEET
1	CULTIVATION (F-1)	10,780

OCCUPANCY ANALYSIS (CBC)-TI SPACE		
1. 1ST FLOOR:		
CULTIVATION AREA	10,780 SF / 300 = 36	OCCUPANTS

TOTAL:	36	OCCUPANTS
2. 2 EXIT PROVIDED		
3. WIDTH REQUIRED FOR 30 OCC: 31 X .2" = 6.2"		
4. WIDTH PROVIDED FOR EXIT: 108"		

PROJECT DIRECTORY

CLIENT	ARCHITECT
3850 GILMAN OPERATIONS 3850 GILMAN STREET LONG BEACH, CA 90815 CONTACT: MATHEW SCOTT TELE: 310.880.1113	SYNARC STUDIO 2400 MAIN ST. SUITE 203 IRVINE, CALIFORNIA 92614 TELE: 949-296-5730 CONTACT: JEFFERSON CHOI EMAIL: JCHOI@SYNARCSTUDIO.COM

ELECTRICAL MECHANICAL + PLUMBING

DMI ENGINEERS 8140 WEIRICK ROAD CORONA, CALIFORNIA 92883 TELE: 951-277-9109 CONTACT: FREDDY IYENGAR EMAIL: FIYENGAR@DMIENGINEERS.COM	BANDI ENGINEERING P.O. BOX 17424 IRVINE, CALIFORNIA 92623 TELE: 949-614-9582 CONTACT: SAEED BANDI EMAIL: SAEED@BANDIENGINEERING.COM
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STRUCTURAL

ABSOLUTE CO 3839 BIRCH NEWPORT BEACH, CA 92660 TELE: 949-852-8700 CONTACT: SAUM NOUR EMAIL: SNOUR@ABSOLUTE.CO.COM

PROPOSED PARKING ANALYSIS:

PROPOSED PARKING CALCULATIONS:		
10,780 SF / CULTIVATION:	2/1,000 SF = 22 SPACES	

TOTAL REQUIRED:	22 SPACES	
PROPOSED PARKING PROVIDED:		
STANDARD:	21	
ACCESSIBLE:	1	

TOTAL COUNT:	22 SPACES	

SCOPE OF WORK

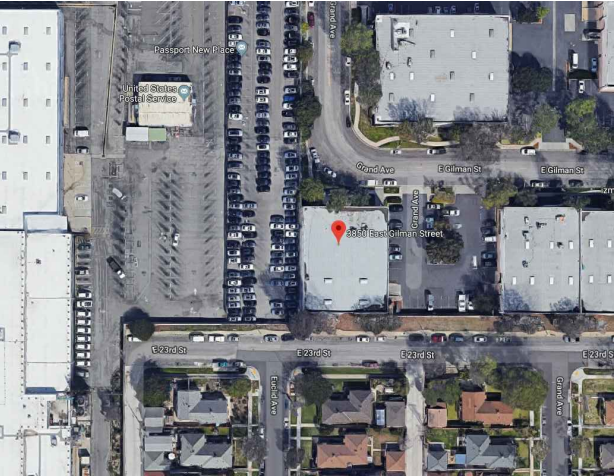
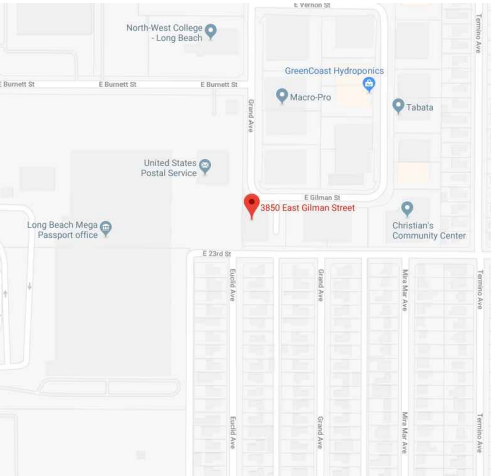
THE PROJECT IS A 10,320 SF TI OF AN EXISTING 10,780 SF OFFICE BUILDING WITH WAREHOUSE B/ S. THE INTENDED USE IS FOR ADULT-USE MARIJUANA DISTRIBUTION.

PROJECT INFORMATION

PROJECT NAME 3850 GILMAN OPERATIONS
PROJECT ADDRESS 3850 GILMAN STREET LONG BEACH, CA 90815

DRAWING INDEX

SHEET NUMBER	SHEET TITLE	DATE	DESCRIPTION	ISSUE FOR CUP			
	ARCHITECTURAL						
DS-1.0	TITLE SHEET						
DS-1.1	EXISTING SITE PLAN AND PHOTOS						
DS-1.2	PROPOSED SITE PLAN						
DS-2.1D	EXISTING 1ST FLOOR PLAN + DEMO PLAN						
DS-2.2D	EXISTING 2ND FLOOR PLAN + DEMO PLAN						
DS-2.1	PROPOSED FLOOR PLAN						
DS-5.1	PROPOSED FINISH PLAN						
DS-7.1	EXISTING BUILDING ELEVATIONS						



VICINITY MAPS

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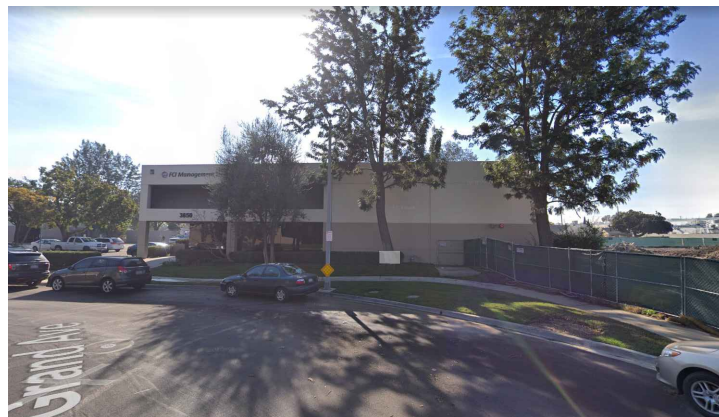
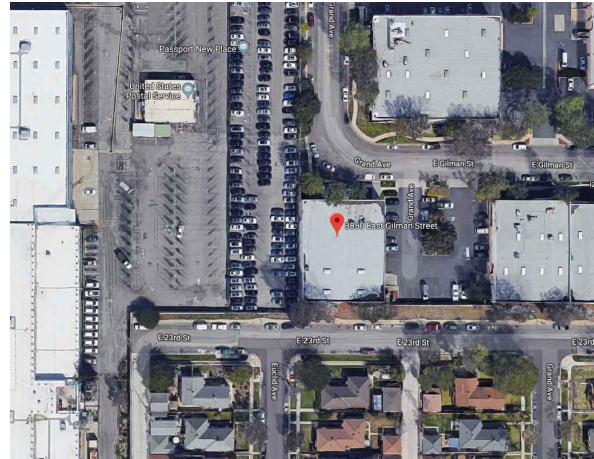
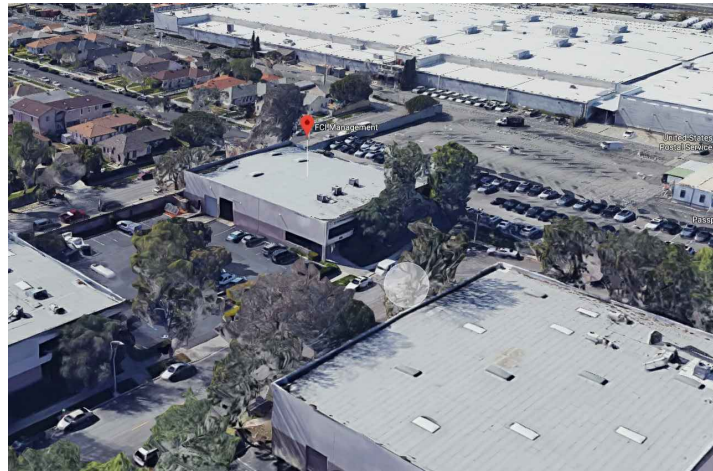
Title Sheet

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wk: (949) 596-4298
jchoi@synarcstudio.com

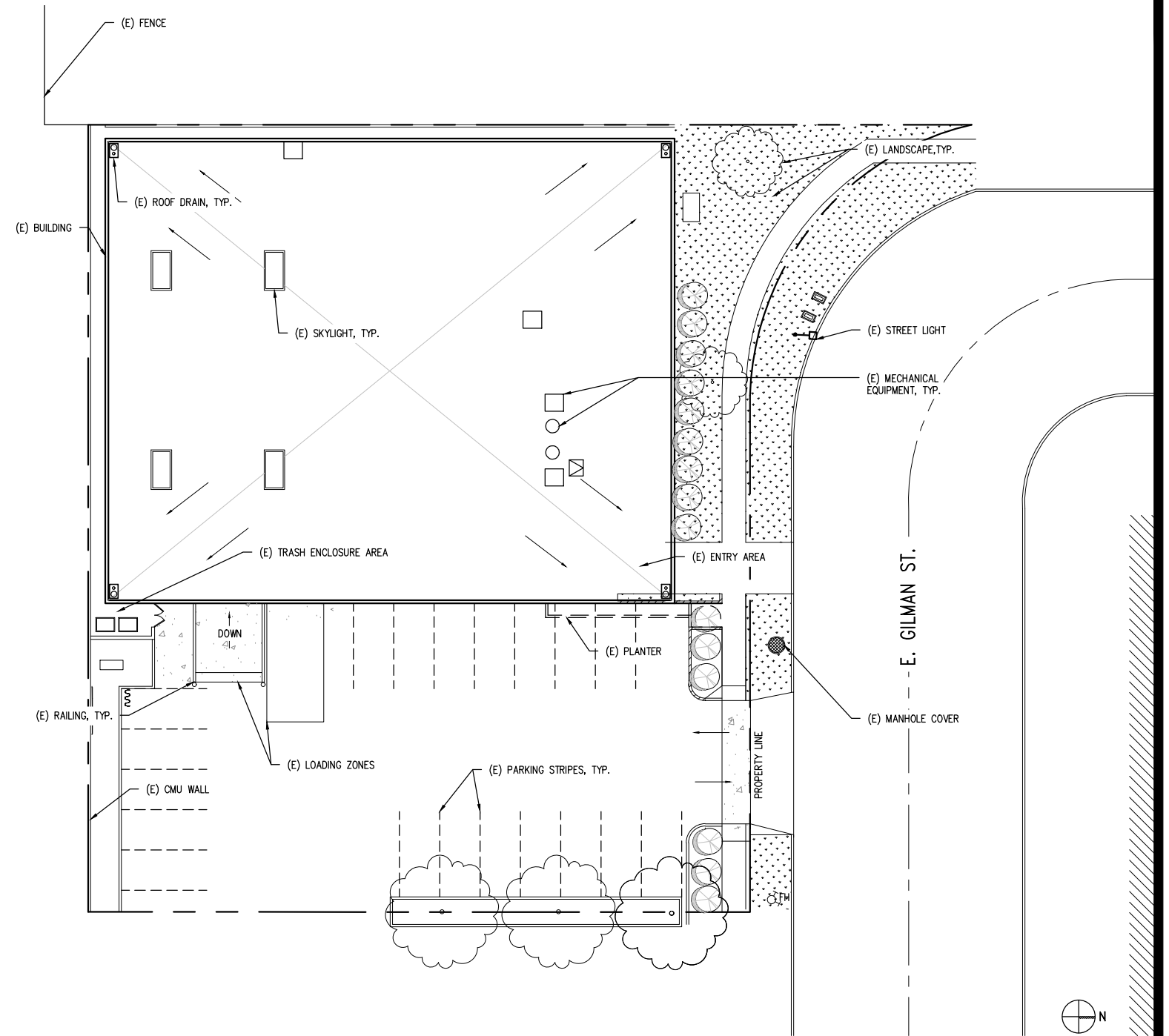
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DS-1.0



SITE PHOTOS | 02



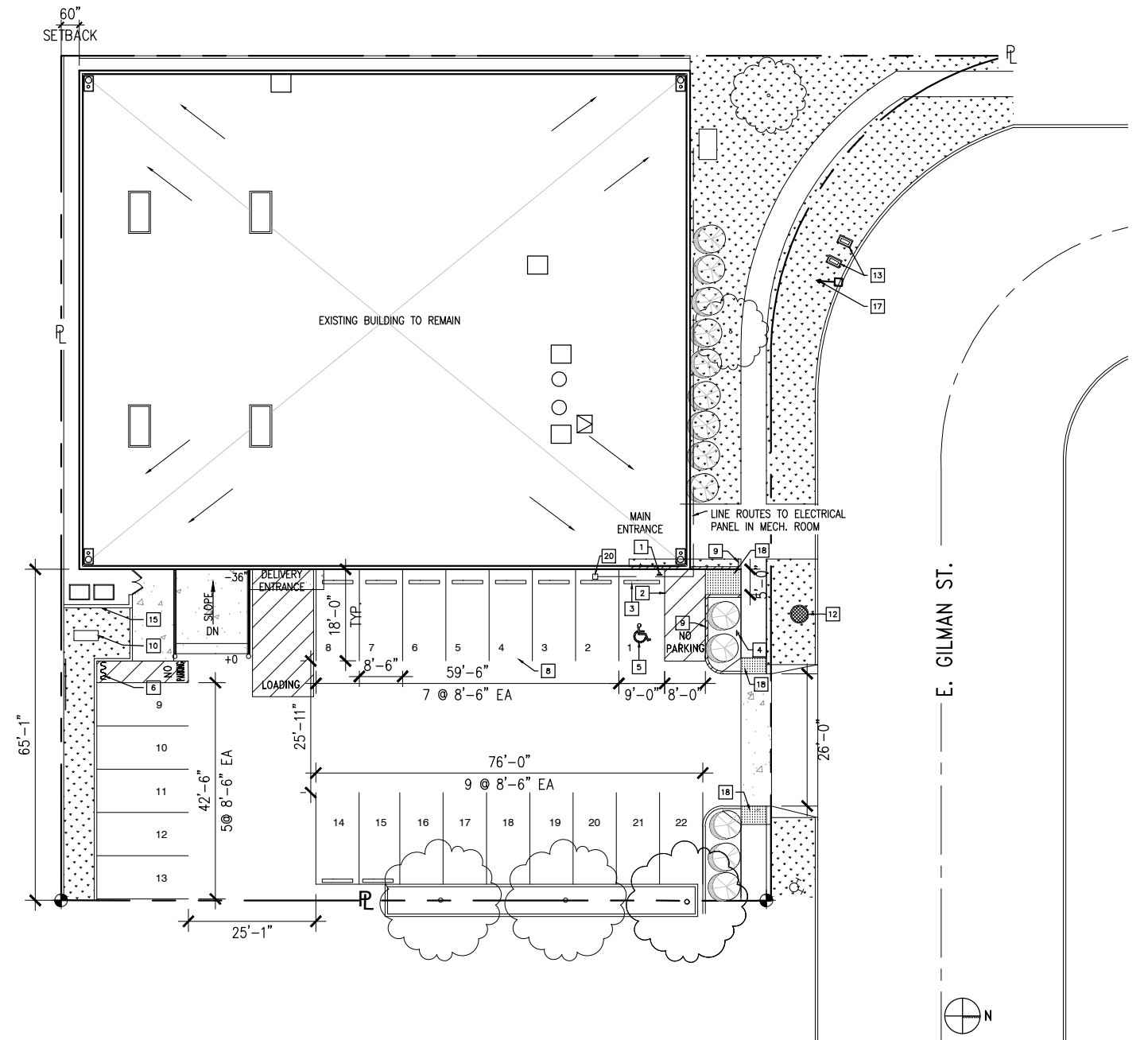
EXISTING SITE PLAN | 1" = 30' | 01

KEY NOTES

- 1 ACCESSIBLE PARKING SIGNAGE 11
A-10.1
- 2 ACCESSIBLE PARKING STRIPING 36" APART ON CENTER - PAINT "NO PARKING" IN 12" HIGH LETTERS AT ACCESS AISLE
- 3 WHEEL STOPS, TYP.
- 4 WARNING SIGN OF UNAUTHORIZED VEHICLES USING DESIGNATED HANDICAP SPACES TO MEET REQUIREMENTS OF DTL 12
A-10.1
- 5 ACCESSIBILITY SYMBOL 10
A-10.1
- 6 SHORT TERM BICYCLE PARKING
- 7 NOT USED
- 8 REMOVE PARKING STRIPES, TYP.
- 9 NEW 6" CURB
- 10 PHONE UTILITY CABINET
- 11 NOT USED
- 12 GTE MAN HOLE COVER
- 13 WATER METERS
- 14 NOT USED
- 15 (E) TRASH ENCLOSURE
- 16 NOT USED
- 17 (E) LIGHT POLE
- 18 NEW TRUNCATED DOME PATCH
- 19 NOT USED
- 20 EV BOX FOR FUTURE CONNECTION

LEGEND

-  EXISTING LANDSCAPE
-  EXISTING FIRE HYDRANT
-  PATH OF ENTRY/EGRESS



PROPOSED SITE PLAN 1" = 30' 01

Proposed Site Plan

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scale: 1" = 30'

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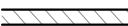
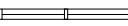
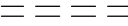
DS-1.2



GENERAL NOTES

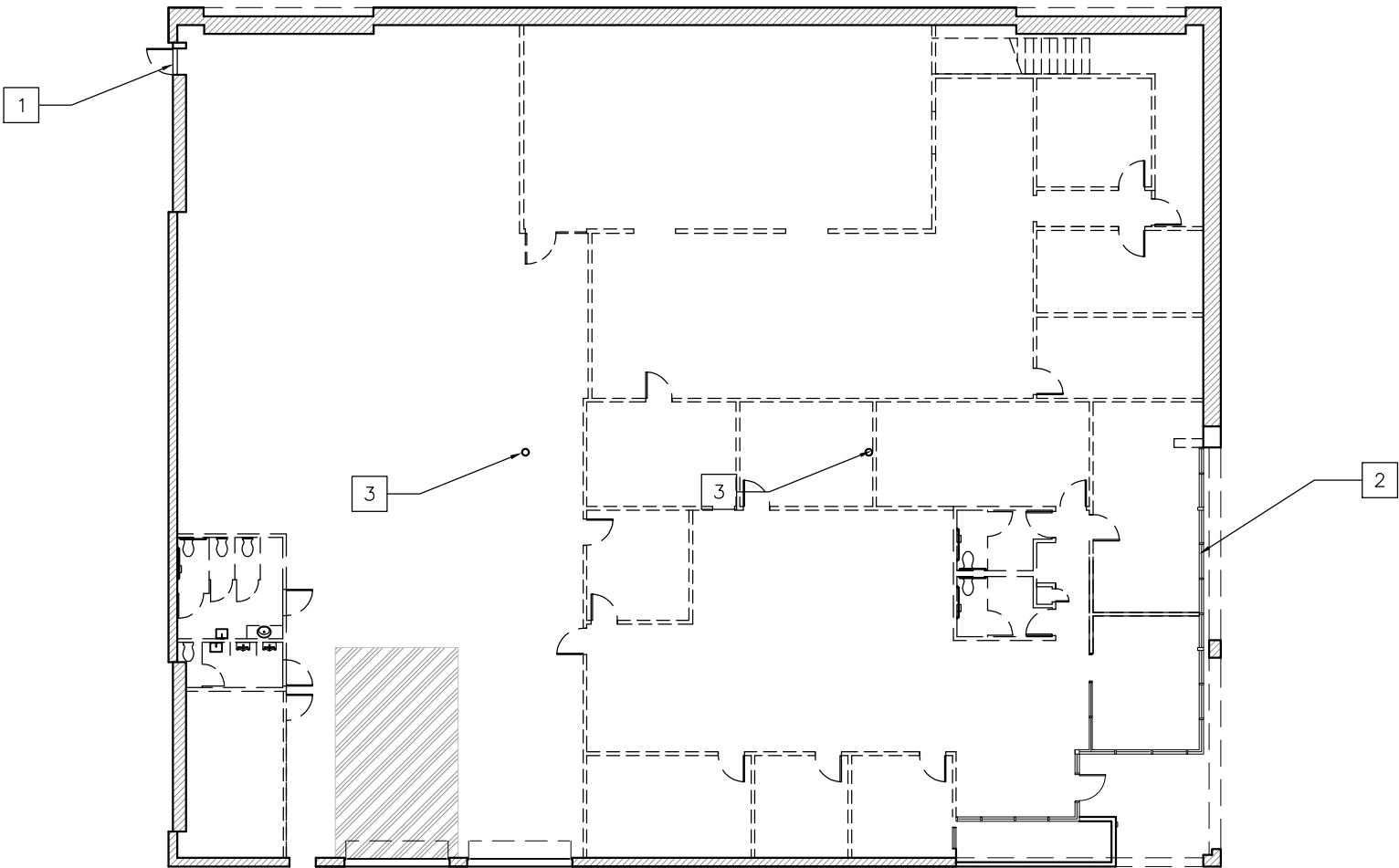
- 1. PROTECT ALL ADJACENT SUITES AND AREAS BEYOND THE AREA OF WORK DURING DEMOLITION AND CONSTRUCTION.
- 2. ALL REQUIRED EXITS AND PATH OF TRAVEL FOR ADJACENT SUITES SHALL REMAIN USABLE DURING DEMOLITION AND CONSTRUCTION.
- 3. DEMOLITION DEBRIS SHALL NOT ACCUMULATE ON-SITE. AT THE END OF EACH DAY, THE FLOOR AREA SHALL BE CLEARED OF ALL DEBRIS.
- 4. ANY DISCREPANCY BETWEEN ACTUAL CONDITIONS AND THOSE INDICATED ON THESE DOCUMENTS MUST BE IDENTIFIED AND REPORTED TO THE OWNER AND ARCHITECT BY THE G.C. IMMEDIATELY.
- 5. PATCH SLAB AS REQUIRED FOR NEW FINISHES WHERE INTERIOR PARTITIONS ARE REMOVED
- 6. PATCH ALL WALLS WHERE REMOVAL OF PARTITIONS, PANELS, OUTLETS, ETC. OCCUR.
- 7. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- 8. NO HAZARDOUS MATERIALS (CBC 414) WILL BE STORED AND/OR USED WITHIN THE BUILDING, WHICH WILL EXCEED THE QUANTITIES LISTED IN CBC TABLES 307.1(1) AND 307.2(2).
- 9. INTERIOR GLAZING SYSTEM NEAR MAIN ENTRANCE TO REMAIN

LEGEND

-  EXISTING EXTERIOR WALLS TO REMAIN
-  EXISTING INTERIOR GLAZING TO REMAIN
-  WALLS TO BE REMOVED
-  DOORS TO BE REMOVED

KEY NOTES

- 1 INFILL DOOR OPENING TO MATCH ADJACENT WALL
- 2 EXISTING WINDOW SYSTEM TO REMAIN
- 3 EXISTING COLUMN TO REMAIN; TYP.



EXISTING FIRST FLOOR + DEMO PLAN | 1" = 20' | 11x17 | 01



1st Floor + Demo Plan

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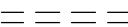
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DS-2.1D

GENERAL NOTES

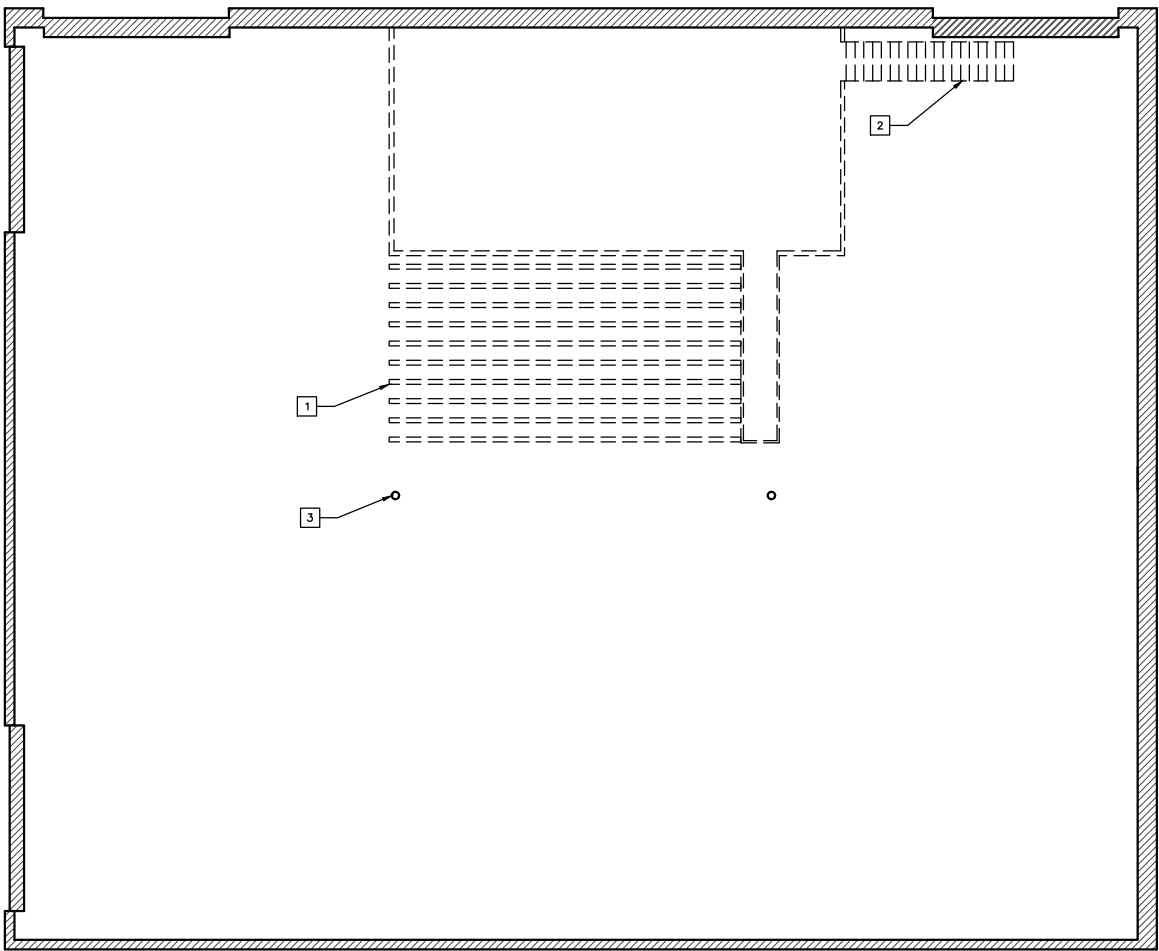
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LEGEND

-  EXISTING EXTERIOR WALLS TO REMAIN
-  WALLS TO BE REMOVED

KEY NOTES

-  EXISTING RAFTERS BELOW TO BE REMOVED
-  EXISTING STAIRCASE TO BE REMOVED
-  EXISTING COLUMN TO REMAIN; TYP.



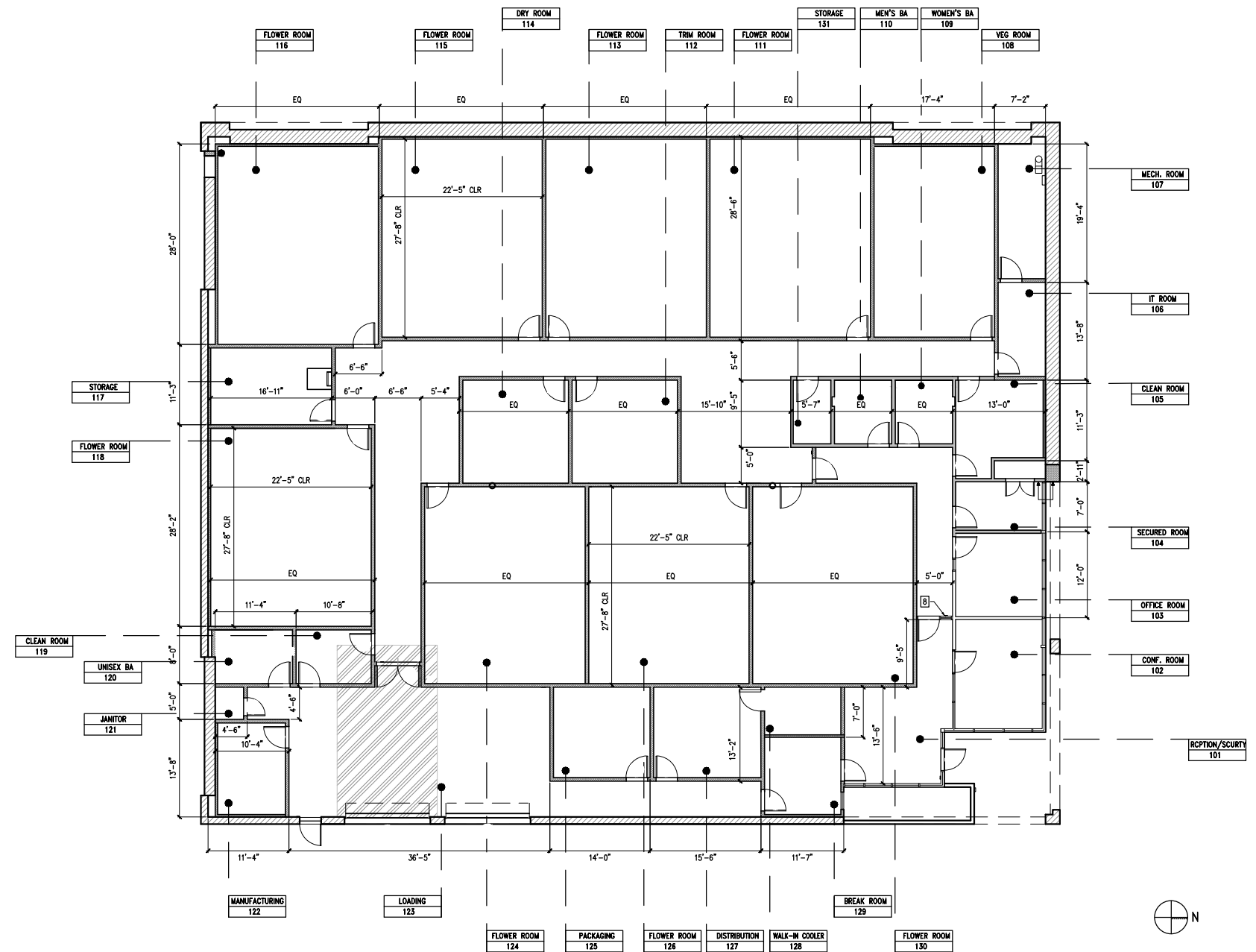
2nd Floor + Demo Plan

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DS-2.2D



Proposed Floor Plan

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scale: 1" = 20'

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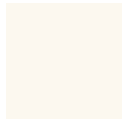
DS-2.1

FINISH SCHEDULE				
ID	TYPE	DESCRIPTION	FINISH/SIZE	ITEM/SKU
CONC	SEALED CONCRETE	NEUTRAL GRAY CONCRETE SEALED WITH PERMA-SEAL*		ITEM #3900
VT	VINYL TILE	TRAFFIC MASTER VINYL PLANK FLOORING.*	KHAKI OAK 6" X 36"	INTERNET: #206934038 STORE: #1001789733
CT	CERAMIC TILE	UPTOWN ANTRACITE PORCELAIN TILE* GROUT COLOR: WHITE OR GRAY	12" X 24"	SKU: 912400367
RB1	RUBBER BASE	ROPPE VINYL WALL COVE BASE COIL*	DARK GRAY 4" X .080" X 120"	
CLP	INSULATED PANEL	CUSTOM COOLER INC.:INTERLOCKING INSULATED PANEL SYSTEM WITH SMOOTH METAL FINISH	WHITE	CLP-600
PT1	PAINT	DUNN-EDWARDS FINISH: EGGSHELL	"MILK GLASS"	DEW358
PT2	PAINT	DUNN-EDWARDS FINISH: EGGSHELL	"DUSKY MOON"	DE5526

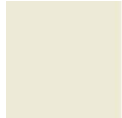
*OR AS EQUAL

GENERAL NOTES

- CORRIDOR WALLS IN "COMMON AREAS" ON THE NORTH SIDE ABUTTING THE CONFERENCE ROOM, OFFICE ROOM, SECURED ROOM AND RESTROOMS TO BE PAINTED PT2
- CORRIDOR WALLS IN "WORKING AREAS" ON THE SOUTH AND WEST TO BE PAINTED CLP
- REFER TO SHEET 3.1 FOR CEILING FINISHES
- CONTRACTOR TO SEAL CONCRETE IN ANY ROOM WITH EXISTING CONCRETE FLOORS



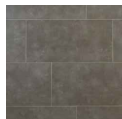
DUNN-EDWARDS: MILK GLASS
FINISH: EGGSHELL



DUNN-EDWARDS: DUSKY MOON
FINISH: EGGSHELL



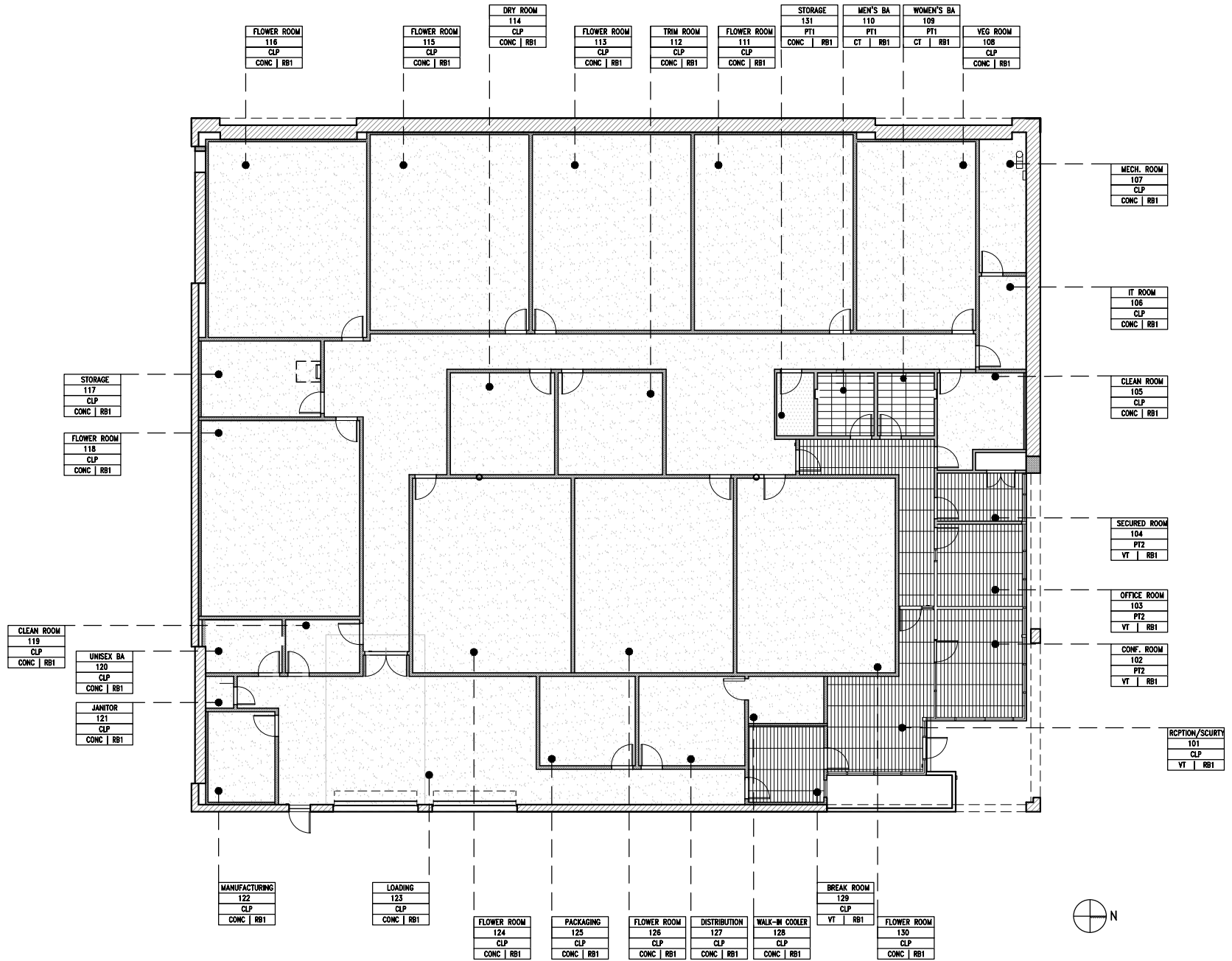
TRAFFIC MASTER VINYL
PLANK FLOORING



UPTOWN ANTRACITE PORCELAIN TILE*
GROUT COLOR: WHITE OR GRAY



ROPPE VINYL WALL COVE BASE COIL*



FINISH PLAN | 1" = 20' | 03



Proposed Finish Plan

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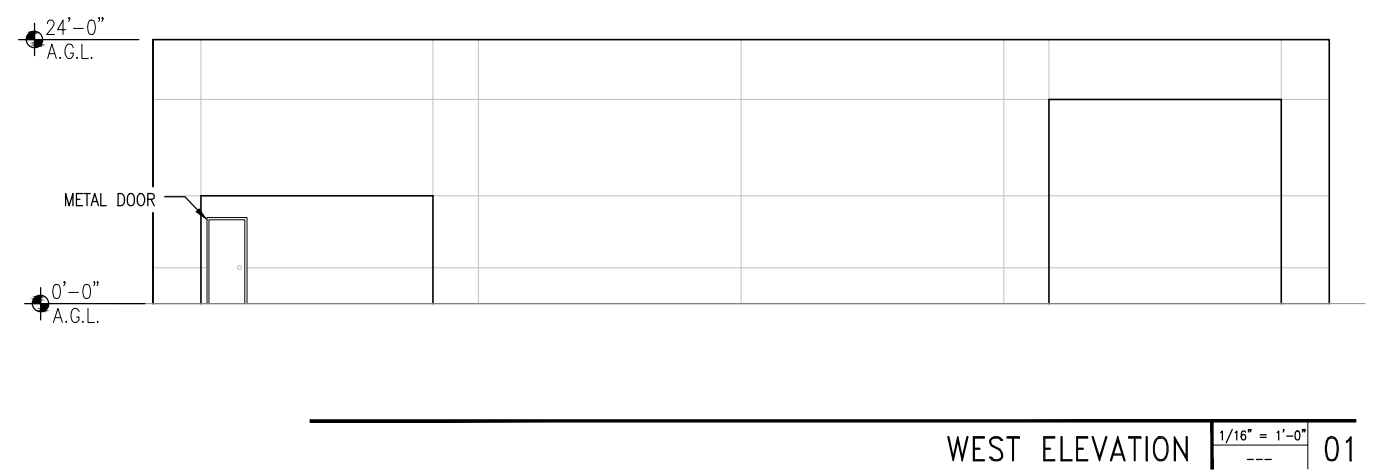
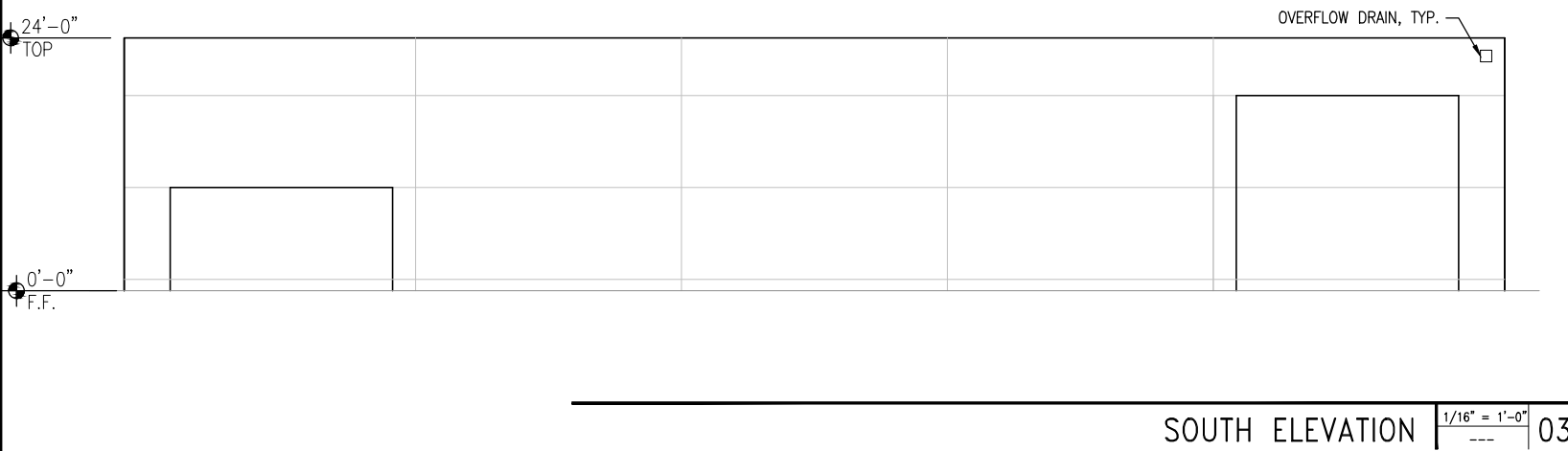
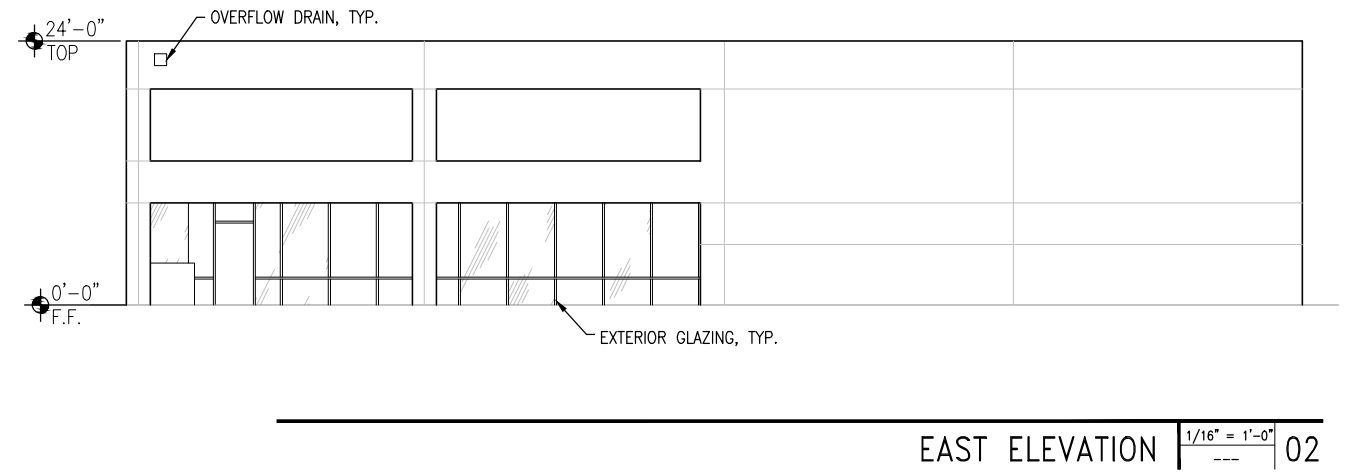
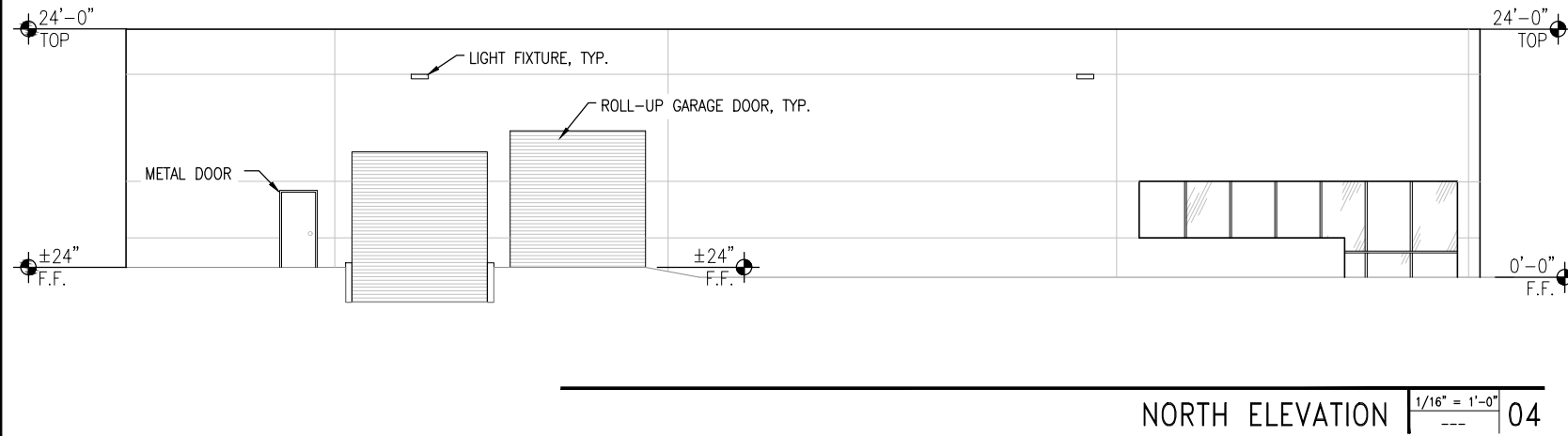
scale: 1" = 20'

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DS-5.1

*NO CHANGES TO EXISTING EXTERIOR



Existing Building Elevations

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scale: 1/16" = 1'-0"

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DS-7.1