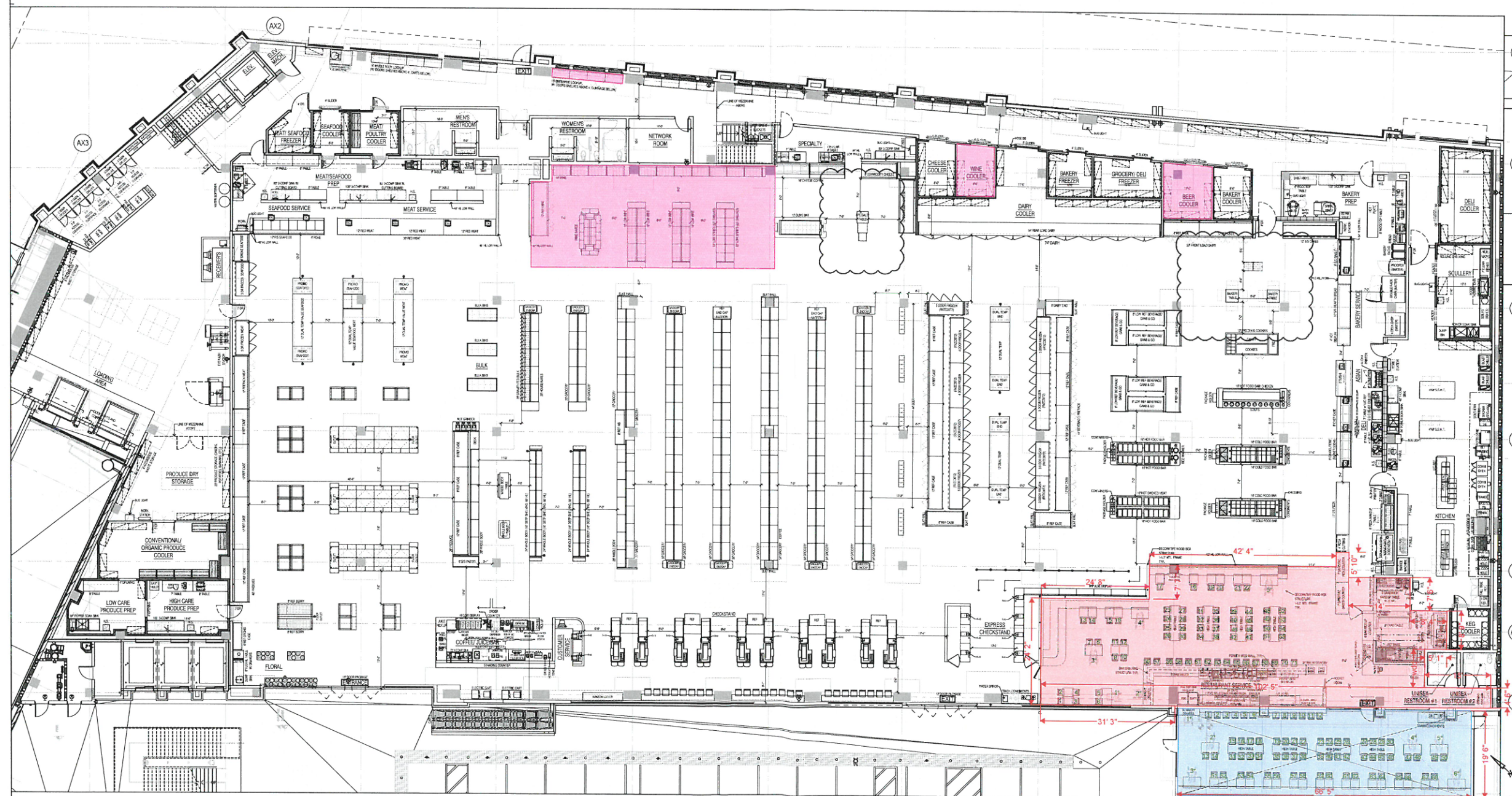


RETAIL AREA FOR ALCOHOL: SALES FLOOR AREA (1270) + BOH STORAGE (270) = 1540 SQ. FT

12	R-10
3	ALPHA REGISTER
5	ALPHA PRINTER
1	FULFILLMENT SCREEN
4	ALPHA KIOSK



F-1

2ND STREET & PACIFIC COAST HIGHWAY

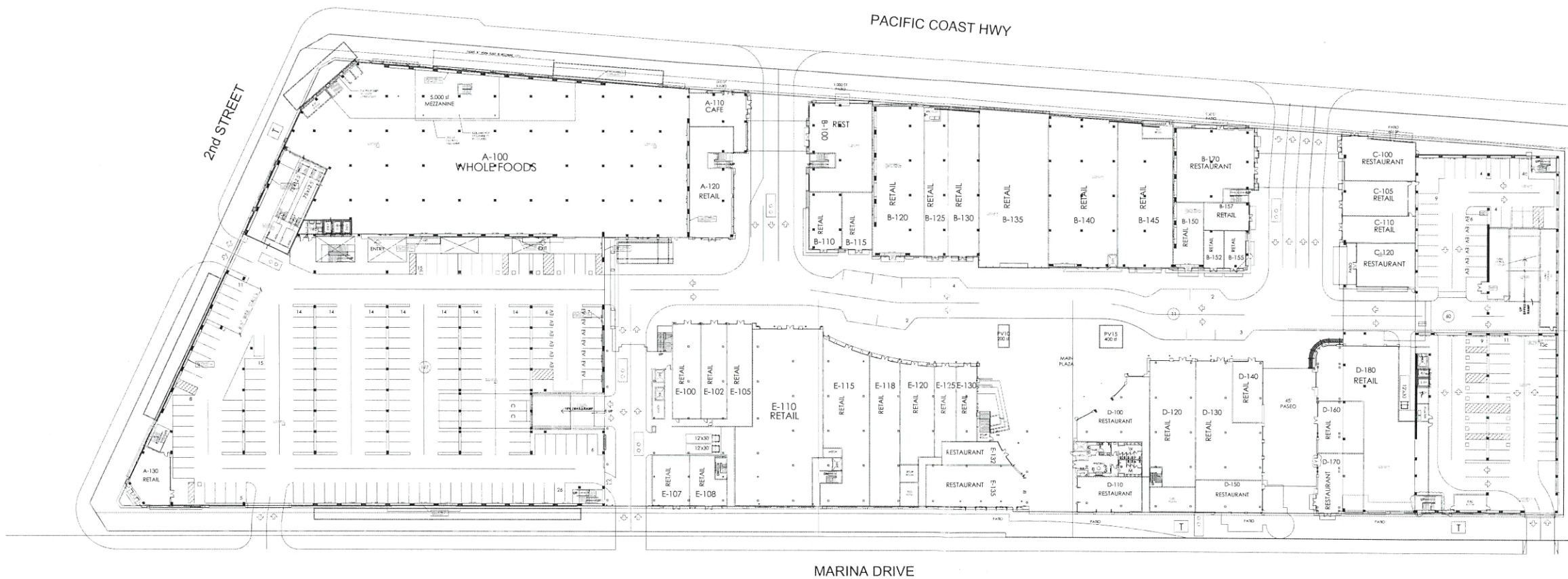
LONG BEACH, CALIFORNIA

PROJECT SUMMARY:

SITE AREA	
SITE GROSS AREA:	10.93 AC
BUILDING AREA:	
BUILDING A:	51,700 SF
BUILDING B:	47,555 SF
BUILDING C:	7,425 SF
BUILDING D:(LEVEL 1)	28,340 SF
BUILDING D (LEVEL 2):	17,365 SF
BUILDING E: (LEVEL 1)	36,480 SF
BUILDING E (LEVEL 2):	27,975 SF
BUILDING PV-10:	200 SF
BUILDING PV-15:	400 SF
BUILDING PV-20:	200 SF
TOTAL:	217,640 SF

TOTAL PROJECT BUILDING AREA:	217,640 SF
TOTAL PROJECT PROVIDED STALLS:	1,120 stalls
TOTAL PROJECT PARKING RATIO:	5.14 / 1000

* TOTAL = 137 Compact Stalls (12%)



PRELIMINARY
SITE PLAN
LEVEL 1 (+0')

VERSION: DLP-48

23 May 2017

SCALE: 0 25 50 100



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