FIFTH & PACIFIC

507 N. PACIFIC AVENUE
LONG BEACH, CA 90803
ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

EXHIBIT D

PROJECT SUMMARY

ZONE: PD-30 - DOWNTOWN PLAN
LAND USE: LUD-7 MIXED USE
NET LOT AREA: 45,880 SF (AFTER 2'-0" ALLEY DEDICATION)
LOT WIDTH: 310'-0"
LOT DEPTH: 148'-0"
DENSITY: 157 UNITS
SETBACKS:
- FRONT: 6'-0" (REQUIRED MIN. 6'-0")
- STREET SIDE YARD: 10'-0" (REQUIRED MIN. 10'-0")
- INTERIOR SIDEYARD: 1'-0" (REQUIRED 0'-0")
- REAR YARD: 10'-0" (REQUIRED 10'-0" FROM CENTERLINE)

BUILDING HEIGHT FROM STREET LEVEL AT PARAPET: 78'-2"+/- (MAX 80'-0")
BUILDING HEIGHT TO PENTHOUSE STRUCTURE ROOF: 85'-0" (MAX 85'-0")
BUILDING HEIGHT TO TOP OF ELEVATOR SHAFT ROOF: 87'-8"
GROSS FLOOR AREA (NON-PARKING):
- 1ST FLOOR: 12,333 SF
- 2ND FLOOR: 1,944 SF
- 3RD FLOOR: 31,779 SF
- 4TH FLOOR: 31,774 SF
- 5TH FLOOR: 31,774 SF
- 6TH FLOOR: 31,774 SF
- 7TH FLOOR: 31,774 SF
- ROOF: 838 SF
- TOTAL: 173,990 SF

FLOOR AREA RATIO:
- 4.0 F.A.R. ALLOWED - 3.792 F.A.R. PROPOSED

PACIFIC AVENUE: PEDESTRIAN ORIENTED USE - SECONDARY STREET
- 100% ACTIVE USES REQUIRED - 100% PROPOSED.
- 75% PUBLIC STREET FRONTAGE REQUIRED - 100% PROPOSED.

COMMON/OPEN SPACE:
- 20% OF SITE AREA = 9,176 SF REQUIRED
- RECREATION DECKS - 2 X 2,835 SF = 5,670 SF
- 2ND FLOOR LOUNGE = 1,045 SF
- PENTHOUSE = 690 SF
- ROOF DECK = 3,506 SF
- REC RM & FITNESS RM = 1,762 SF
- LOBBY = 1,621 SF
- TOTAL COMMON/OPEN SPACE PROVIDED = 12,792 SF (27.9%)

PARKING:
- PARKING REQUIRED:
  - 157 UNITS @ 1/UNIT = 157 SPACES
  - 9,000 SF COMMERCIAL = 6 SPACES (N/R UNDER 6,000 SF) SHARED W/ GUEST
  - GUESTS @ 1/4 UNITS = 40 SPACES
  - TOTAL REQUIRED = 197 SPACES
- PARKING PROVIDED:
  - FIRST FLOOR:
    - 6 HANDICAP SPACES
    - 71 STD. SGL. SPACES
    - 4 COMPACT SPACES
  - SECOND FLOOR:
    - 112 STD. SGL. SPACES
    - 4 COMPACT SPACES
    - 12 TANDEM SPACES
- TOTAL PROVIDED = 209 SPACES

PARKING DISTRIBUTION:
- 197 SINGLE SPACES (INC. HANDICAP & COMPACT SPACES)
- 157 UNITS @ 1 SPACE/UNIT
- 40 GUEST/COMMERCIAL SPACES
  - (INCLUDING 5 HANDICAP, 8 COMPACT & 1 SINGLE SPACE)
- NOTE - 6 'EV' PARKING SPACES ARE INCLUDED (3%)

157 UNITS
- 44 - 1 BDRM UNITS W/ 1 SINGLE SPACE
- 101 - 2 BDRM UNITS W/ SINGLE SPACE
- 10 - 2 BDRM UNITS W/ TANDEM SPACES (2 SPACES)
- 2 - 3 BDRM UNITS W/ TANDEM SPACES (2 SPACES

CBC CODE ANALYSIS:

OCCUPANCY TYPE: R-2/S-2/M/B/A-3/M
CONSTRUCTION TYPE: III-A (SPRINKLERED)
ALLOWABLE HEIGHT: 5 STORY (PER CBC CODE) OVER GARAGE
BUILDING:
BASIC ALLOWABLE AREA (PER STORY W/ NO HT. INCREASE): 48,000 SF
ALLOWABLE AREA PER FLOOR:
2X MAX. AREA INCREASE = 96,000 SF MAXIMUM BUILDING AREA
PROPOSED FLOOR AREA = 158,875 SF
3 HR. SEPARATION WALLS REQUIRED TO REDUCE BUILDING AREA
R-2 OCCUP. HEIGHT ALLOWED: 85' (W/ FIRE SPRINKLER INCREASE)
NOTE: ASSEMBLY USE RESTRICTED TO LESS THAN 75' FROM STREET LEVEL
20' MAXIMUM ROOF EQUIPMT. PENTHOUSE HEIGHT ABOVE ROOF.

CITY MITIGATION REQUIREMENTS PRIOR TO ISSUANCE OF BUILDING PERMITS

Mitigation Measure AQ-1(b) Prior to construction of each development phase of onsite land uses that are proposed within 1,500 feet of sensitive receptors, each project applicant shall perform a project-level CEQA analysis that includes a detailed LST analysis of construction-generated emissions of NO2, CO, PM10, and PM2.5 to assess the impact at nearby sensitive receptors. The LST analysis shall be performed in accordance with applicable SCAQMD guidance that is in place at the time the analysis is performed. The project-level analysis shall incorporate detailed parameters of the construction equipment and activities, including the year during which construction would be performed, as well as the proximity of potentially affected receptors, including receptors

Mitigation Measure AES-2(b) Building Material Specifications. Prior to the issuance of any building permits for development projects, applicants shall submit plans and specifications for all building materials to the Development Services Department for review and approval. The Plan provides measures to ensure that the highest quality materials are used for new development projects. This is an important consideration, since high-quality materials last longer. Quality development provides an impression of permanence and can encourage additional private investment in Downtown Long Beach.

Mitigation Measure AES-2(a) Lighting Plans and Specifications. Prior to the issuance of building permits for new large development projects, the applicant shall submit lighting plans and specifications for all exterior lighting fixtures and light standards to the Development Services Department for review and approval. The plans shall include a photometric design study demonstrating that all outdoor light fixtures to be installed are designed or located in a manner as to contain the direct rays from the lights onsite and to minimize spillover of light onto surrounding properties or roadways. All parking structure lighting shall be shielded and directed away from residential uses. Rooftop decks and other similar amenities are encouraged in the Plan. Lighting for such features shall be designed so that light is directed so as to provide adequate security and minimal spill-over or nuisance lighting.

Future signage: All future signage is to conform to the requirements of the Long Beach Downtown Plan - pages 103 through 109.

RANDY MORRIS ARCHITECT
45120 VIA CARINA
INDIAN WELLS, CA 92210
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LICENCED ARCHITECT
RANDY J. MORRIS
C-8362
REN. 7-31-19
STATE OF CALIFORNIA

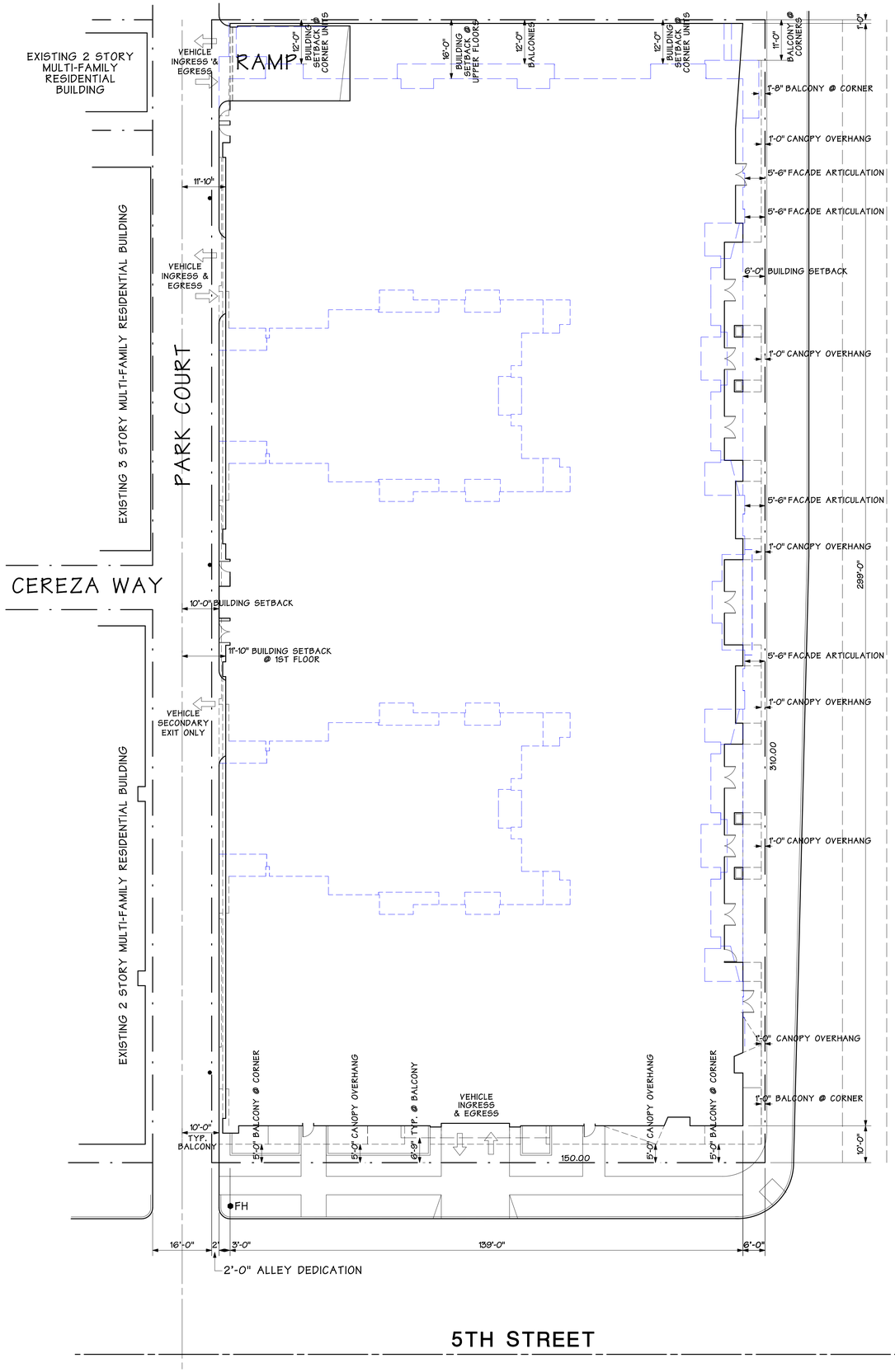
TITLE

FIFTH & PACIFIC
LONG BEACH, CA
ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

DATE: 12/12/18

SHEET:

T-1



SITE PLAN

SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION:
LONG BEACH LOTS 5, 7, 9, 11, 13, 15 AND VAC ALLEY ADJ ON N AND LOTS 23, 24, 25, 26, 27 AND LOT 28 BLK 59 OF LONG BEACH TOWNSITE AS SHOWN ON M.B. 7280 RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY

BUILDING AREA CALCULATIONS

UNIT NUMBER	BDRMS	BATHS	UNIT AREA	BALCONY AREA	STORAGE AREA	STORAGE HEIGHT	STORAGE VOLUME
301	2	2	867 SQ. FT.	116.00 SQ. FT.	19.00 SQ. FT.	8.83 FT.	167.77 CU. FT.
302	2	2	895 SQ. FT.	98.33 SQ. FT.	26.44 SQ. FT.	8.83 FT.	233.47 CU. FT.
303	2	2	884 SQ. FT.	124.22 SQ. FT.	25.24 SQ. FT.	8.83 FT.	222.87 CU. FT.
304	2	2	895 SQ. FT.	98.33 SQ. FT.	26.44 SQ. FT.	8.83 FT.	233.47 CU. FT.
305	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
306	2	2	972 SQ. FT.	83.00 SQ. FT.	25.18 SQ. FT.	8.83 FT.	222.34 CU. FT.
307	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
308	2	2	1,000 SQ. FT.	82.67 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
309	2	2	1,008 SQ. FT.	210.89 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
310			882 SQ. FT.	SQ. FT.	SQ. FT.		
311	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
312	2	2	1,000 SQ. FT.	82.67 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
313	2	2	1,095 SQ. FT.	121.33 SQ. FT.	29.14 SQ. FT.	8.83 FT.	257.31 CU. FT.
314	2	2	884 SQ. FT.	124.22 SQ. FT.	25.24 SQ. FT.	8.83 FT.	222.87 CU. FT.
315	2	2	884 SQ. FT.	124.22 SQ. FT.	25.24 SQ. FT.	8.83 FT.	222.87 CU. FT.
316	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
317	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
318	2	2	1,000 SQ. FT.	82.67 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
319	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
320			882 SQ. FT.	SQ. FT.	SQ. FT.		
321	2	2	1,008 SQ. FT.	210.89 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
322	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
323	3	2	1,353 SQ. FT.	118.33 SQ. FT.	25.64 SQ. FT.	8.83 FT.	226.40 CU. FT.
324	2	2	1,000 SQ. FT.	82.67 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
325	1	1	638 SQ. FT.	98.33 SQ. FT.	25.33 SQ. FT.	8.83 FT.	223.66 CU. FT.
326	2	2	884 SQ. FT.	124.22 SQ. FT.	25.24 SQ. FT.	8.83 FT.	222.87 CU. FT.
327	2	2	895 SQ. FT.	98.33 SQ. FT.	31.70 SQ. FT.	8.83 FT.	279.91 CU. FT.
328	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
329	2	2	1,017 SQ. FT.	85.34 SQ. FT.	26.78 SQ. FT.	8.83 FT.	236.47 CU. FT.
401	2	2	867 SQ. FT.	116.00 SQ. FT.	19.00 SQ. FT.	8.83 FT.	167.77 CU. FT.
402	2	2	895 SQ. FT.	98.33 SQ. FT.	26.44 SQ. FT.	8.83 FT.	233.47 CU. FT.
403	2	2	884 SQ. FT.	124.22 SQ. FT.	25.24 SQ. FT.	8.83 FT.	222.87 CU. FT.
404	2	2	895 SQ. FT.	98.33 SQ. FT.	26.44 SQ. FT.	8.83 FT.	233.47 CU. FT.
405	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
406	2	2	972 SQ. FT.	83.00 SQ. FT.	25.18 SQ. FT.	8.83 FT.	222.34 CU. FT.
407	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
408	2	2	1,000 SQ. FT.	82.67 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
409	2	2	1,008 SQ. FT.	210.89 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
410	2	2	882 SQ. FT.	58.50 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
411	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
412	1	1	718 SQ. FT.	77.20 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
413	2	2	1,095 SQ. FT.	151.67 SQ. FT.	29.14 SQ. FT.	8.83 FT.	257.31 CU. FT.
414	1	1	650 SQ. FT.	50.33 SQ. FT.	19.17 SQ. FT.	8.83 FT.	169.27 CU. FT.
415	2	2	1,014 SQ. FT.	115.58 SQ. FT.	27.28 SQ. FT.	8.83 FT.	240.88 CU. FT.
416	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
417	2	2	987 SQ. FT.	94.08 SQ. FT.	25 SQ. FT.	8.83 FT.	220.75 CU. FT.
418	2	2	987 SQ. FT.	94.08 SQ. FT.	25 SQ. FT.	8.83 FT.	220.75 CU. FT.
419	2	2	1,000 SQ. FT.	82.67 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
420	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
421	2	2	882 SQ. FT.	58.50 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
422	2	2	1,008 SQ. FT.	210.89 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
423	1	1	656 SQ. FT.	77.2 SQ. FT.	4.83 SQ. FT.	8.83 FT.	42.65 CU. FT.
424	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
425	3	2	1,353 SQ. FT.	118.33 SQ. FT.	25.64 SQ. FT.	8.83 FT.	226.40 CU. FT.
426	1	1	638 SQ. FT.	98.33 SQ. FT.	25.33 SQ. FT.	8.83 FT.	223.66 CU. FT.
427	1	1	650 SQ. FT.	50.33 SQ. FT.	19.17 SQ. FT.	8.83 FT.	169.27 CU. FT.
428	2	2	895 SQ. FT.	98.33 SQ. FT.	31.70 SQ. FT.	8.83 FT.	279.91 CU. FT.
429	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
430	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
431	2	2	1,017 SQ. FT.	85.34 SQ. FT.	26.78 SQ. FT.	8.83 FT.	236.47 CU. FT.
501	2	2	867 SQ. FT.	116.00 SQ. FT.	19.00 SQ. FT.	8.83 FT.	167.77 CU. FT.
502	2	2	895 SQ. FT.	98.33 SQ. FT.	26.44 SQ. FT.	8.83 FT.	233.47 CU. FT.
503	1	1	650 SQ. FT.	50.33 SQ. FT.	19.17 SQ. FT.	8.83 FT.	169.27 CU. FT.
504	2	2	895 SQ. FT.	98.33 SQ. FT.	26.44 SQ. FT.	8.83 FT.	233.47 CU. FT.
505	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
506	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
507	2	2	972 SQ. FT.	83.00 SQ. FT.	25.18 SQ. FT.	8.83 FT.	222.34 CU. FT.
508	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
509	1	1	718 SQ. FT.	77.20 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
510	2	2	1,008 SQ. FT.	210.89 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
511	2	2	882 SQ. FT.	58.50 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
512	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
513	1	1	718 SQ. FT.	77.20 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
514	2	2	1,095 SQ. FT.	151.67 SQ. FT.	29.14 SQ. FT.	8.83 FT.	257.31 CU. FT.
515	1	1	650 SQ. FT.	50.33 SQ. FT.	19.17 SQ. FT.	8.83 FT.	169.27 CU. FT.
516	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
517	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
518	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
519	2	2	987 SQ. FT.	94.08 SQ. FT.	25 SQ. FT.	8.83 FT.	220.75 CU. FT.
520	2	2	987 SQ. FT.	94.08 SQ. FT.	25 SQ. FT.	8.83 FT.	220.75 CU. FT.
521	1	1	718 SQ. FT.	77.20 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
522	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
523	2	2	882 SQ. FT.	58.50 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
524	2	2	1,008 SQ. FT.	210.89 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
525	1	1	656 SQ. FT.	77.2 SQ. FT.	4.83 SQ. FT.	8.83 FT.	42.65 CU. FT.
526	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
527	2	2	1,100 SQ. FT.	118.30 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
528	2	2	895 SQ. FT.	98.33 SQ. FT.	31.70 SQ. FT.	8.83 FT.	279.91 CU. FT.
529	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
530	2	2	895 SQ. FT.	98.33 SQ. FT.	31.70 SQ. FT.	8.83 FT.	279.91 CU. FT.
531	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
532	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
533	2	2	1,017 SQ. FT.	85.34 SQ. FT.	26.78 SQ. FT.	8.83 FT.	236.47 CU. FT.
601	2	2	867 SQ. FT.	116.00 SQ. FT.	19.00 SQ. FT.	8.83 FT.	167.77 CU. FT.
602	2	2	895 SQ. FT.	98.33 SQ. FT.	26.44 SQ. FT.	8.83 FT.	233.47 CU. FT.
603	1	1	650 SQ. FT.	50.33 SQ. FT.	19.17 SQ. FT.	8.83 FT.	169.27 CU. FT.
604	2	2	895 SQ. FT.	98.33 SQ. FT.	26.44 SQ. FT.	8.83 FT.	233.47 CU. FT.
605	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
606	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
607	2	2	972 SQ. FT.	83.00 SQ. FT.	25.18 SQ. FT.	8.83 FT.	222.34 CU. FT.
608	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
609	1	1	718 SQ. FT.	77.20 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
610	2	2	1,008 SQ. FT.	210.89 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
611	2	2	882 SQ. FT.	58.50 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
612	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
613	1	1	718 SQ. FT.	77.20 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
614	2	2	1,095 SQ. FT.	151.67 SQ. FT.	29.14 SQ. FT.	8.83 FT.	257.31 CU. FT.
615	1	1	650 SQ. FT.	50.33 SQ. FT.	19.17 SQ. FT.	8.83 FT.	169.27 CU. FT.
616	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
617	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
618	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
619	2	2	987 SQ. FT.	94.08 SQ. FT.	25 SQ. FT.	8.83 FT.	220.75 CU. FT.
620	2	2	987 SQ. FT.	94.08 SQ. FT.	25 SQ. FT.	8.83 FT.	220.75 CU. FT.
621	1	1	718 SQ. FT.	77.20 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
622	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
623	2	2	882 SQ. FT.	58.50 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
624	2	2	1,008 SQ. FT.	210.89 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
625	1	1	656 SQ. FT.	77.2 SQ. FT.	4.83 SQ. FT.	8.83 FT.	42.65 CU. FT.
626	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
627	2	2	1,100 SQ. FT.	118.30 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
628	2	2	895 SQ. FT.	98.33 SQ. FT.	31.70 SQ. FT.	8.83 FT.	279.91 CU. FT.
629	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
630	2	2	895 SQ. FT.	98.33 SQ. FT.	31.70 SQ. FT.	8.83 FT.	279.91 CU. FT.
631	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
632	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
633	2	2	1,017 SQ. FT.	85.34 SQ. FT.	26.78 SQ. FT.	8.83 FT.	236.47 CU. FT.
701	2	2	867 SQ. FT.	116.00 SQ. FT.	19.00 SQ. FT.	8.83 FT.	167.77 CU. FT.
702	2	2	895 SQ. FT.	98.33 SQ. FT.	26.44 SQ. FT.	8.83 FT.	233.47 CU. FT.
703	1	1	650 SQ. FT.	50.33 SQ. FT.	19.17 SQ. FT.	8.83 FT.	169.27 CU. FT.
704	2	2	895 SQ. FT.	98.33 SQ. FT.	26.44 SQ. FT.	8.83 FT.	233.47 CU. FT.
705	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
706	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
707	2	2	972 SQ. FT.	83.00 SQ. FT.	25.18 SQ. FT.	8.83 FT.	222.34 CU. FT.
708	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
709	1	1	718 SQ. FT.	77.20 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
710	2	2	1,008 SQ. FT.	210.89 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
711	2	2	882 SQ. FT.	58.50 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
712	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
713	1	1	718 SQ. FT.	77.20 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
714	2	2	1,095 SQ. FT.	151.67 SQ. FT.	29.14 SQ. FT.	8.83 FT.	257.31 CU. FT.
715	1	1	650 SQ. FT.	50.33 SQ. FT.	19.17 SQ. FT.	8.83 FT.	169.27 CU. FT.
716	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
717	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
718	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
719	2	2	987 SQ. FT.	94.08 SQ. FT.	25 SQ. FT.	8.83 FT.	220.75 CU. FT.
720	2	2	987 SQ. FT.	94.08 SQ. FT.	25 SQ. FT.	8.83 FT.	220.75 CU. FT.
721	1	1	718 SQ. FT.	77.20 SQ. FT.	19.67 SQ. FT.	8.83 FT.	173.69 CU. FT.
722	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
723	2	2	882 SQ. FT.	58.50 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
724	2	2	1,008 SQ. FT.	210.89 SQ. FT.	29.39 SQ. FT.	8.83 FT.	259.51 CU. FT.
725	1	1	656 SQ. FT.	77.2 SQ. FT.	4.83 SQ. FT.	8.83 FT.	42.65 CU. FT.
726	2	2	1,019 SQ. FT.	129.00 SQ. FT.	30.20 SQ. FT.	8.83 FT.	266.67 CU. FT.
727	2	2	1,100 SQ. FT.	118.30 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
728	2	2	895 SQ. FT.	98.33 SQ. FT.	31.70 SQ. FT.	8.83 FT.	279.91 CU. FT.
729	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
730	2	2	895 SQ. FT.	98.33 SQ. FT.	31.70 SQ. FT.	8.83 FT.	279.91 CU. FT.
731	1	1	657 SQ. FT.	52.28 SQ. FT.	12.67 SQ. FT.	8.83 FT.	111.88 CU. FT.
732	2	2	987 SQ. FT.	95.44 SQ. FT.	25.00 SQ. FT.	8.83 FT.	220.75 CU. FT.
733	2	2	1,017 SQ. FT.	85.34 SQ. FT.	26.78 SQ. FT.	8.83 FT.	236.47 CU. FT.
157 UNITS			141,745 SQ. FT.	15,524 SQ. FT.			

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LICENCED ARCHITECT
RANDY J. MORRIS
C-8362
REN. 7-31-19
STATE OF CALIFORNIA

SITE PLAN

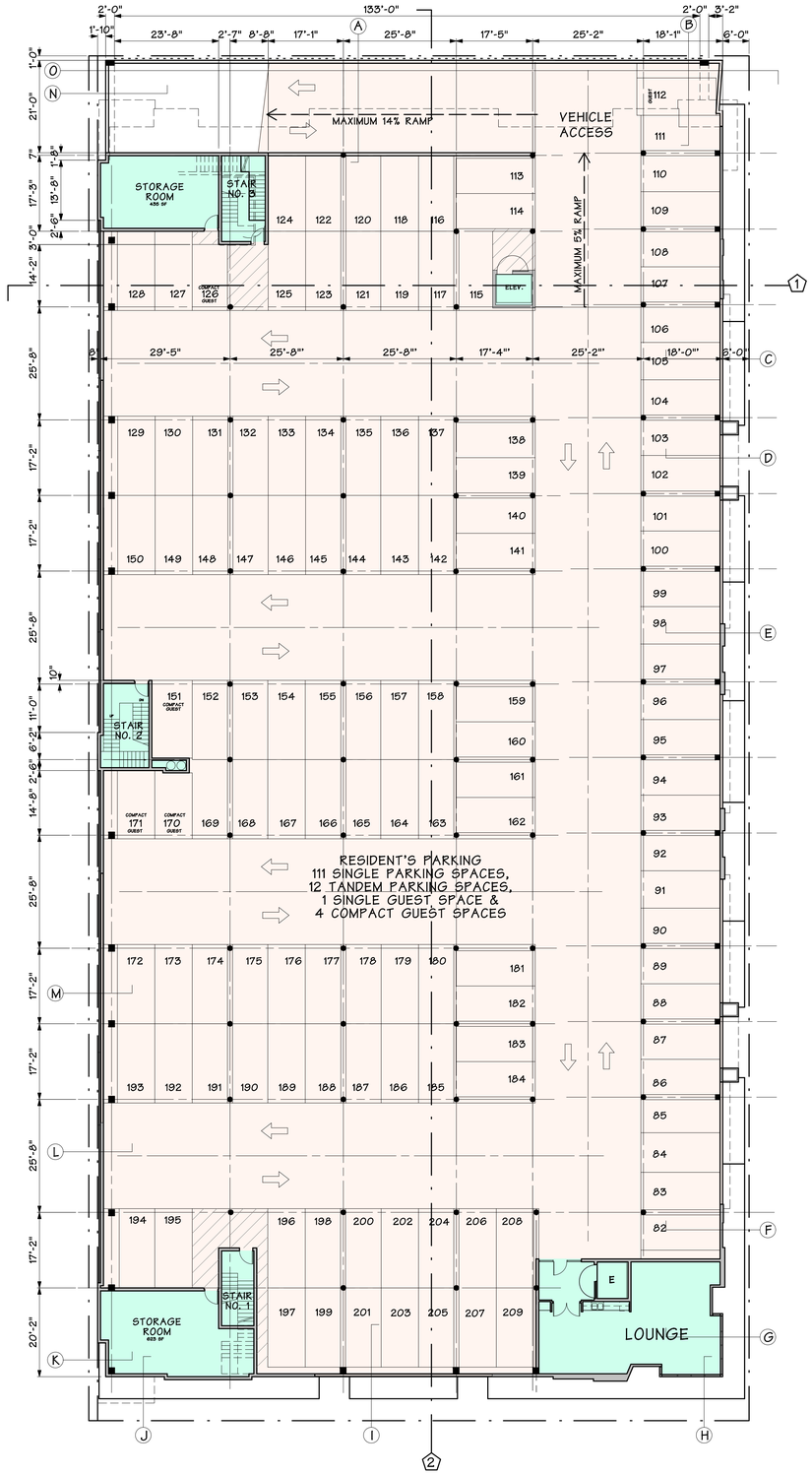
FIFTH & PACIFIC
LONG BEACH, CA

ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

DATE: 12/12/18

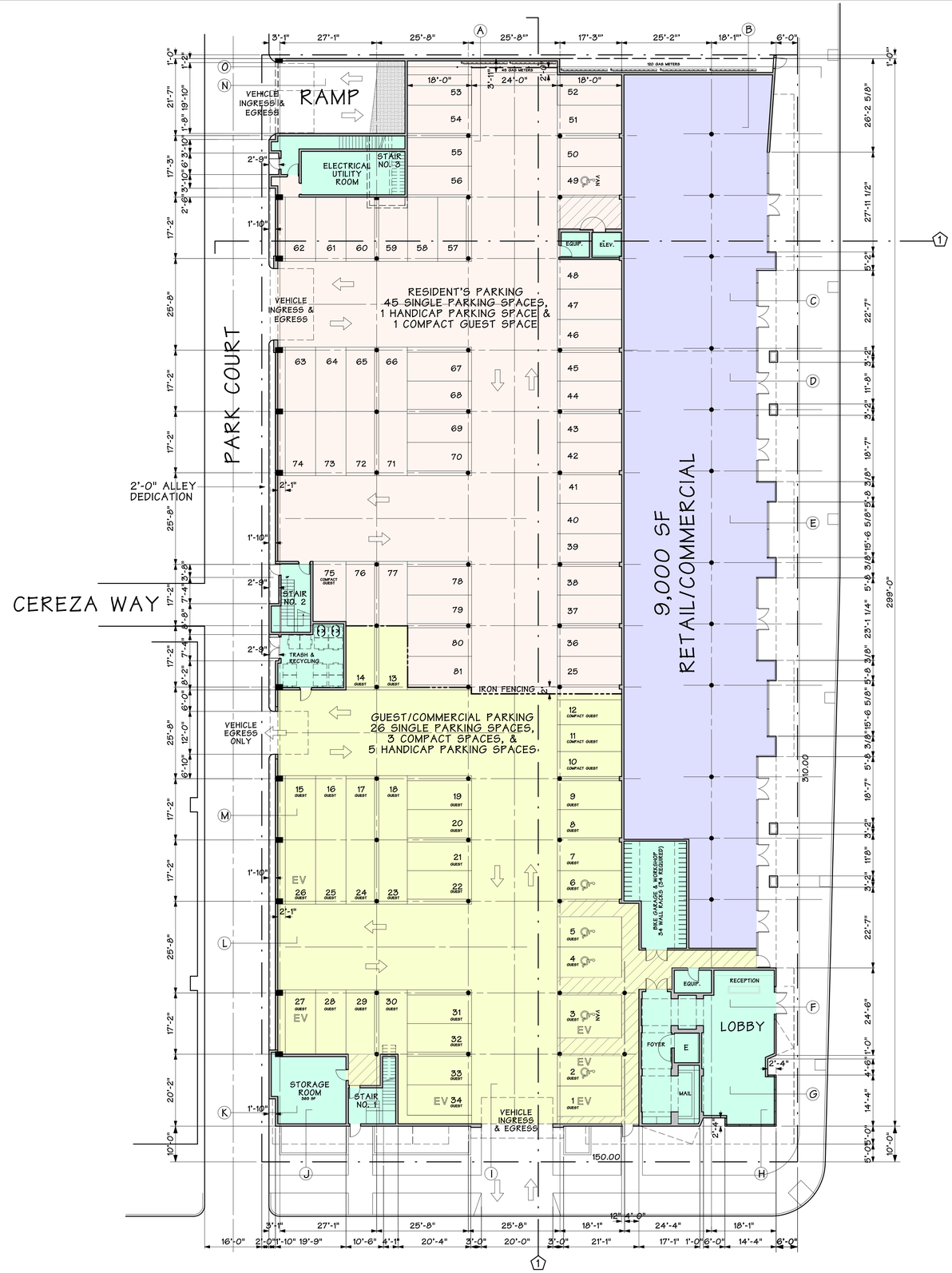
SHEET:

A-1



2ND FLOOR PLAN

SCALE: 1/16" = 1'-0"



SITE PLAN

SCALE: 1/16" = 1'-0"

GRAPHIC SCALE

0 4' 20' 40' 60'

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LICENCED ARCHITECT
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C-8362
REN. 7-31-19
STATE OF CALIFORNIA

SITE PLAN 1ST FLOOR PLAN & 2ND FLOOR PLAN

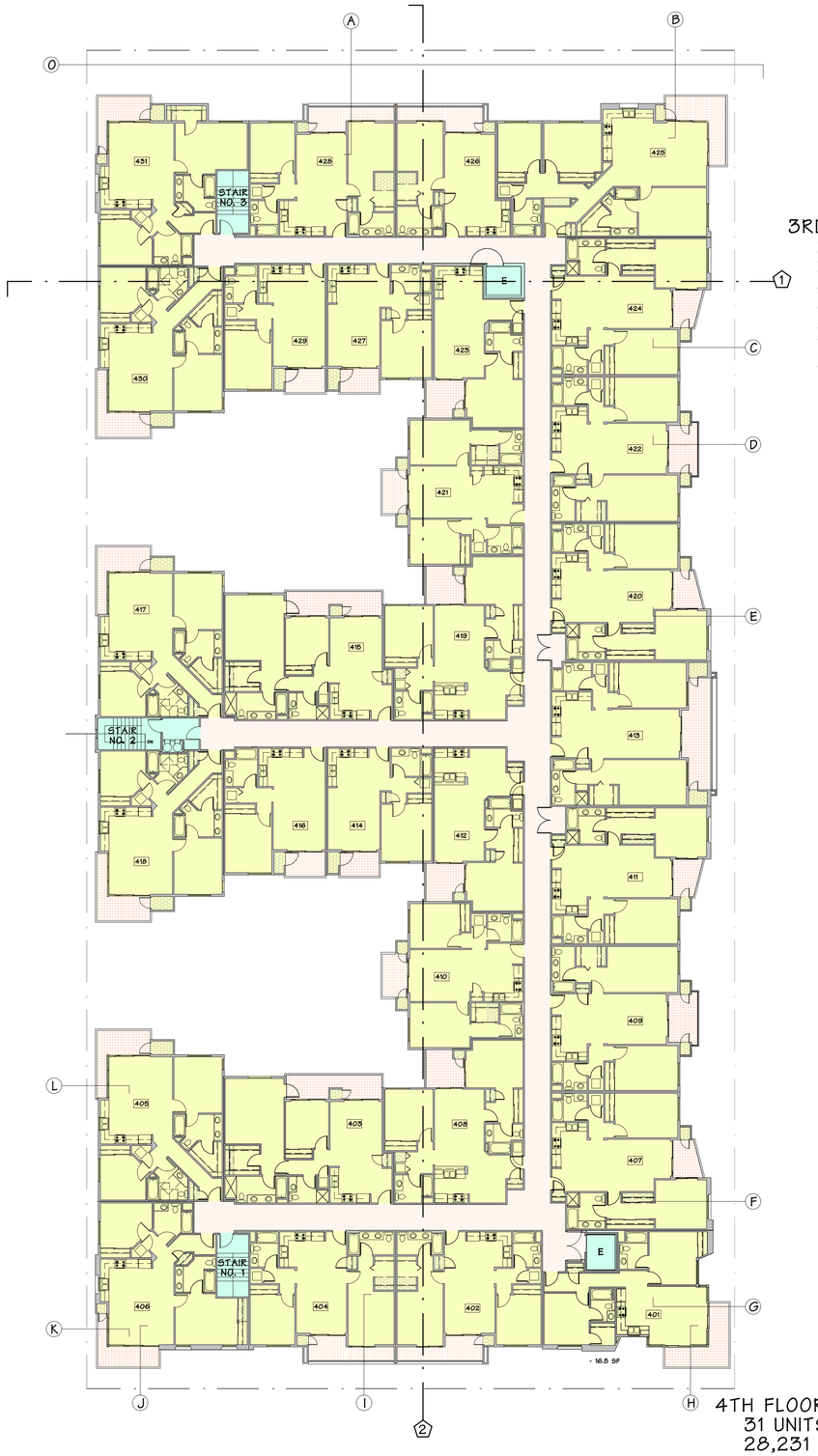
FIFTH & PACIFIC
LONG BEACH, CA

ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

DATE: 12/12/18

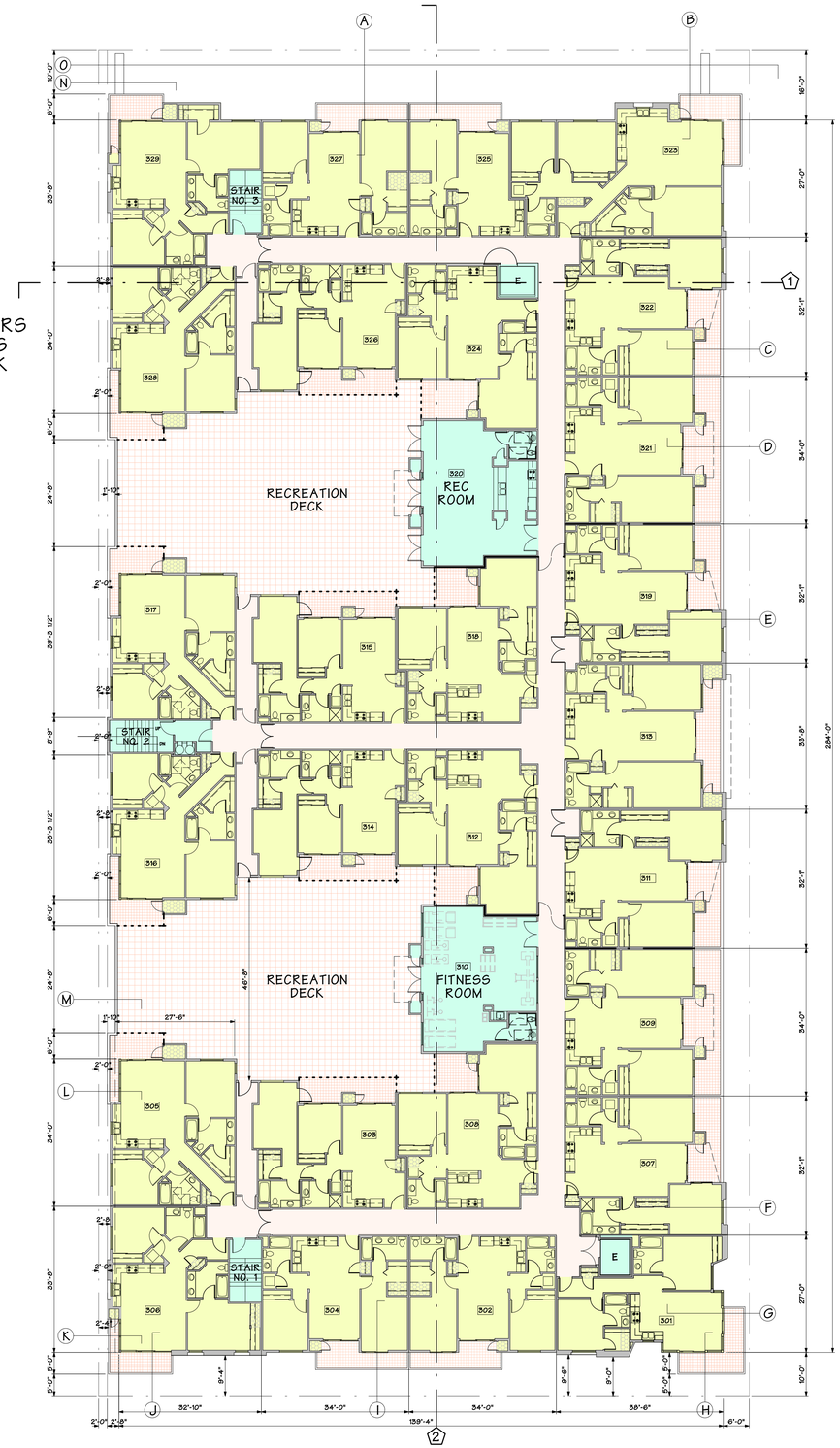
SHEET:

A-2



3RD FLOOR:
27 UNITS
25,944 SF RESIDENTIAL
3,535 SF CORRIDOR
3,170 SF PATIO DECKS
538 SF STAIRS & ELEVATORS
1,762 SF REC RM & FITNESS
5,656 SF RECREATION DECK

4TH FLOOR:
31 UNITS
28,231 SF RESIDENTIAL
3,005 SF CORRIDOR
2,440 SF BALCONIES
538 SF STAIRS & ELEVATORS



4TH FLOOR PLAN

SCALE: 1/6" = 1'-0"

3RD FLOOR PLAN

SCALE: 1/6" = 1'-0"

GRAPHIC SCALE
0 4' 20' 40' 60'

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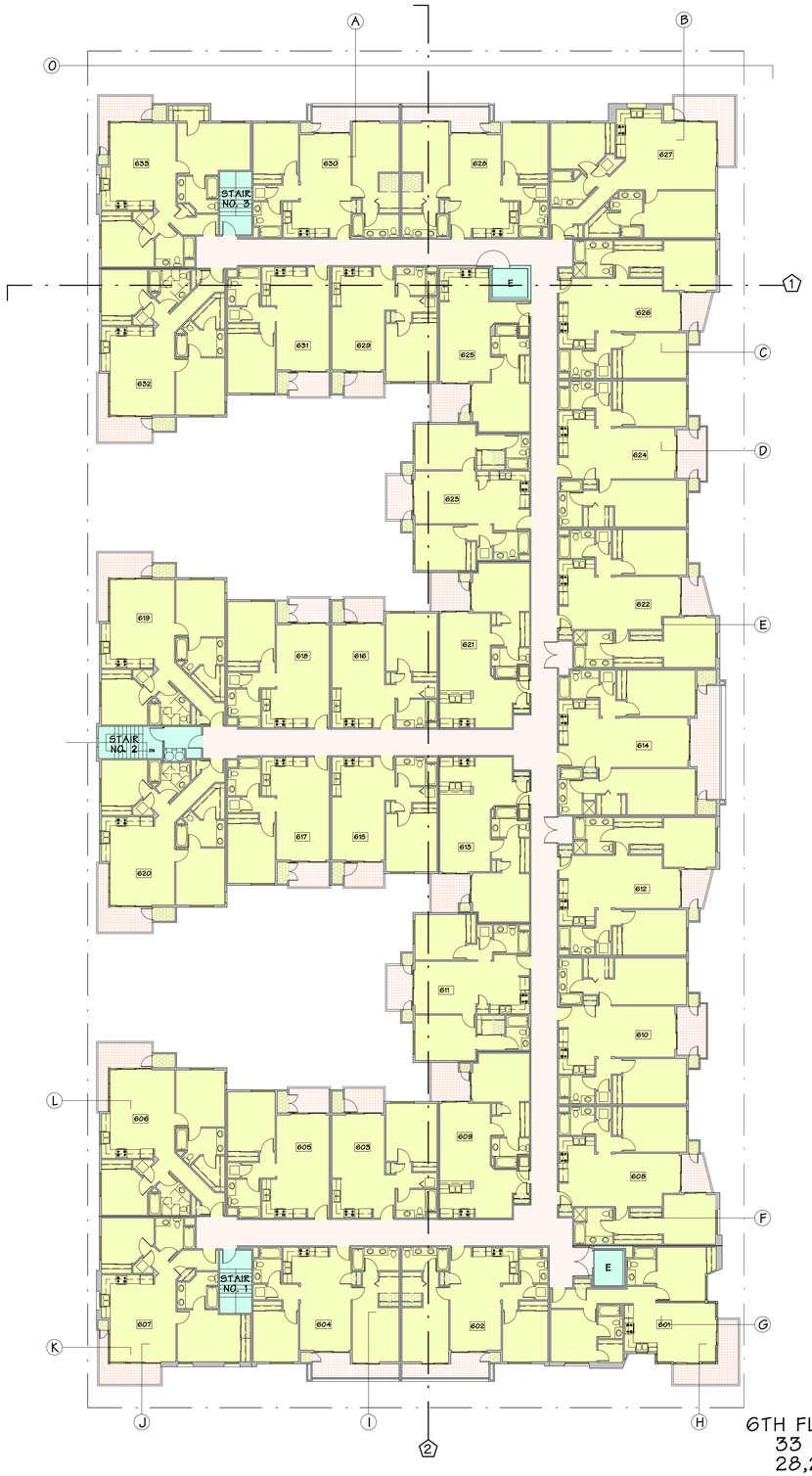
REN. 7-31-19
STATE OF CALIFORNIA

3RD & 4TH FLOOR PLANS

FIFTH & PACIFIC
LONG BEACH, CA

ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

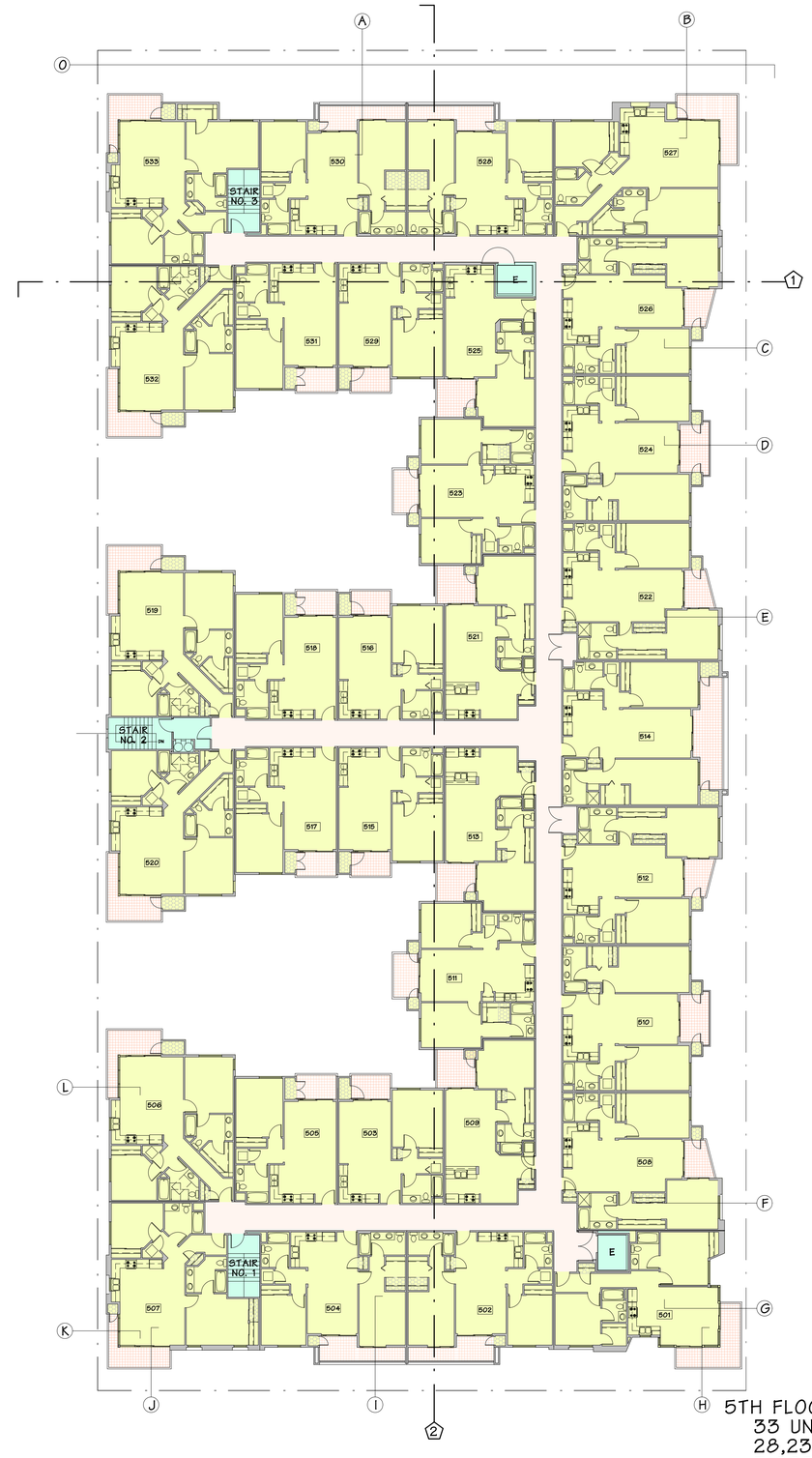
DATE: 12/12/18
SHEET:
A-3



6TH FLOOR:
33 UNITS
28,231 SF RESIDENTIAL
3,005 SF CORRIDOR
2,377 SF BALCONIES
538 SF STAIRS & ELEVATORS

6TH FLOOR PLAN

SCALE: 1/6" = 1'-0"



5TH FLOOR:
33 UNITS
28,231 SF RESIDENTIAL
3,005 SF CORRIDOR
2,377 SF BALCONIES
538 SF STAIRS & ELEVATORS

5TH FLOOR PLAN

SCALE: 1/6" = 1'-0"

GRAPHIC SCALE

0 4' 20' 40' 60'

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REN. 7-31-19
STATE OF CALIFORNIA

5TH & 6TH FLOOR PLANS

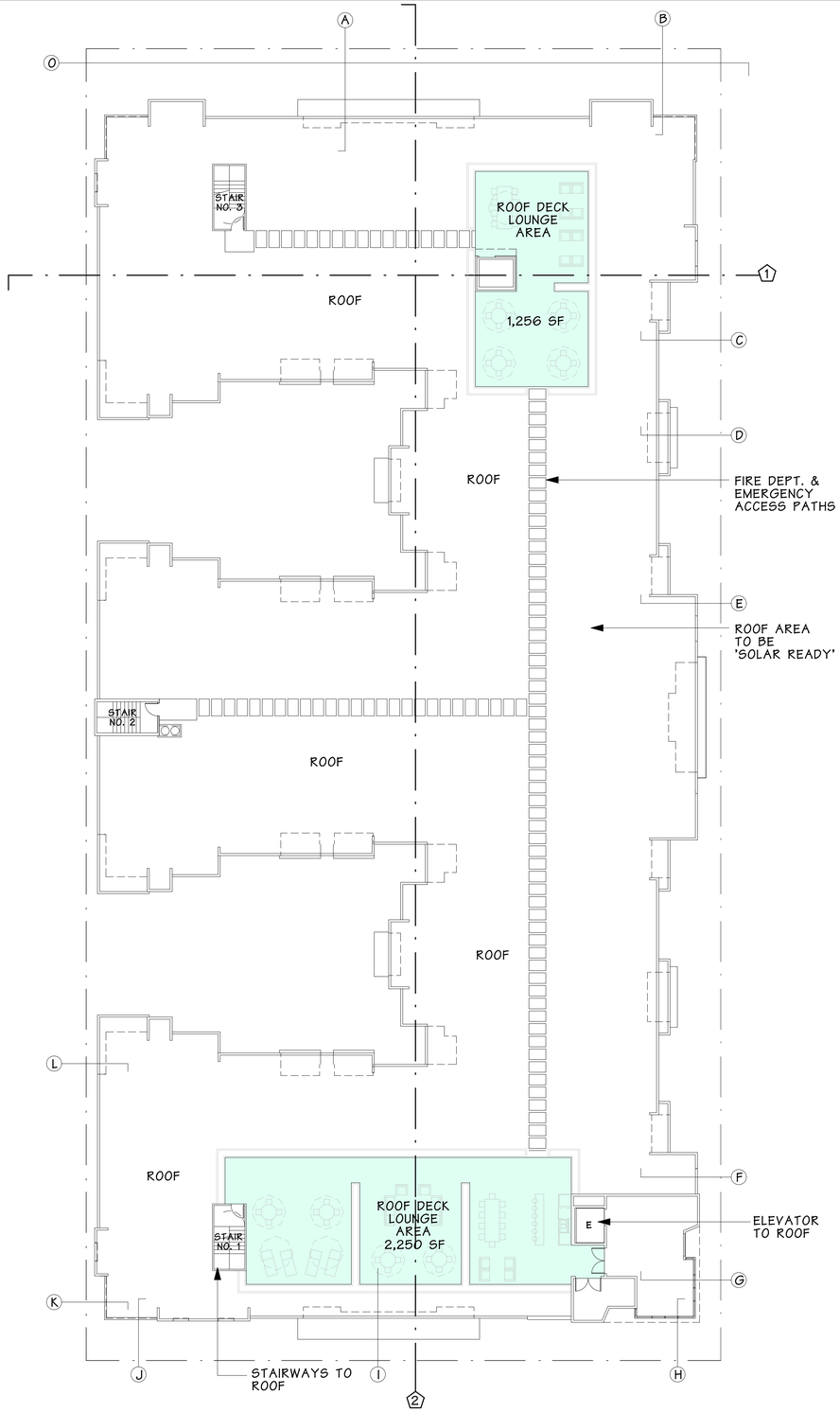
FIFTH & PACIFIC
LONG BEACH, CA

ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

DATE: 12/12/18

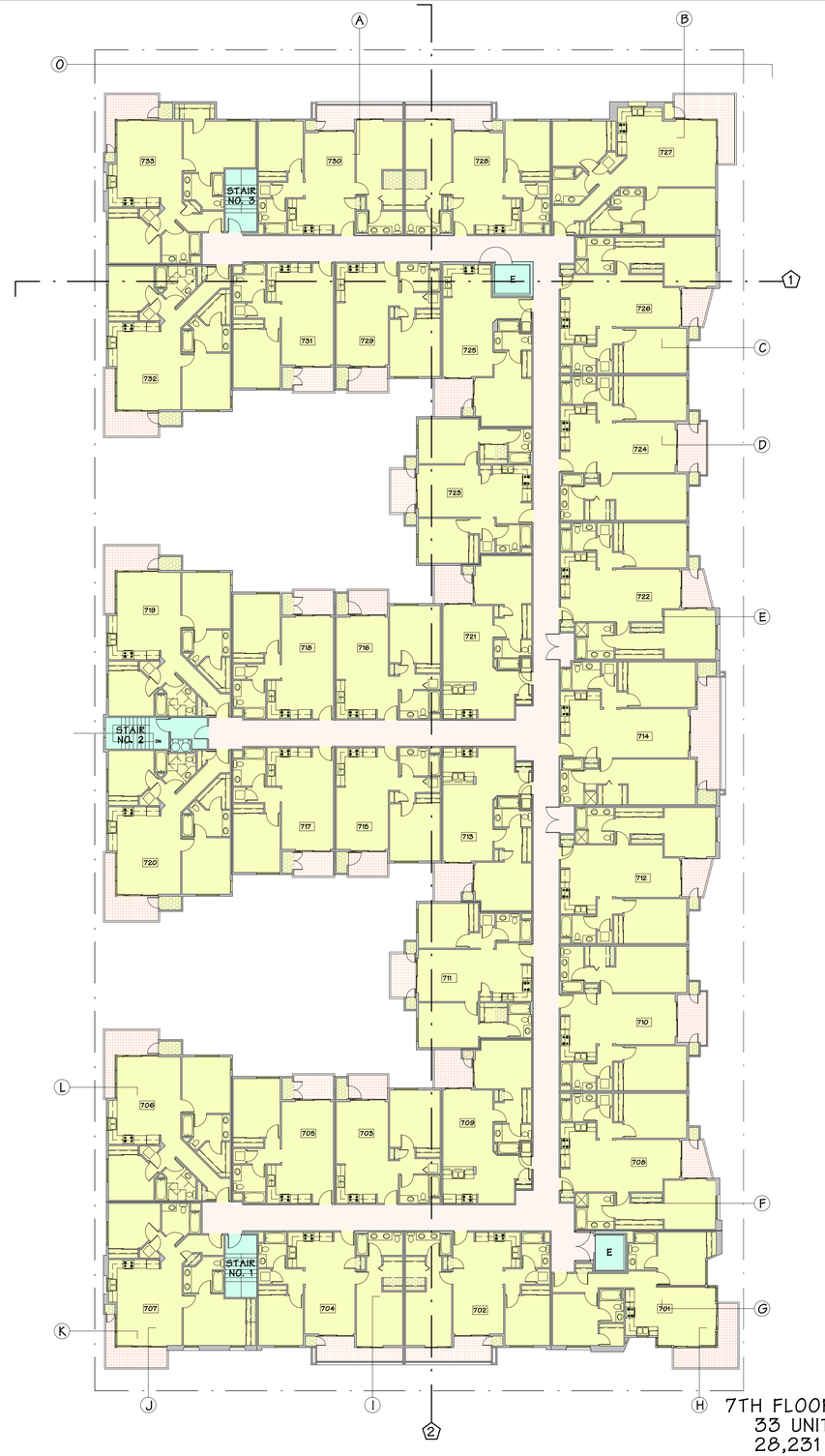
SHEET:

A-4



ROOF PLAN

SCALE: 1/16" = 1'-0"



7TH FLOOR:
33 UNITS
28,231 SF RESIDENTIAL
3,005 SF CORRIDOR
2,377 SF BALCONIES
538 SF STAIRS & ELEVATORS

7TH FLOOR PLAN

SCALE: 1/16" = 1'-0"

GRAPHIC SCALE

0 4' 20' 40' 60'

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T. (310) 809-6745
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REVISIONS

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REN. 7-31-19
STATE OF CALIFORNIA

7TH FLOOR & ROOF PLAN

FIFTH & PACIFIC
LONG BEACH, CA

ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

DATE: 12/12/18

SHEET:

A-5

EAST ELEVATION

SCALE: 3/32" = 1'-0"

WEST ELEVATION

SCALE: 3/32" = 1'-0"

GRAPHIC SCALE

0 4' 20' 40' 60'

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REN. 7-31-19
STATE OF CALIFORNIA

EXTERIOR ELEVATIONS

FIFTH & PACIFIC
LONG BEACH, CA

ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

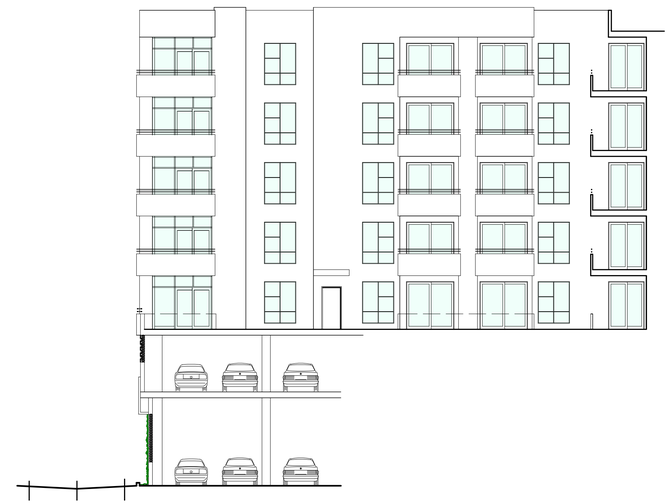
DATE: 12/12/18

SHEET:

A-6

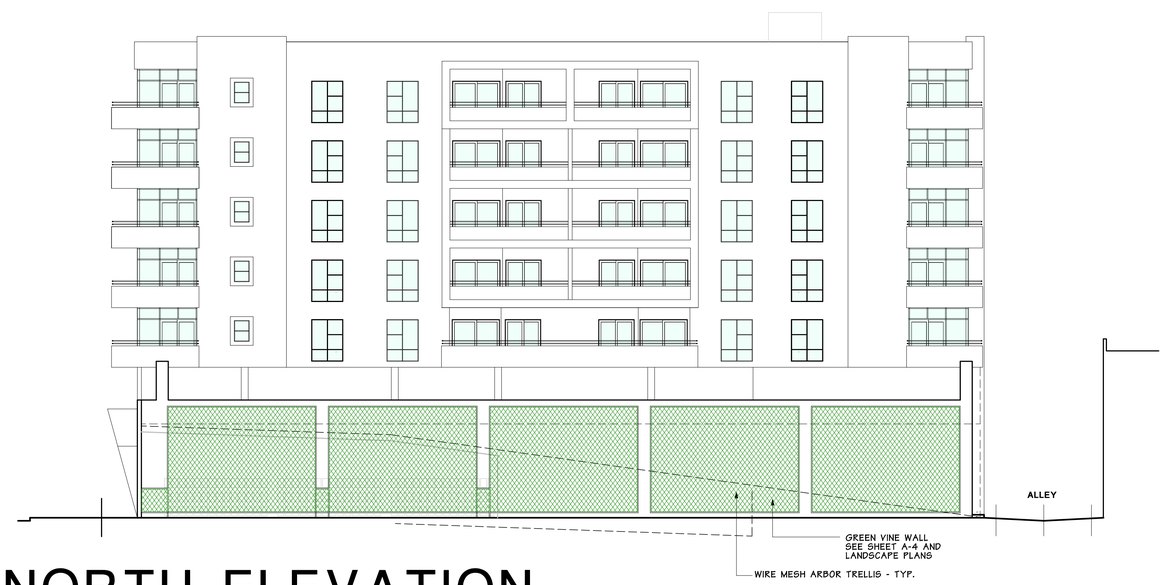
SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



COURTYARD SIDES

SCALE: 3/32" = 1'-0"



NORTH ELEVATION

SCALE: 3/32" = 1'-0"

WEST COURTYARDS

SCALE: 3/32" = 1'-0"

GRAPHIC SCALE

0 4' 20' 40' 60'

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LICENCED ARCHITECT
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REN. 7-31-19
STATE OF CALIFORNIA

EXTERIOR ELEVATIONS

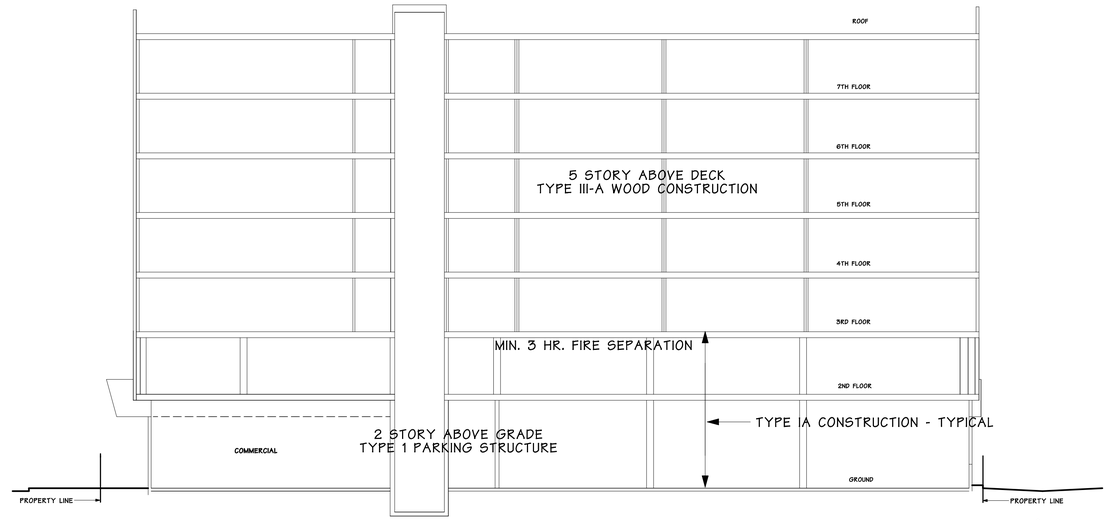
FIFTH & PACIFIC
LONG BEACH, CA

ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

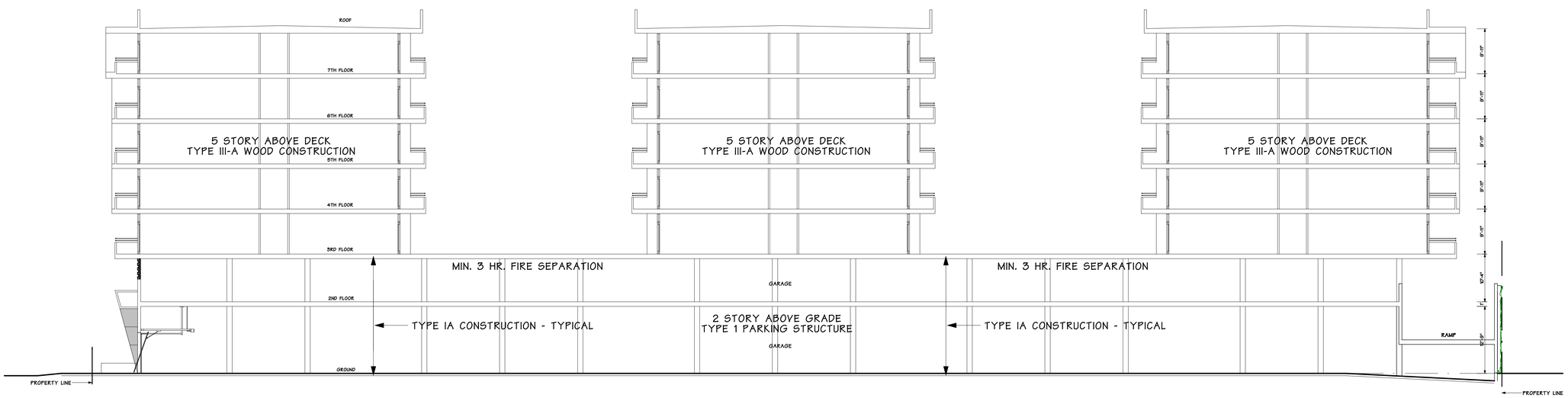
DATE: 12/12/18

SHEET:

A-7



BUILDING SECTION 1



BUILDING SECTION 2

GRAPHIC SCALE

0 4' 20' 40' 60'

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LICENCED ARCHITECT
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C-8362
REN. 7-31-19
STATE OF CALIFORNIA

BUILDING SECTIONS

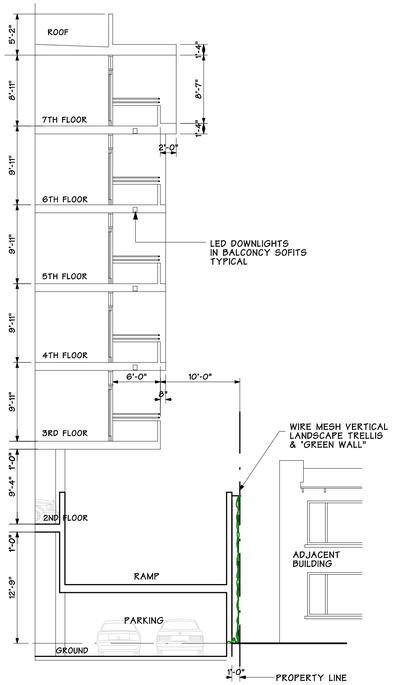
FIFTH & PACIFIC
LONG BEACH, CA

ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

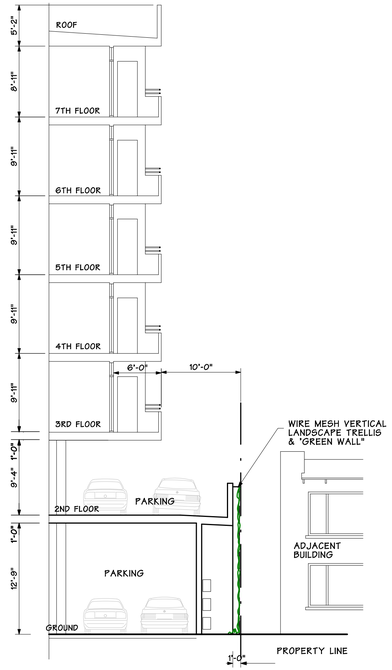
DATE: 12/12/18

SHEET:

A-8



BUILDING SECTION (A)



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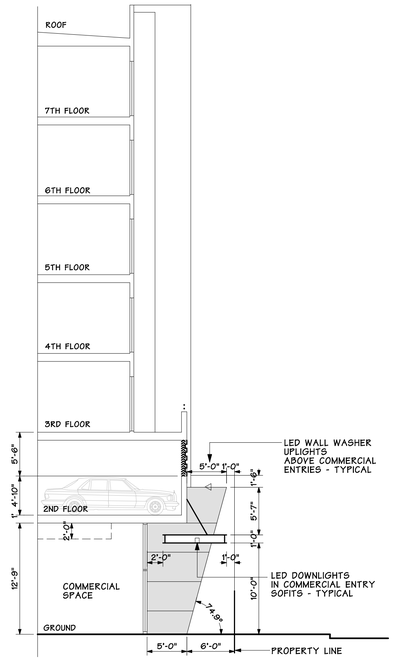
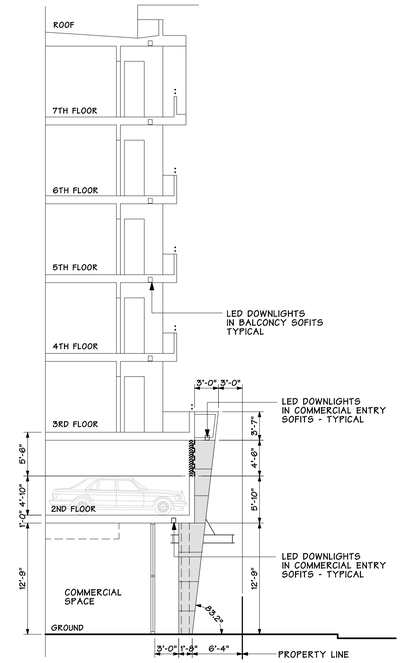


BUILDING SECTION (C)



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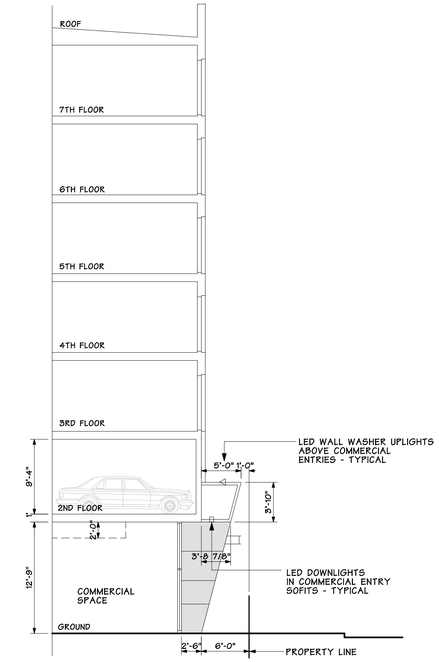
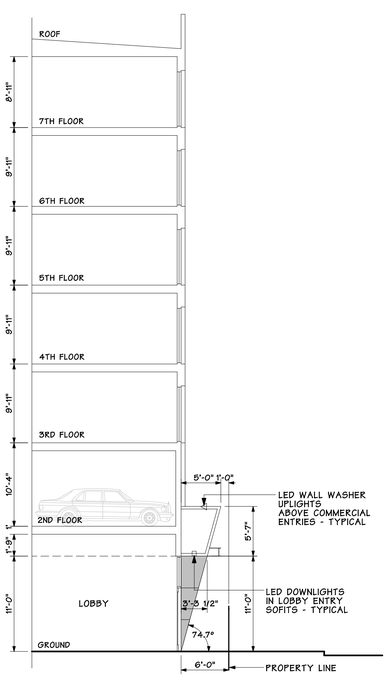


BUILDING SECTION (E)



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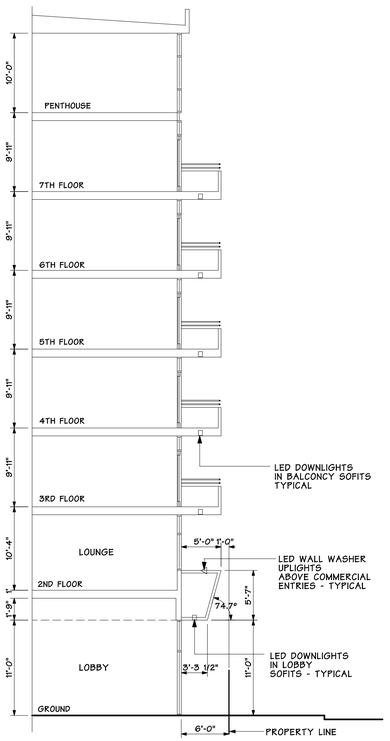
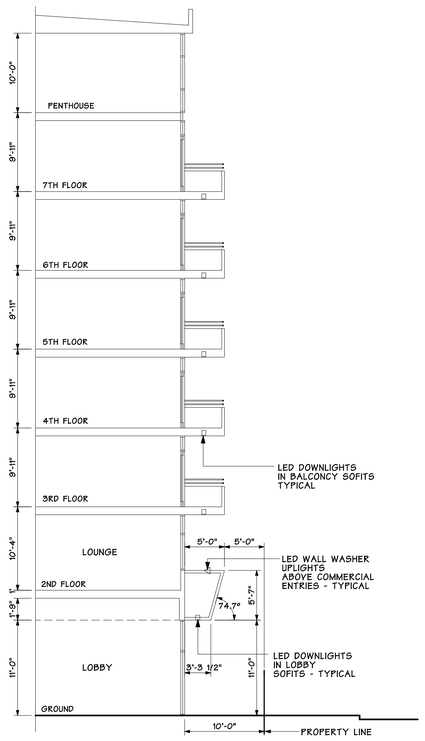


BUILDING SECTION (G)



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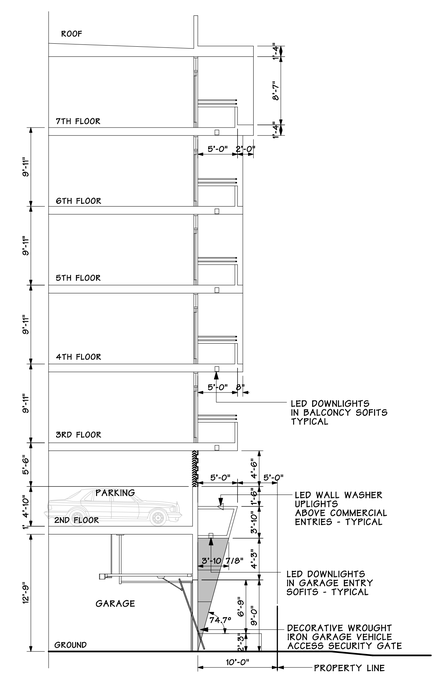

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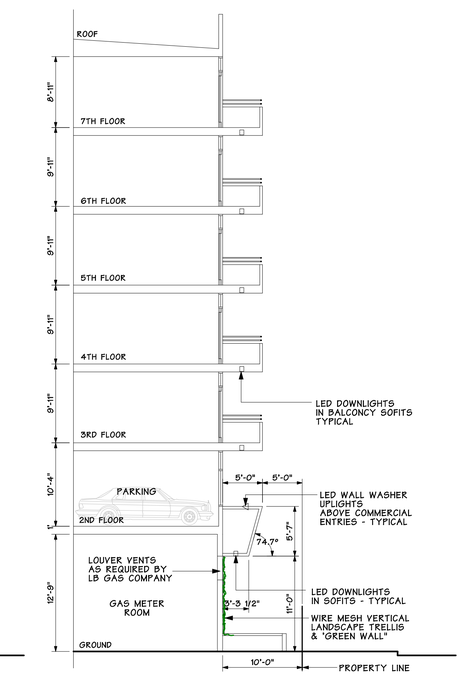

BUILDING SECTION (J)

GRAPHIC SCALE

0 4' 20' 40' 60'

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BUILDING SECTIONS

FIFTH & PACIFIC
LONG BEACH, CA

ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

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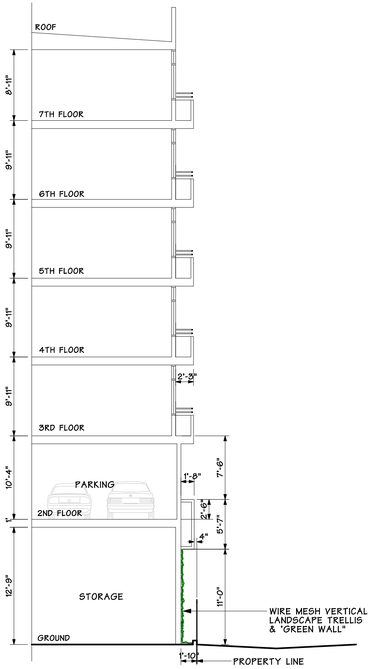

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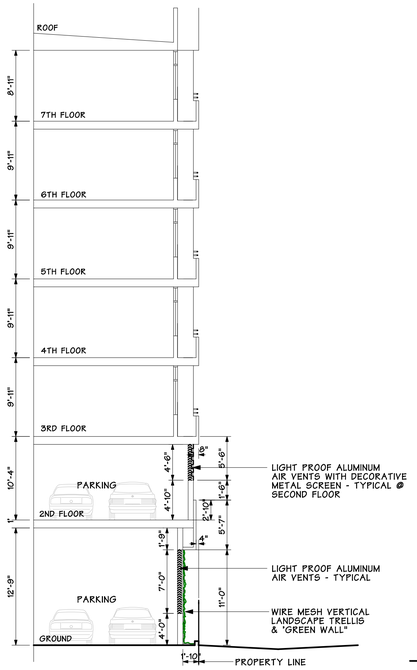
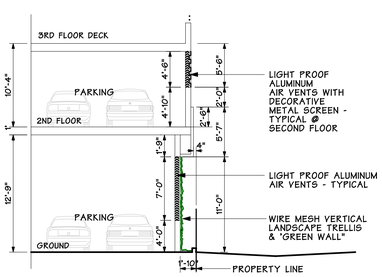


BUILDING SECTION (L)

BUILDING SECTION (O)



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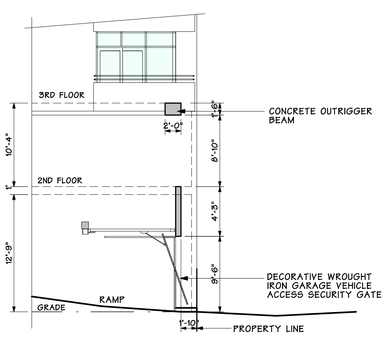

BUILDING SECTION (N)

BUILDING END ELEVATION

GRAPHIC SCALE

0 4' 20' 40' 60'

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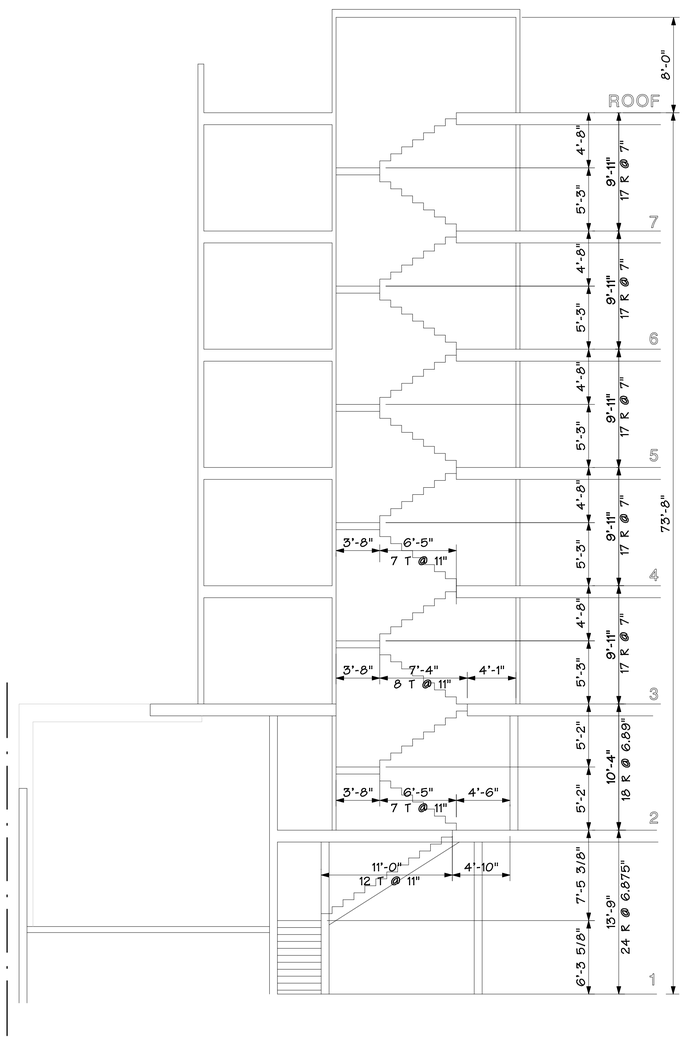
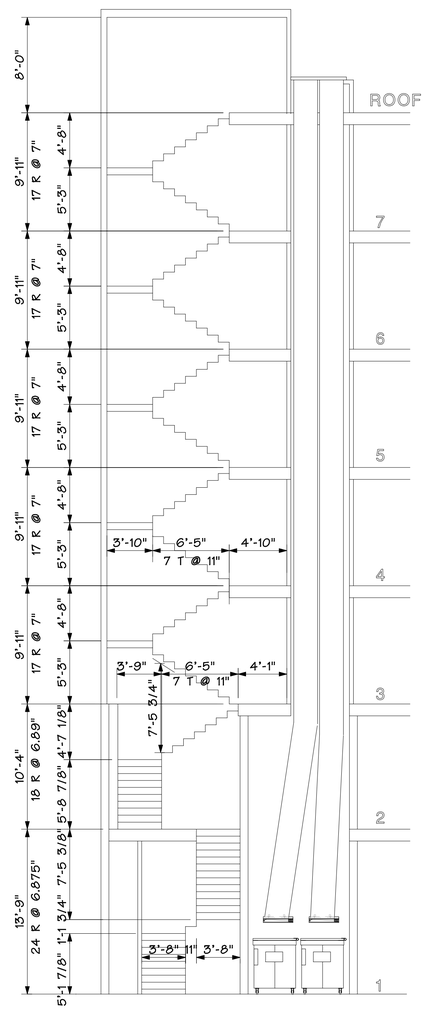
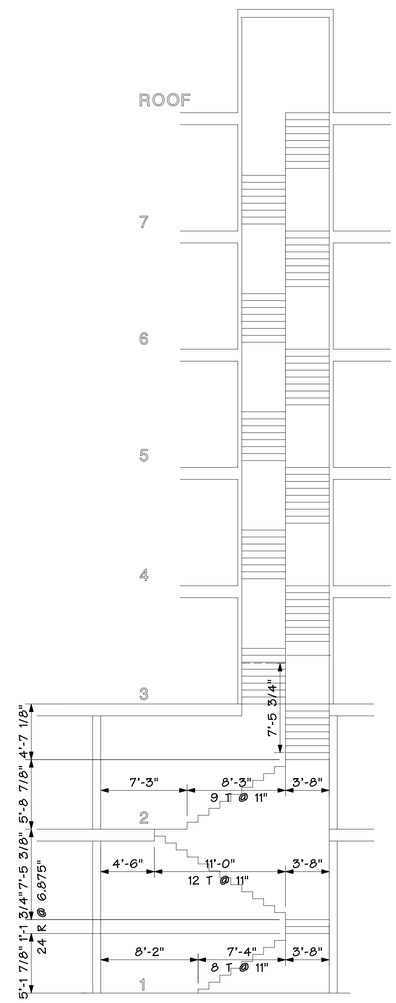
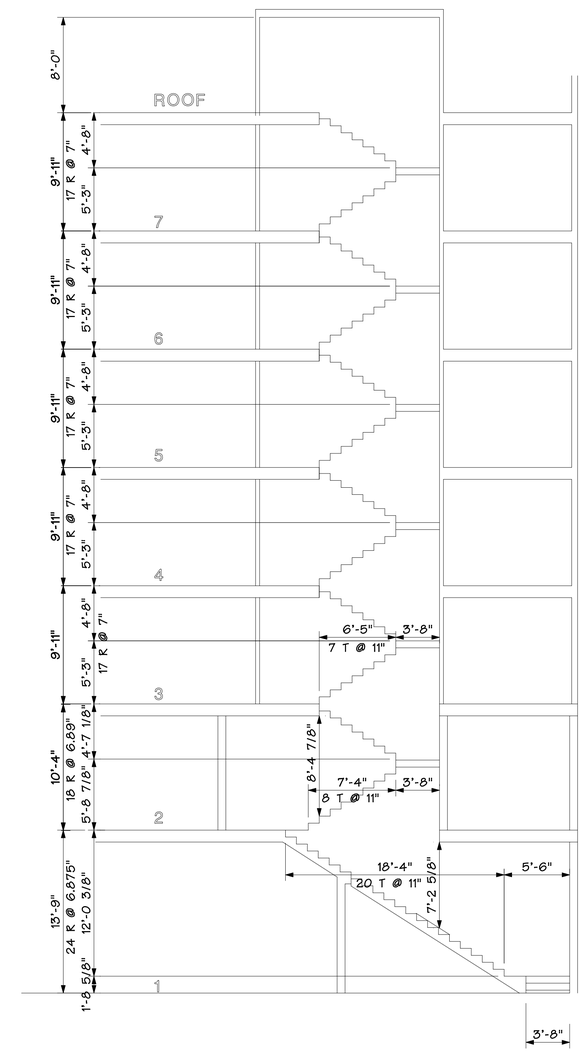


STAIR NO. 3 SECTION



STAIR NO. 2 SECTIONS





STAIR NO. 1 SECTION

GRAPHIC SCALE

0 4' 20' 40' 60'

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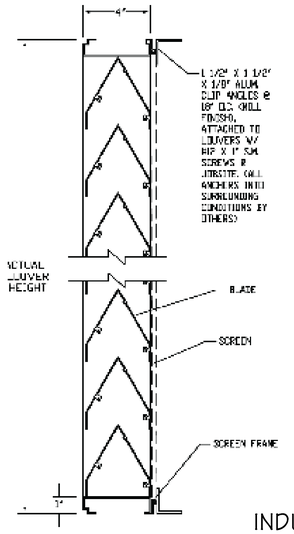
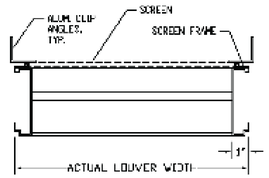


VERTICAL SECTION



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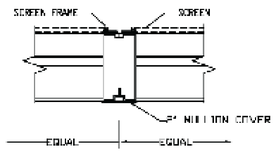
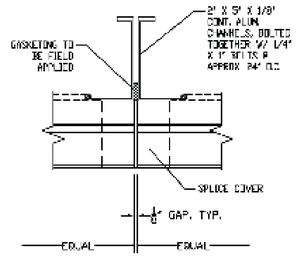


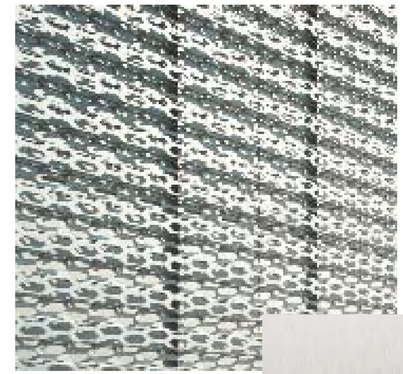
VISIBLE VERTICAL MULLION DETAIL



INVISIBLE VERTICAL MULLION DETAIL

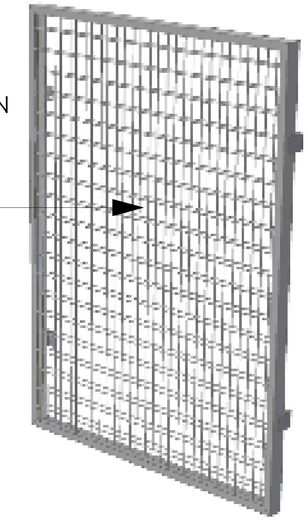
INDUSTRIAL LOVERS INC., DELANO, MN
#435 LIGHT-PROOF ALUMINUM LOUVERS
COLOR TO MATCH ALPOLIC BONE WHITE
4-BNT-30

MH POWELL & CO.
2313 YATES AVE,
COMMERCE, CA 90040
323.887.0037



LOUVER SCREENS:
CORREGATED & PERFORATED ALUMINUM
SCREEN - CLEAR ANODIZED

GREEN WALL SUPPORT:
SOUTH, WEST & EAST WALLS
WALL MOUNTED NATURE SCREEN
AS MFG. BY CITY SCAPES INC.
OR EQUIVALENT



TYPICAL CLEAR
ANODIZED ALUMINUM
STOREFRONT &
WINDOW FRAMES

EXTERIOR PLASTER - TYPICAL:
OMEGA 30/30 SAND FINISH
COLOR TO MATCH DUNN EDWARDS
DE6277 MUSLIN

TYPICAL RAILINGS
MODERN MASTERS METALLIC
PLATINUM PAINT

TYPICAL CLEAR
FLOAT GLASS

TYPICAL CLEAR
ANODIZED ALUMINUM
STOREFRONT &
WINDOW FRAMES

WALL & SOFFIT PANELS:
ALPOLIC METAL COMPOSITE PANELS
BGY GREY 4-BGY-50 OR
EQUVALENT

WALL PANELS:
ALPOLIC METAL COMPOSITE PANELS
BONE WHITE 4-BNT-30 OR
EQUVALENT

UNITED BEST SHEET METAL
800.804.0255 (HENRY)
UBSSHEETMETAL.COM

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REN. 7-31-19
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COLOR & MATERIALS DETAILS

FIFTH & PACIFIC
LONG BEACH, CA

ANASTASI DEVELOPMENT COMPANY
511 WEST TORRANCE BLVD., STE. 200
REDONDO BEACH, CA 90277

DATE: 12/12/18

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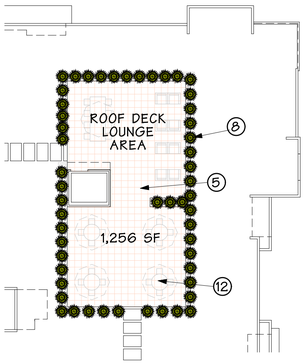
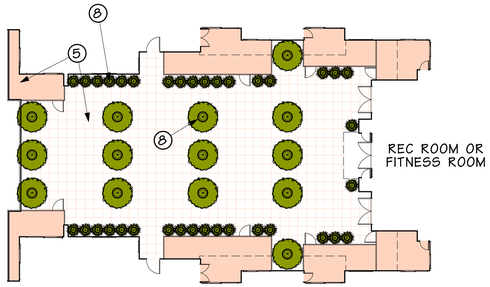
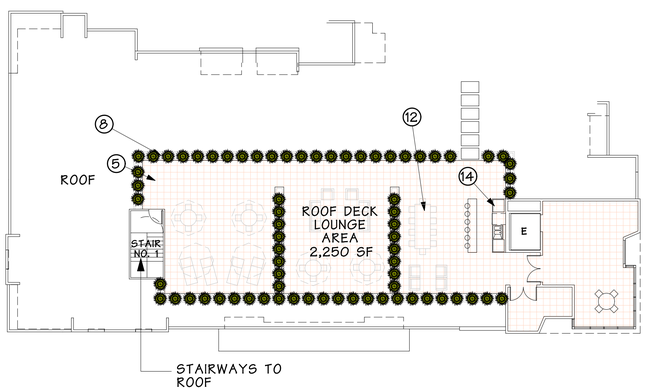


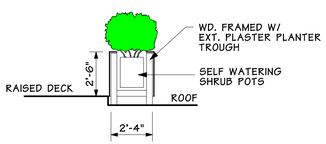
ROOF DECK LOUNGE 2



TYP. RECREATION DECK



ROOF DECK LOUNGE 1



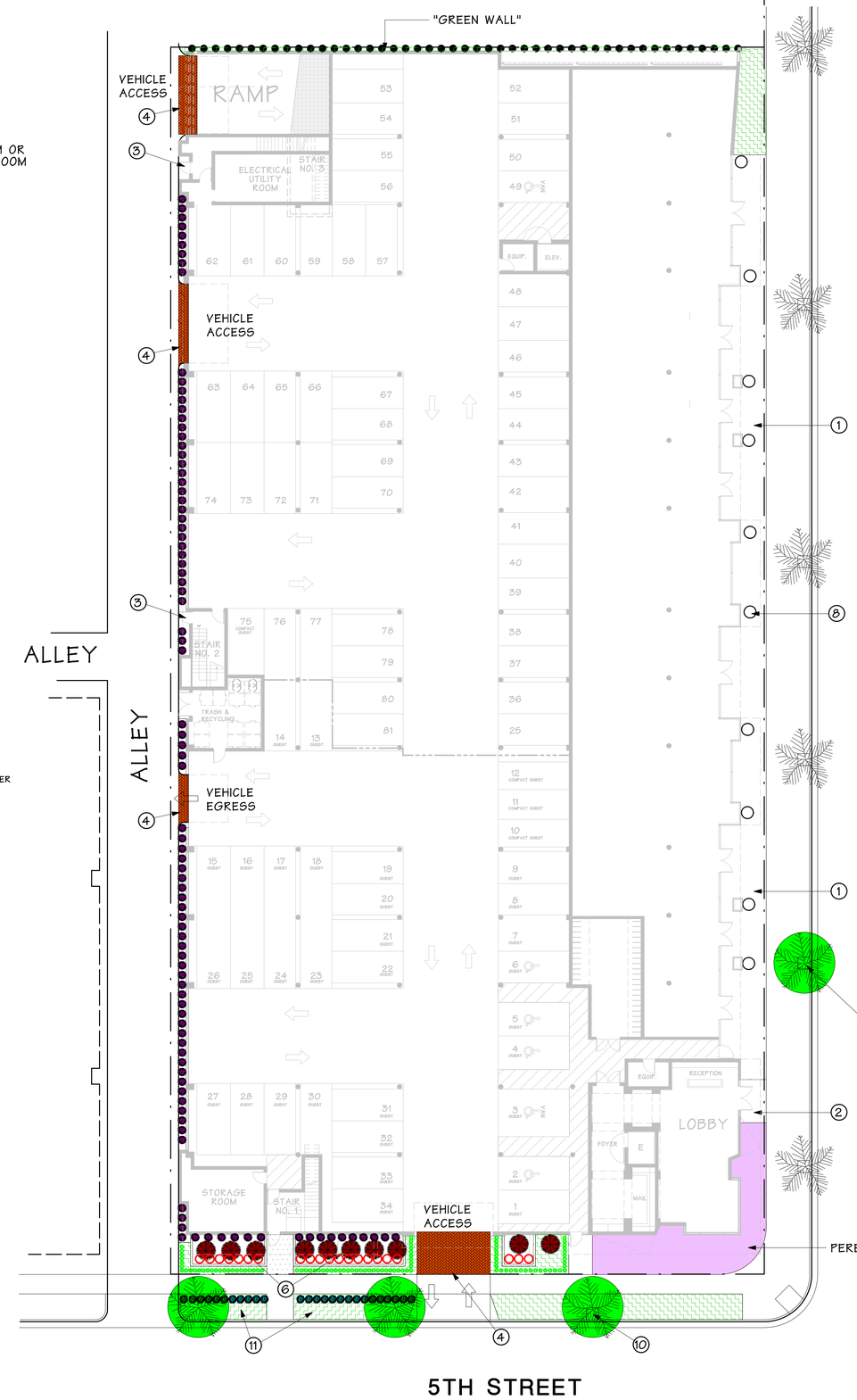
PLANTER TROUGH DETAIL

GENERAL PLANTING LEGEND

ON-DECK GROVE TREES
- GINKGO BILOBA (MAIDENHAIR TREE) - 24" BOX
STREET TREE AND TREEWELL
- WASHINGTONIA ROBUSTA (PALM TREE)
- NEW TREE PER STREET TREE DIVISION CITY STANDARDS
SHRUBS:
- NANDINA 'GULF STREAM' (HEAVENLY BAMBOO)
- PHORMINUM 'RAINBOW MAIDEN' (NEW ZEALAND FLAX)
- SENNA ARTEMISIOIDES (FEATHERY CASSIA)
- WESTRINGIA FRUTICOSA (COAST ROSEMARY)
- EUPHORBIA X MARTI - 1 GAL, 2' O.C.
PERENNIALS:
- ANIGOZANTHOS 'HARMONY' (KANGAROO PAW)
- PENSTEMON X ADVENA 'RUBRUM' (PURPLE FOUNTAIN GRASS)
- SALVIA 'ALLEN CHICKERING SALVIA)
GROUNDCOVERS:
- DYMONDIA - 6" O.C. FLATS
GREEN WALL VINES:
- BOUGANVILLA 'DOUBLE RED' - 15 GAL.
- JASMINE OFFICINALE AFFINE - 15 GAL.
- DIOSCOREA POLYSTACHYA - AIR POTATO VINE - 15 GAL
GRASS
- RED FESCUE - 1 GAL
POTS
- DYCKIA
- ECHEVENIA 'BLUE DUDE'
- ECHEVENIA 'MORNING BEAUTY'
- EURPHORBIA X LOMI SUPERGRANDIFLORA 'SALMON'
- FURCRAEA FOETIDA 'MEDROPICTA' (VARIEGATED BRAZILIAN ALOE)
- KALANCHOE BEHARENSIS VAR. SUBNUDA (VELVET ELEPHANT EAR)
- KALANCHOE 'FANTASTIC'
- SANSEVIERIA BLACK STAR (MOTHER-IN-LAW TONGUE)
- HESPERALOE PARUIFLORA (RED YUCCA)
ROOFTOP & DECK HEDGES
- CREPE MYRTLE

KEY NOTES

1. CONCRETE SIDEWALK
2. MAIN ENTRANCE
3. SECONDARY ACCESS
4. TEXTURED COLORED CONC. PAVING
5. ELASTOMERIC PATIO/ROOF DECK
6. RAISED LANDSCAPE PLANTERS
7. FIBERGLASS POT WITH TREES
8. PLANTER TROUGH WITH SHRUBS
9. TABLE, CHAIRS & UMBRELLA
10. NEW TREE WELLS
11. PARKWAY LANDSCAPE
12. DECK FURNITURE
13. TRELLIS STRUCTURE
14. BARBQUE/BAR AREA



LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"

GRAPHIC SCALE

0 4' 20' 40' 60'

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SITE & DECK AREAS
LANDSCAPE PLANS

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