

EXHIBIT C



02 - 000 - SHEET INDEX					
Number	Sheet	ISSUE DATE: PREAPP	ISSUE 2	REVISION NAME	REVISION DATE
General					
G-000	COVER	1/10/2018	3/27/2018		
G-001	SHEET INDEX AND PROJECT DATA	1/10/2018	3/27/2018		
G-002	MANDATORY MEASURES NONRESIDENTIAL	X	X		
01 General: 3					
Life Safety					
LS100	LIFE SAFETY PLAN - LEVEL ONE	X	X		
LS200	UL ASSEMBLIES	X	X		
LS201	UL ASSEMBLIES	X	X		
LS202	UL ASSEMBLIES	X	X		
LS203	UL ASSEMBLIES	X	X		
02 Life Safety: 5					
Architectural					
A-009	SITE PLAN GENERAL NOTES	X			
A-010	OVERALL SITE PLAN	1/10/2018	3/27/2018		
A-011	ENLARGED SITE PLAN-PROPOSED	1/10/2018	3/27/2018		
A-012	SITE PLAN - DEMO	X	3/27/2018		
A-013	PLOT PLAN	X	3/27/2018		
A-014	SURVEY - WEST	X	X		
A-015	SURVEY - EAST	05/17/18			
A-020	ARCHITECTURAL LANDSCAPE PLAN	X	3/27/2018		
A-030	ARCHITECTURAL SIGN PLAN	X	3/27/2018		
A-100	FLOOR PLAN - NOTES	X	3/27/2018		
A-101	FLOOR PLAN - LEVEL ONE ANNOTATED	X	3/27/2018		
A-102	FLOOR PLAN - CLERESTORY	X	3/27/2018		
A-103	ROOF PLAN	X	3/27/2018		
A-150	REFLECTED CEILING PLAN - BUILDING	X	X		
A-151	REFLECTED CEILING PLAN - LOWER LEVEL CANOPY	X	X		
A-152	REFLECTED CEILING PLAN - UPPER LEVEL CANOPY	X	X		
A-200	EXTERIOR ELEVATIONS AND PERSPECTIVES - NORTH & SOUTH	X	3/27/2018		
A-201	EXTERIOR ELEVATIONS AND PERSPECTIVES - EAST & WEST	X	3/27/2018		
A-202	EXTERIOR ELEVATIONS AND PERSPECTIVES - CANOPY	X	3/27/2018		
A-204	EXTERIOR ELEVATIONS AND PERSPECTIVES - HIDDEN SIDES	X	3/27/2018		
A-300	BUILDING SECTIONS	X	3/27/2018		
A-301	BUILDING SECTIONS	X	X		
A-400	ENLARGED PLANS	X	X		
A-470	ENLARGED TOILET PLANS	X	X		
A-521	EXTERIOR DETAILS - SECTIONS	X	X		
A-522	EXTERIOR DETAILS - SECTIONS	X	X		
A-523	EXTERIOR DETAILS - SECTIONS	X	X		
A-524	EXTERIOR DETAILS - SECTIONS	X	X		
A-525	EXTERIOR DETAILS - ENLARGED SECTION CANOPY SOUTH	X	X		
A-526	EXTERIOR DETAILS - ENLARGED SECTION CANOPY NORTH	X	X		
A-541	ADA SIGNS AND SYMBOLS	X	X		
A-543	ADA HANDRAILS	X	X		
A-544	ADA KITCHEN	X	X		
A-545	ADA KITCHEN	X	X		
A-546	ADA RESTROOMS-TOILETS	X	X		
A-548	ACCESSIBILITY DETAILS	X	X		
A-600	OVERALL FINISH FLOOR PLAN - LEVEL ONE	X	X		
A-650	INTERIOR ELEVATIONS	X	X		
A-700	EXTERIOR BUILDING SYSTEMS	X	X		
A-701	CANOPY SYSTEMS	05/21/18			
A-710	INTERIOR PARTITION TYPES	X	X		
A-720	DOOR SCHEDULE, TYPES, AND DETAILS	X	X		
A-740	WINDOW SCHEDULE, TYPES, AND DETAILS	X	X		
A-900	RENDERINGS & 3D	X	3/27/2018		
09 Architectural: 44					
TOTAL SHEET COUNT: 52					

Issue Date:

Project:

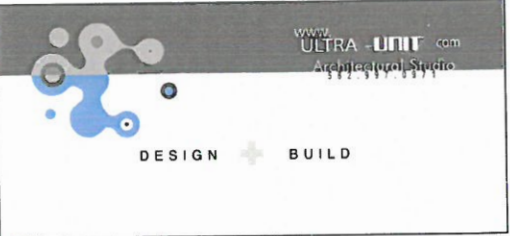
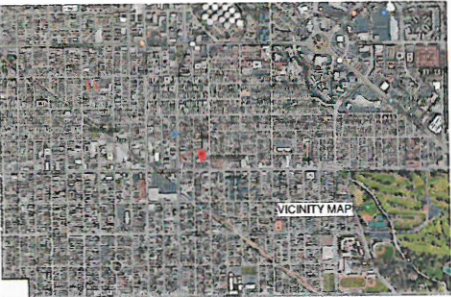
17-1211
17-1211-3525 Anaheim
Zane M

3525 Anaheim
Long Beach
CA

Original Issuance:

PROJECT DESCRIPTION:

DEMO OF EXISTING WAITING ROOM, DECK, TENT AND WASH TUNNEL.
NEW TUNNEL, NEW MANAGEMENT OFFICE, EMPLOYEE BREAK ROOM, EMPLOYEE
RESTROOM AND PUBLIC RESTROOM. NEW PARKING SPOTS WITH SELF SERVICE
VACUUM AREA.



Team

Architect:
Ultra-Unit Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
t. 562.997.0971
e. cameron@ultra-unit.com

Structural Engineer:
David Choi & Associates
1327 Loma Avenue
Long Beach, California 90804
t. 562.382.8040
e. david@dca-se.com

Geotech:

Title 24 Energy:

Mechanical, Electrical, Plumbing Engineering:

Revisions

Architect Stamp



Date

Project:
17-1211-3525 Anaheim

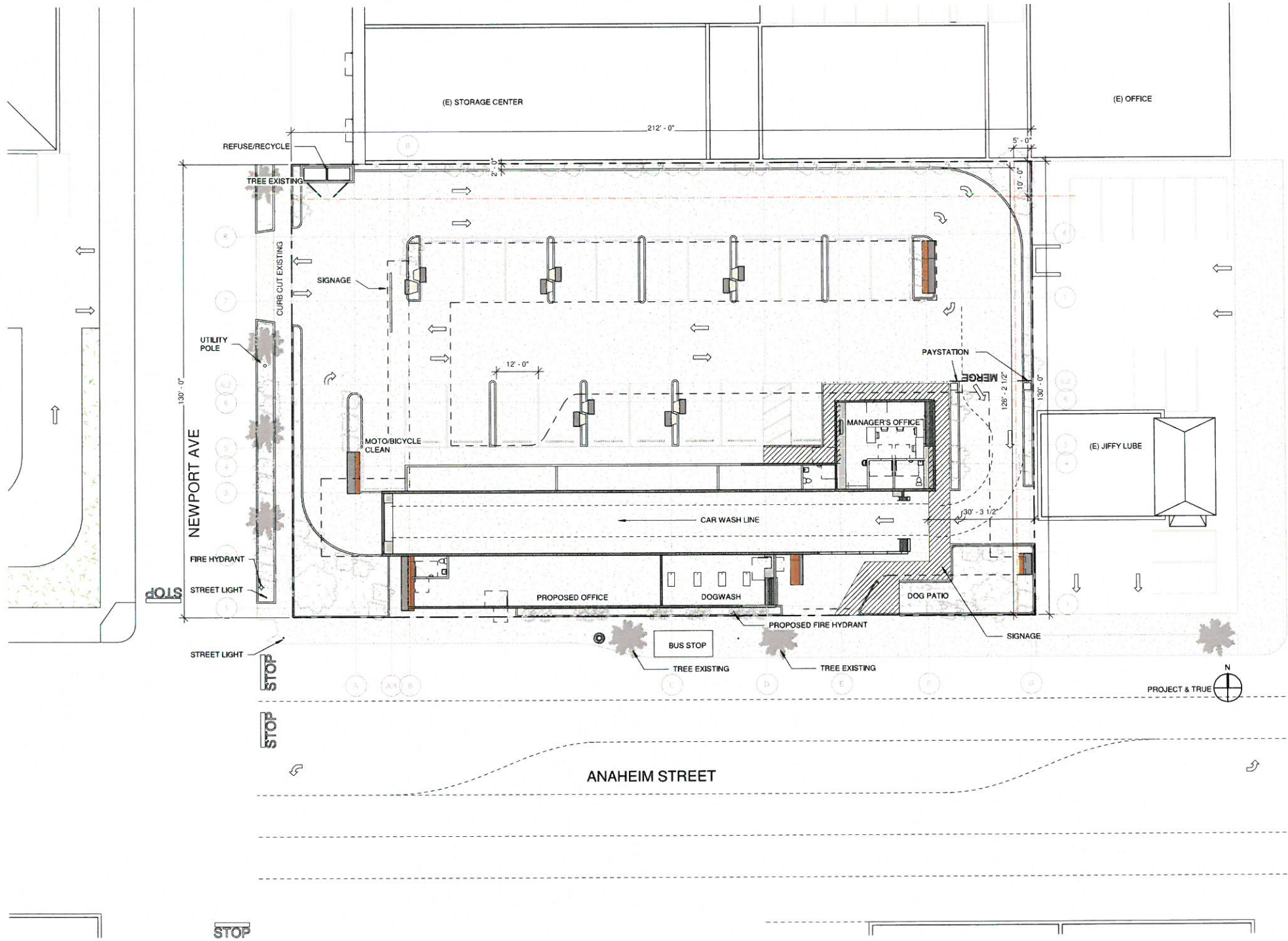
Client Name:
Zane M

Sheet Name

COVER

Project Number

17-1211



1 SITE PLAN
1/16" = 1'-0"

SITE PLAN LEGEND

- NEW INTERIOR PARTITION WALL. REFER TO PARTITION SCHEDULE AND TYPES ON A710 FOR CONSTRUCTION AND DETAILING.
- CENTERLINE
- PROPERTY LINE
- HANDICAP ACCESSIBILITY ROUTE
- NOT PART OF SCOPE
- LANDSCAPE

OVERVIEW

3543 ANAHEIM - LONG BEACH CA- 90804
APN: 7259-011-052
TRACT: 49858
LOT: 65
ZONE: CCP
NO OVERLAYS
OCCUPANCY CLASSIFICATION: BUSINESS GROUP B
OCCUPANT LOAD = 15
TYPE 3B CONSTRUCTION
NON SPRINKLERED

FAR

FAR - .22
PARCEL DATA
PARCEL WIDTH X PARCEL DEPTH
210'X130' = 27,300 SQFT LOT SIZE
LOT NOTES
NO EASEMENTS EXISTING OR PROPOSED
FLOOR AREA CALCULATION
(PARCEL WIDTH X PARCEL DEPTH) 210'X130' = 27,300
(NONBUILDABLE AREA = 1685)
27300-1685 = 25615 BUILDABLE
FLOOR AREAS
FIRST - 5712 NEW SQFT
FAR FLOOR AREAS/BUILDABLE = .22

SITE QUALIFICATIONS

ALLOWABLE MAX HEIGHT CCP=28 FEET , 2 STORIES
REQUIRED YARD AREAS BETWEEN BUILDINGS AND PROPERTY LINES
FRONT STREET = 0'
SIDE STREET = 0'
ADJACENT TO NONRESIDENTIAL DISTRICT = 10'
REQUIRED YARD AREAS BETWEEN PARKING AND PROPERTY LINES
FRONT STREET = 10'
SIDE STREET = 5'
ADJACENT TO NONRESIDENTIAL DISTRICT = 5'
OTHER DEVELOPMENT STANDARDS
MINIMUM LOT SIZE = 10,000 SQFT

PROJECT LAYOUT

LANDSCAPING
SEE 21.42.030 LBMC
NUMBER OF PLANTS USED = 4+
DROUGHT TOLERANT AND HEARTY
LOT COVERAGE
PLANTED = 1874
IMPERVIOUS = XXXXX
BUILT = 5712
COVERAGE % = 22

PARKING

CAR WASH FULL SERVICE
1 SPACE PER WASH BAY - LENGTH OF CONVEYOR DIVDED BY 18
152/18 = 9
UNSPECIFIED OFFICE
4 PER 1000 GFA
1445 SQFT = 6
15 REQD
PROVIDED
6 EMPLOYEE
1 ADA VAN
13 CARWASH
20 TOTAL

SCOPE

DEMO OF EXISTING WAITING ROOM, DECK, TENT AND WASH TUNNEL.
NEW TUNNEL, NEW MANAGEMENT OFFICE, EMPLOYEE BREAK ROOM, EMPLOYEE RESTROOM AND PUBLIC RESTROOM, NEW PARKING SPOTS WITH SELF SERVICE VACUUM AREA.
EXISTING
3458 WAITING ROOM/DECK
2400 CAR WASH
900 TENT
TOTAL EXISTING = 6758
DEMO
3458 WAITING ROOM/DECK
2400 CAR WASH
900 TENT
TOTAL DEMO = 6758
PROPOSED
2790 CAR WASH
2858 MGMT/EPLY/RR
TOTAL NEW = 5712
TOTAL DEMO=6758

www.ULTRA-UNIT.com
Ultra-Unit Architectural Studio

DESIGN + BUILD

Team
Cameron Crockett - Architect/Contractor
Ultra-Unit Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
t. 562.997.0971
e. cameron@ultra-unit.com
David Choi - Structural Engineer
David Choi and Associates
1327 Loma Avenue
Long Beach, California 90804
t. 562.382.8040
e. david@dca-se.com

Architect Stamp

LICENSED ARCHITECT
CAMERON CROCKETT
C31503
1.31.2019
RENEWAL
DATE
STATE OF CALIFORNIA

Project:
17-1211-3525 Anaheim
3525 Anaheim
Long Beach
CA

Client Name:
Zane M

Revisions

No.	Description	Date

Sheet Name
OVERALL SITE PLAN

Sheet Number
A-010

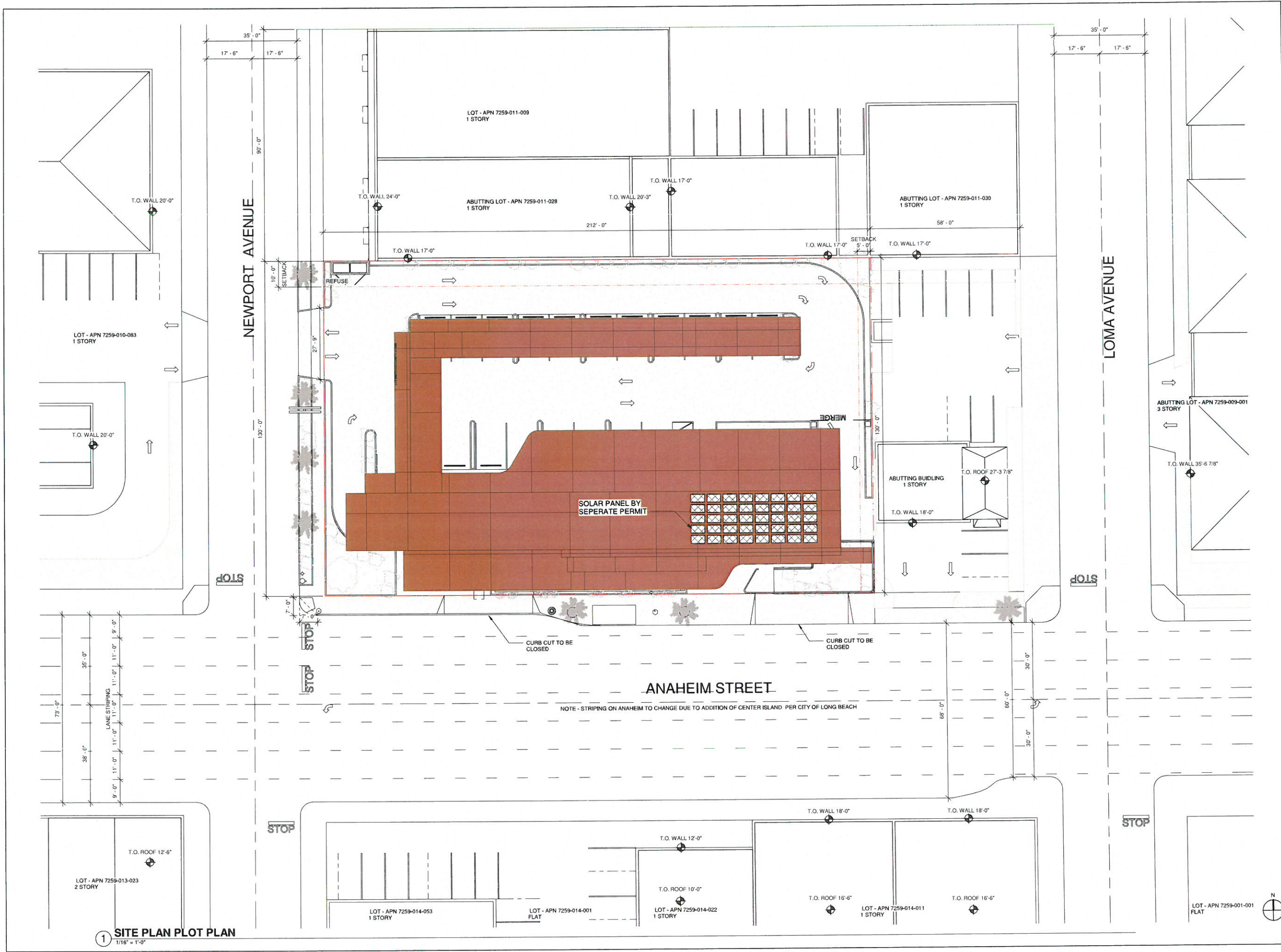
Project Number
17-1211

Drawn By
Author

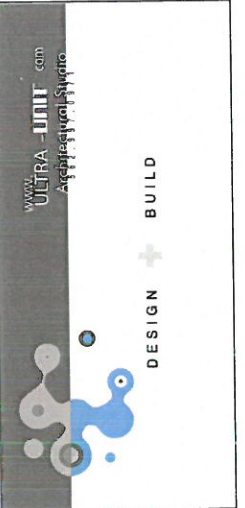
Checked By
Checker

Scale
As indicated

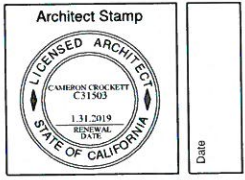
10/9/2018 3:51:49 PM
\\UNIT\\ultra_prgs\\2017 PROJECTS\\17-1211 3525 Anaheim - Carwash03 Project Drawings\\03 Architectural\\17-1211-2019-3525ANAHEIM - 08-28-2018 - payan.rv



1 SITE PLAN PLOT PLAN
1/16" = 1'-0"



Team
Cameron Crockett - Architect/Contractor
Ultra-Unit Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
T. 562.997.0971
e. cameron@ultra-unit.com
David Choi - Structural Engineer
David Choi and Associates
1327 Loma Avenue
Long Beach, California 90804
T. 562.382.8040
e. david@dca-99.com



Project:
17-1211-3525 Anaheim
3525 Anaheim
Long Beach
CA
Client Name:
Zane M

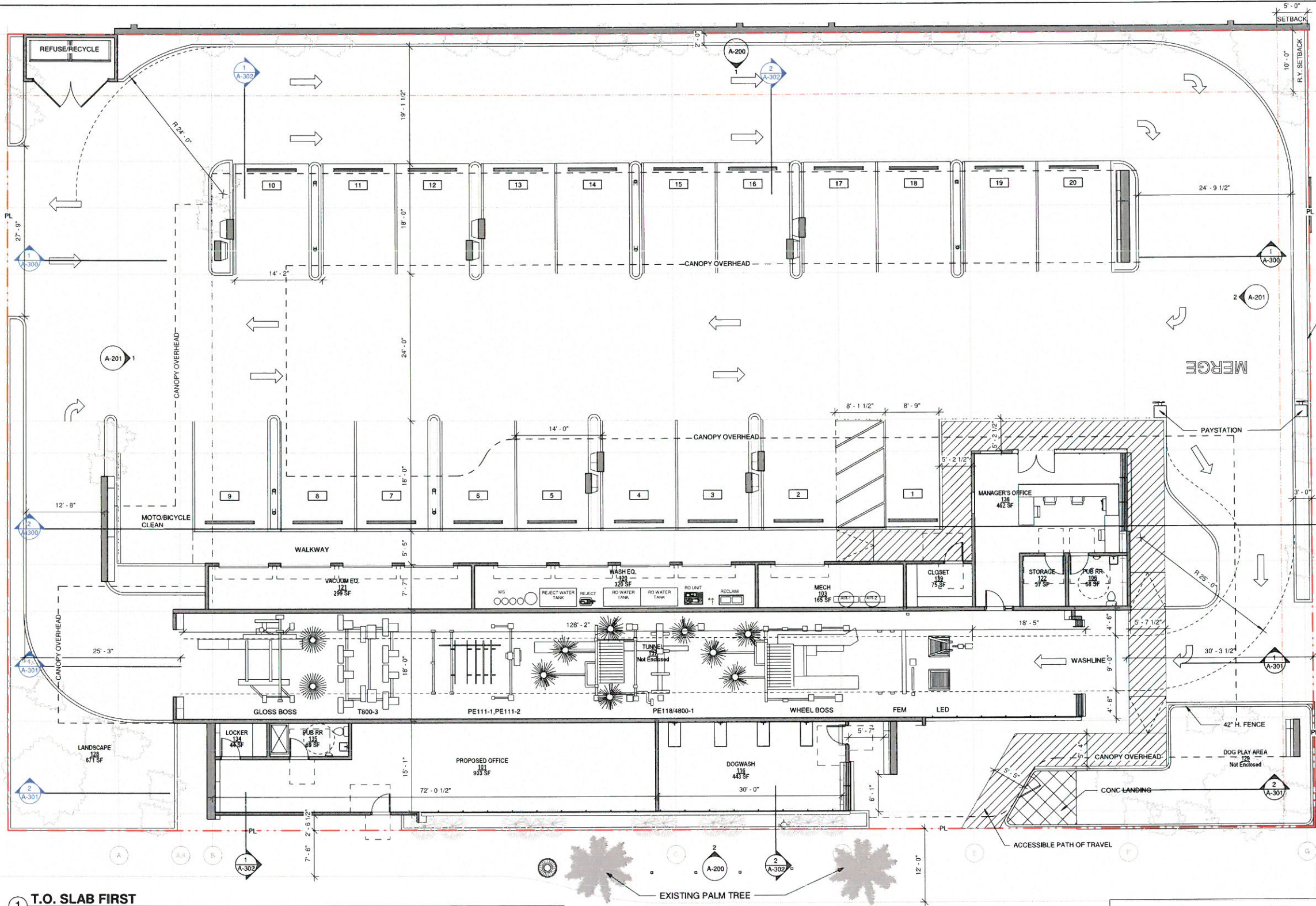
Revisions

No.	Description	Date

Sheet Name
PLOT PLAN

Sheet Number
A-013
Project Number
17-1211
Drawn By
Author
Checked By
Checker
Scale
1/16" = 1'-0"

\\UNIT\\ulua_p\\proj2017\\PROJECT\\S\\17-1211-3525 Anaheim - Carwash\\03 Project Drawings\\03 Architectural\\17-1211-2019-3525ANAHEIM - 08-28-2018 - peyananv



1 T.O. SLAB FIRST
1/8" = 1'-0"

Parking Schedule			
Mark	Type Mark	Count	Comments
ADA	ADA	1	
EMPLOYEE	EMPLOYEE	1	
3	EMPLOYEE	1	
4	EMPLOYEE	1	
5	EMPLOYEE	1	
6	EMPLOYEE	1	
7	EMPLOYEE	1	
		6	

Parking Schedule			
Mark	Type Mark	Count	Comments
GUEST	GUEST	1	
9	GUEST	1	
10	GUEST	1	
11	GUEST	1	
12	GUEST	1	
13	GUEST	1	
14	GUEST	1	
15	GUEST	1	
16	GUEST	1	
17	GUEST	1	
18	GUEST	1	
19	GUEST	1	
20	GUEST	1	
		13	

03 - ROOM SCHEDULE-TOTAL BUILDING AREA			
Number	Name	Area	Comments
101	PROPOSED OFFICE	903.19 SF	INTERIOR
103	MECH	164.50 SF	INTERIOR
106	PUB RR	68.11 SF	INTERIOR
116	DOG WASH	442.78 SF	INTERIOR
120	WASH EQ.	319.69 SF	INTERIOR
121	VACUUM EQ.	298.96 SF	INTERIOR
122	STORAGE	56.77 SF	INTERIOR
123	PUB RR	Not Placed	INTERIOR
134	LOCKER	44.18 SF	INTERIOR
135	MANAGER'S OFFICE	461.50 SF	INTERIOR
137	TUNNEL	Not Enclosed	INTERIOR
Grand total: 11		2759.68 SF	

03 - ROOM SCHEDULE-TOTAL LANDSCAPE			
Number	Name	Area	Comments
128	LANDSCAPE	671.30 SF	EXTERIOR
129	DOG PLAY AREA	Not Enclosed	EXTERIOR
130	LANDSCAPE	Not Enclosed	EXTERIOR
Grand total: 3		671.30 SF	

PLAN GENERAL NOTES

A-600 FOR FINISHES
A-700 FOR WALL SYSTEMS
A-701 FOR CANOPY SYSTEM
A-720 FOR DOOR SCHEDULES
A-740 FOR WINDOW SCHEDULES

PLAN LEGEND

WALL LEGEND

--- ROOF ABOVE
--- NEW WALL/PARTITION. REFER TO PARTITION LEGEND
--- EXPANSION JOINT (EJ)

60" TURNING RADIUS

ACCESSIBILITY CLEARANCE FOR DOOR

30" X 48" CLEARANCE

ACCESSIBLE ROUTES

AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES. PUBLIC STREETS AND SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE. (11B-206.2.1)

AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE. (11B-206.2.2)

ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACE WITH A RUNNING SLOPE NOT STEEPER THAN 1:20(5%), DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM LIFTS. (11B-402.2)

THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACE SHALL BE STEEPER THAN 1:48 (2.083%) (11B-403.3)

EXCEPT AT TURNS OR PASSING SPACES, THE CLEAR WIDTH OF WALKING SURFACE SHALL BE 36" INCHES MINIMUM. (11B-403.5.1)

THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44 INCHES MINIMUM. (11B-403.5.1)

THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48 INCHES MINIMUM. (11B-403.5.1)

THE CLEAR WIDTH FOR ACCESSIBLE ROUTES TO ACCESSIBLE TOILET COMPARTMENTS SHALL BE 44 INCHES EXCEPT FOR DOOR-OPENING WIDTHS AND DOOR SWINGS. (11B-403.5.1)

ENTRANCES SHALL BE PROVIDED IN ACCORDANCE WITH 11B-206.4 ENTRANCES. ENTRANCE DOORS, DOORWAYS, AND GATES SHALL COMPLY WITH 11B-404 DOORS, DOORWAYS, AND GATES AND SHALL BE ON AN ACCESSIBLE ROUTE COMPLYING WITH 11B-402 ACCESSIBLE ROUTES. (11B-206.4)

ALL ENTRANCES AND EXTERIOR GROUND-FLOOR EXITS TO BUILDINGS AND FACILITIES SHALL COMPLY WITH 11B-404 DOORS, DOORWAYS AND GATES (11B-206.4.1)

Team

Cameron Crockett - Architect/Contractor
Ultra-Unit Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
T. 562.997.0971
e. cameron@ultra-unit.com

David Choi - Structural Engineer
David Choi and Associates
1327 Loma Avenue
Long Beach, California 90804
T. 562.382.9040
e. david@dca-se.com

Architect Stamp

1312019
RENEWAL
DATE
C31303
CAMERON CROCKETT
STATE OF CALIFORNIA

Date

Project:

17-1211-3525 Anaheim
3525 Anaheim
Long Beach
CA

Client Name:

Zane M

Revisions

No.	Description	Date

Sheet Name

FLOOR PLAN -
LEVEL ONE
ANNOTATED

Sheet Number

A-101

Project Number

17-1211

Drawn By

Author

Checked By

Checker

Scale

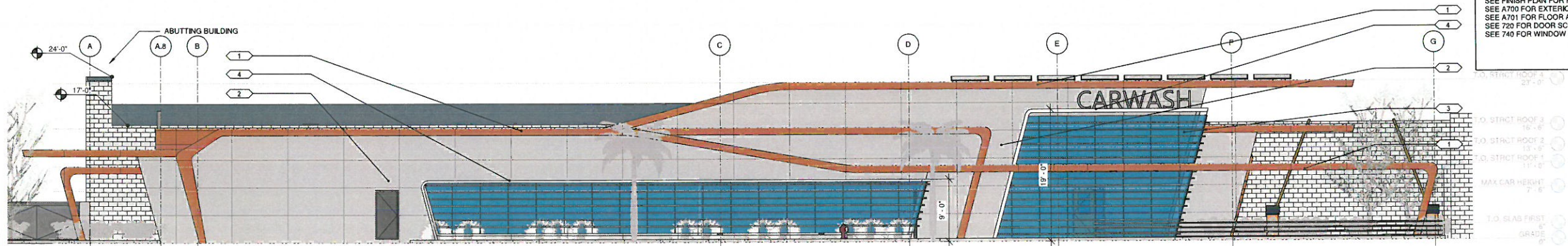
As indicated

10/23/2018 3:52:57 PM

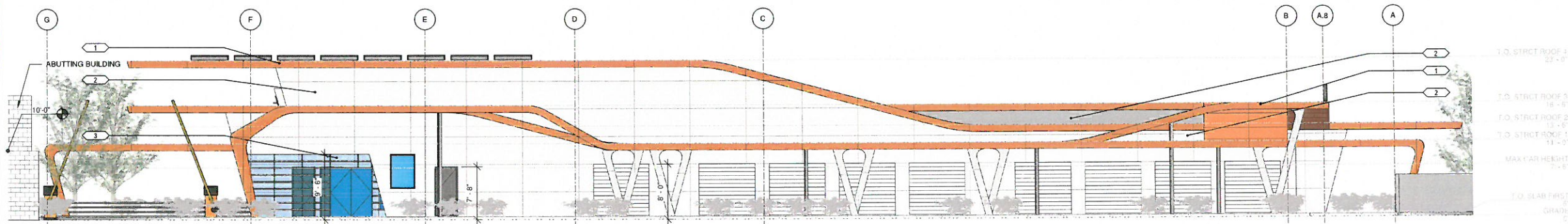
\\UNIT\\ultra_p05\\2017 pPROJECT\\S\\17-1211-3525\\Anaheim - Carwash\\03 Project Drawings\\03-Architectural\\17-1211-3525-3525ANAHEIM - 10-23-2018 - payan.nv

#	TYPE	APPL.	COLOR	
1	HARDIE PLANK PANEL	EXT.	LAP SLIDING-WOODSTOCK BROWN	
2	BEHR PAINT	EXT.	BONFIRE NIGHT P200-7	
3	STORE FRONT GLAZING	EXT.		
4	BROWNZE ALLUMINUM	EXT.		

FINISH LEGEND
1/4" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

ELEVATION GENERAL NOTES

ELEVATION LEGEND

LEGEND

- 1 OR A GRIDLINE - FOR STRUCTURE
- LEVEL DATUM
- SPOT ELEVATION MARKER
- WINDOW - SEE 740
- EXPANSION JOINT (EJ)

ELEVATION LEGEND

FIBER CEMENT PANEL NOTES HERE

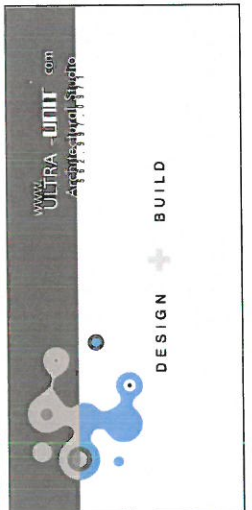
GLAZING NOTES

ACM NOTES

LOUVER NOTES

PROJECT NOTES

SEE A 400'S FOR ENLARGED PLANS
SEE A 500'S FOR ENLARGED BATHROOM PLANS, ADA, AND CLEARANCES
ALL GYPSUM FINISH INTERIOR WALLS MAINTAIN LEVEL 3 FINISH
SEE FINISH PLAN FOR FINISH MATERIAL
SEE A700 FOR EXTERIOR WALL SYSTEM TAGS
SEE A701 FOR FLOOR AND ROOF SYSTEM TAGS
SEE 720 FOR DOOR SCHEDULE
SEE 740 FOR WINDOW SCHEDULE



Team
Cameron Crockett - Architect/Contractor
Ultra-Unit Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
T. 562.997.0971
a. cameron@ultra-unit.com
David Choi - Structural Engineer
David Choi and Associates
1327 Loma Avenue
Long Beach, California 90804
T. 562.382.8040
e. david@dca-se.com

Architect Stamp



Project:
17-1211-3525 Anaheim
3525 Anaheim
Long Beach
CA

Client Name:
Zane M

No.	Description	Date

Sheet Name
EXTERIOR
ELEVATIONS AND
PERSPECTIVES -
NORTH & SOUTH

Sheet Number
A-200

Project Number
17-1211

Drawn By
Author

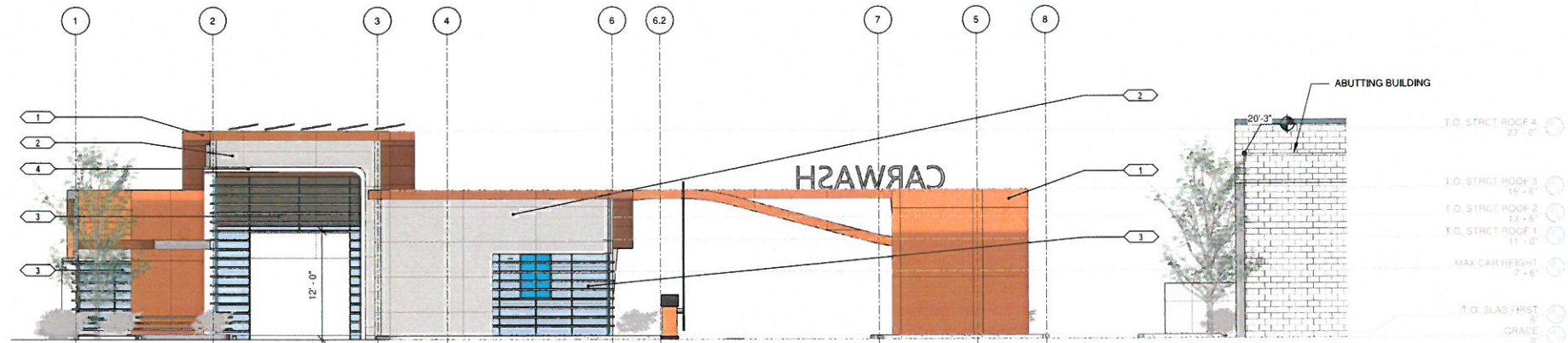
Checked By
Checker

Scale
As indicated

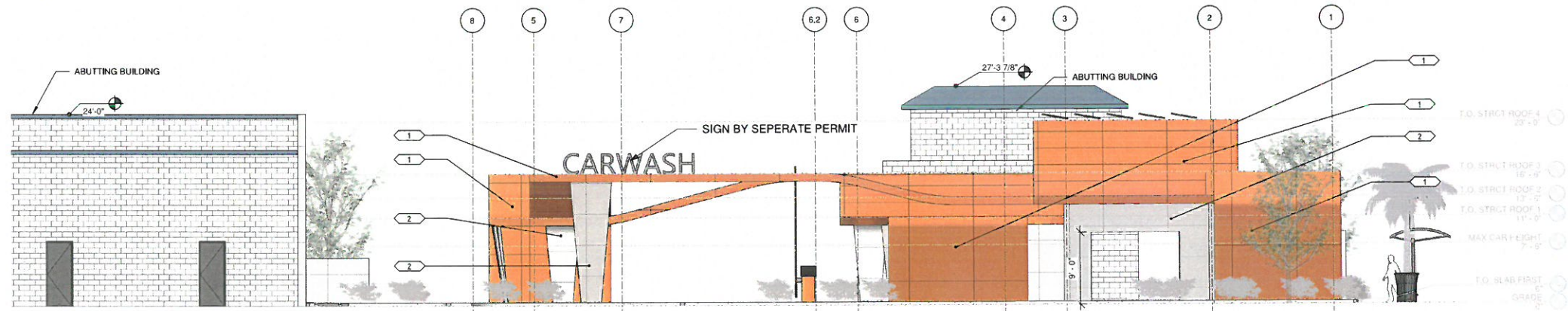
10/23/2018 4:03:01 PM \\UNIT\\Ultra_p05\\2017 PROJECT\\S\\17-1211-3525 Anaheim - Carwash\\03 Project Drawings\\03 Architectural\\17-1211-3525 ANAHEIM - 10-23-2018 - p05a.rvt

#	TYPE	APPL.	COLOR	
1	HARDIE PLANK PANEL	EXT.	LAP SLIDING-WOODSTOCK BROWN	
2	BEHR PAINT	EXT.	BONFIRE NIGHT P200-7	
3	STORE FRONT GLAZING	EXT.		
4	BROWNZE ALLUMINUM	EXT.		

1/4" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

ELEVATION GENERAL NOTES

ELEVATION LEGEND

LEGEND

1 OR A

GRIDLINE - FOR STRUCTURE

LEVEL DATUM

SPOT ELEVATION MARKER

WINDOW - SEE 740

EXPANSION JOINT (EJ)

ELEVATION LEGEND

FIBER CEMENT PANEL NOTES HERE

GLAZING NOTES

ACM NOTES

LOUVER NOTES

PROJECT NOTES

SEE A 400'S FOR ENLARGED PLANS

SEE A 500'S FOR ENLARGED BATHROOM PLANS, ADA, AND CLEARANCES

ALL GYPSUM FINISH INTERIOR WALLS MAINTAIN LEVEL 3 FINISH

SEE FINISH PLAN FOR FINISH MATERIAL

SEE A700 FOR EXTERIOR WALL SYSTEM TAGS

SEE A701 FOR FLOOR AND ROOF SYSTEM TAGS

SEE 720 FOR DOOR SCHEDULE

SEE 740 FOR WINDOW SCHEDULE

ULTRA-UNIT

DESIGN + BUILD

Team

Cameron Crockett - Architect/Contractor

Ultra-Unit Architectural Studio

1327 Loma Avenue

Long Beach, California 90804

T. 562.997.0971

E. cameron@ultra-unit.com

David Choi - Structural Engineer

David Choi and Associates

1327 Loma Avenue

Long Beach, California 90804

T. 562.382.8040

E. david@dca-se.com

Architect Stamp

LICENSED ARCHITECT

CAMERON CROCKETT

C31505

1.31.2019

RENEWAL DATE

STATE OF CALIFORNIA

Date

Project

17-1211-3525 Anaheim

3525 Anaheim

Long Beach

CA

Client Name

Zane M

Revisions

No.

Description

Date

Sheet Name

EXTERIOR ELEVATIONS AND PERSPECTIVES - EAST & WEST

Sheet Number

A-201

Project Number

17-1211

Drawn By

Author

Checked By

Checker

Scale

As indicated

10/23/2018 4:03:07 PM

\\UNIT\\Ultra_p09\\2017 PROJECTS\\17-1211 3525 Anaheim - Carwash\\03 Project Drawings\\03-Architectural\\17-1211-2018-3525ANAHEIM - 10-23-2018 - p09a.rvt





