

OBELISK
ARCHITECTS
A Professional Corporation

3800 PACIFIC COAST HIGHWAY
TORRANCE, CALIFORNIA 90505
obeliskarchitects.com
310.373.0810 fax
310.373.3568 tel

PROJECT

Goma Elbiali Residence

2749 E. Ocean Blvd.
Long Beach, CA 90803

REVISION

1 09/14/22 Application #COAC2203-01

PROJECT NUMBER

2010 ELB OCE LB

DATE _____

January 3, 2023

STAMP



SHEET TITLE

Cover Sheet

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SHEET

G-001

<

SURVEY AND
TOPOGRAPHY

FOR
GOMA ELBIALI
2749 E. OCEAN BOULEVARD
LONG BEACH, CA, 90803
PHONE

JOB ADDRESS

2749 E. OCEAN BOULEVARD
LONG BEACH, CA, 90803

LEGAL DESCRIPTION

LOT 12, BLOCK 46
RESUB. OF ALAMITOS BEACH TOWNSITE
M.B. 5
APN 7264-024-013

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR
UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS
OF PROFESSIONAL LAND SURVEYORS' ACT



GARY J. ROEHL R.C.E. 30826

DRAWN BY FM CHECK BY TS

DRAWN ON DECEMBER 17, 2021

REVISIONS

REVISIONS

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	EXISTING ELEVATION		EXISTING FENCE
	BLOCK WALL		EXISTING FENCE
BCR	BEGINNING OF CURB RETURN		
CATV	CABLE TV PULL BOX		
CONC.	CONCRETE		
CHIMNY	CHIMNEY		
CEFB	CITY ENGINEERS FIELD BOOK		
CL	CENTERLINE		
C.L.F. / W.L.F.	CHAIN LINE FENCE / WROUGHT IRON FENCE		
ELY	EASTERLY		
EG	EDGE OF GUTTER		
EM	ELECTRIC METER		
FF	FINISH FLOOR		
FL	FIRE HYDRANT		
FL	FLOW LINE		
GFF	GARAGE FINISH FLOOR		
GM	GAS METER		
GW / GW	GUY WIRE		
I.P.	IRON PIPE MONUMENT		
L&T	LEAD AND TACK TAG MONUMENT		
MH	MANHOLE (SANITARY SEWER / STORM DRAIN)		
N&T	NORTHERLY		
NLY	NORTH		
N&T	N&T AND TAG MONUMENT		
PB	PULL BOX (EDISON / TRAFFIC / STREET LIGHT)		
PB (CONT)	TELEPHONE / CABLE TV		
PC	PROPERTY CORNER / PROSP. CORNER		
PL	PROPERTY LINE / PROP. LINE		
PP / UP	POWER POLE / UTILITY POLE		
PPT	PARAPET		
PWFB	PUBLIC WORKS FIELD BOOK		
R.R.	RAIL ROAD		
RFB	ROAD DEPARTMENT FIELD BOOK		
R.S.	RECORD OF SURVEY		
SPK / S&W	SPRINKLER / SPIKE AND WASHER MONUMENT		
SLY	SOUTHERLY		
SSCO	SANITARY SEWER CLEANOUT		
STK / STK&T	STAKE / STAKE AND TAG MONUMENT		
STL / LT	STREET LIGHT POLE / LIGHT POLE		
TC	TOP OF CURB		
TX / BX	TOP OF APRON / BOTTOM OF APRON		
WLY	WESTERLY		
WM	WATER METER		

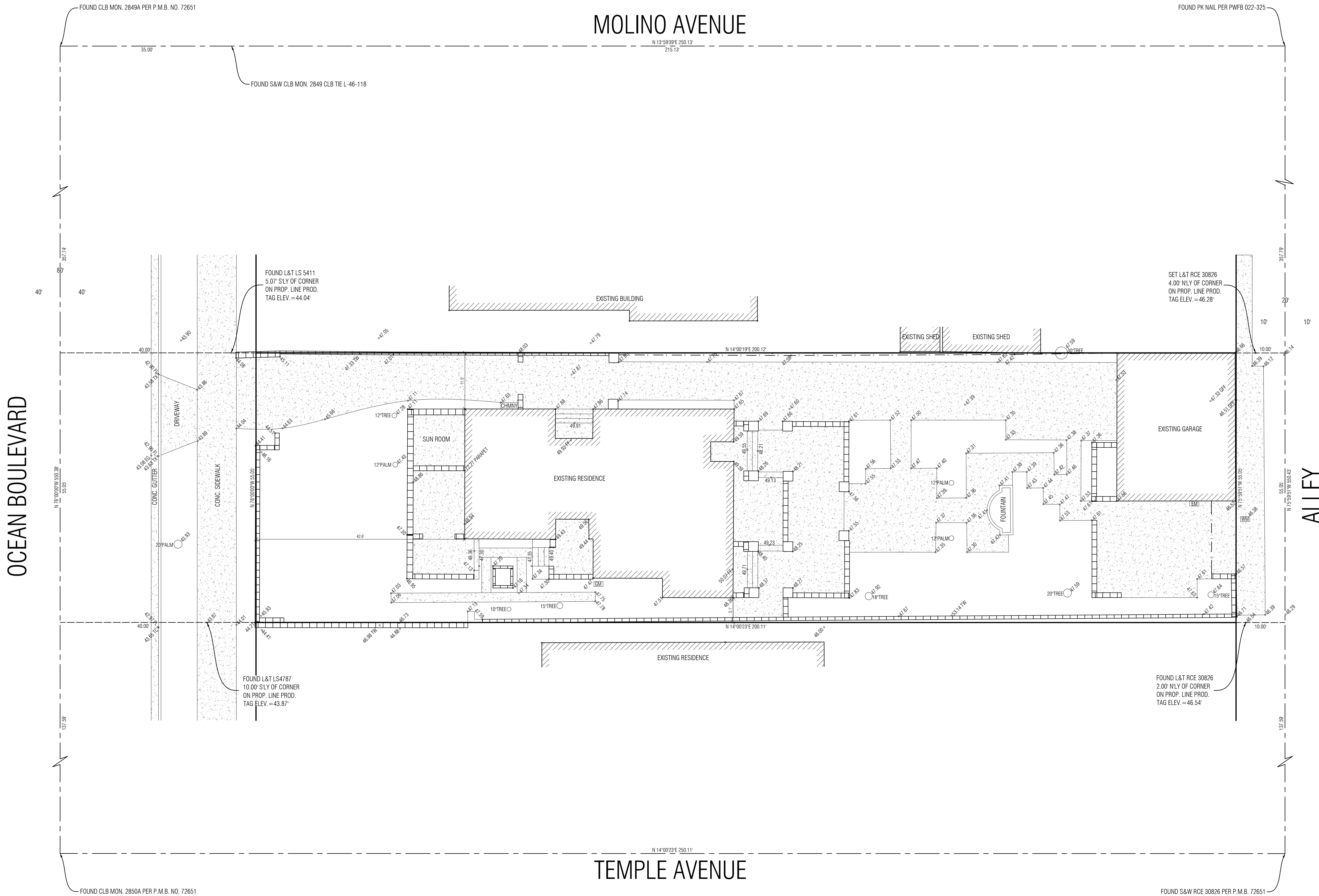
NOTE: ALL SETBACK DIMENSIONS SHOWN
ARE MEASURED TO EXTERIOR SURFACE OF
BUILDINGS UNLESS OTHERWISE NOTED.
BOUNDARY MONUMENTS ARE NOT NECESSARILY
SET ON PROPERTY CORNERS. PLEASE REFER TO
THE NOTATION ON THIS SURVEY PLAT FOR OFFSET
DIMENSIONS. IF THERE ARE ANY QUESTIONS,
PLEASE DO NOT HESITATE TO CONTACT DENN
ENGINEERS FOR CLARIFICATION BY PHONE AT:
(310) 542-9433, M-F 8:00 AM TO 5:00 PM.

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CONSENT OF DENN ENGINEERS, SHALL RELIEVE DENN ENGINEERS FROM ANY
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ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.

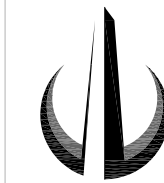
SHEET 1 OF 1

JOB NO. 21-536



BENCHMARK: CITY OF LONG BEACH BENCHMARK 1073/NW
A BRASS DISC FLUSH WITH PAVEMENT, STAMPED: CLB BM 1073 1988
BENCHMARK ELEVATION = 44.02'

NOTE:
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES
NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY
EASEMENTS THAT MAY BE ON SAID PROPERTY.



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**Site Plan,
Roof Plan &
Area Calculations**

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SHEET

A-001

SCALE: 1/16" = 1'-0"



- NOTES:
1. THE MAXIMUM FENCING ALONG THE ALLEY PROPERTY LINE MAY BE 6-Feet.
 2. FENCING NOT ALONG THE ALLEY PROPERTY LINE IS 6-Feet-6-INCHES MAXIMUM IN HEIGHT.
 3. PLEASE NOTE, FENCING ALONG THE ALLEY WILL REQUIRE A 6-FOOT BY 6-FOOT CORNER CUT OFF FOR THE NEW GARAGE.

ALLEY

6'X6' CORNER CUT
OFF FOR NEW
GARAGE F FENCING
IS INSTALLED

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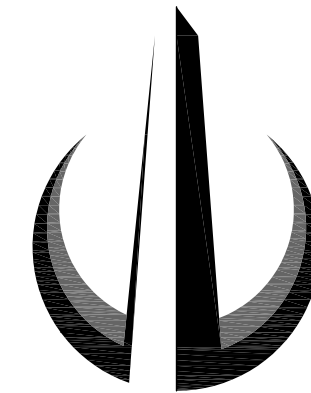
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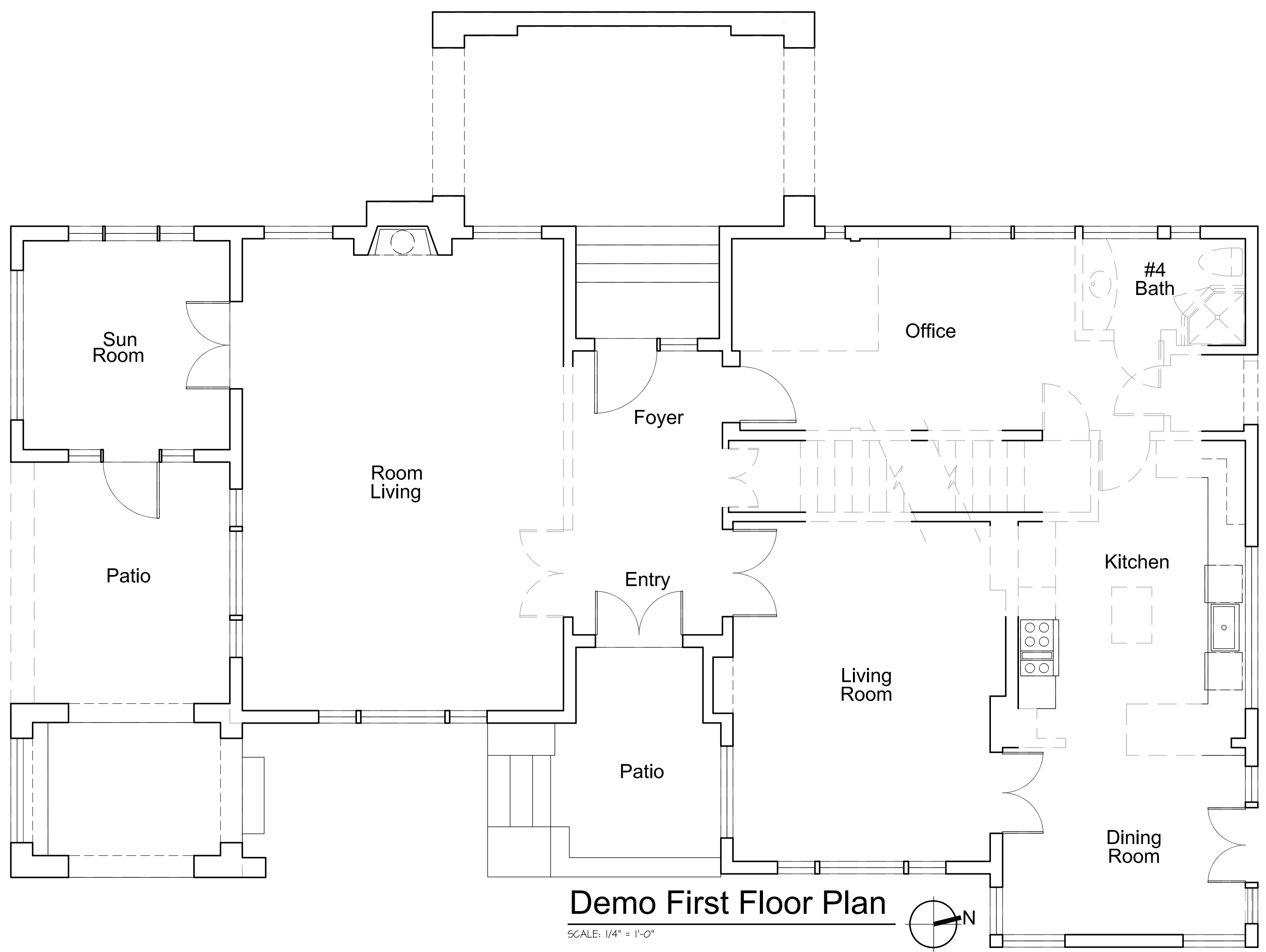
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**Demo
Plans**

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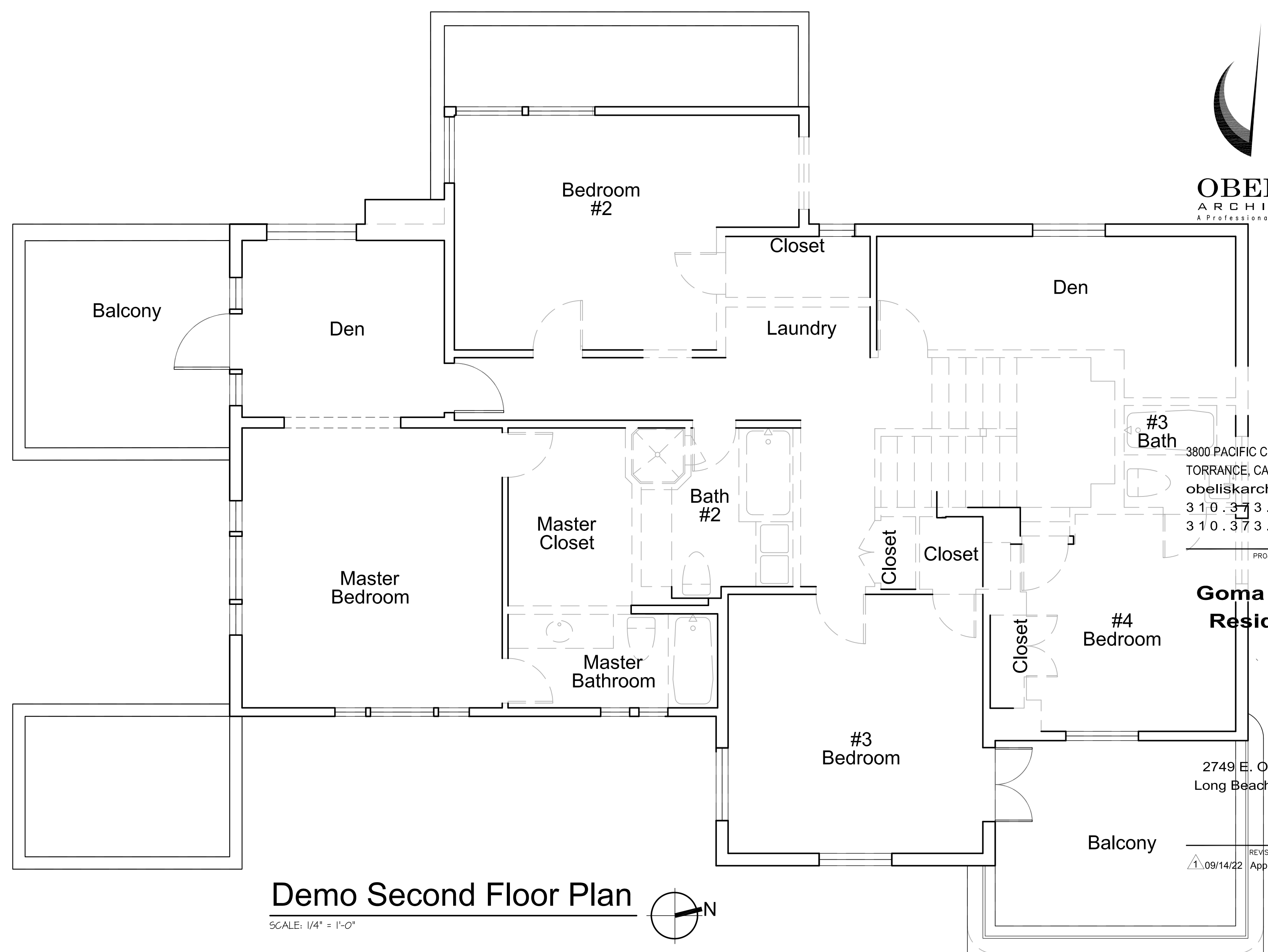
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A-100



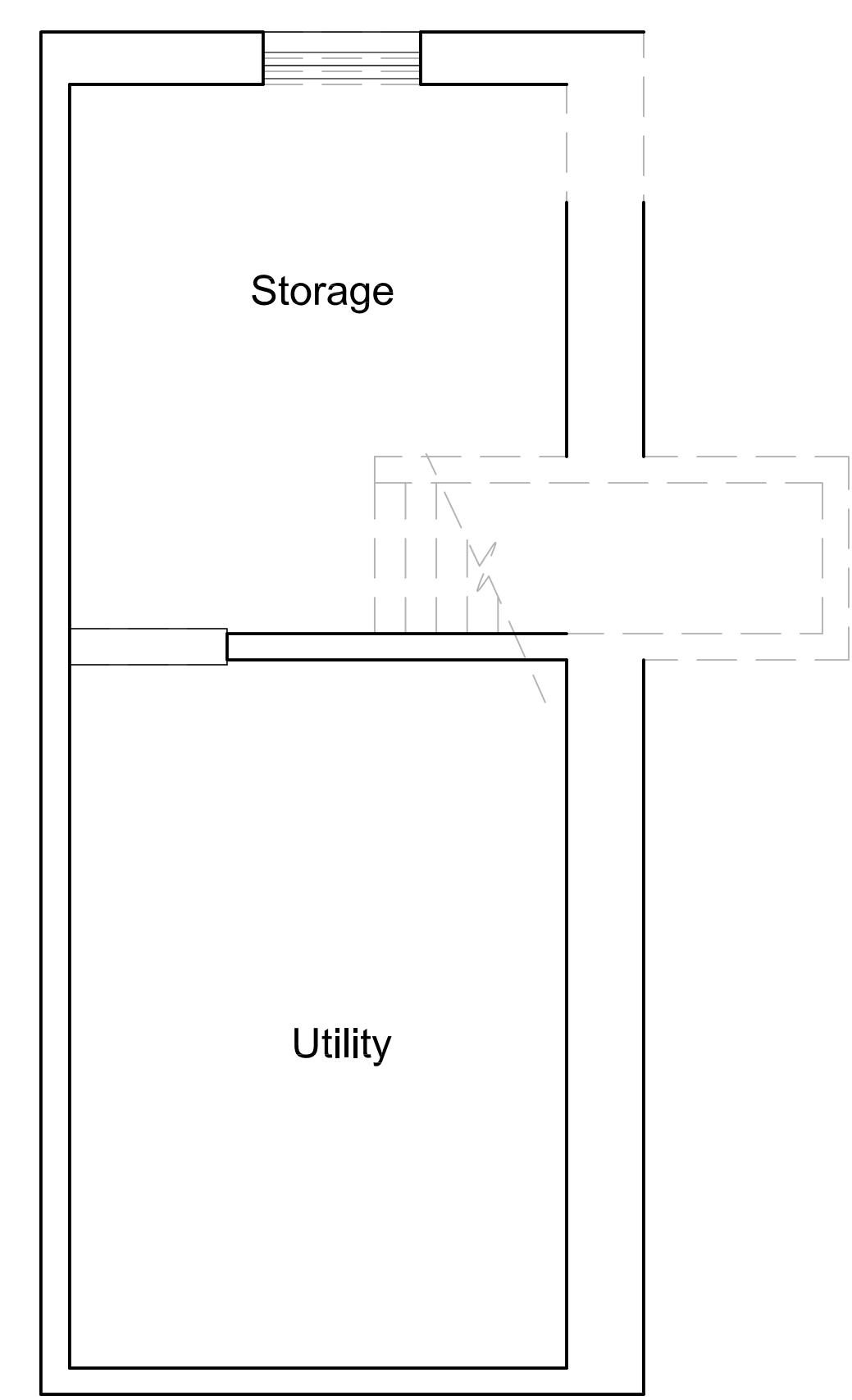
Demo First Floor Plan

SCALE: 1/4" = 1'-0"



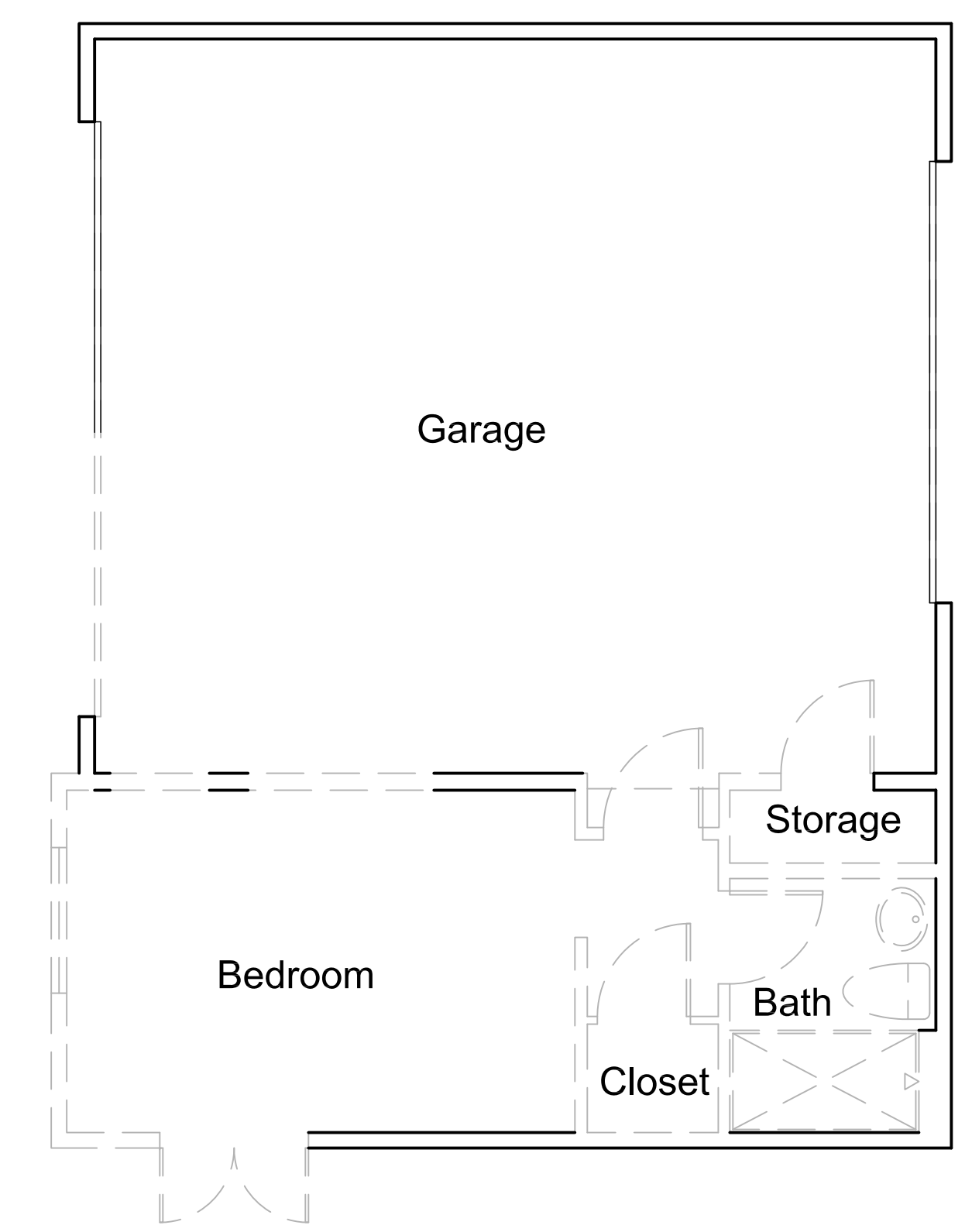
Demo Second Floor Plan

SCALE: 1/4" = 1'-0"



Demo Basement

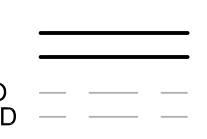
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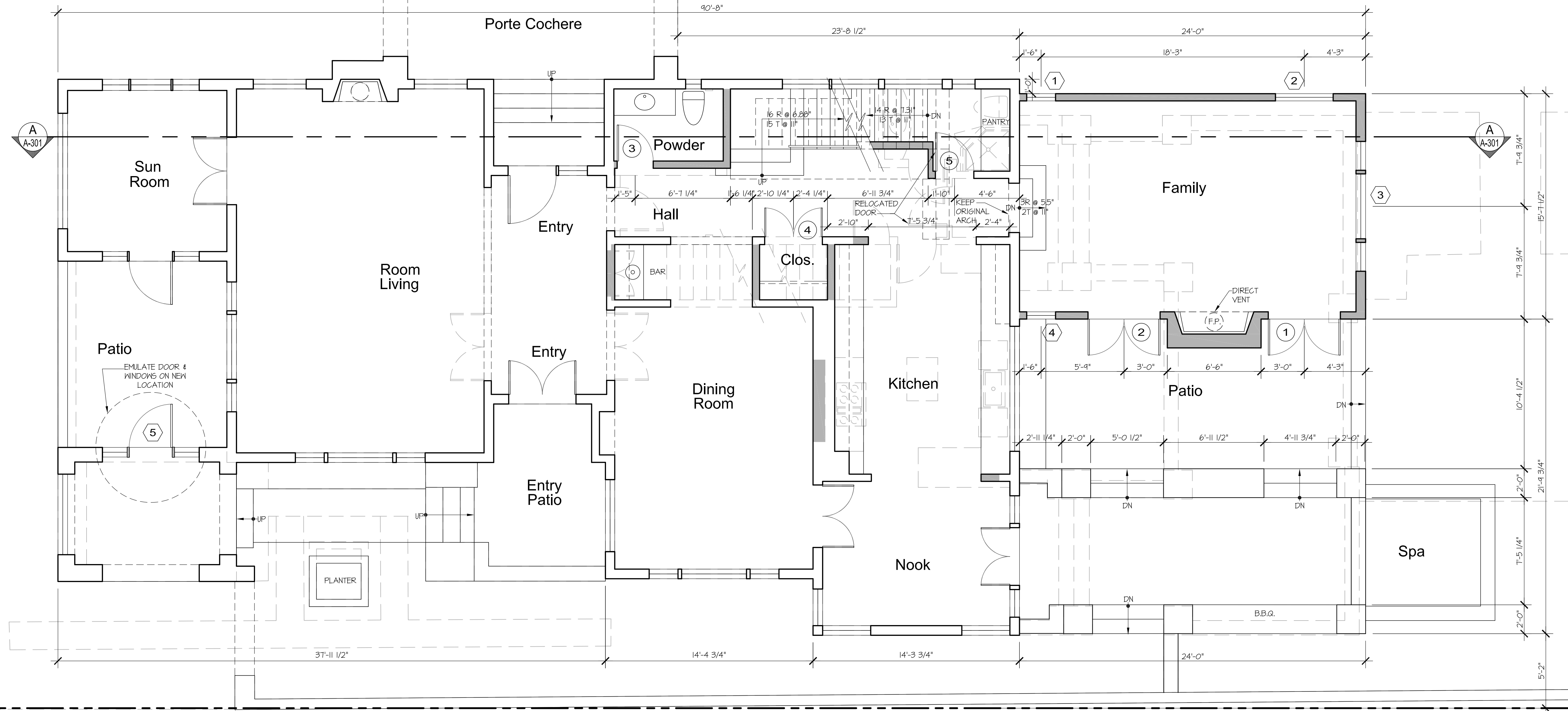


Demo @ Garage Area

SCALE: 1/4" = 1'-0"

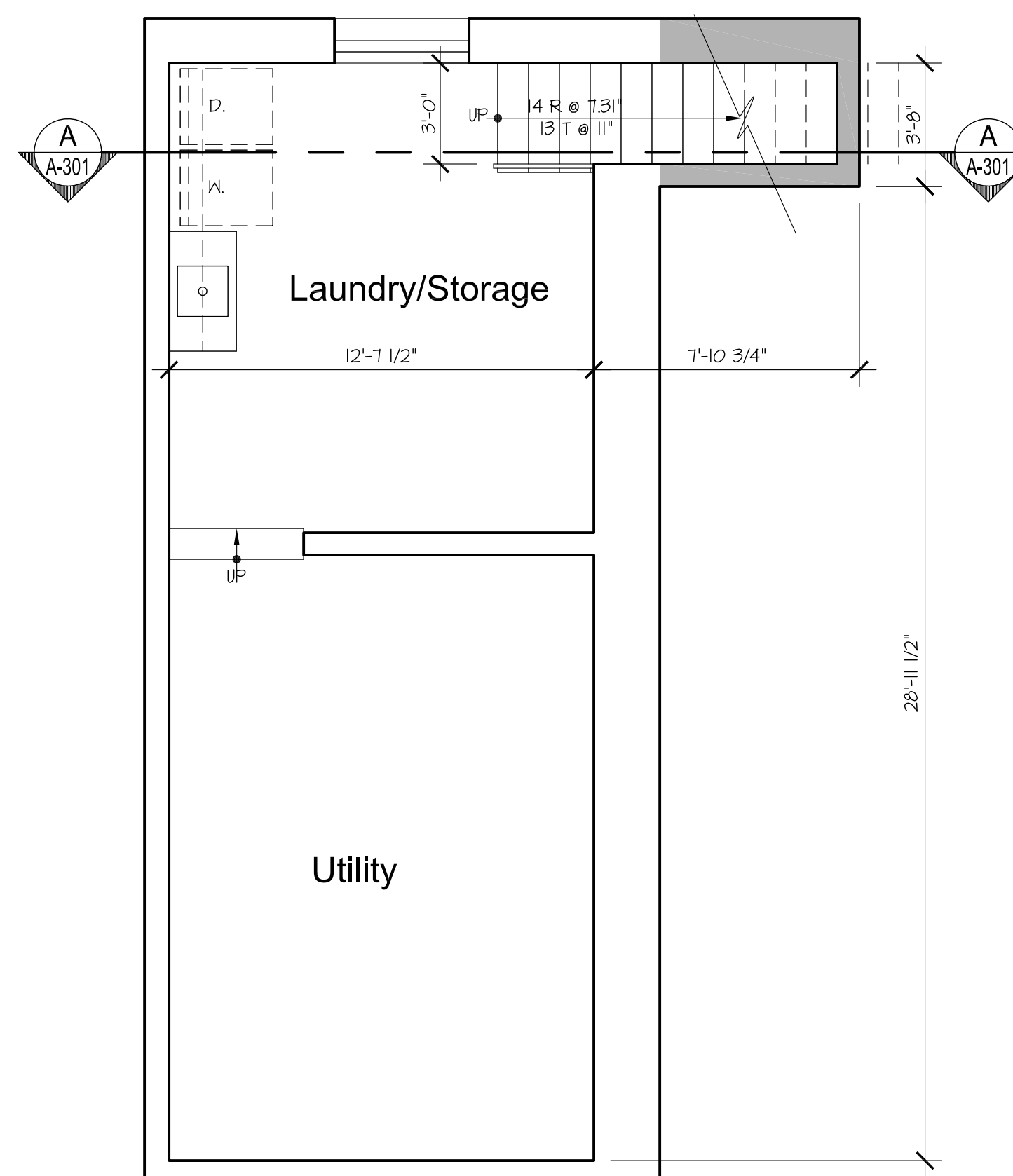
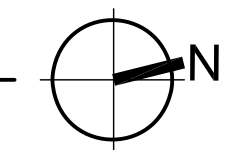
LEGEND
EXIST. WALL
EXIST. WALL TO BE DEMOLISHED





Proposed Addition @ First Floor Plan

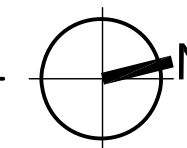
SCALE: 1/4" = 1'-0"



Proposed Addition @ Basement

SCALE: 1/4" = 1'-0"

LEGEND	
EXIST. WALL	=====
NEW WALL	=====
EXIST. WALL TO BE DEMOLISHED	-----





PROJECT

DISCUSSION

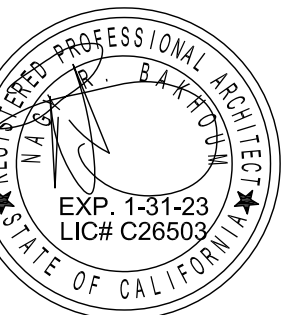
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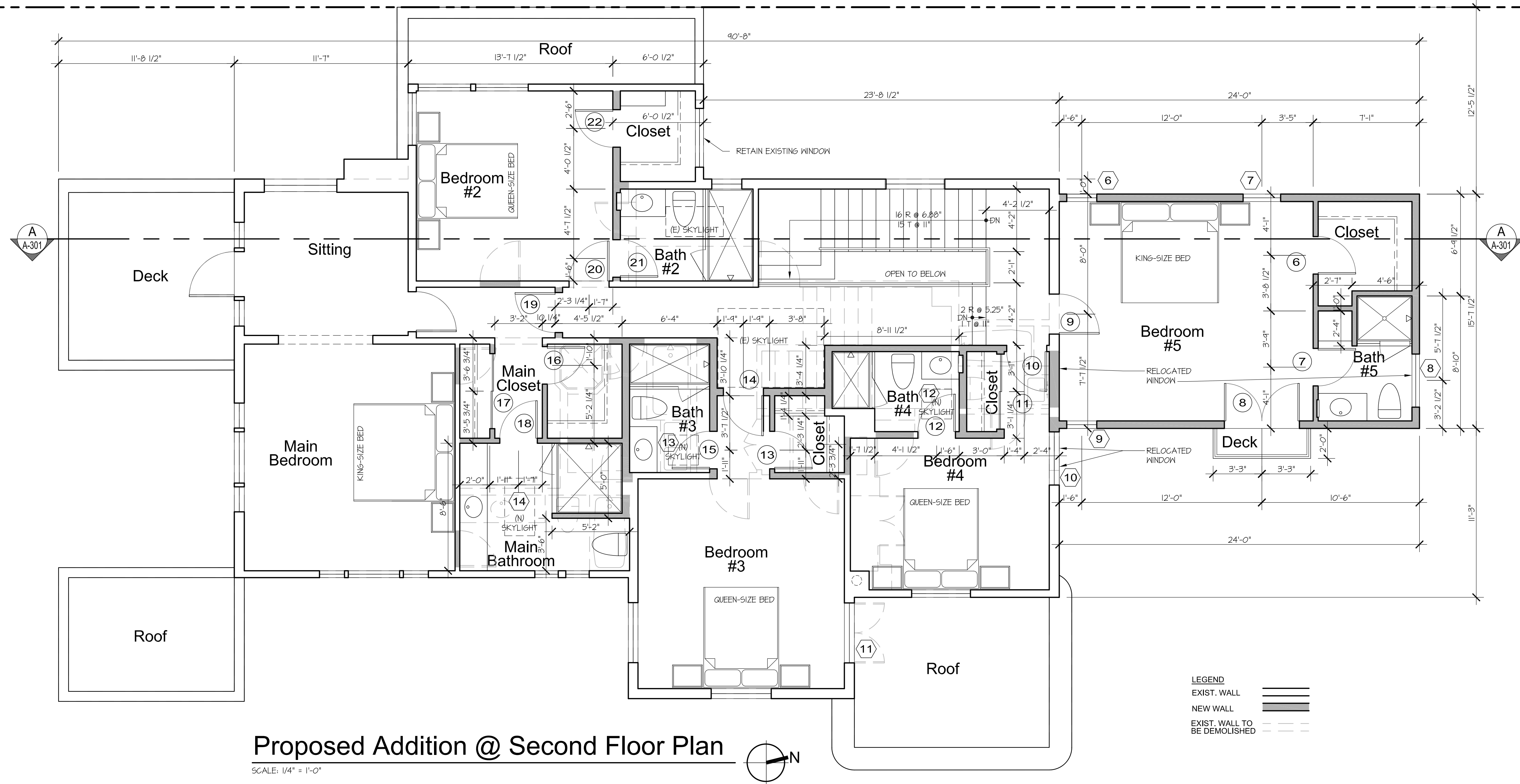


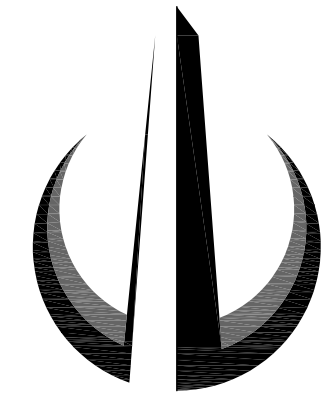
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A-102





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First & Second Floor Plans

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SHEET

A-103

Floor Plan Notes:

ELECTRICAL:

1. PROVIDE ALL NECESSARY ELECTRICAL SUPPLY LINES AND CONNECTIONS TO ALL APPLIANCES AS REQUIRED.
2. SMOKE ALARM AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (907.2.10.1.3, 908.2.10.5.2). SMOKE ALARMS (i.e., SMOKE DETECTORS) AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND MAINTAINED AT ALL OF THE FOLLOWING LOCATIONS: (CBC 907.2.10.1.2). PROVIDE ONE CO2 DETECTOR TO MEET CODE.
 - a. IN EACH ROOM USED FOR SLEEPING PURPOSES. (SMOKE DETECTOR)
 - b. ON THE CEILING OR WALL OUTSIDE IMMEDIATE VICINITY SLEEPING ROOM. (SMOKE DETECTOR & CO)
 - c. ONE PER EVERY STORY. (SMOKE DETECTOR & CARBON MONOXIDE)
3. SEE ELECTRICAL PLANS FOR ELECTRICAL, FUEL GAS, HOSE BIBB, WATER HOOKUPS, ETC. AND ADDITIONAL INFORMATION.

MECHANICAL:

4. PROVIDE ALL NECESSARY FUEL GAS SUPPLY LINES WITH SHUTOFF VALVES TO ALL GAS FIRED OPERATED APPLIANCES.
5. H.V.A.C. IN BASEMENT.
6. ALL HEATING SYSTEMS SHALL HAVE AN AUTOMATIC THERMOSTAT WITH A CLOCK MECHANISM WHICH THE BUILDING OCCUPANT CAN MANUALLY PROGRAM TO AUTOMATICALLY SET BACK THE THERMOSTATIC SET POINT AT LEAST TWO PERIODS WITHIN 24 HOURS PER CEC SECTION 150 (1). HVAC WILL BE ZONED BY FLOOR.
7. ROOM EXHAUST FAN - CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR WITH BACK DRAFT DAMPER, VENT TO OUTSIDE AIR. SEE ELECTRICAL PLANS FOR LOCATIONS.
8. ALL COOKING EQUIPMENT MUST BE LISTED FOR RESIDENTIAL USE.
9. COOKTOP OR RANGE - PROVIDE FUEL GAS AND/OR ELECTRICAL SUPPLY AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.
10. METAL EXHAUST VENT HOOD @ COOKTOP OR RANGE - VERIFY VENTING REQUIREMENTS PER MANUFACTURER'S RECOMMENDATIONS. SHALL VENT TO OUTSIDE BUILDING.
11. PROVIDE BUILT-IN MICROWAVE OVEN. VERIFY VENTING REQUIREMENTS PER MANUFACTURER'S RECOMMENDATIONS. SHALL VENT TO OUTSIDE BUILDING.
12. ANY CLOTHES DRYER LOCATED IN A HABITABLE SPACE OR IN AN AREA WITH OTHER FUEL BURNING APPLIANCES SHALL BE VENTED TO THE OUTSIDE WITH A 4" MINIMUM DIAMETER, SMOOTH, GALVANIZED, METAL DUCT. THE EXHAUST DUCT IS LIMITED TO 14'-0" IN LENGTH WITH TWO ELBOWS. THIS LENGTH SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO PER CMC SECTION 504.3.908. PROVIDE WITH WEATHER HOOD AND DAMPER AT EXTERIOR WALL TERMINATION.
13. PREFABRICATED METAL FIREBOX - HEATILATOR B-VENT FIREPLACE MODEL# RBV4236 UL# MH45957 (NON WOOD-BURNING) OR OTHER LISTED MAKE, APPROVED BY THE BUILDING OFFICIAL, WITH APPROVED SPARK ARRESTOR FLUE TERMINATION. FIREPLACE HEARTH TO BE OF NON-COMBUSTIBLE MATERIAL. ANY CHANGE FROM THE APPROVED ITEM IS APPROVED IN THE PLAN CHECK OFFICE, NOT BY THE FIELD INSPECTOR. PROVIDE FUEL GAS AND LOOSE KEY VALVE WITH SWITCH OPERATED AUTOMATIC LIGHTER. THE CONTROL VALVE SHALL BE LOCATED OUTSIDE OF EFFECTIVE HEARTH.
14. COMBUSTION AIR VENT - 8"x14" STAINLESS STEEL METAL, SCREENED VENTS, ONE 12" BELOW CEILING AND ONE 12" ABOVE FLOOR, IN EXTERIOR WALL OF MECHANICAL ROOM.
15. UNDERFLOOR VENT - 6"x14" COPPER OR STAINLESS STEEL, SCREENED VENTS EQUAL TO ONE SQUARE FOOT OF VENT AREA FOR EACH 150 SQUARE FEET OF UNDER FLOOR AREA. VENTS SHALL PROVIDE CROSS VENTILATION ALONG THE LENGTH OF AT LEAST TWO OPPOSITE BUILDING SIDES.
16. 24"x24" LOCKABLE, COPPER, SCREENED ENCLOSURE @ EACH UNDER FLOOR ACCESS, 75% FREE VENT AREA.
17. PROVIDE 18" HIGH PLATFORM FOR F.A.U. AND/OR WATER HEATER IN GARAGE. PROTECT FROM VEHICLE IMPACT WITH 3" DIA. x 36" HIGH CONCRETE FILLED STEEL PIPE EMBEDDED INTO 12" DIA. x 30" DEEP CONCRETE FOOTING AS REQUIRED.
18. GARAGE VENT - 6"x14" STAINLESS STEEL, SCREENED VENT 6" ABOVE GARAGE FLOOR, ONE PER CAR.
19. PROVIDE WHOLE HOUSE INDOOR AIR QUALITY VENTILATION BY MEANS OF CONTINUOUS EXHAUST VENTILATION, SUPPLY VENTILATION OR A COMBINATION OF BOTH EXHAUST AND SUPPLY VENTILATION IN EACH INDIVIDUAL DWELLING UNIT. SPECIFY THE REQUIRED CFM PER 2019 CALIFORNIA ENERGY CODE SECTION 150 (1) AND ASHRAE 62.2. IDENTIFY THE MECHANICAL APPLIANCE PROVIDING THE CONTINUOUS VENTILATION.

PLUMBING:

20. GAS TANKLESS WATER HEATERS SHALL BE NATIONALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT WERE APPROVED AS PART OF THEIR LISTING. THE GAS PIPING SERVING THIS APPLIANCE MUST BE SIZED IN COMPLIANCE WITH THE WATER HEATER'S LISTED INSTALLATION INSTRUCTIONS AND THE 2019 CALIFORNIA PLUMBING CODE. (NATIONAL PIPE 240 TANKLESS WATER HEATER OR EQUAL)
21. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK ACTING VALVES OF THE WASHER, DISHWASHER, ETC. PER CPC SECTION 609.10.
22. PLUMBING FIXTURES: LOW FLOW TOILETS - 1.28 GALLONS PER FLUSH, SHOWER HEADS - NO MORE THAN 2.0 GALLONS PER MINUTE & FAUCETS - 1.5 GALLONS PER MINUTE PER H. & S. CODE SECTION 17921.3(b). IAMPO APPROVAL REQUIRED FOR ONE PIECE LAVATORIES.
23. A 12"x12" MIN. ACCESS PANEL TO BATHTUB TRAP CONNECTION IS REQUIRED UNLESS PLUMBING IS WITHOUT SLIP JOINTS PER CPC 405.2.
24. PROVIDE PRESSURE BALANCED OR THERMOSTATIC MIXING CONTROL VALVES AT SHOWERS AND TUB-SHOWERS PER CPC 420.
25. REFRIGERATOR/FREEZER - PROVIDE PURIFIED COLD WATER SUPPLY LINE TO ICE MAKER WITH RECESSED SHUTOFF VALVE WITH FILTERED WATER UNIT LOCATED ADJACENT TO APPLIANCE.
26. PROVIDE RECESSED HOT AND COLD WATER, DRAIN STANDPIPE & J.R. SMITH FLOOR DRAIN, OR APPROVED EQUAL, @ CLOTHES WASHER. PROVIDE AN APPROVED TRAP PRIOR.
27. ALL HOSE BIBBS MUST BE PROTECTED BY AN ANTI-SIPHON DEVICE.
28. PROVIDE GALVANIZED METAL DRIP PANS OR OTHER DEVICES FOR LAUNDRY ROOM, WATER HEATERS & DISHWASHERS.
29. INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
30. 4" SEWER LINE SHALL BE USED FOR THE BUILDING.
31. SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION (418 CPC)

INSULATION:

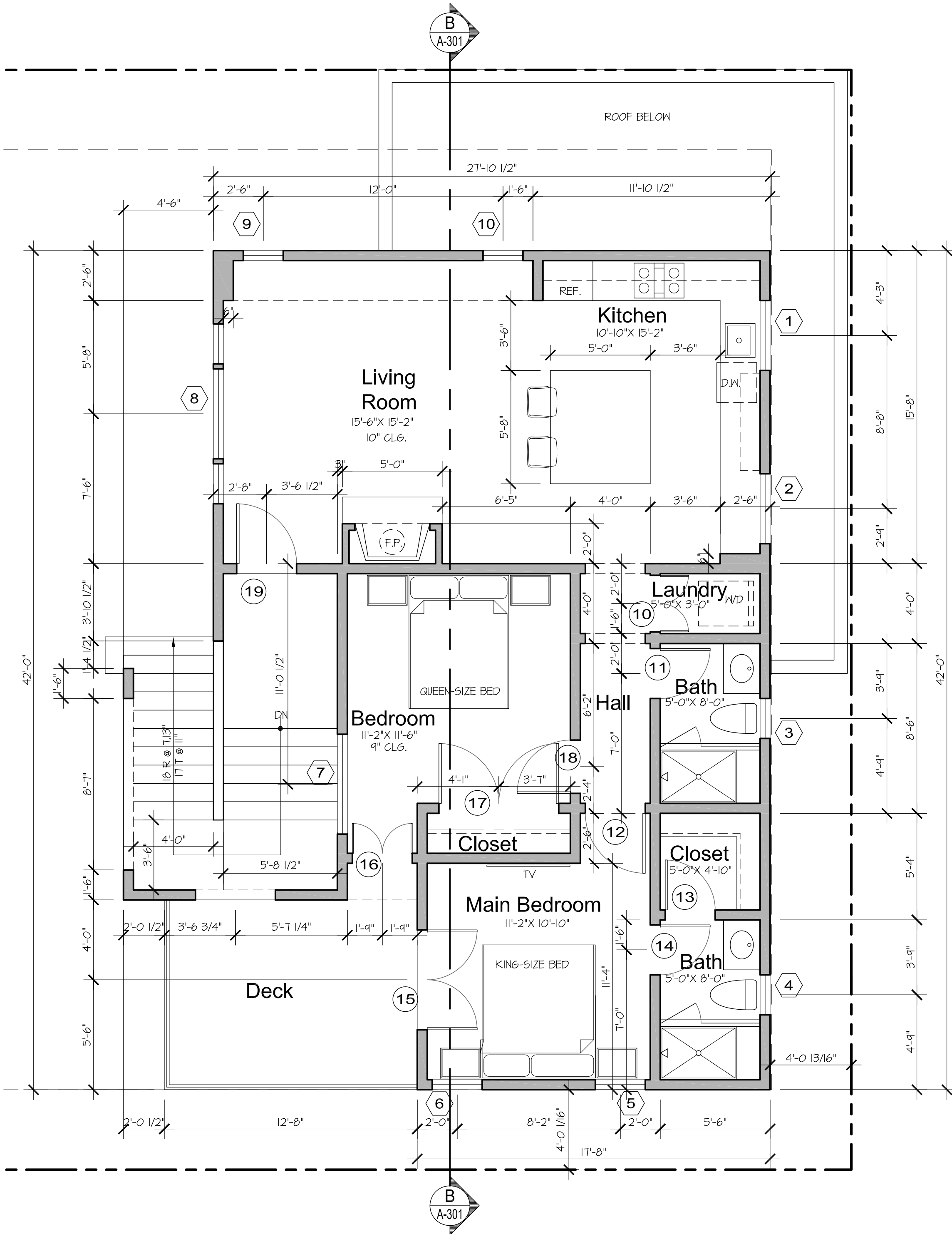
32. PROVIDE FIBERGLASS BATT THERMAL INSULATION THROUGHOUT ENTIRE RESIDENCE: R-19 IN ALL EXTERIOR WALLS AND IN WALLS BETWEEN GARAGE AND LIVING AREAS, R-13 IN ALL INTERIOR WALLS, R-30 IN ALL CEILINGS WITH ATTIC SPACE ABOVE, R-19 IN ALL SLOPED, VOLUME CEILINGS WHEN RAFTERS ARE 10" OR LESS, R-30 IN ALL SLOPED, VOLUME CEILINGS WHEN RAFTERS MORE THAN 10". R-30 IN ALL INTERIOR FLOORS.
33. 24" CLEAR IN FRONT OF WATER CLOSETS AND 30" MINIMUM WIDE WATER CLOSET COMPARTMENT (CBC SECTION 2904)
34. SLAB COUNTERTOP WITH BACKSPLASH @ BATHROOMS, COLOR AND PATTERN BY OWNER.
35. GRANITE SLAB COUNTERTOP WITH FULL BACKSPLASH @ KITCHEN, COLOR BY OWNER.
36. FRAMELESS GLASS SHOWER ENCLOSURE @ ALL TUB AND SHOWER STALLS TO 6'-0" HIGH MIN. MEASURED FROM ADJACENT FINISH FLOOR UNLESS NOTED OTHERWISE. GLAZING TO BE PERMANENTLY LABELED "TEMPERED".
37. PROVIDE FULL HEIGHT SEALED SHOWER ENCLOSURE w/ GASKETER BATH SHOWER. SLOPE CEILING 2" PER FOOT MIN. AWAY FROM SEAT. PROVIDE MR. STEAM GENERATOR BY SUSSMAN LIFESTYLE GROUP w/ AUTO FLUSH OR APPROVED EQUAL.
38. HOT MOPPED SHOWER PAN WITH A DROP DOWN DAM, MINIMUM AREA 1,024 SQUARE INCHES AND 30" DIAMETER CLEAR PER CPC 408.5. CONTRACTOR TO LEAK TEST PRIOR TO INSTALLING FINISHES.
39. SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET. (1210.3 CBC)
40. WALL FINISH @ SHOWER OR TUB/SHOWER - CERAMIC TILE OR OTHER LISTED MAKE APPROVED BY THE BUILDING OFFICIAL. ANY CHANGE FROM THE APPROVED ITEM IS APPROVED IN THE PLAN CHECK OFFICE, NOT THE FIELD INSPECTOR. 70" HIGH MIN. ABOVE DRAIN. TILE DETAILING PER TILE COUNCIL OF NORTH AMERICA STANDARDS. MATERIAL OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
41. COMPARTMENTED MEDICINE CABINET WITH BEVELED GLASS MIRROR IN BATHROOMS WHERE SHOWN.

INTERIOR WALLS:

42. 5/8" GYPSUM BOARD INTERIOR FINISH. FASTENED TO WALLS AND CEILING WITH DRYWALL SCREWS AND TWO SKIM FINISH COATS OF GYPSUM.
43. ALL UNDER STAIR AREA WALLS AND CEILING TO BE PROVIDED WITH 5/8" TYPE "X" GYPSUM BOARD. 1-HR. FIRE RESISTIVE CONSTRUCTION PER CBC SECTION 1003.3.9
44. PROVIDE 5/8" TYPE "X" GYPSUM BOARD, 1-LAYER ON WALLS AND 2-LAYERS ON CEILINGS. @ GARAGE (U-1) ADJACENT TO LIVING AREAS (R-3). EXPOSED POSTS AND/OR BEAMS @ GARAGE (U-1) SUPPORTING FLOORS ABOVE TO BE WRAPPED WITH 5/8" TYPE "X" GYPSUM BOARD OR HEAVY TIMBER (8"x8" MIN.) PER CBC SECTION 302.4.
45. GLAZING IN ALL DOORS. GLAZING WITHIN A 24" ARC OF A CLOSED DOOR EDGE AND LESS THAN 60" ABOVE FINISH FLOOR. GLAZING PANELS OVER 9 SQUARE FEET HAVING THEIR LOWEST EDGE LESS THAN 18" ABOVE FINISH FLOOR AND HAVING A TOP EDGE GREATER THAN 36" ABOVE FINISH FLOOR. GLAZING STAIRWAY LANDINGS OR WITHIN 5'-0" OF THE TOP OR BOTTOM RISER AND LESS THAN 60" ABOVE FINISH FLOOR AND GLAZING IN GUARDRAILS MUST BE IDENTIFIED BY PERMANENT LABEL AS TEMPERED.
46. DOORS THAT SWING OVER LANDING OR PORCH REQUIRE A LANDING 36" MINIMUM IN LENGTH AND NOT MORE THAN 1/2" BELOW THRESHOLD. DOORS THAT DO NOT SWING OVER A TOP STEP OR LANDING MAY OPEN ON A LANDING OR TOP STEP THAT IS NOT MORE THAN 8" BELOW FINISH FLOOR.
47. BASEMENTS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EMERGENCY EGRESS DOOR OR WINDOW OPENING DIRECTLY INTO A YARD OR EXIT COURT. EMERGENCY EGRESS WINDOWS MUST PROVIDE: MINIMUM 5.7 SQ. FT. OF OPENABLE AREA, MINIMUM CLEAR WIDTH OF 20", MINIMUM CLEAR HEIGHT OF 24" AND HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44" ABOVE FINISH FLOOR.
48. ALL WINDOW AND SLIDING GLASS DOOR ASSEMBLIES MUST BE DUAL-PANED AND ALUMINUM FRAME OR HAVE A MAXIMUM U-VALUE OF 0.32 & SHGC 0.25
49. ALL DOORS, WINDOWS, AND LOCKS TO COMPLY WITH CBC APPENDIX CHAPTER 10 - BUILDING SECURITY.
50. FLAT, SAFTY GLAZED SKYLIGHT BY VELUX (ICBO # ESR-4108) OR APPROVED EQUAL.
51. THE DOORWAY FROM A GARAGE INTO A LIVING AREA (NOT A BEDROOM) SHALL BE PROTECTED BY A MIN. 1-3/8 INCH SELF-CLOSING, SELF-LATCHING SOLID CORE DOOR, OR A SELF-CLOSING DOOR HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES. (406.1.4 CBC)
52. MIRRORED WARDROBE DOORS TO BE SAFETY GLAZING.

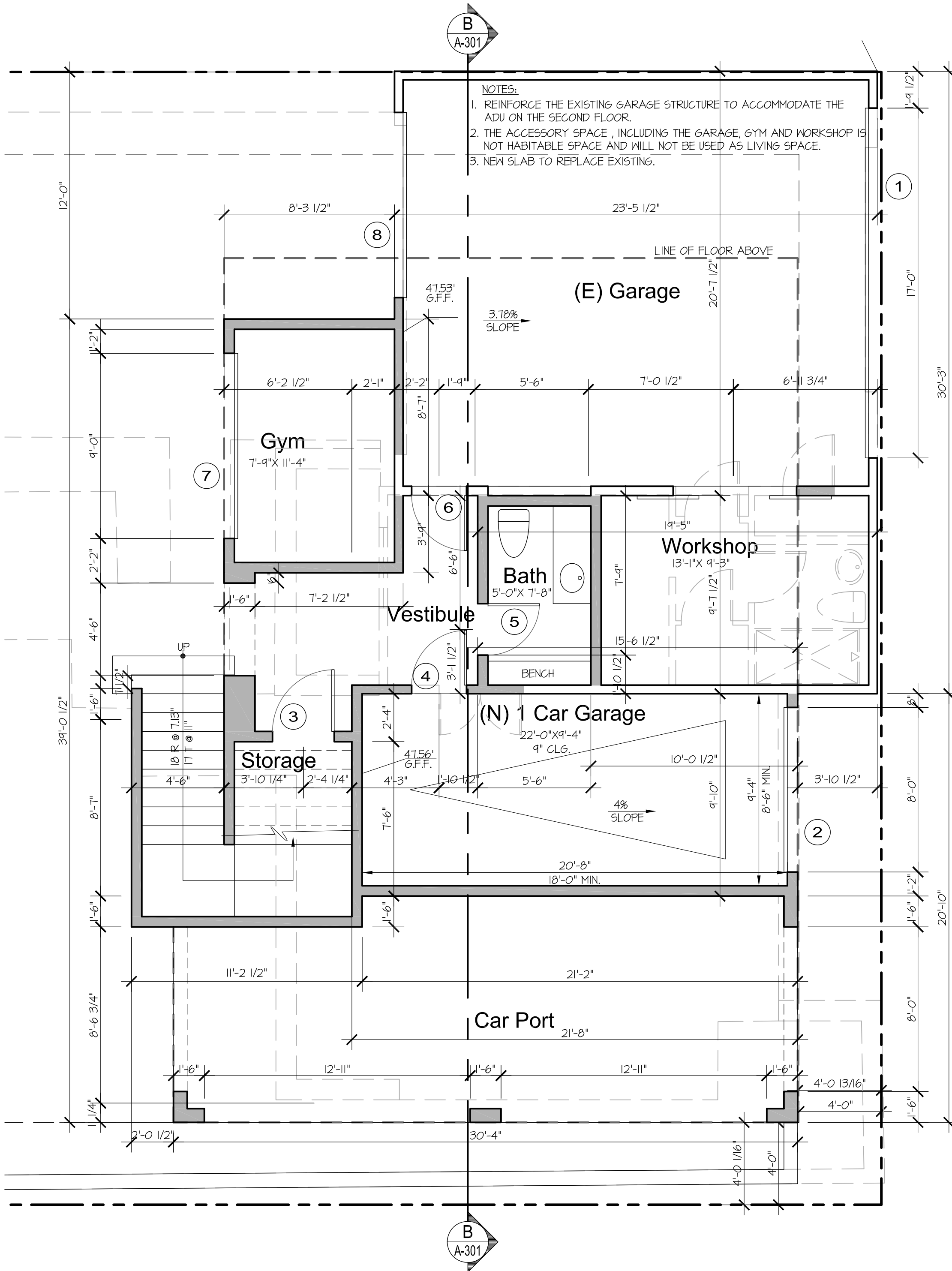
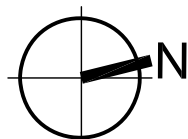
DECKS:

53. TILE OR STONE OVER DEX-O-TEX WATERPROOF MEMBRANE (ICG# ESR 1757) OR APPROVED EQUAL.
54. INDICATE TWO LAYERS OF GRADE D PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH GUARDRAILS.
55. SHALL BE INSTALLED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS, AND LANDINGS, THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE.
56. SHALL HAVE A HEIGHT OF NOT LESS THAN 42" MEASURED VERTICALLY ABOVE THE WALKING SURFACE, ADJACENT FIXED SEATING, OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. GUARDS LOCATED ON THE OPEN SIDE OF STAIRS MAY HAVE A HEIGHT NOT LESS THAN 34".
57. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6". GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE OPENINGS LESS THAN 4-3/8".



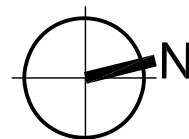
Proposed ADU @ Second Floor Plan

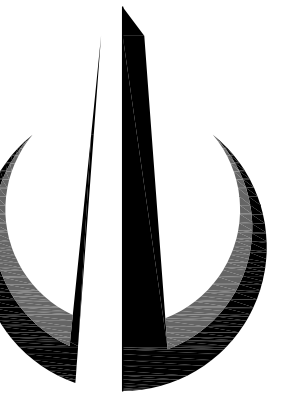
SCALE: 1/4" = 1'-0"



Proposed Addition @ First Floor Plan

SCALE: 1/4" = 1'-0"





OBELISK
ARCHITECTS
A Professional Corporation

3800 PACIFIC COAST HIGHWAY
TORRANCE, CALIFORNIA 90505
obeliskarchitects.com
310.373.0810 fax
310.373.3568 tel

PROJECT

**Goma Elbiali
Residence**

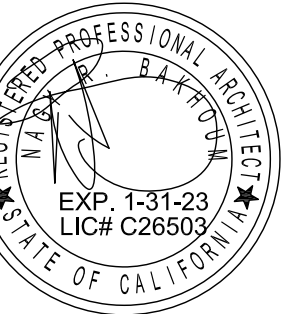
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Long Beach, CA 90803

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1. 09/14/22 Application #COAC2203-01

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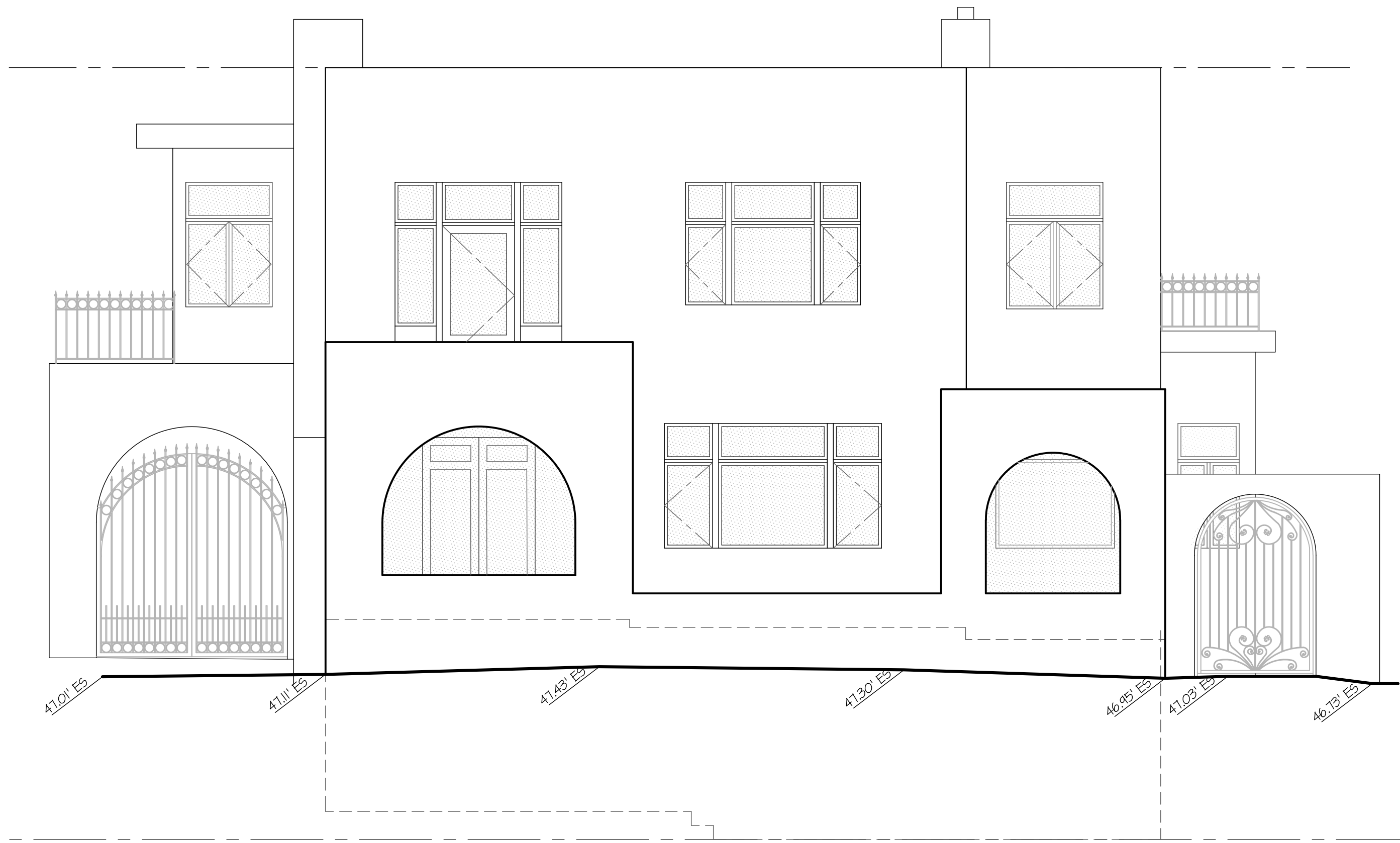
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**Historic Existing
& Proposed
Elevations**

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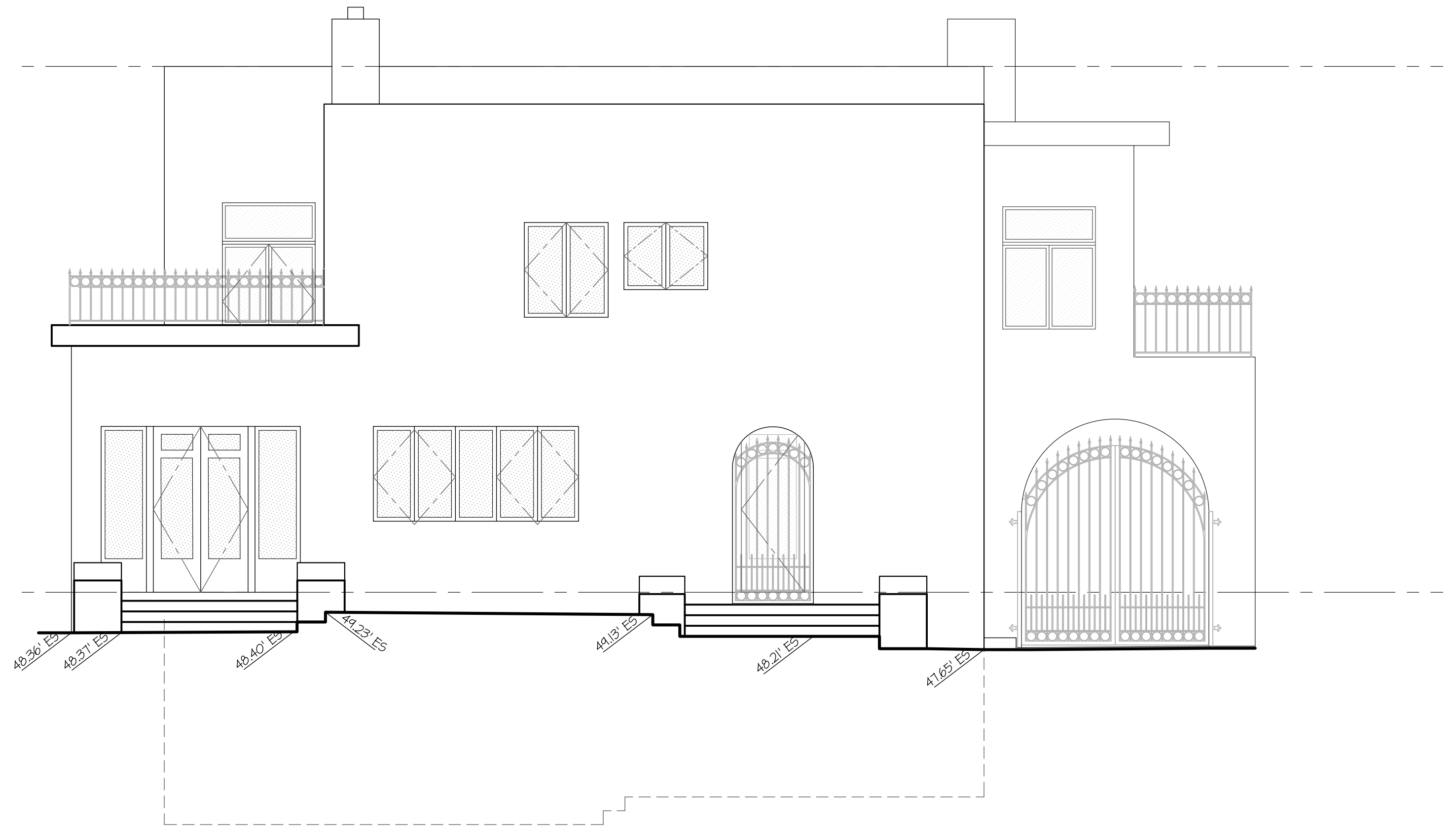
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A-200



Existing South Elevation

SCALE: 1/4" = 1'-0"



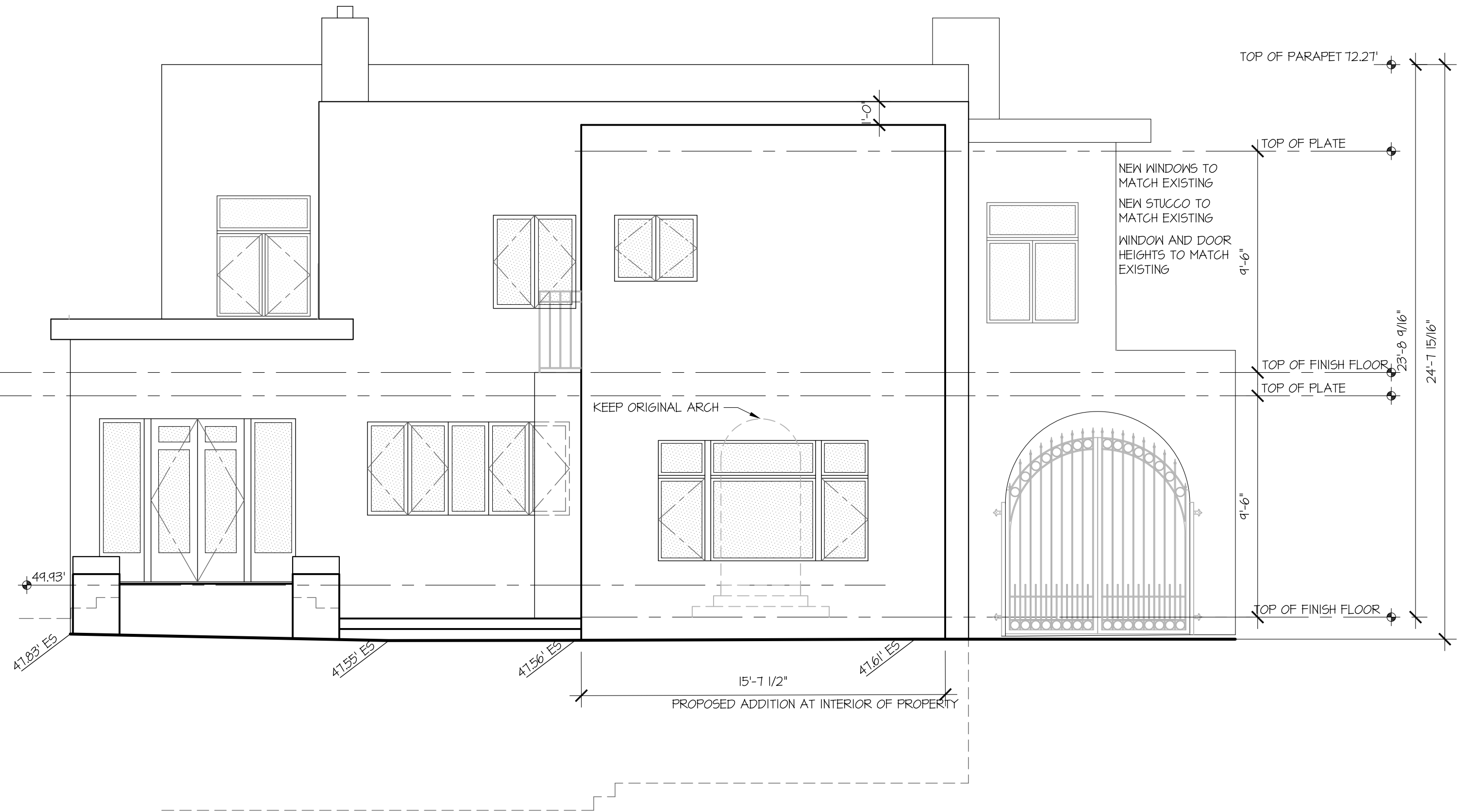
Existing North Elevation

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Proposed South Elevation

SCALE: 1/4" = 1'-0"



Proposed North Elevation

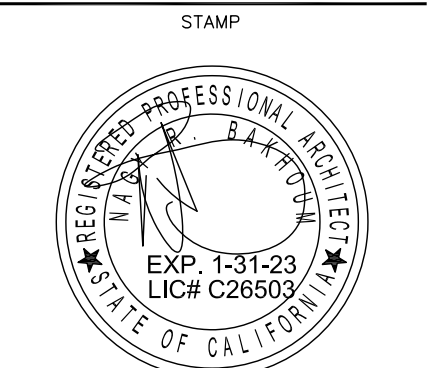
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**Goma Elbiali
Residence**

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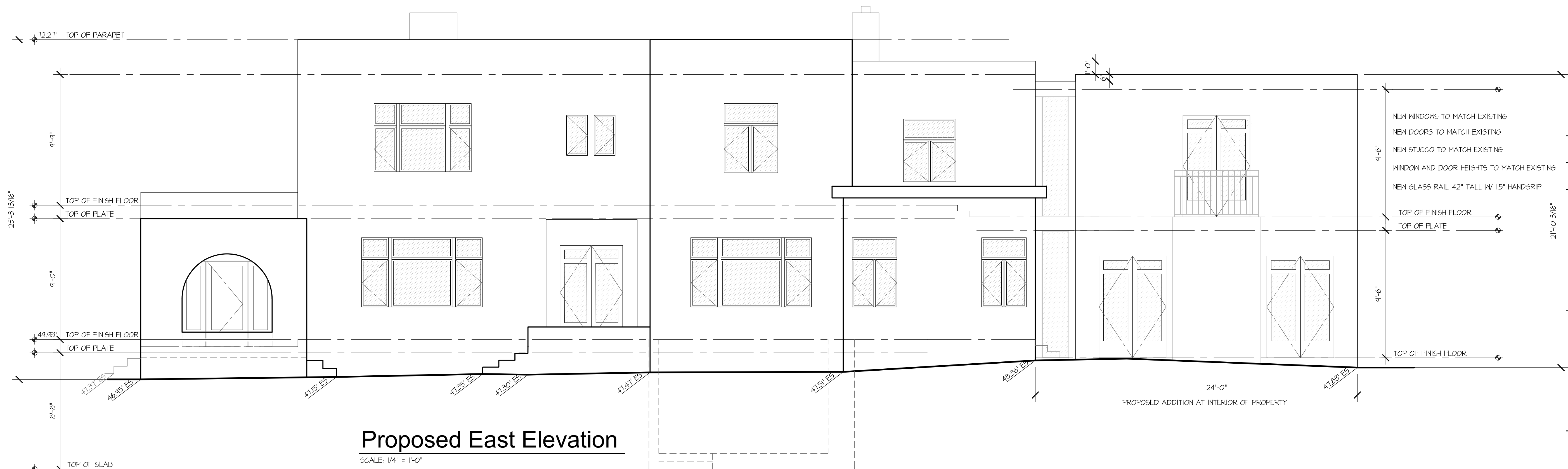
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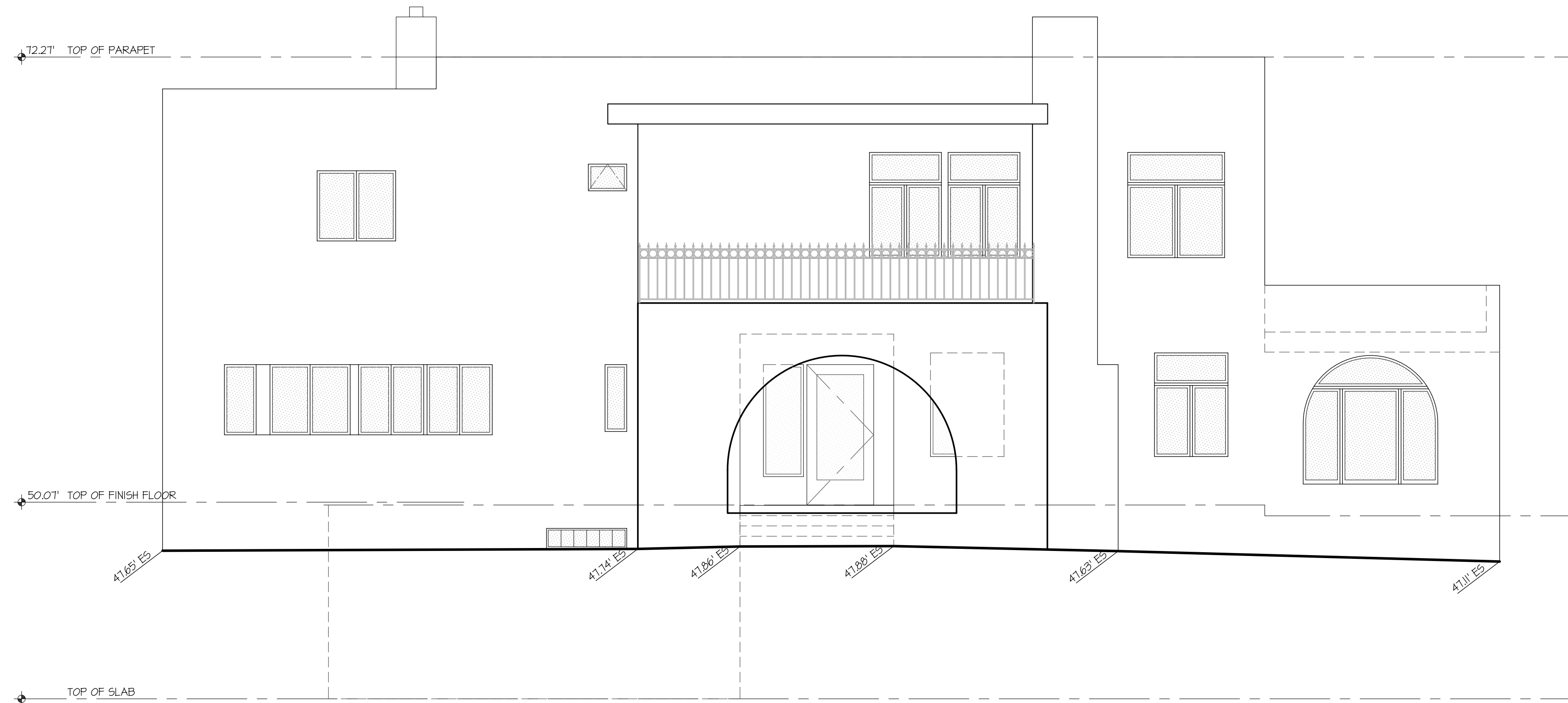
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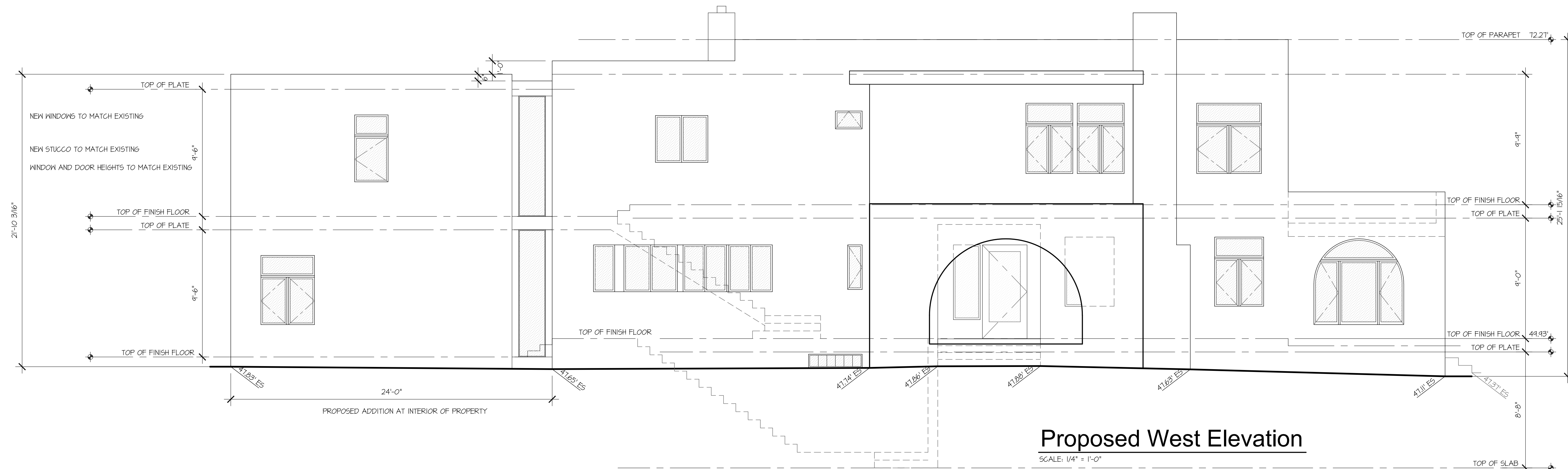
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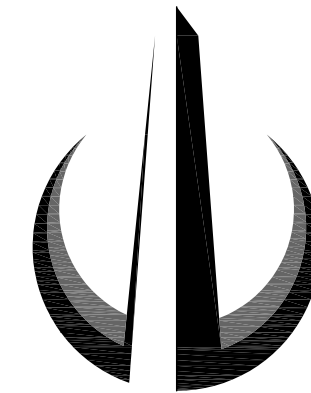
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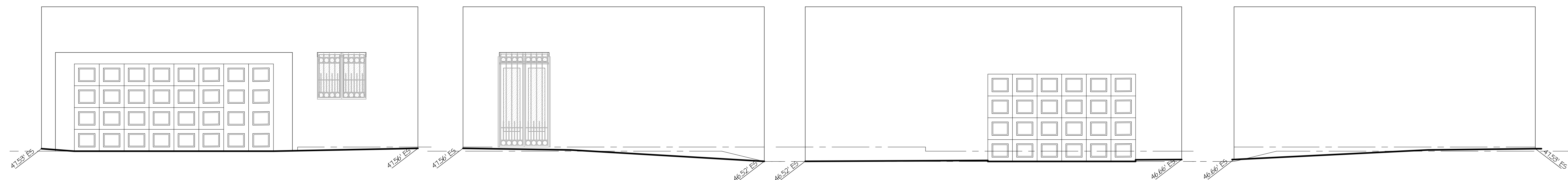


Proposed West Elevation

SCALE: 1/4" = 1'-0"

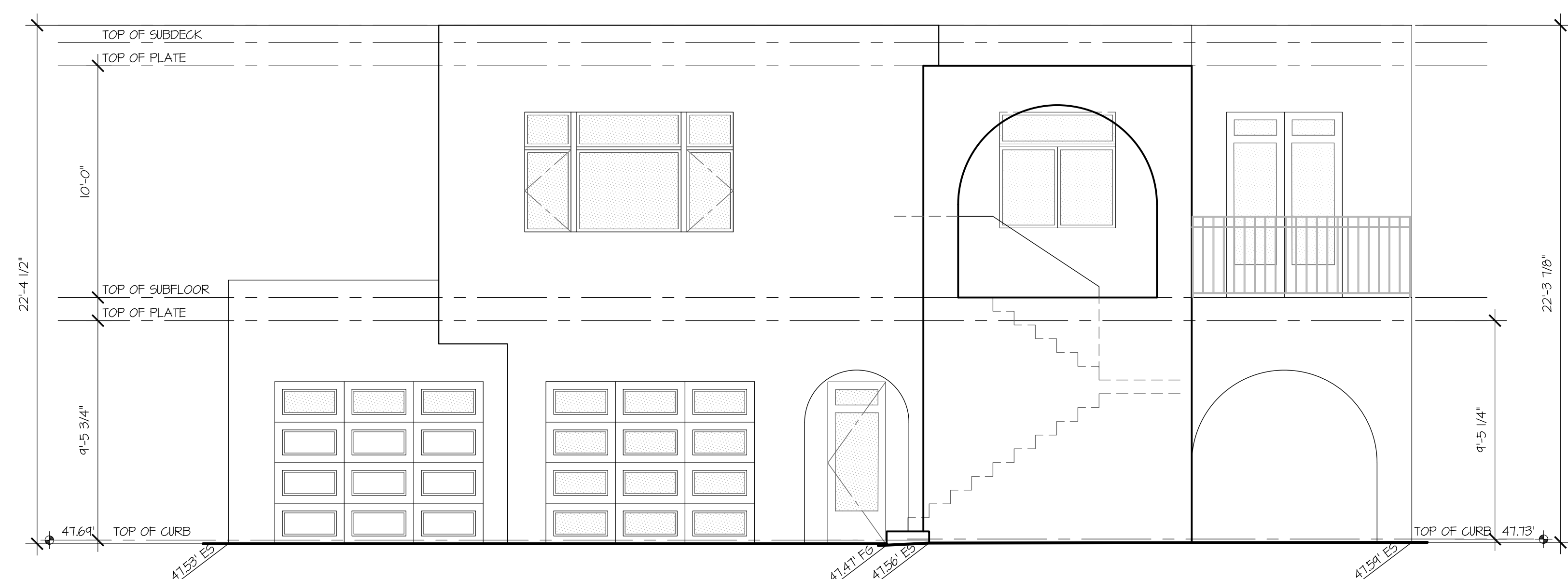


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Existing South Elevation East Elevation North Elevation West Elevation

SCALE: 1/4" = 1'-0"



Proposed South Elevation East Elevation

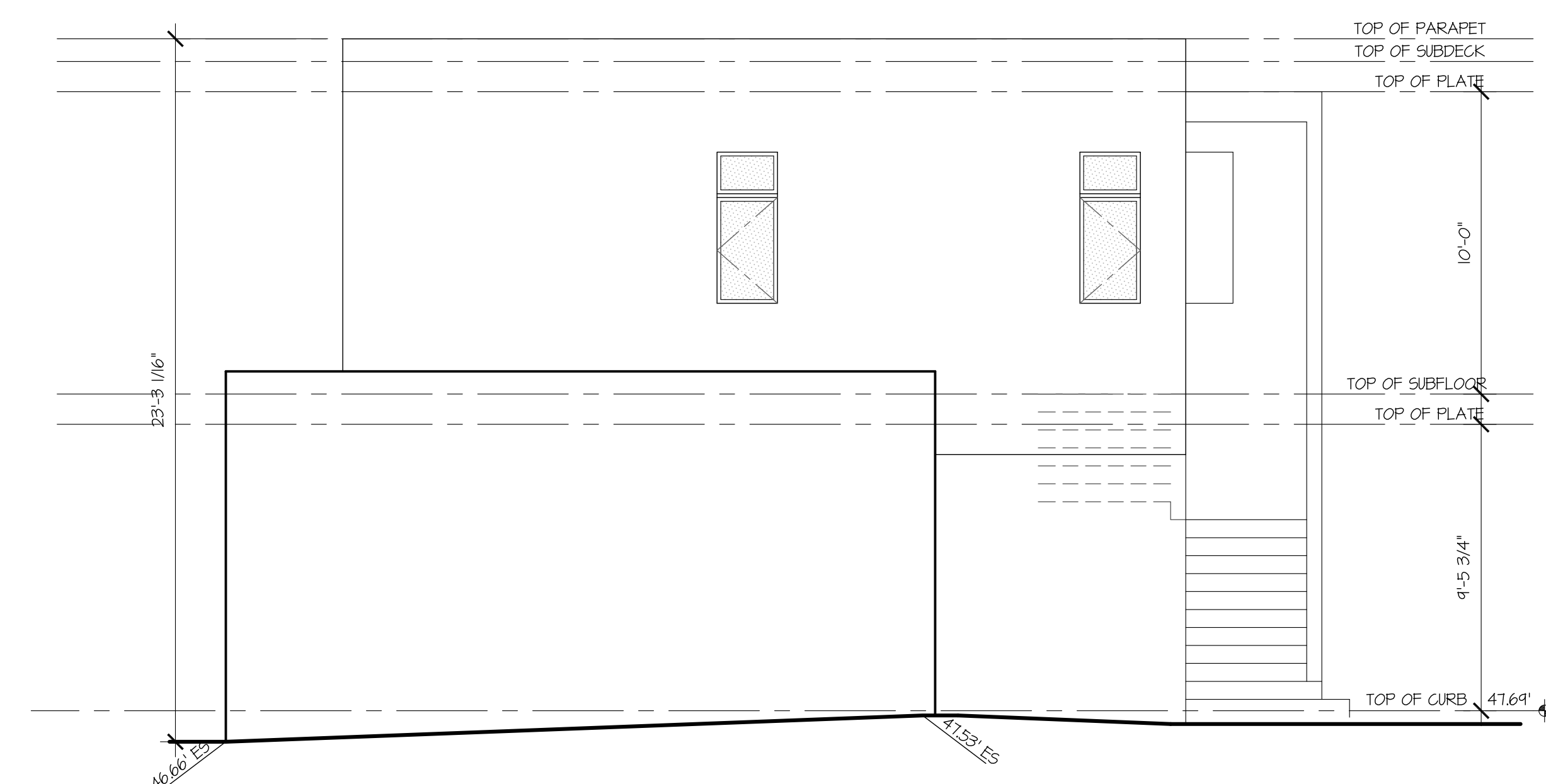
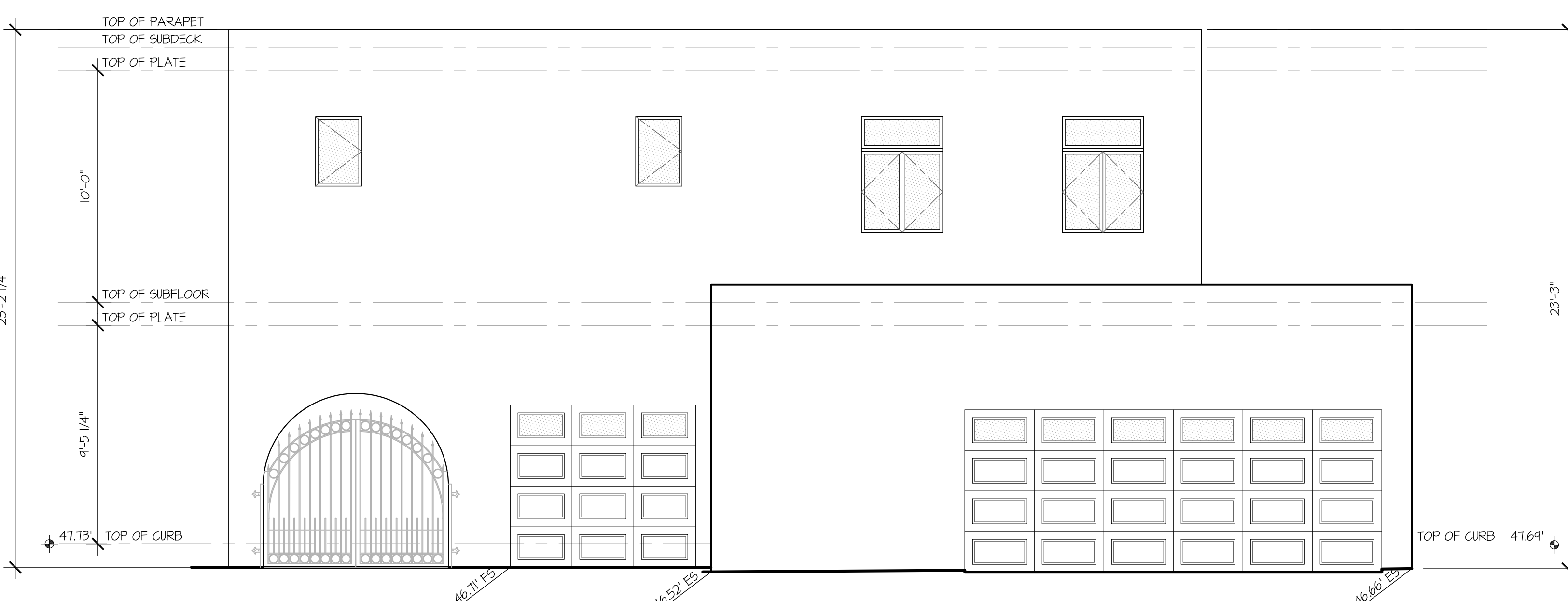
SCALE: 1/4" = 1'-0"

3800 PACIFIC COAST HIGHWAY
TORRANCE, CALIFORNIA 90505
obeliskarchitects.com
310.373.0810 fax
310.373.3568 tel

PROJECT
**Goma Elbiali
Residence**

2749 E. Ocean Blvd.
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Proposed North Elevation West Elevation

SCALE: 1/4" = 1'-0"

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**Existing &
Proposed ADU
Elevations**

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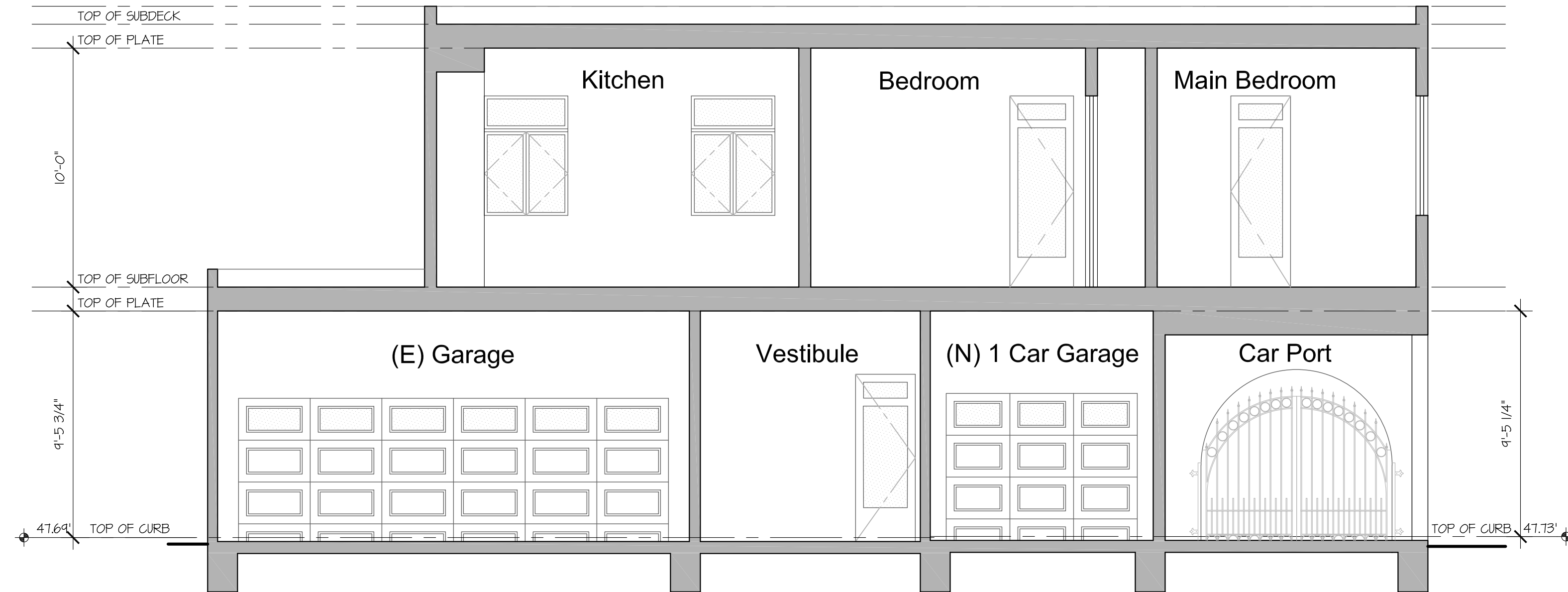
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**Building
Sections**

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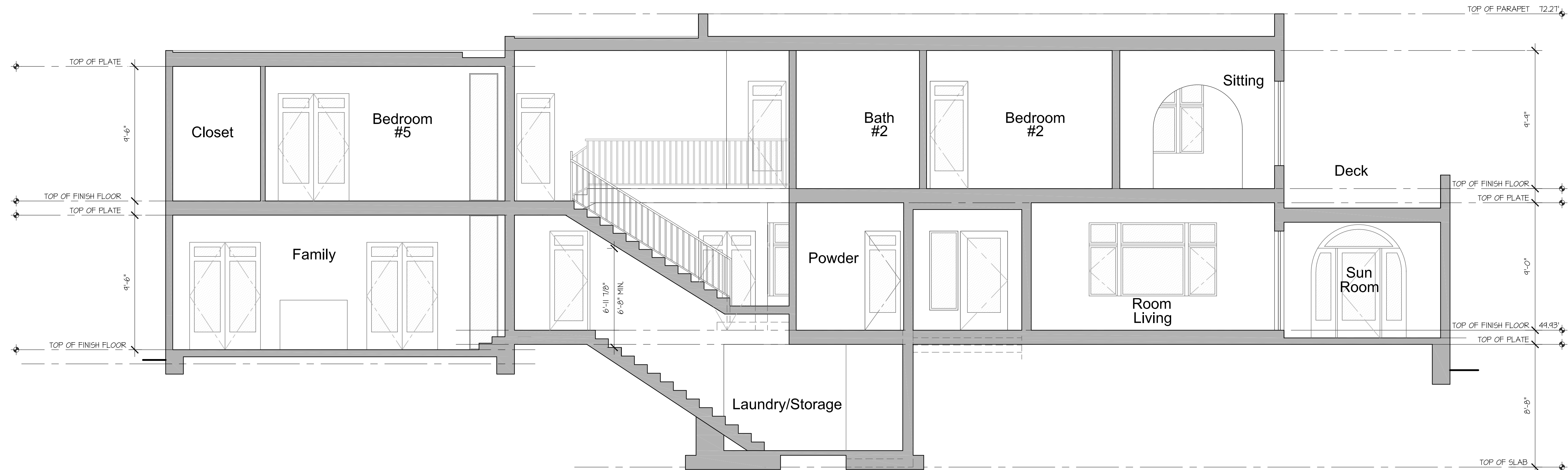
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A-301



Section B

SCALE: 1/4" = 1'-0"

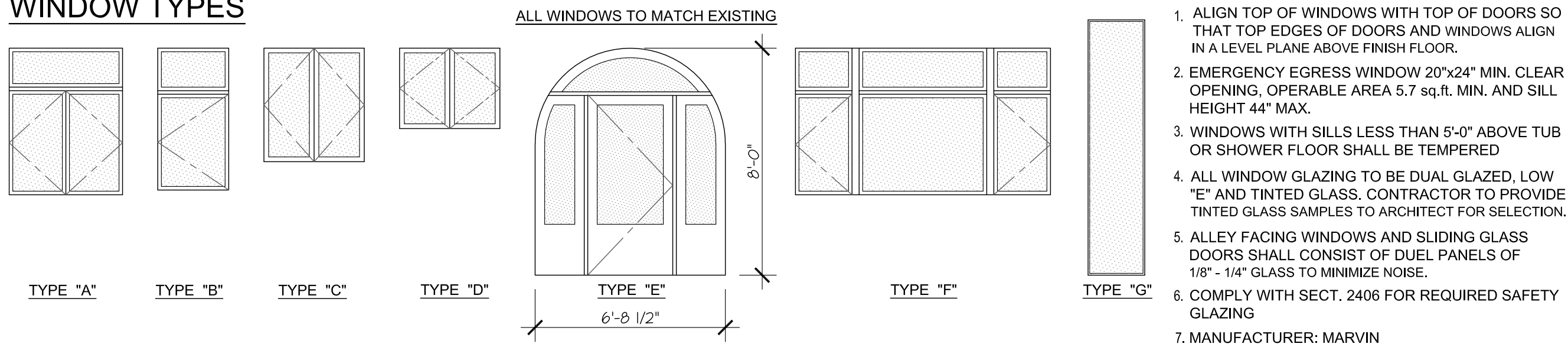


Section A

SCALE: 1/4" = 1'-0"

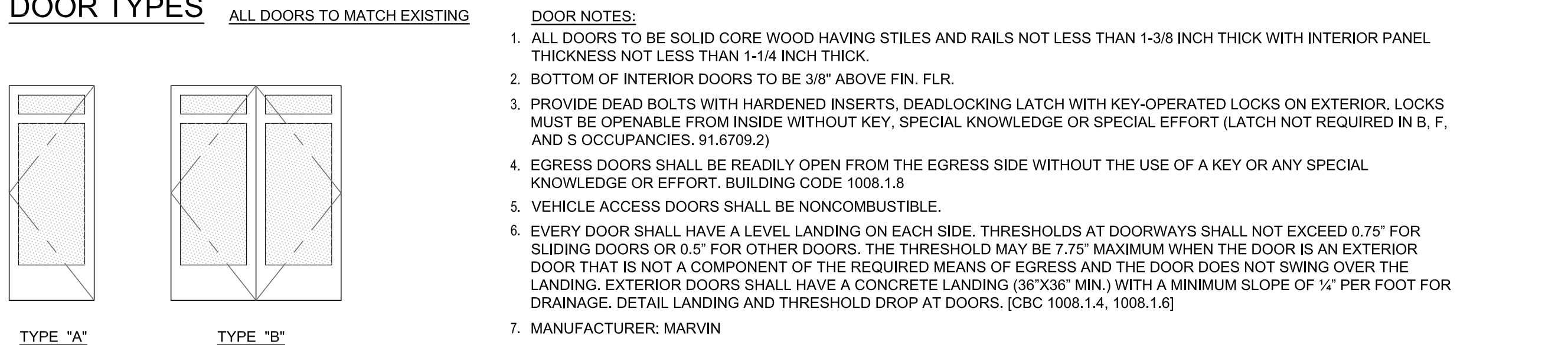
Window Schedule										HOUSE									
	Key	Width	Height	Type	Material	Glazing	Head height from F.F.	U/SHGC	Remarks										
1st FL.	①	2'-0"	9'-6"	G	WOOD		9'-6"	0.32 / 0.23	FIXED										
	2	4'-0"	5'-2"	A	WOOD		7'-7"	0.32 / 0.23	TRANSOM / CASEMENT / CASEMENT										
	3	9'-0"	5'-2"	F	WOOD		7'-7"	0.32 / 0.23	TRANSOM / CASEMENT / FIXED/ CASEMENT										
	4	2'-0"	9'-6"	G	WOOD		9'-6"	0.32 / 0.23	FIXED										
	5	6'-8 1/2"	8'-0"	E	WOOD	TEMPERED	8'-0"	0.32 / 0.23	EMULATE DOOR & WINDOWS ON NEW LOCATION SIMILAR TO THE SUNROOM										
2nd FL.	6	2'-0"	9'-0"	G	WOOD		9'-6"	0.32 / 0.23	FIXED										
	7	2'-6"	5'-0"	B	WOOD		7'-7"	0.32 / 0.23	TRANSOM / CASEMENT										
	8	3'-6.5"	2'-10"	D	WOOD		6'-9"		RELOCATED WINDOW FROM BATH #3										
	9	2'-0"	9'-0"	G	WOOD		9'-6"	0.32 / 0.23	FIXED										
	10	3'-6.5"	4'-0"	C	WOOD		6'-9"		RELOCATED WINDOW FROM BEDROOM #4										
	11	4'-0"	5'-2"	A	WOOD		7'-7"	0.32 / 0.23	REPLACE DOOR FOR TRANSOM / CASEMENT / CASEMENT WINDOW										
Roof	12	2'-0"	2'-0"						SKYLIGHT										
	13	2'-0"	2'-0"						SKYLIGHT										
	14	2'-0"	3'-10"						SKYLIGHT										

WINDOW TYPES



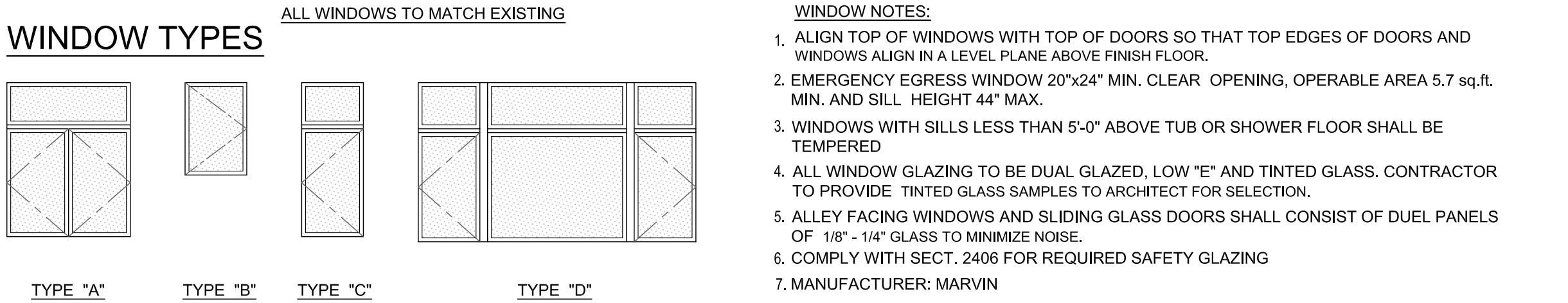
Door schedule										HOUSE									
	Key	Width	Height	Thick.	Type	Material	Glazing	U/SHGC	Remarks										
1st FLOOR	①	PAIR 2'-6"	7'-7"	2 1/4"	B	STAIN GRADE WOOD		0.32 / 0.23											
	2	PAIR 2'-6"	7'-7"	2 1/4"	B	STAIN GRADE WOOD		0.32 / 0.23											
	3	2'-6"	7'-0"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	4	PAIR 2'-0"	7'-0"	1 3/4"	B	STAIN GRADE WOOD		0.32 / 0.23											
	5	2'-8"	7'-0"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23	RELOCATED DOOR FROM OFFICE ROOM										
2nd FLOOR	6	2'-6"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	7	2'-6"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	8	PAIR 2'-6"	7'-7"	2 1/4"	B	STAIN GRADE WOOD		0.32 / 0.23											
	9	2'-8"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	10	2'-8"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	11	PAIR 2'-6"	7'-7"	1 3/4"	B	STAIN GRADE WOOD		0.32 / 0.23	BY PASS										
	12	2'-6"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	13	2'-6"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	14	2'-8"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	15	2'-6"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	16	2'-0"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	17	PAIR 2'-6"	7'-7"	1 3/4"	B	STAIN GRADE WOOD		0.32 / 0.23	BY PASS										
	18	2'-6"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	19	2'-8"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	20	2'-8"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	21	2'-6"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	22	2'-6"	7'-7"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											

DOOR TYPES



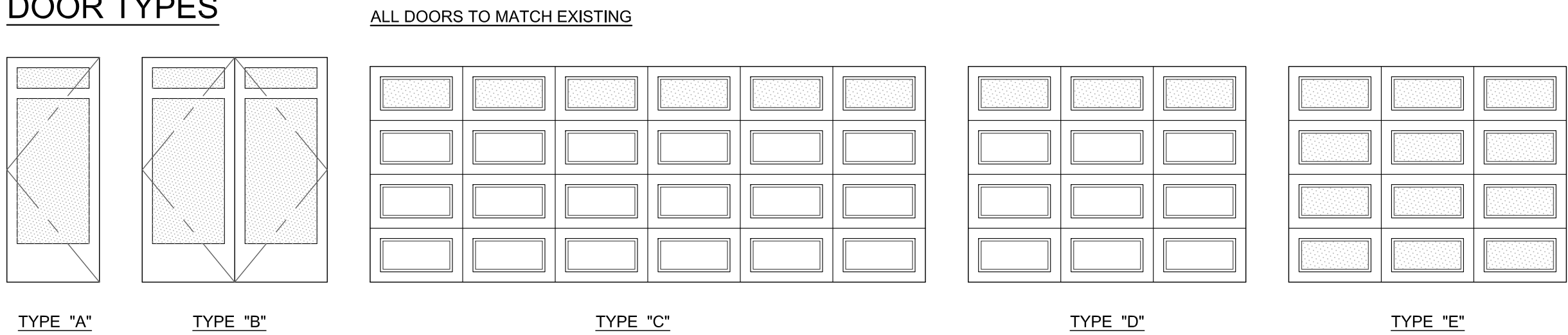
Window Schedule										ADU									
	Key	Width	Height	Type	Material	Glazing	Head height from F.F.	U/SHGC	Remarks										
2nd FLOOR ADU	①	3'-6"	5'-0"	A	WOOD	OBSCURD	8'-0"	0.32 / 0.23	TRANSOM / CASEMENT / CASEMENT										
	2	3'-6"	5'-0"	A	WOOD	OBSCURD	8'-0"	0.32 / 0.23	TRANSOM / CASEMENT / CASEMENT										
	3	2'-0"	3'-0"	B	WOOD	OBSCURD TEMPERED	8'-0"	0.32 / 0.23	CASEMENT										
	4	2'-0"	3'-0"	B	WOOD	OBSCURD TEMPERED	8'-0"	0.32 / 0.23	CASEMENT										
	5	2'-6"	5'-0"	A	WOOD	OBSCURD	8'-0"	0.32 / 0.23	TRANSOM / CASEMENT / CASEMENT										
	6	2'-6"	5'-0"	A	WOOD	OBSCURD	8'-0"	0.32 / 0.23	TRANSOM / CASEMENT / CASEMENT										
	7	5'-0"	5'-0"	A	WOOD		8'-0"	0.32 / 0.23	TRANSOM / CASEMENT / CASEMENT										
	8	9'-0"	5'-2"	D	WOOD		8'-0"	0.32 / 0.23	TRANSOM / CASEMENT / FIXED/ CASEMENT										
	9	2'-0"	5'-0"	C	WOOD	OBSCURD	8'-0"	0.32 / 0.23	TRANSOM / CASEMENT										
	10	2'-0"	5'-0"	C	WOOD	OBSCURD	8'-0"	0.32 / 0.23	TRANSOM / CASEMENT										

WINDOW TYPES



Door schedule										GARAGE / ADU									
	Key	Width	Height	Thick.	Type	Material	Glazing	U/SHGC	Remarks										
1st FLOOR	①	18'-0"	7'-0"	2 1/4"	C	ALUMINUM			ROLL-UP SECTIONAL GARAGE DOOR. PROVIDE AUTOMATIC OPENER W/ 2 HOUR BATTERY BACK UP PER CODE										
	2	8'-0"	7'-0"	2 1/4"	D	ALUMINUM			ROLL-UP SECTIONAL GARAGE DOOR. PROVIDE AUTOMATIC OPENER W/ 2 HOUR BATTERY BACK UP PER CODE										
	3	3'-0"	7'-0"	2 1/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	4	2'-8"	7'-0"	2 1/4"	A	STAIN GRADE WOOD		0.32 / 0.23	20 MINUTE RATED w/ AUTOMATIC CLOSER, SELF LATCHING, WEATHER STRIPPING & METAL THRESHOLD										
	5	2'-6"	7'-0"	2 1/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	6	2'-8"	7'-0"	2 1/4"	A	STAIN GRADE WOOD		0.32 / 0.23	20 MINUTE RATED w/ AUTOMATIC CLOSER, SELF LATCHING, WEATHER STRIPPING & METAL THRESHOLD										
	7	9'-0"	7'-0"	2 1/4"	E	ALUMINUM			ROLL-UP SECTIONAL GARAGE DOOR. PROVIDE AUTOMATIC OPENER W/ 2 HOUR BATTERY BACK UP PER CODE										
	8	9'-0"	7'-0"	2 1/4"	D	ALUMINUM			ROLL-UP SECTIONAL GARAGE DOOR. PROVIDE AUTOMATIC OPENER W/ 2 HOUR BATTERY BACK UP PER CODE										
	9																		
2nd FLOOR ADU	10	PAIR 1'-6"	8'-0"	1 3/4"	B	STAIN GRADE WOOD		0.32 / 0.23											
	11	2'-6"	8'-0"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	12	3'-0"	8'-0"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	13	2'-6"	8'-0"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	14	2'-6"	8'-0"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	15	PAIR 2'-6"	8'-0"	1 3/4"	B	STAIN GRADE WOOD		0.32 / 0.23											
	16	PAIR 1'-6"	8'-0"	1 3/4"	B	STAIN GRADE WOOD		0.32 / 0.23											
	17	PAIR 3'-0"	8'-0"	1 3/4"	B	STAIN GRADE WOOD		0.32 / 0.23											
	18	2'-8"	8'-0"	1 3/4"	A	STAIN GRADE WOOD		0.32 / 0.23											
	19	3'-0"	8'-0"	2 1/4"	A	STAIN GRADE WOOD		0.32 / 0.23											

DOOR TYPES



- DOOR NOTES:
1. ALL DOORS TO BE SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCH THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4 INCH THICK.
 2. BOTTOM OF INTERIOR DOORS TO BE 3/8" ABOVE FIN. FLR.
 3. PROVIDE DEAD BOLTS WITH HARDENED INSERTS, DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPENABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES. 91.6709.2)
 4. EGRESS DOORS SHALL BE READILY OPEN FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. BUILDING CODE 1008.1.8
 5. VEHICLE ACCESS DOORS SHALL BE NONCOMBUSTIBLE.
 6. EVERY DOOR SHALL HAVE A LEVEL LANDING ON EACH SIDE. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75" FOR SLIDING DOORS OR 0.5" FOR OTHER DOORS. THE THRESHOLD MAY BE 7.75" MAXIMUM WHEN THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE REQUIRED MEANS OF EGRESS AND THE DOOR DOES NOT SWING OVER THE LANDING. EXTERIOR DOORS SHALL HAVE A CONCRETE LANDING (36"X36" MIN.) WITH A MINIMUM SLOPE OF 1/4" PER FOOT FOR DRAINAGE. DETAIL LANDING AND THRESHOLD DROP AT DOORS. [CBC 1008.1.4, 1008.1.6]
 7. MANUFACTURER: MARVIN



3800 PACIFIC COAST HIGHWAY
TORRANCE, CALIFORNIA 90505
obeliskarchitects.com
310.373.0810 fax
310.373.3568 tel

PROJECT

Goma Elbiali Residence

2749 E. Ocean Blvd.
Long Beach, CA 90803

REVISIONS
09/14/22 Application #COAC2203-01

PROJECT NUMBER
2010 ELB OCE LB

DATE
January 3, 2023

STAMP



SHEET TITLE

Door & Window Schedules

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