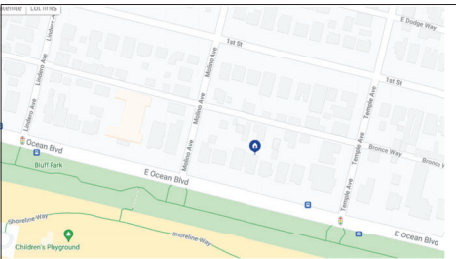


SIRISUT RESIDENCE  
2725 E. OCEAN BOULEVARD  
LONG BEACH, CA. 90803



Sheet List	
Sheet Number	Sheet Name
A1	TITLE SHEET
A2	GENERAL NOTES
A3.1	EXISTING SITE PLAN
A3.2	PROPOSED SITE PLAN
A4	FIRST FLOOR PLAN
A5	SECOND FLOOR PLAN
A6	FRONT AND REAR ELEVATIONS
A7	SIDE ELEVATIONS
A8	DETAILS



LEGAL DESCRIPTION:

LOT 15, BLK 46, RESUBDIVISION OF ALAMITOS  
TOWNSITE (BEACH)  
ASSESSOR'S PARCEL NO: 7264-024-016  
LOT SIZE: 11,000 SF  
ZONE: R-2-L  
EXISTING HOUSE:  
FIRST FLOOR: 1824 SF  
SECOND FLOOR: 1572 SF  
TOTAL HABITABLE: 3396 SF  
EXISTING HOUSE DECK: 230 SF  
EXISTING GARAGE TO BE DEMOLISHED: 1013 SF  
PROPOSED FIRST FLOOR OF SFD: 1203 SF  
PROPOSED SECOND FLOOR OF SFD: 1812 SF  
TOTAL HABITABLE AT PROPOSED DWELLING: 3015 SF  
PROPOSED NEW GARAGE: 1100 SF  
PROPOSED NEW DECKS: 408 SF  
OPEN SPACE CALCULATION:  
NEW DWELLING DECKS: 408 SF  
EXISTING MAIN HOUSE DECK: 230 SF  
EXISTING MAIN HOUSE PATIO: 180 SF  
CENTRAL COURTYARD BETWEEN DWELLINGS: 1888 SF  
TOTAL OPEN SPACE PROVIDED: 2714 SF  
OPEN SPACE REQUIRED: 16% (SFD): 1760 SF

SCOPE OF WORK:

DEMOLISH EXISTING GARAGE AND BUILD NEW  
TWO-STORY DWELLING UNIT, AND NEW 1100 SF  
GARAGE  
MAXIMUM LOT COVERAGE: 40% OF LOT SIZE 11,000 = 4400 SF  
LOT COVERAGE PROVIDED:  
FIRST FLOOR (H) MAIN HOUSE: 1824 SF  
FIRST FLOOR OF PROPOSED SFD: 1203 SF  
PROPOSED GARAGE: 1100 SF  
TOTAL LOT COVERAGE: 4127 SF  
NON-PERMEABLE CALCULATION: 30% OF LOT SIZE 11,000 = 3300 SF  
NON-PERMEABLE PROVIDED:  
EXISTING MAIN HOUSE FIRST FLOOR: 1824 SF  
PROPOSED GARAGE: 1100 SF  
FIRST FLOOR OF PROPOSED SFD: 1203 SF  
MAIN HOUSE (H) COVERED PATIO: 888 SF  
TOTAL: 11,000-4793 = 6207 SF

CONTACT INFORMATION:

PROJECT COORDINATOR:  
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STRUCTURAL ENGINEER:  
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OWNER:  
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TITLE 24 ENERGY CONSULTANT:

Attachment C

Revisions: By:



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Sirisut Residence  
2725 e. Ocean Blvd.  
Long Beach, CA

TITLE SHEET  
AND SITE PLAN

Date: 9/25/2021  
Project Architect: K. Otis  
Drawn:  
Sheet Number:

A1

DIVISION 1 - GENERAL REQUIREMENTS:

1-A. ARCHITECT'S STATUS:

The Architect does not guarantee the Contractor's performance, and no provisions of the contract documents shall relieve the Contractor from any liability due to negligence, incompetence or errors of omissions or commission of the Contractor.

The drawings and specifications represent the finished structure. The design adequacy and safety of structure, framing, shoring, temporary supports, etc. is the sole responsibility of the Contractor, and has not been considered by the Architect or the Structural Engineer. The contractor is responsible for the stability of the structure prior to the application of all shear wall, roof and floor diaphragms and finished materials. He shall provide the necessary bracing to provide stability prior to the application of the aforementioned materials.

Observation visits to the job site by the Architect do not include inspection of construction procedures. The Contractor is solely responsible for all construction methods and for safety conditions at the worksite. These visits shall not be construed as continuous and detailed inspections.

Design, materials, equipment and products other than those described below or indicated on the drawings may be considered for use, provided prior approval is obtained from the Architect and applicable governing code authority.

On site verification of all dimensions and conditions shall be the responsibility of the Contractor. Written dimensions shall take precedence over scaled dimensions, existing dimensions take precedence over written dimensions.

1-B. CODES

All codes having jurisdiction shall be observed strictly in the construction of the project including all applicable state, city and county building, zoning, electrical, mechanical, plumbing and fire codes. The Contractor shall verify all code requirements before the commencement of construction and bring any discrepancies between code requirements and the construction documents to the attention of the Architect.

1-C. ERRORS AND OMISSIONS:

Errors, omissions, or conflicts which may occur in Construction Documents shall be brought to the attention of the Architect in writing and written instructions shall be obtained before proceeding with the work. The Contractor will be held responsible for the result of any errors, discrepancies, or omissions of which the Contractor failed to notify the Architect before construction and/or fabrication of the work.

1-D JOB CONDITIONS:

The Contractor and Subcontractor shall verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of the work. The Architect shall be notified of any discrepancy.

DIVISION 2 - SITE WORK

2A. DEMOLITION:

Contractor to complete all demolition work as shown on the drawings. Cap, terminate, and reconnect plumbing and electrical utilities impacted by demolition work. Execute all demolition work in an orderly manner with due consideration for any existing structures, including any parts of the surrounding area which are to remain. Barricade and cover as necessary to protect pedestrians, workmen, and adjacent properties. Protect any existing active service lines, indicated or not. Back fill any trenches caused by demolition work. Contractor to maintain cleanliness and security on site.

2-B SOILS AND FOUNDATION:

Perform all work in this section in conformance with the soils figures and/or reports approved by the Building Department. The location of and protection of all utilities is the Contractor's responsibility.

DIVISION 3 - CONCRETE

It shall be the responsibility of the Contractor to locate all existing utilities whether shown herein or not and to protect them from damage. The contractor shall bear all expense of repair or replacement in conjunction with the prosecution of this work.

3-A. FOUNDATION:

Location of construction or pour joints must be approved by the Structural Engineer. All pipes or ducts through concrete shall be sleeved. Pipes or ducts exceeding one third the slab or wall thickness shall not be placed in structural concrete unless specifically detailed by Structural Engineer. Foundation below ground shall be made watertight and damp proof. Refer to structural drawings for details and specifications.

3-B WORKMANSHIP:

All work shall conform with the requirements set forth in the "Manual of Standard Practice for Detailing Reinforced Concrete Structures," published by the American Concrete Institute except where more exacting requirements are specified in the Construction Documents.

- All bending of reinforcement and steel shall conform to the latest edition of the International Building Code.
- Anchor Bolts shall be manufactured of ASTM A307 steel and placed per Engineers' specifications.

DIVISION 4 - MASONRY:

4-A. GENERAL:

Provide labor, materials, equipment, and other services to complete masonry where indicated on drawings. Walls shall be straight, plumb, and true, with all courses true to line and level, to dimension shown. Cells shall be filled solid with grout as indicated. Blocks shall be laid up with waterproof Type M or S mortar. Clean units before replacing. Use masonry saw for cutting.

DIVISION 5 - METALS

5-A. WORKMANSHIP:

All work shall comply with A.I.S.C. Manual of Steel Construction, latest edition. Welding to be done per American Welding Society Structural Weld Code. All field welding shall be performed by a county or city approved welder and inspected and approved by a deputy inspector.

5-B. MISCELLANEOUS ITEMS:

Miscellaneous metal items and their related components are not necessarily individually described. The most important and those requiring detailed description are specified. Miscellaneous items not described shall be furnished and installed in accordance with the intent of the drawings and specifications and as required to complete work. Shop drawings to be submitted for Architect's approval prior to fabrication.

DIVISION 6 - WOOD

6-A. ROUGH CARPENTRY:

- All structural lumber shall be grade marked and conform with the standard grading and dressing rules of the Western Wood Products Association.
- All wood resting on concrete or within 6 inches of finish grade shall be pressure treated Douglas Fir.
- Fireblocking: Fire block stud walls and partitions (including furred spaces) at the floor, ceiling, soffit, and at mid height of walls over 0'-0" in height.
- Roof Sheathing: 1/2" CDX Plywood Index 3224 PS 1-95. Nail with 10d nail at 6" OC at intermediate supports. Lay panels with face grain across supports. Stagger panel joints. Nailing shall be inspected prior to covering.
- Blocking: Provide 2X solid blocking between joist or rafters at all supports.
- Wood Trusses: It shall be the responsibility of the manufacturer to obtain Building Department approval of Calculations and shop drawings prior to fabrication. The manufacturer shall be an Approved Fabricator, as currently listed by ICBO. Trusses shall be designed in accordance with the latest Building Code for all loads imposed, including lateral loads and mechanical equipment loads.
- New subfloor to be 1-1/8" plywood unless removal condition does not permit.

6-B. MILLWORK:

Manufacture millwork and casework per Manual of Millwork Institute of California, custom grade unless noted otherwise. Install all shelving, casework, millwork, doors, hardware, rolling, trim, counters, utility backboards and other finish carpentry. All maple cabinets and surfaces to be sealed prior to stain or color lacquer in order to prevent irregular color absorption into wood.

6-C. CABINETS:

- 1/4" Solid wood [see plans for wood specification]
- Melamine cabinet interior
- Concealed European hinges
- 5mm holes at sides of cabinets for adjustable shelves.
- 5 ply maple at drawers with lock joints and European side guides.
- Melamine and alder at pull-out trays with European side guides.
- Alder interior pull-out trash tray with drop-in 32 qt. trash can pull extension guides.

Cabinet fabricator to submit shop drawings prior to fabrication. Verify all dimensions and finishes with owner.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

7-A. ROOFING:

Shall be installed per CBC and in accordance with the manufacturer's listing. Refer plans for manufacturer.

7-B. SHEET METAL:

Verify all dimensions shown on drawings by taking field measurements; proper fit and attachment on all parts is required. All work included in this section shall be performed in accordance with the recommendation contained in the latest edition of the manual "Suggested Specifications for Architectural Sheet Metal Work," published by the Sheet Metal and Air Conditioning Contractors National Association.

7-C INSULATION:

Shall be provided and installed per Title 24, California Administrative Code. Dwelling units shall receive a minimum of R19 blanket insulation at roofs and R11 at walls. Unless noted otherwise, provide thermal insulation in all exterior and interior stud walls and ceilings, extending full height of walls, fitted tightly between studs.

DIVISION 8 - DOORS AND WINDOWS

8-A. WOOD DOORS:

All doors shall comply with the requirements of the woodwork Institute of California, standard grade (CBC) : Title 24, California Administrative Code.

8-B. DOORS AND WINDOWS:

All exterior windows and glass door shall comply with T-24 calculations. Refer to T-24 Report. Finish per owner's specifications. Caulk at exterior. Provide aluminum framed fiberglass screen at each open vent. Glazing shall be sized per U.B.C. Tempered glass shall be installed when required by CBC.

8-C. SECURITY:

- Exterior doors and their hardware shall conform to the security provisions of the applicable chapter of CBC and local city codes.
- All exterior doors and lower leaf of Dutch door shall have dead bolt and dead locking latch, both key operated from the outside. Deadbolts shall have a hardened insert with 1" min. throw and 5/8" min. embedment into jamb. Inactive leaf shall have flush bolts top and bottom with 1/2" embedment exterior door hinge pins shall be non-removable.
- Overhead and sliding doors shall be secured with a cylinder lock padlock with hardened steel shackle or slide bolt.

DIVISION 9 - FINISHES

9-A. GYPSUM DRYWALL CONSTRUCTION:

- Scope: Furnish and install all gypsum wallboard work complete.
- Standards:
  - All work and materials shall comply with the applicable chapter of CBC.
  - All work and materials shall comply with American Standard Association's "Specification for Gypsum Wallboard Finishes".
  - Materials:
    - 5/8" gypsum wallboard typical throughout.
    - 5/8" gypsum wallboard "greenboard" typical at all plumbing walls.
    - Seam and Compound: As recommended by gypsum board Manufacturer.
    - Attachments: Screw attachments per code.
  - Installation: Installation and finishing shall conform to American Standard A97.1- 65 and as specified herein:
    - Wallboard: Apply wallboard first to ceilings and then to walls, horizontally. Use board of maximum practical lengths and stagger end joints. Apply metal edge trim to all exposed gypsum board edges and outside corners.
    - Finishing: Tape and finish joints, corners and edges in accordance with Manufacturer's recommendations. Leave surfaces smooth, free of visible joints, nail holes and sanding marks.
    - Finish Textures: Smooth no texture- feather all joints with special care.
    - All Slab and/or Stone: Clean and seal prior to grouting.

9-B. STUCCO:

- Reference Specifications: Lathing materials and their application and plaster materials and their application shall be in strict accordance with the applicable sections for Lathing, Furring and Plastering of the National Gypsum Association.
- Building Paper: Install Type 15 felt or other approved. Under exterior trim and siding apply so as to form a watertight membrane. Overlap each course below 2 inches minimum horizontal joints and 4 inches minimum at vertical joints.
- Flashing at Wall Penetrations: Install sisalcraft paper as flashing in a weatherboard fashion. Slip window under horizontal head sisalcraft and secure metal window and door fin over sealant on interface of fins at side and bottom. Note: Provide a bead of Butyl sealant on interface of fins at side and bottom, also exterior face of top fin, before inserting metal frames.

9-C. PAINTING:

- Application of paint or other coating shall be in strict accordance with manufacturer's directions. Ready-mixed paint shall not be thinned, except as permitted in the application instructions.
- Top and bottom of all doors to be sealed and painted.
- All surfaces to be finished shall be clean and free of foreign materials (dirt, grease, asphalt, rust, etc.).
- Application shall be in a workmanlike manner providing a smooth surface. Application rate shall be that recommended by the manufacturer. Application may be by brush or roller or by spray if paint is formulated for spray application.
- All stucco finish to be painted with elastomeric paint or equivalent.
- Exterior wood to be properly finished and caulked, and all nail and staple holes filled.
- All exposed paint grade wood to have 2 coats of primer and 2 coats of acrylic paint finish unless otherwise specified. All stain grade wood to be filled, sanded, and sealed with specified stain and finish. All interior wood to be sprayed, all other rolled or brushed.
- All metal surfaces and joints to be sealed prior to paint. All exposed metal to be properly primed with red-oxide. Apply 2 coats of paint and 1 coat of clear sealer.

DIVISION 11 - EQUIPMENT (APPLIANCES)

11-A. MEASUREMENTS:

Verify all dimensions shown on the Drawings by taking field measurements; proper fit and attachment of all parts is required. Notify Architect if any discrepancies appear.

DIVISION 15 - MECHANICAL:

15-A. HEATING:

- Rules and Regulations: All work and materials shall be in full accordance with the latest federal, state, and local codes and regulations. Nothing in these plans or specifications shall be construed to permit work not conforming to these codes.
- Materials and Equipment: Ductwork shall comply with the minimum weight standards as set forth in the California Building Code and the return ducts shall be galvanized sheet metal. Ducts and fittings shall be insulated with fiberglass. Provide automatic fire dampers where required.
- Fabrication and Installation : Furnace closets shall be sized to provide per CBC clearances from furnace unit at sides, front, rear, and other requirements per CBC and local codes.

15-B. VENTILATION:

- Rules and Regulations: All work and materials shall be in full accordance with the latest CBC and local codes.
- Materials and Equipment: Provide mechanical exhaust ventilation, five air changes per hour for bathrooms containing a bathtub or shower or combination thereof, laundry rooms and similar rooms. Two air changes per hour are required in all guest rooms, habitable rooms and public corridors. Bathrooms which contain only a watercloset or lavatory or combination thereof may be ventilated with an approved mechanical device including fan or similar device designed to remove odors.

15-C. PLUMBING:

- Copper to Steel Connections: All copper pipe connections to ferrous piping shall be made with dielectric coupling or isolation flanges. All waste lines between floors to be cast iron.
- Waste and Vent Systems: All soil, waste, and vent piping shall be approved ABS or cast iron. All horizontal plumbing between floors to be cast iron. All piping shall be sized as required by CBC or local codes. Cleanout locations shall be located in least visible areas. Provide cleanouts as required by CBC. Waste lines adjacent to living areas shall be cast iron for noise abatement.
- Domestic Water Piping System: All water supply lines shall be copper, Type L below slab and Type M above slab. No filling shall occur below slab. All hot water lines to be properly insulated.
- Water Heating System: Furnish, install and connect piping and equipment required to complete the water heating system.
- Domestic Gas Service: Provide gas line to gas-fired equipment including water heater, pool equipment, furnaces. Plumbing to be recessed in wall.
- Plumbing Fixtures and Equipment:
  - General: Furnish and install all fixtures and equipment shown on the drawings or specified herein. All exposed brass tubing supplies, cast brass traps, hose bibs, waste pieces and other brass trim shall be heavily polished chrome plated. Finish all piping through walls, floors or ceiling with chrome plated wall flanges or escutcheons.
  - Compression stops, shairners, tail pieces, trim etc., are included to make a complete fixture, whether or not specified. Provide approved one-piece waste overflow and trap unit with glued fittings at tubs.
  - Galvanized pipe shall not be used for waste or water supply.
  - Water supply lines shall be installed with approved anti-sound devices where required.

DIVISION 16 - ELECTRICAL:

16A.-GENERAL:

Electrical system layouts are generally diagrammatic, location of outlets and equipment is approximate. Exact routing of wiring, location of outlet to be governed by structural conditions and constructions. Wiring for equipment requiring maintenance and inspection to be readily accessible.

- Conduit piping located within planting areas shall be placed a minimum of 18 inches below finished grades.
- Labeling: All electrical equipment, main and sub-panel breakers and time clock controls shall be properly labeled.
- Materials: Materials and equipment shall be new and listed by Underwriter's Laboratories Inc., and bear their label wherever standards have been established and their service is regularly furnished. All electrical equipment shall be listed, labeled, and installed as per a recognized electrical testing labs standards.
- Miscellaneous Electrical Notes:
  - Verify and locate receptacles prior to installation of drywall.
  - Install receptacles at 1'-0" to center line above finish floor unless otherwise noted.
  - Install light switches at 3'-6" to center line above finish floor unless otherwise noted.
  - All switched outlets shall be one-half hot.
  - Locate receptacles in accordance with California Building Code.
  - All exterior outlets, outlets in garages, outlets in bathrooms and outlets within 6 feet of kitchen sink or utility sink shall be a ground fault interrupter (or GFI).
  - All switches and outlets to be Decora unless otherwise specified.
  - All recessed down lights to be HALO unless otherwise specified.

16-B. SOUND SYSTEM:

Confirm with Owner sound system location, wiring and components, include into bids as directed.

16-C. SECURITY SYSTEM:

Confirm with Owner security system location, wiring and components, include into bids as directed.

ROOF DECK SURFACING

FLOOR DRAINS -

Note to Specifier: Floor drains, clean-outs, etc. should be of the "floor flange" type as manufactured for use with composition floors by most major drain manufacturers. Drain flange shall be finished flush with substrate.

SHEET METAL FLASHING-

Note to Specifier: Sheet metal flashing shall be minimum 26 gauge galvanized. All joint or seams shall be overlapped approx. 3" and caulked with Dex-O-Tex Elastox 500 flashing paste or approved equal.

PLYWOOD SUBSTRATE INCLUDING FRAMING AND BLOCKING-

Note to Specifier: Plywood shall be a minimum 5/8" (preferably 3/4 inch) exterior grade plugged and sanded or filled with Dex-O-Tex G-26 Underlayment. Plywood shall be supported 16" on center and properly blocked. Plywood shall be attached with either screws, screw type or ring shank nails.

SLOPE FOR DRAINAGE-

Note to Specifier: Slope of 1/4 inch per horizontal foot to drain is recommended. A slope to drain of less than 1/4 inch per horizontal foot may result in water ponding on the deck surface and must be designed to show that adequate slope exists to prevent ponding. This can be provided for in the substrate or by application of Dex-O-Tex G-26 Underlayment. Care must be taken to provide adequate elevation at thresholds to provide proper slope to drain.

Revisions:	By:



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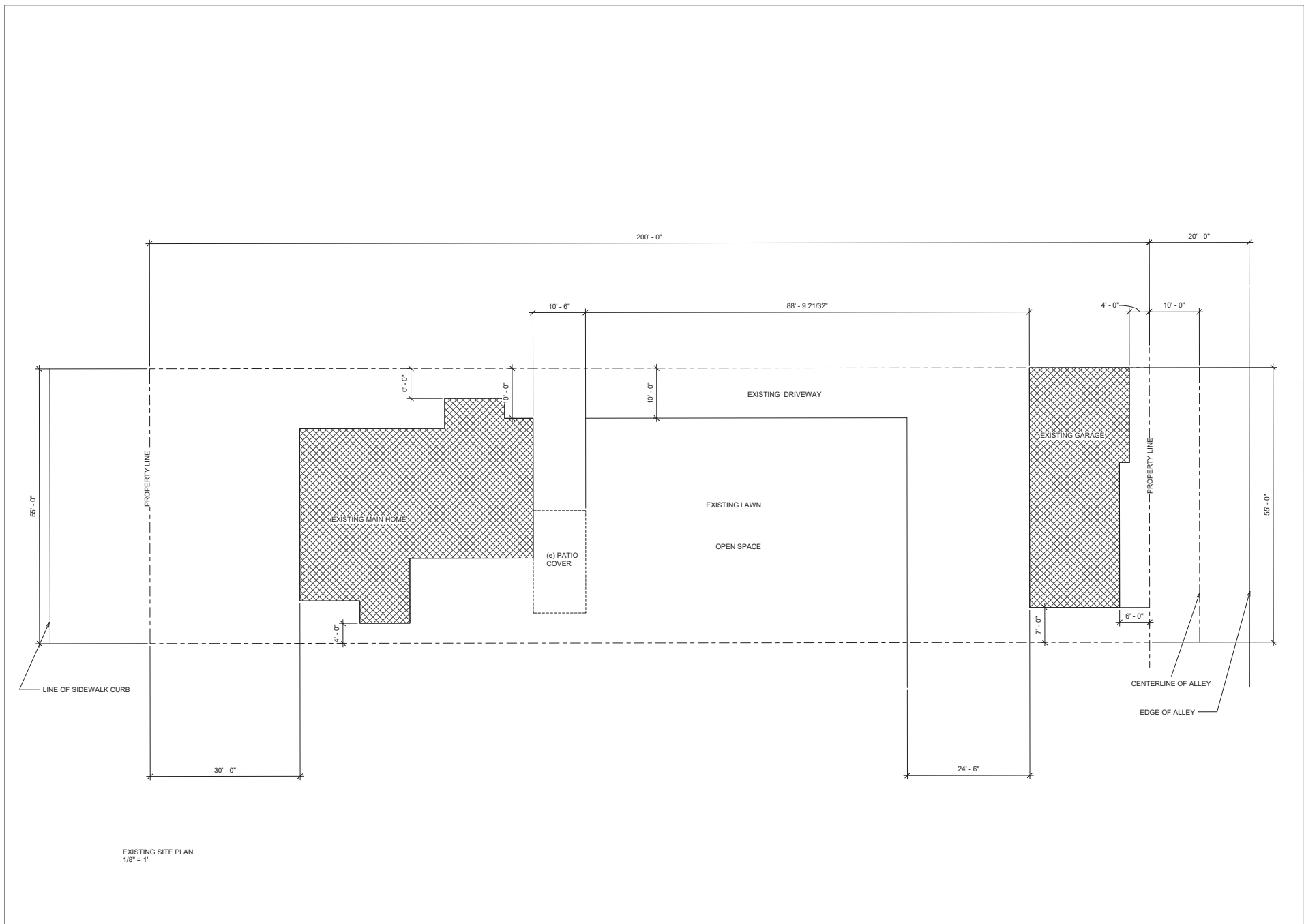
GENERAL NOTES

Date: 9/25/2021

Project Architect: K. Olt

Drawn:

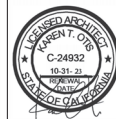
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**Sirisut Residence**  
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## EXISTING SITE PLAN

Date: 9/25/2021

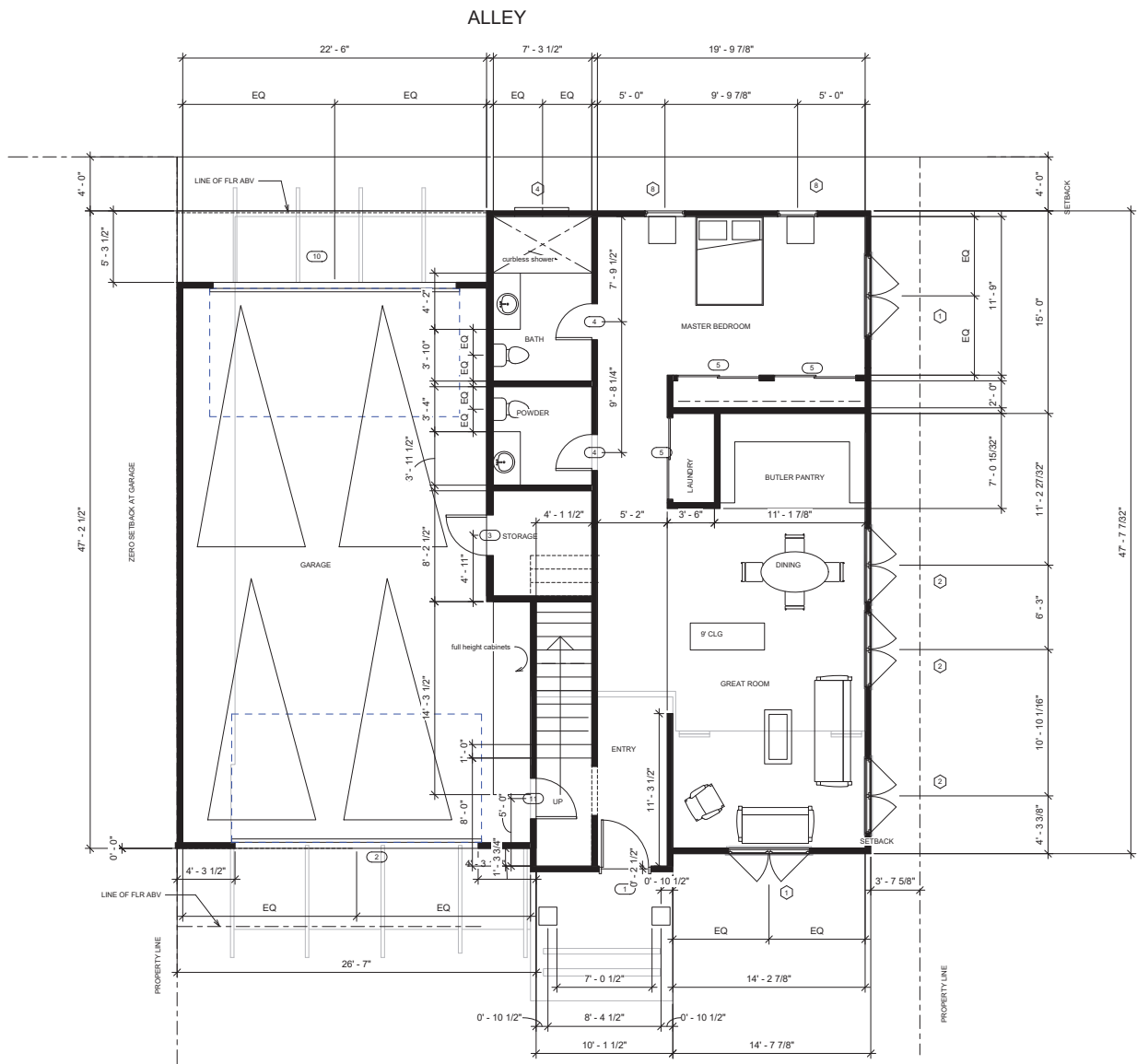
Project Architect: K. Otis

Drawn:

Sheet Number:

A3.1





Door Schedule			
Mark	Width	Height	Description
1	3'-6"	7'-6"	CUSTOM WOOD DOOR
2	18'-0"	8'-0"	Door Sectional 2400 Series Commercial
3	3'-0"	7'-0"	SLAB SINGLE PANEL SOLID CORE
4	2'-8"	7'-0"	SLAB SINGLE PANEL SOLID CORE
4	2'-8"	7'-0"	SLAB SINGLE PANEL SOLID CORE
4	2'-8"	7'-0"	SLAB SINGLE PANEL SOLID CORE
5	6'-0"	7'-0"	SLIDING CLOSET DOOR
5	6'-0"	7'-0"	SLIDING CLOSET DOOR
5	6'-0"	7'-0"	SLIDING CLOSET DOOR
5	6'-0"	7'-0"	SLIDING CLOSET DOOR
5	6'-0"	7'-0"	SLIDING CLOSET DOOR
7	2'-10"	7'-0"	SLAB SINGLE PANEL SOLID CORE
7	2'-10"	7'-0"	SLAB SINGLE PANEL SOLID CORE
7	2'-10"	7'-0"	SLAB SINGLE PANEL SOLID CORE
7	2'-10"	7'-0"	SLAB SINGLE PANEL SOLID CORE
7	2'-10"	7'-0"	SLAB SINGLE PANEL SOLID CORE
8	12'-0"	8'-0"	Wood Framed Folding System for Special Applications
9	9'-3 5/32"	8'-0"	Wood Framed Folding System for Special Applications
10	18'-0"	8'-0"	Door Sectional 2400 Series Commercial
11	9'-0"	7'-0"	SLAB SINGLE PANEL SOLID CORE

Window Schedule			
Mark	Width	Height	Description
1	6'-0"	5'-0"	PR CASEMENT, WOOD
1	6'-0"	5'-0"	PR CASEMENT, WOOD
2	5'-6"	5'-0"	PR CASEMENT, WOOD
2	5'-6"	5'-0"	PR CASEMENT, WOOD
2	5'-6"	5'-0"	PR CASEMENT, WOOD
2	5'-6"	5'-0"	PR CASEMENT, WOOD
2	5'-6"	5'-0"	PR CASEMENT, WOOD
2	5'-6"	5'-0"	PR CASEMENT, WOOD
3	3'-0"	4'-6"	CASEMENT, WOOD
3	3'-0"	4'-6"	CASEMENT, WOOD
4	4'-0"	2'-0"	AWNING WOOD TEMPERED
4	4'-0"	2'-0"	AWNING WOOD TEMPERED
4	4'-0"	2'-0"	AWNING WOOD TEMPERED
5	2'-0"	4'-0"	PR CASEMENT, WOOD
5	2'-0"	4'-0"	PR CASEMENT, WOOD
6	6'-0"	2'-6"	PR CASEMENT, WOOD
7	3'-0"	2'-0"	AWNING WOOD TEMPERED
8	3'-0"	3'-0"	SKYLIGHT

Keynote Legend	
Key Value	Keynote Text
1	WOOD CUSTOM DOOR
2	SMOOTH STUCCO - DUNN EDWARDS COLOR WHITE (DEW380)
3	MARVIN ULTIMATE COLLECTION WOOD WINDOWS WITH TRIM TYP.
4	INDULGY SLATTED WOOD GARAGE DOOR, STAINED
5	METAL CAP AT PARAPET WALL TO MATCH STUCCO
6	42" TALL IRON GUARDRAIL
7	DECORATIVE WOOD BEAMS WITH CORBEL END
8	DURANGO STONE TRAVERTINE FINISH ROMANO
9	SPANISH S-TILE ROOF SIMILAR TO MAIN HOUSE- MCA CLAY ROOF TILE- CLASSIC "S" MISSION FINISH: VINTAGE CARMEL BLEND CB364-R GROUT FILLED
10	FLAT ROOF 1/4":1" SLOPE TO DRAINS

Revisions:
By:

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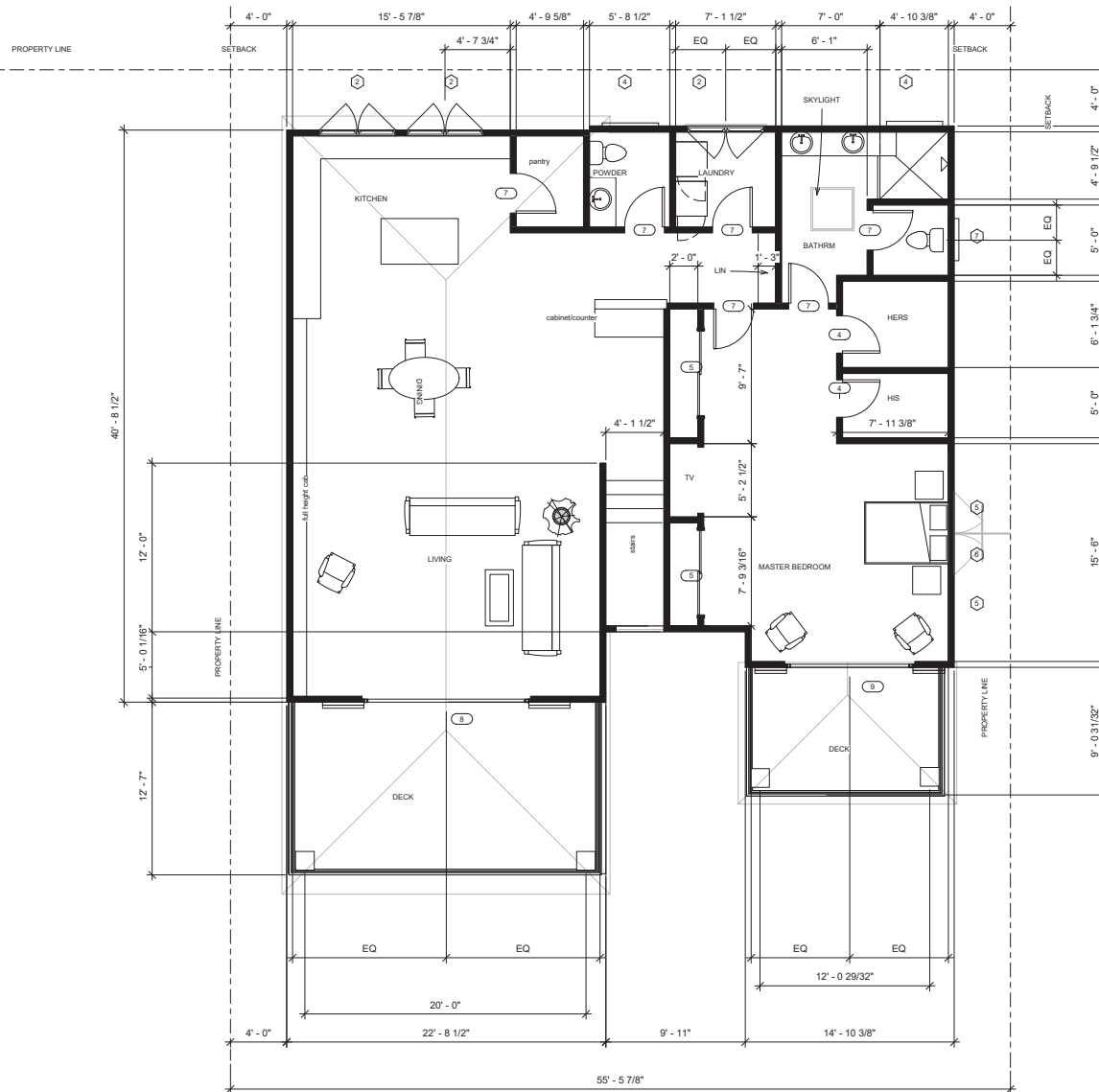
**FIRST FLOOR PLAN**

Date: 9/25/2021  
Project Architect: K. Olt  
Drawn:  
Sheet Number:

A4

# SECOND FLOOR PLAN

1/4"=1'-0"



Door Schedule			
Mark	Width	Height	Description
1	3'-6"	7'-6"	CUSTOM WOOD DOOR
2	18'-0"	8'-0"	Door Sectional 2400 Series Commercial
3	3'-0"	7'-0"	SLAB SINGLE PANEL SOLID CORE
4	2'-8"	7'-0"	SLAB SINGLE PANEL SOLID CORE
4	2'-8"	7'-0"	SLAB SINGLE PANEL SOLID CORE
4	2'-8"	7'-0"	SLAB SINGLE PANEL SOLID CORE
5	6'-0"	7'-0"	SLIDING CLOSET DOOR
5	6'-0"	7'-0"	SLIDING CLOSET DOOR
5	6'-0"	7'-0"	SLIDING CLOSET DOOR
5	6'-0"	7'-0"	SLIDING CLOSET DOOR
7	2'-10"	7'-0"	SLAB SINGLE PANEL SOLID CORE
7	2'-10"	7'-0"	SLAB SINGLE PANEL SOLID CORE
7	2'-10"	7'-0"	SLAB SINGLE PANEL SOLID CORE
7	2'-10"	7'-0"	SLAB SINGLE PANEL SOLID CORE
7	2'-10"	7'-0"	SLAB SINGLE PANEL SOLID CORE
7	2'-10"	7'-0"	SLAB SINGLE PANEL SOLID CORE
8	12'-0"	8'-0"	Wood Framed Folding System for Special Applications
9	9'-3 5/32"	8'-0"	Wood Framed Folding System for Special Applications
10	18'-0"	8'-0"	Door Sectional 2400 Series Commercial
11	3'-0"	7'-0"	SLAB SINGLE PANEL SOLID CORE

Window Schedule				
Mark	Width	Height	Sill Height	Description
1	6'-0"	5'-0"	3'-0"	PR CASEMENT, WOOD
1	6'-0"	5'-0"	3'-0"	PR CASEMENT, WOOD
2	5'-6"	5'-0"	3'-0"	PR CASEMENT, WOOD
2	5'-6"	5'-0"	3'-0"	PR CASEMENT, WOOD
2	5'-6"	5'-0"	3'-0"	PR CASEMENT, WOOD
2	5'-6"	5'-0"	3'-0"	PR CASEMENT, WOOD
2	5'-6"	5'-0"	3'-0"	PR CASEMENT, WOOD
3	3'-0"	4'-6"	3'-6"	CASEMENT, WOOD
3	3'-0"	4'-6"	3'-6"	CASEMENT, WOOD
4	4'-0"	2'-0"	6'-0"	AWNING WOOD TEMPERED
4	4'-0"	2'-0"	6'-0"	AWNING WOOD TEMPERED
4	4'-0"	2'-0"	6'-0"	AWNING WOOD TEMPERED
5	2'-0"	4'-0"	4'-0"	PR CASEMENT, WOOD
5	2'-0"	4'-0"	4'-0"	PR CASEMENT, WOOD
6	6'-0"	2'-0"	6'-0"	AWNING WOOD TEMPERED
7	3'-0"	2'-0"	6'-0"	AWNING WOOD TEMPERED
8	3'-0"	3'-0"		SKYLIGHT

WOOD WINDOWS BY PELLA  
GARAGE DOOR BY AMARR IN WOOD MAHOGANY TONE

Keynote Legend	
Key Value	Keynote Text
1	WOOD CUSTOM DOOR
2	SMOOTH STUCCO - DUNN EDWARDS COLOR WHITE (DEW380)
3	MARVIN ULTIMATE COLLECTION WOOD WINDOWS WITH TRIM TYP.
4	INDULGY SLATTED WOOD GARAGE DOOR, STAINED
5	METAL CAP AT PARAPET WALL TO MATCH STUCCO
6	42" TALL IRON GUARDRAIL
7	DECORATIVE WOOD BEAMS WITH CORBEL END
8	DURANGO STONE TRAVERTINE FINISH ROMANO
9	SPANISH S-TILE ROOF SIMILAR TO MAIN HOUSE- MCA CLAY ROOF TILE- CLASSIC "S" MISSION FINISH- VINTAGE CARMEL BLEND CB364-R GROUT FILLED
10	FLAT ROOF 1/4":1' SLOPE TO DRAINS

Revisions:
By:

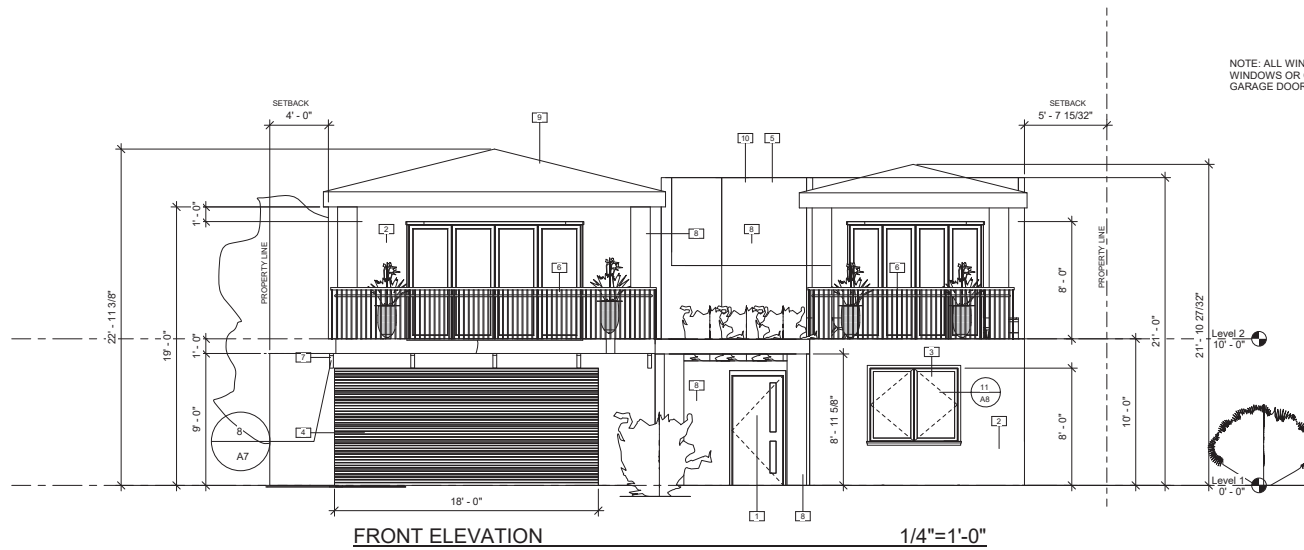
Otis Architecture + Interiors  
16845 E. AVE. OF THE FOUNTAINS # 107  
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480.530.4243  
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Long Beach, CA

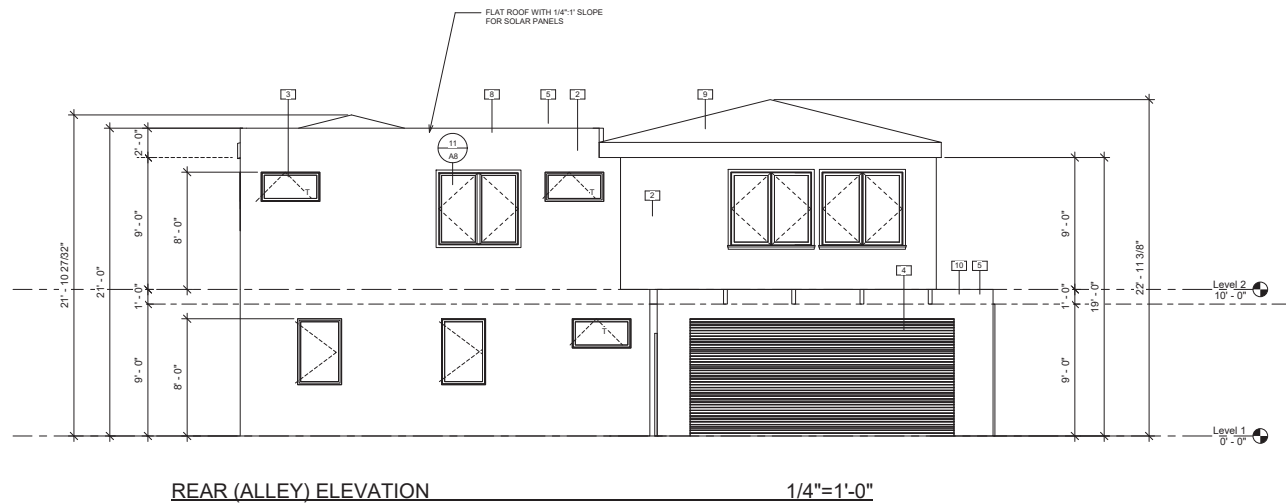
SECOND FLOOR PLAN

Date: 9/25/2021  
Project Architect: K. Olt  
Drawn:  
Sheet Number:

A5



Keynote Legend	
Key Value	Keynote Text
1	WOOD CUSTOM DOOR
2	SMOOTH STUCCO - DUNN EDWARDS COLOR WHITE (DEW380)
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Revisions: By:



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**FRONT AND REAR  
ELEVATIONS**

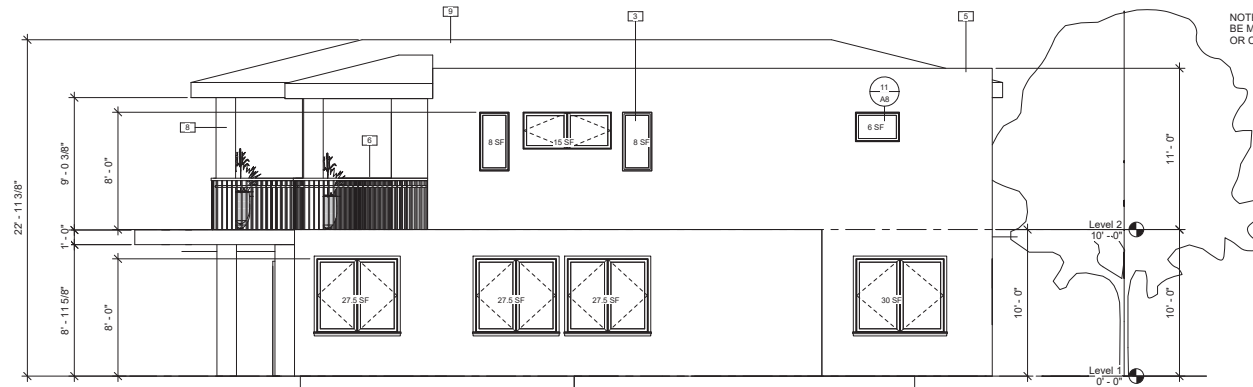
Date: 9/25/2021

Project Architect: K. Otis

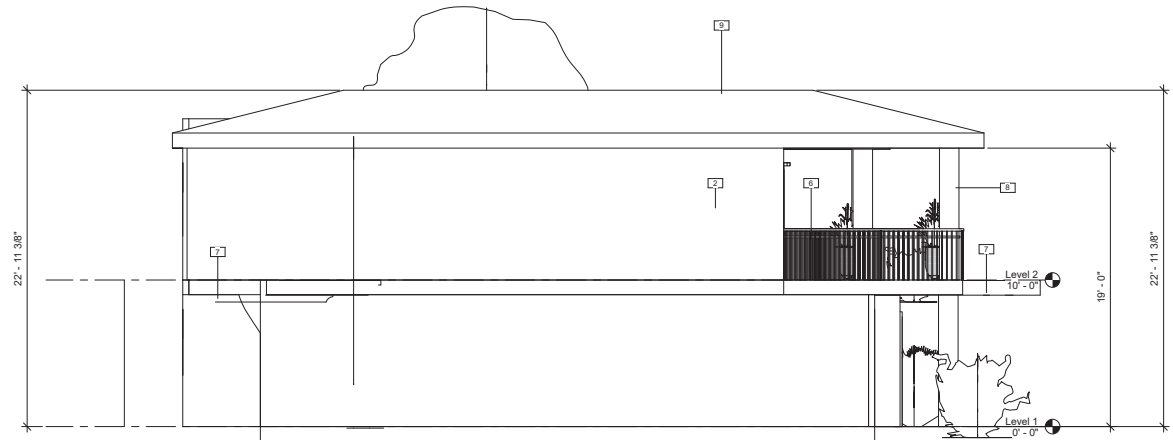
Drawn:

Sheet Number:

A6



RIGHT SIDE ELEVATION 1/4"=1'-0"



LEFT SIDE ELEVATION 1/4"=1'-0"

Keynote Legend	
Key Value	Keynote Text
1	WOOD CUSTOM DOOR
2	SMOOTH STUCCO - DUNN EDWARDS COLOR WHITE (DEW380)
3	MARVIN ULTIMATE COLLECTION WOOD WINDOWS WITH TRIM TYP.
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**SIDE ELEVATIONS**

Date: 9/25/2021

Project Architect: K. Otis

Drawn:

Sheet Number:

A7





