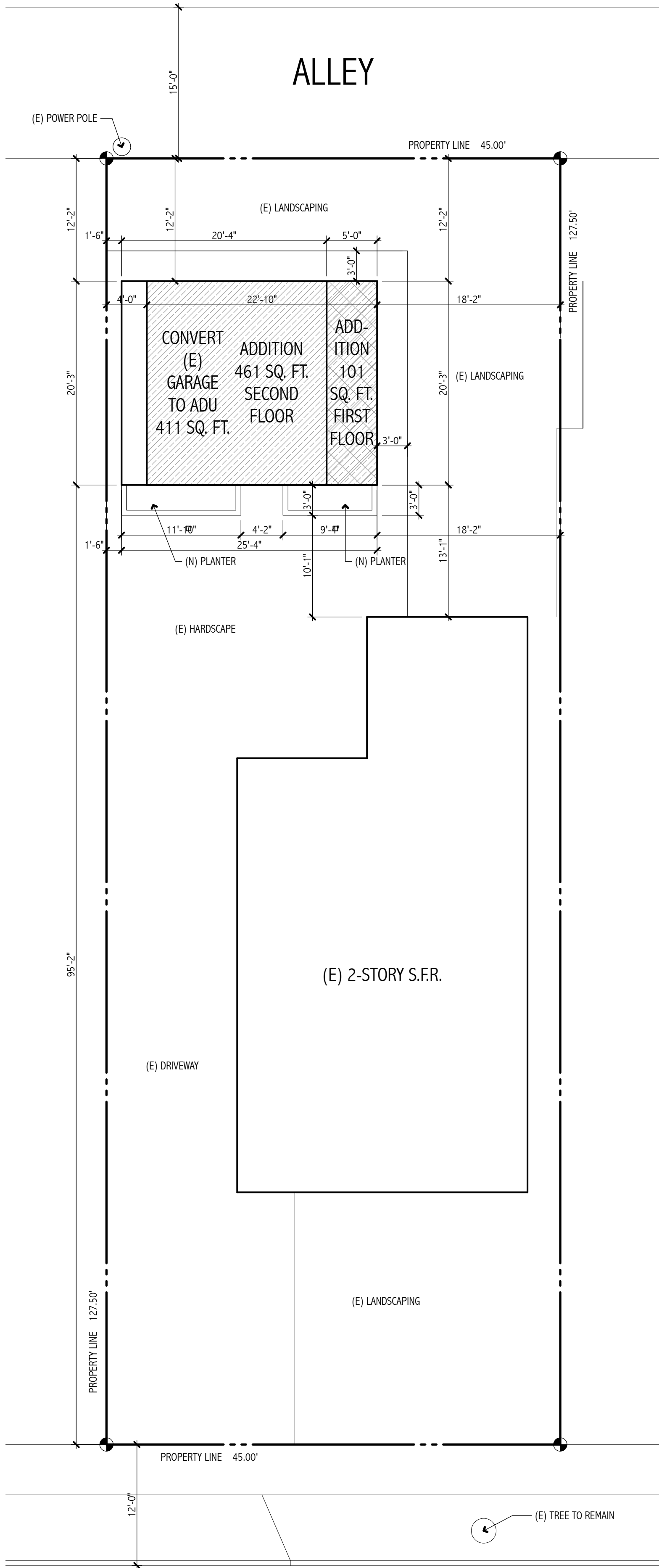


Attachment C



SITE PLAN
SCALE: 1/8" = 1'-0"

GAVIOTA AVENUE



ACCESSORY DWELLING UNIT

PROJECT TEAM

OWNER

JAMES DE YOUNG
3435 N GAVIOTA AVENUE
LONG BEACH, CA 90807

STRUCTURAL ENGINEER

RAY LIU ASSOCIATES, CORP.
CONTACT: RAY LIU
3452 EAST FOOTHILL BOULEVARD, SUITE 620
PASADENA, CA 91107
626-529-3858

DRAFTING/CONSULTING

NORI FUKUDA BUILDING DESIGN AND CONSULTING
CONTACT: NORI FUKUDA
15435 YUKON AVENUE
LAWDALE, CA 90260
424-294-3027

TITLE 24

NRG COMPLIANCE, INC.
CONTACT: RICK ROCKLEWITZ
P.O. BOX 3777
SANTA ROSA, CA 95402
707-237-6957

INDEX

ARCHITECTURAL

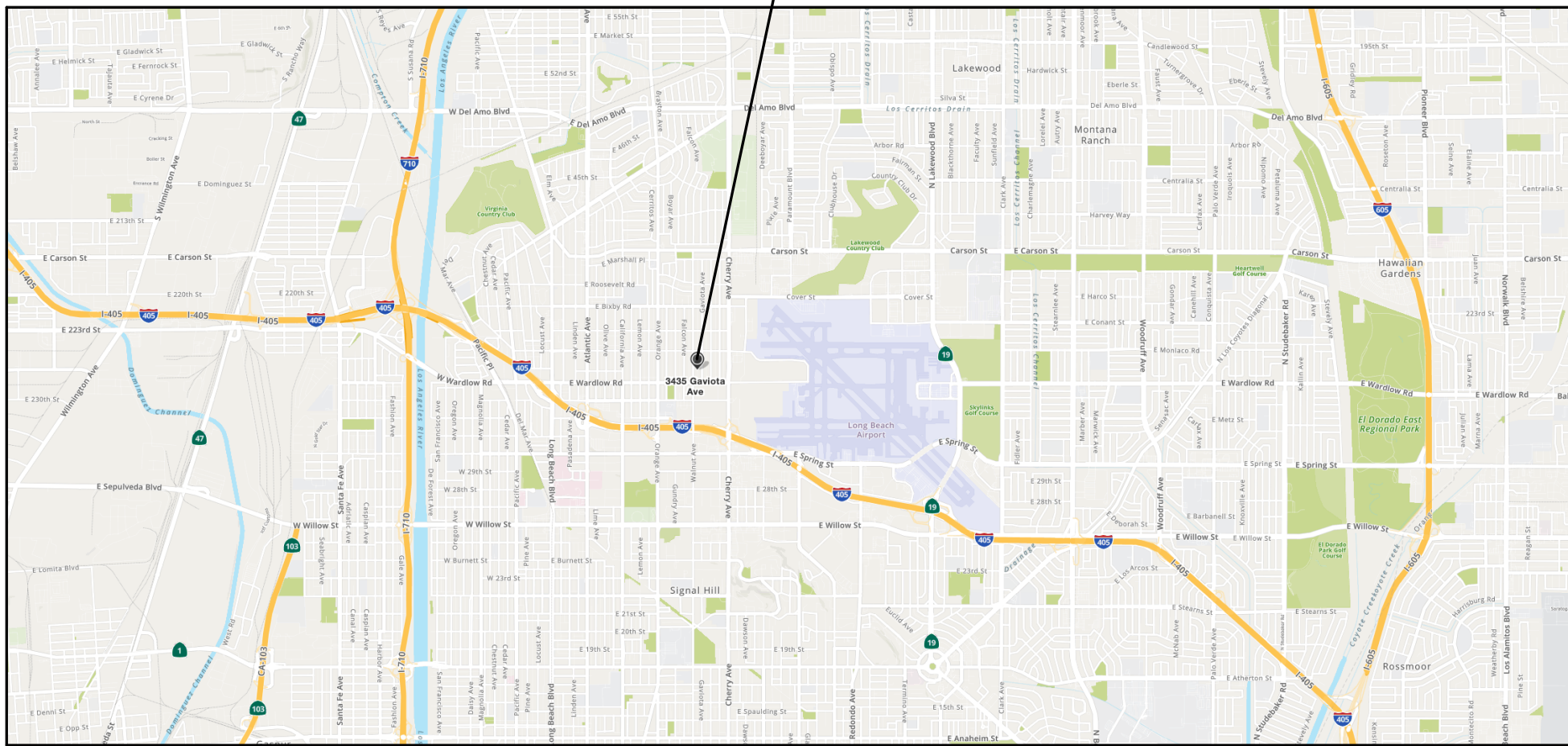
T	COVER SHEET AND SITE PLAN AND CITY NOTES
A3.0	EXISTING/DEMO FLOOR PLAN, PROPOSED FLOOR PLAN, ROOF PLAN,
A4.0	EXTERIOR ELEVATIONS AND SECTIONS AND DOOR AND WINDOW SCHEDULE
A5.0	3D
A5.1	3D

GENERAL REQUIREMENTS

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS VAULTS, PUMPS, VALVES, METER ENCLOSURES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
 - AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158) (SEPARATE PLUMBING PERMIT IS REQUIRED)
 - PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3)
 - KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
 - BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
 - PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
 - PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
 - UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NO REQUIRED). (R308.6.9)
 - WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3 LAPC)
 - FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 5'4" ABOVE THE FLOOR. P/B/C 2008-014
 - FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME IS REQUIRED FOR TEH SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER THE ASSEMBLY BILL (AB) NO. 2977.
 - AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
 - SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
 - WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
 - EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE TEH FLOOR LEVEL. (R303.1)

PROJECT INFORMATION

VICINITY MAP



LEGAL DESCRIPTION

TRACT: 10608
BLOCK: NONE
LOT: 160
A.P.N.: 7147-020-008

PROJECT DESCRIPTION

ADU - (E) CONVERT GARAGE INTO 2-STORY ACCESSORY DWELLING UNIT

CONSTRUCTION

TYPE VB

PROJECT INFORMATION

LOT SIZE:	5,737.5 SQ.FT.
ZONE:	R-1-N
OCCUPANCY GROUP:	R3 / U
ROOF ASSEMBLY:	(N) COMPOSITION ROOF
NO. OF STORIES:	(N) 2 STORY
(E) HEIGHT OF MAIN HOUSE	24'-9"
(N) HEIGHT OF PROPOSED ADU	22'-8"
(E) GARAGE INTO ADU SQ. FT.:	411 SQ. FT.
(N) FIRST FLOOR ADU SQ. FT.:	101 SQ. FT.
(N) SECOND FLOOR ADU SQ. FT.:	461 SQ. FT.
(N) TOTAL ADU SQ. FT.:	973 SQ. FT.
(E) MAIN HOUSE SQ. FT.:	2,073 SQ. FT.

MAX LOT COVERAGE 50%:	2,868.75 SQ. FT. > 1,462 SQ. FT. + 411 SQ. FT. + 101 SQ. FT. = 1,974 SQ. FT.	MEETS REQ'D
MAX FLOOR AREA RATIO 60%:	3,442.5 SQ. FT. > 2,073 SQ. FT. + 973 SQ. FT. = 3,046 SQ. FT.	MEETS REQ'D
MIN. OPEN SPACE 16%:	918 SQ. FT. < 1,516 SQ. FT. OF OPEN SPACE IN REAR OF PROPERTY	MEETS REQ'D

2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA ENERGY CODE (CenC)
2019 CALIFORNIA GREEN BUILDING STANDARD CODE

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Convert (E) Garage to ADU

3435 N Gaviota Avenue
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REVISIONS

NO.	DESCRIPTION	DATE

JOB NO.	20-60
DATE	12/16/21
DRAWN	NF
SCALE	SEE DWG

DRAWING TITLE

TITLE SHEET

SHEET NO.

T

- SD

SMOKE DETECTOR

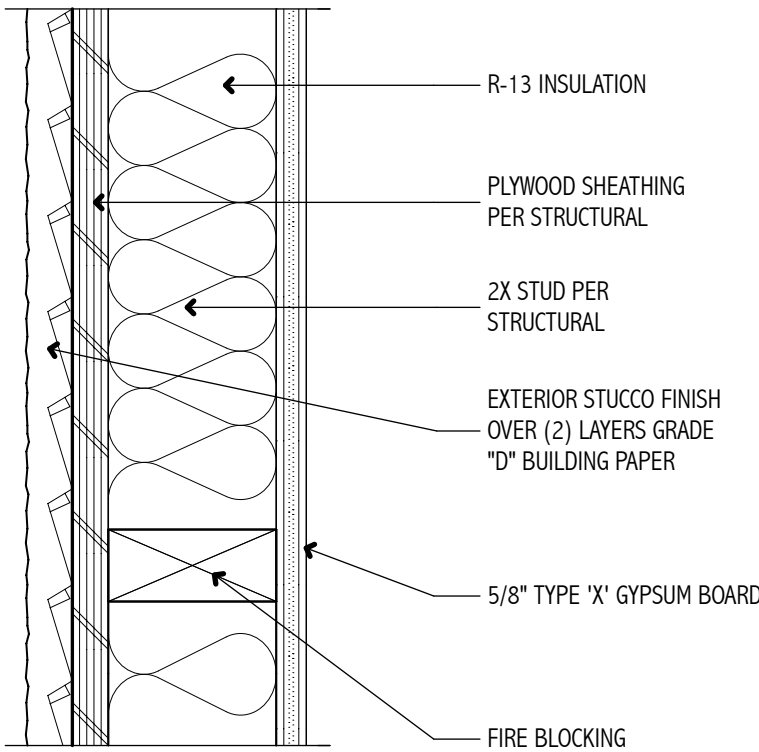
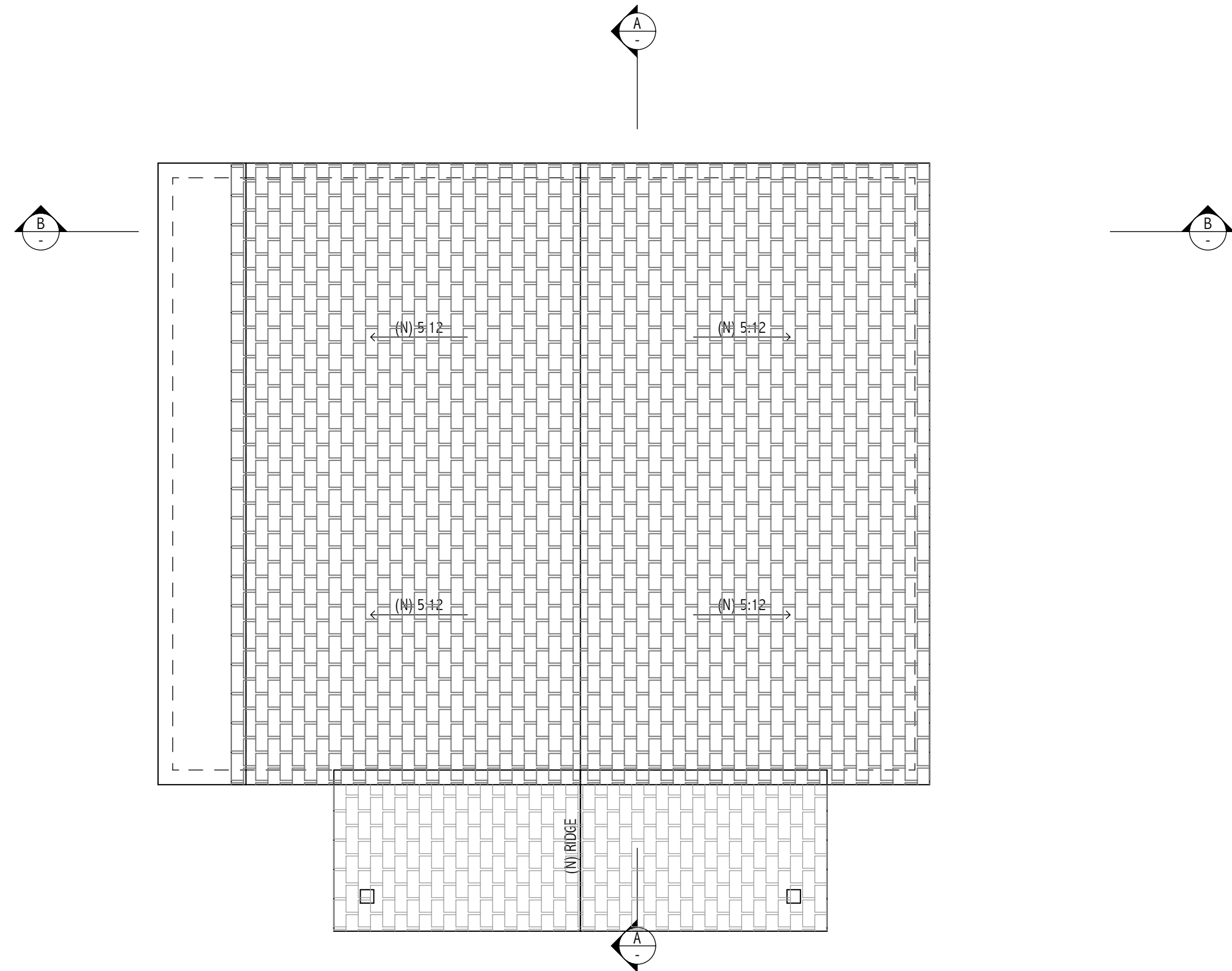
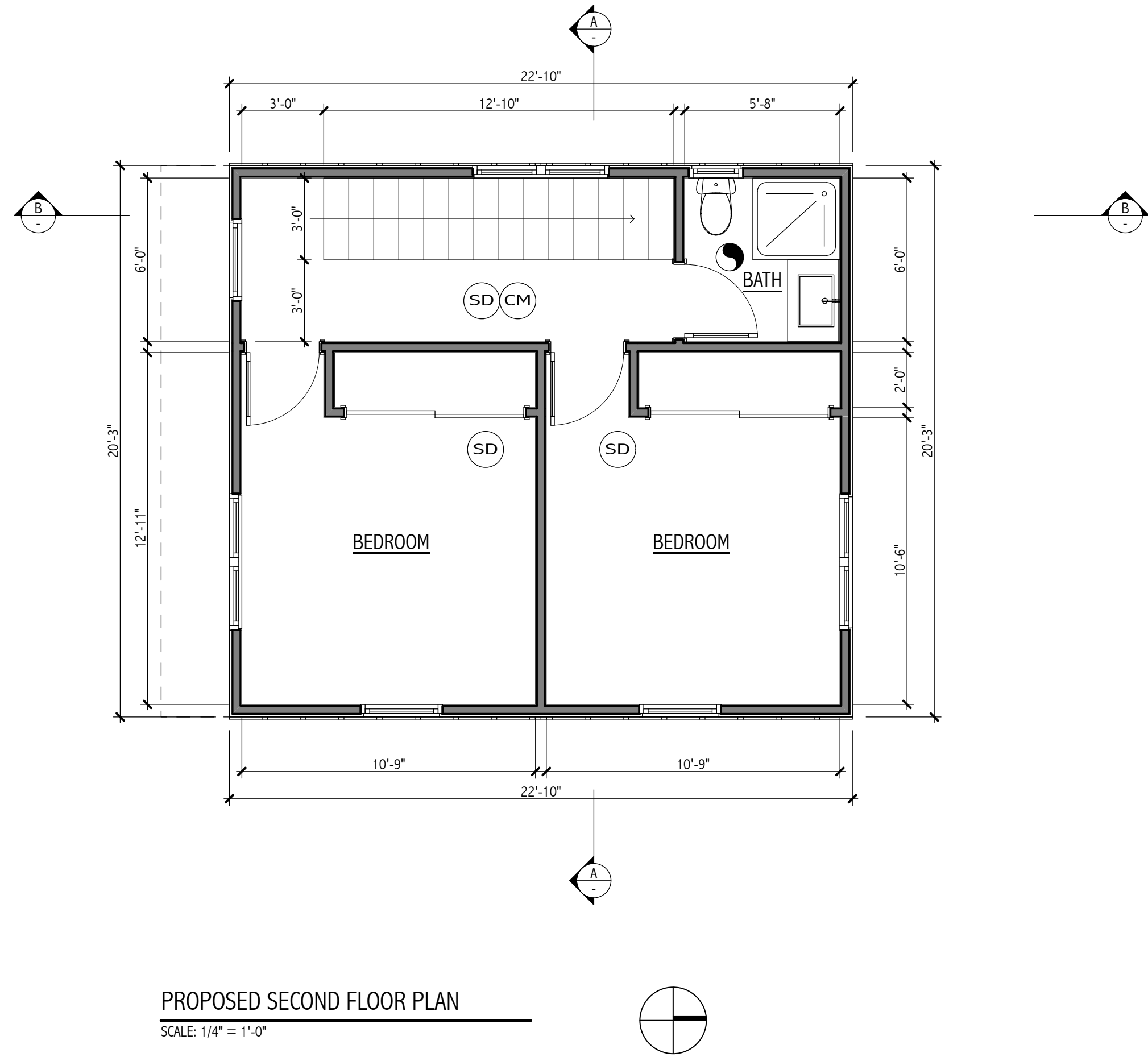
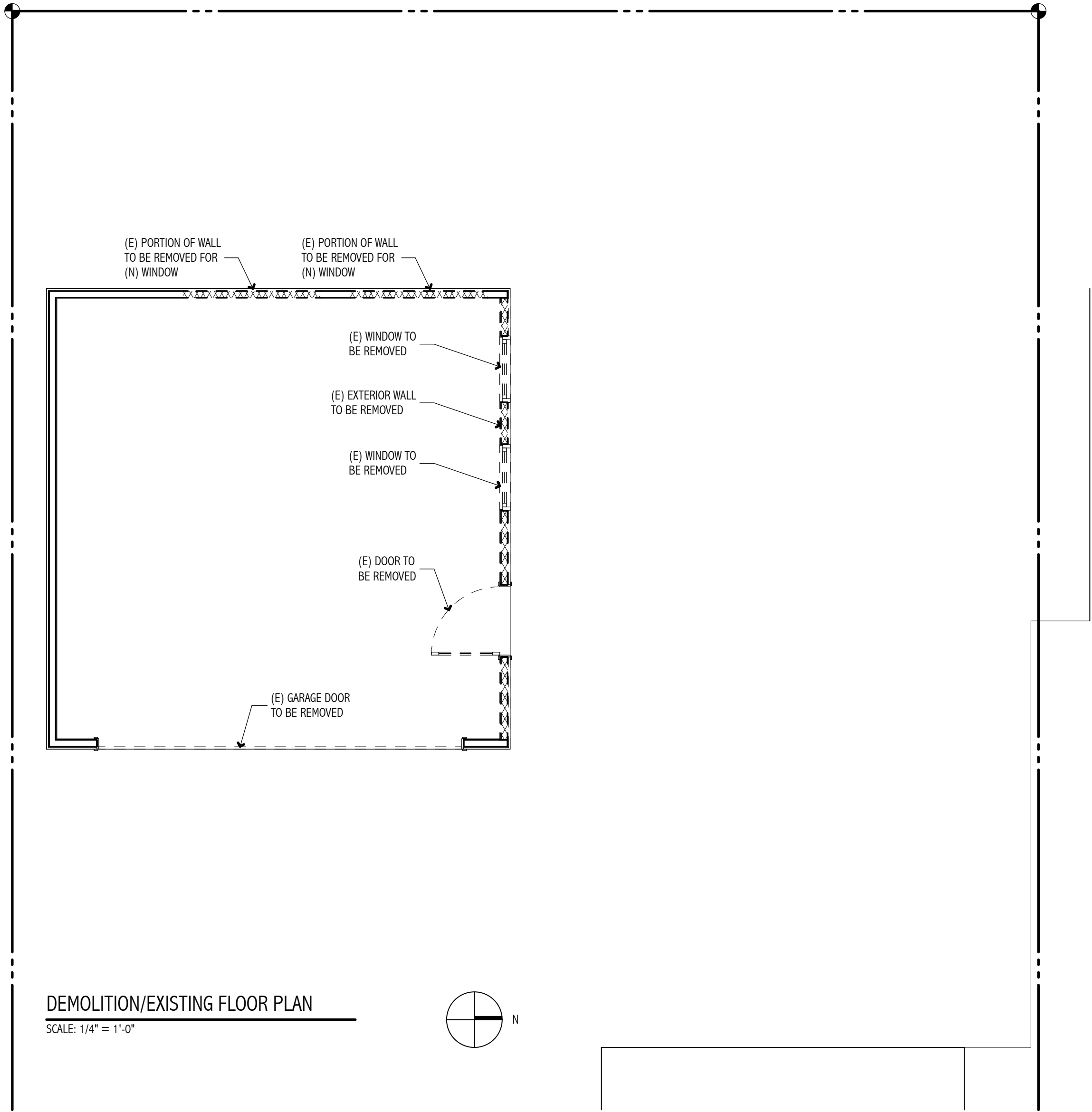
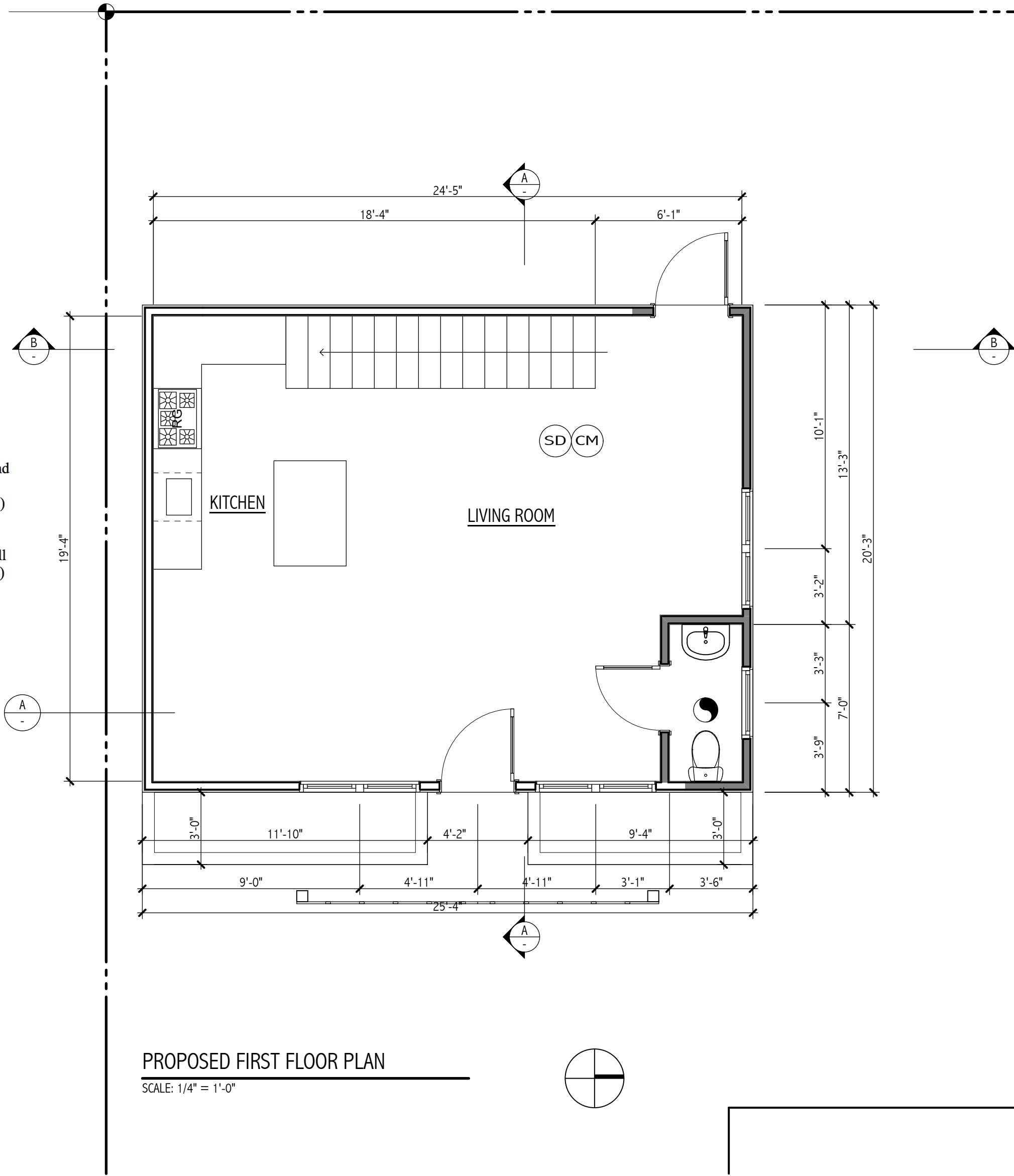
THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED
- CM

CARBON MONOXIDE SMOKE ALARM

THE CARBON MONOXIDE SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- EXHAUST FAN ENERGY STAR 50 CFM MIN. HUMIDITY CONTROL

24. Newly installed bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building. Provide the manufacturer's cut sheet for verification. (4.506.1)
25. Newly installed bathroom exhaust fans, not functioning as a component of a whole house ventilation system, must be controlled by a humidistat which shall be readily accessible. (4.506.1)

HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68° F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)



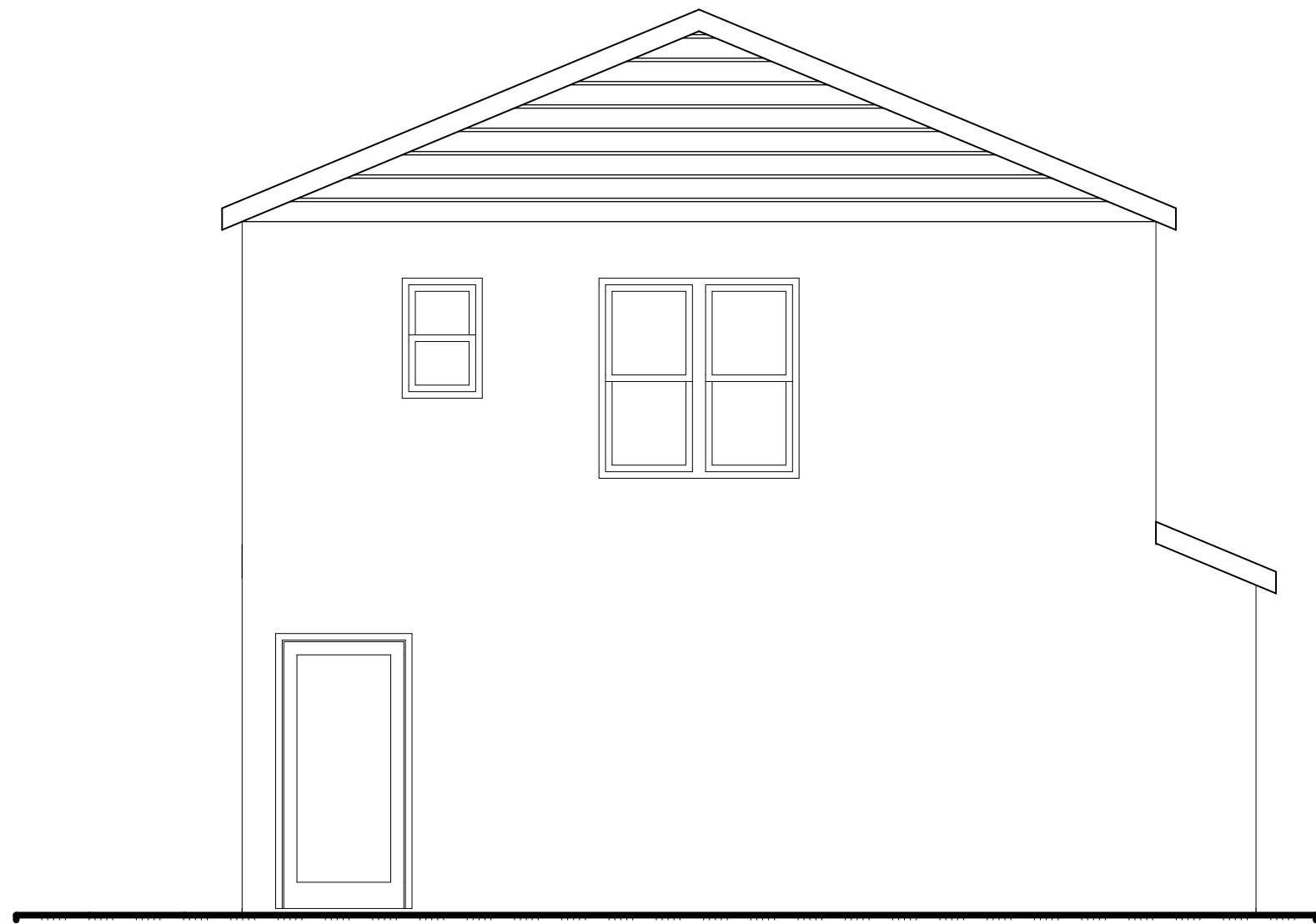
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y2nori@hotmail.com

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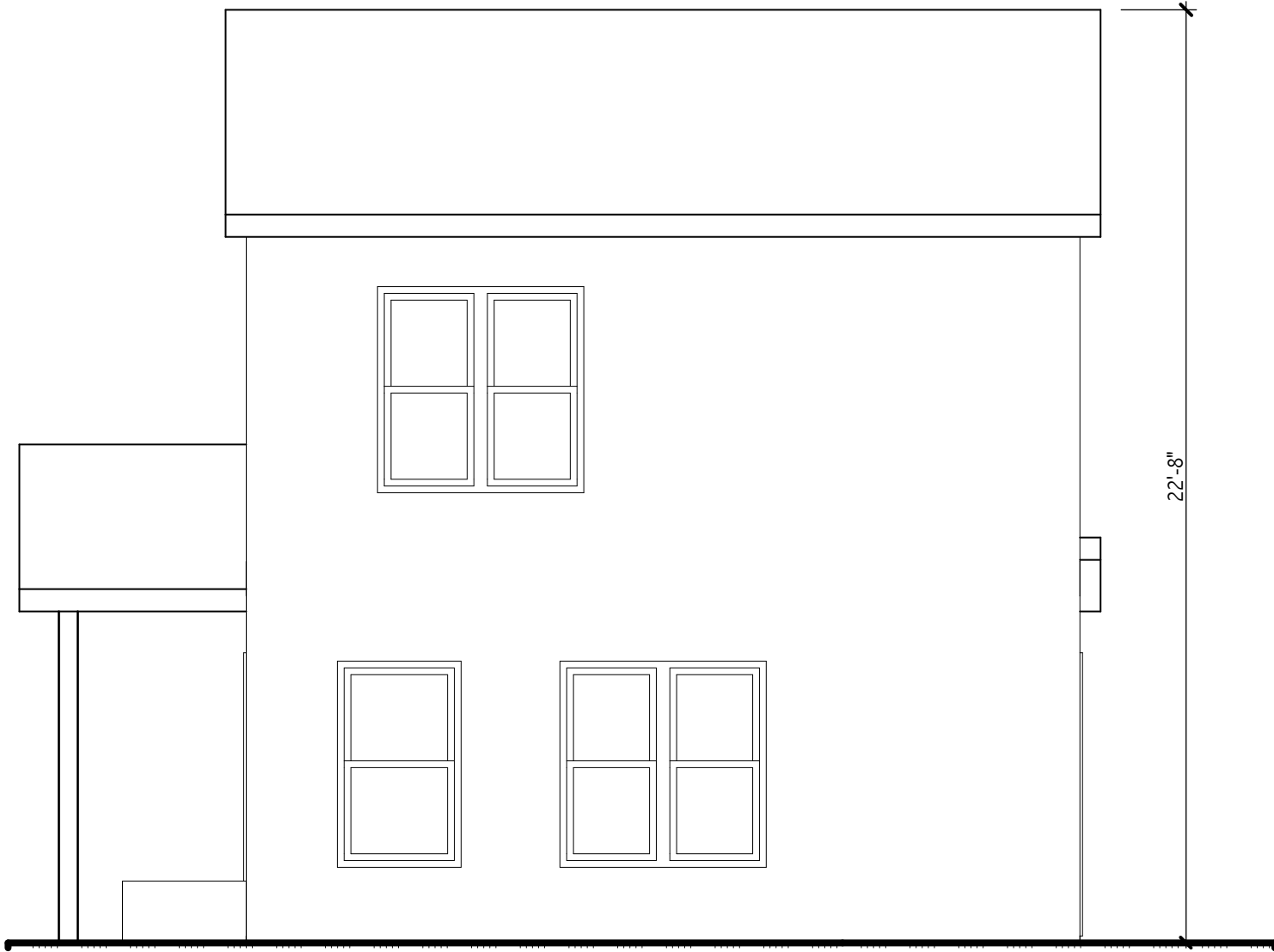
REVISIONS		

JOB NO.	20-60
DATE	12/16/21
DRAWN	NF
SCALE	SEE DWG
DRAWING TITLE	
EXISTING/DEMOLITION PLAN, PROPOSED FIRST FLOOR PLAN, PROPOSED SECOND FLOOR PLAN, AND ROOF PLAN	
SHEET NO.	

A3.0



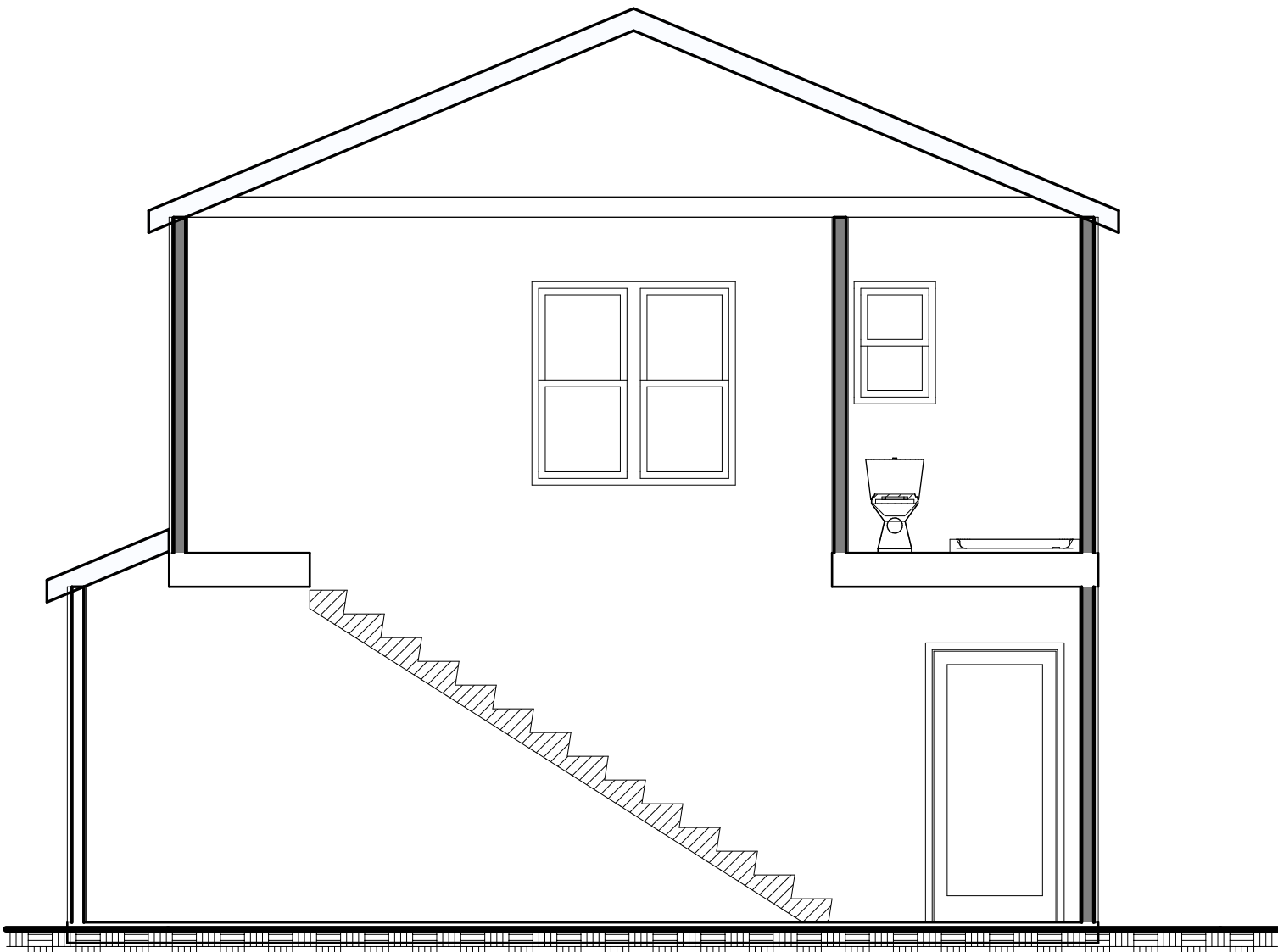
WEST ELEVATION
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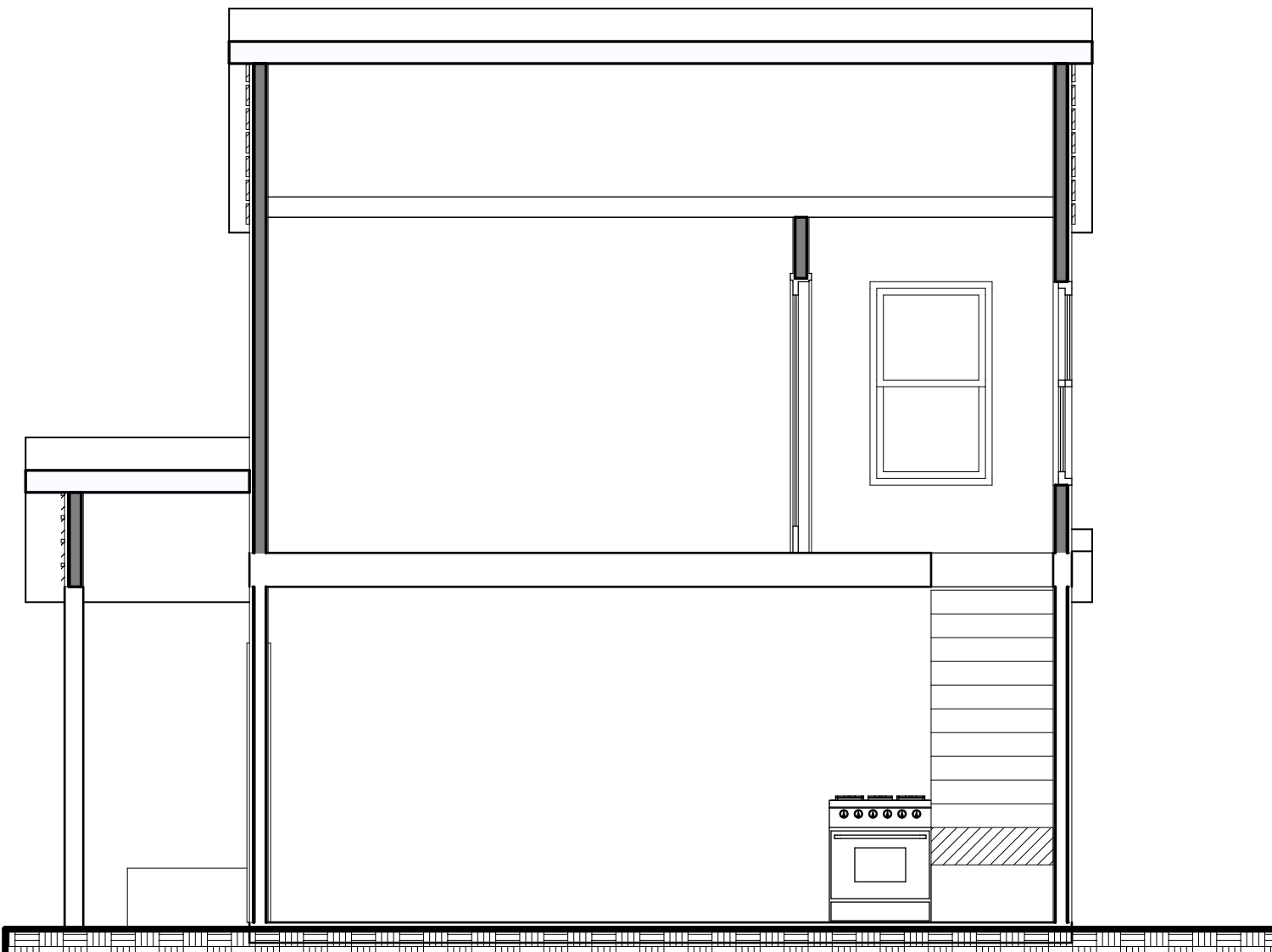
NORTH ELEVATION
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EAST ELEVATION
SCALE: 1/4" = 1'-0"



SECTION B
SCALE: 1/4" = 1'-0"



SECTION A
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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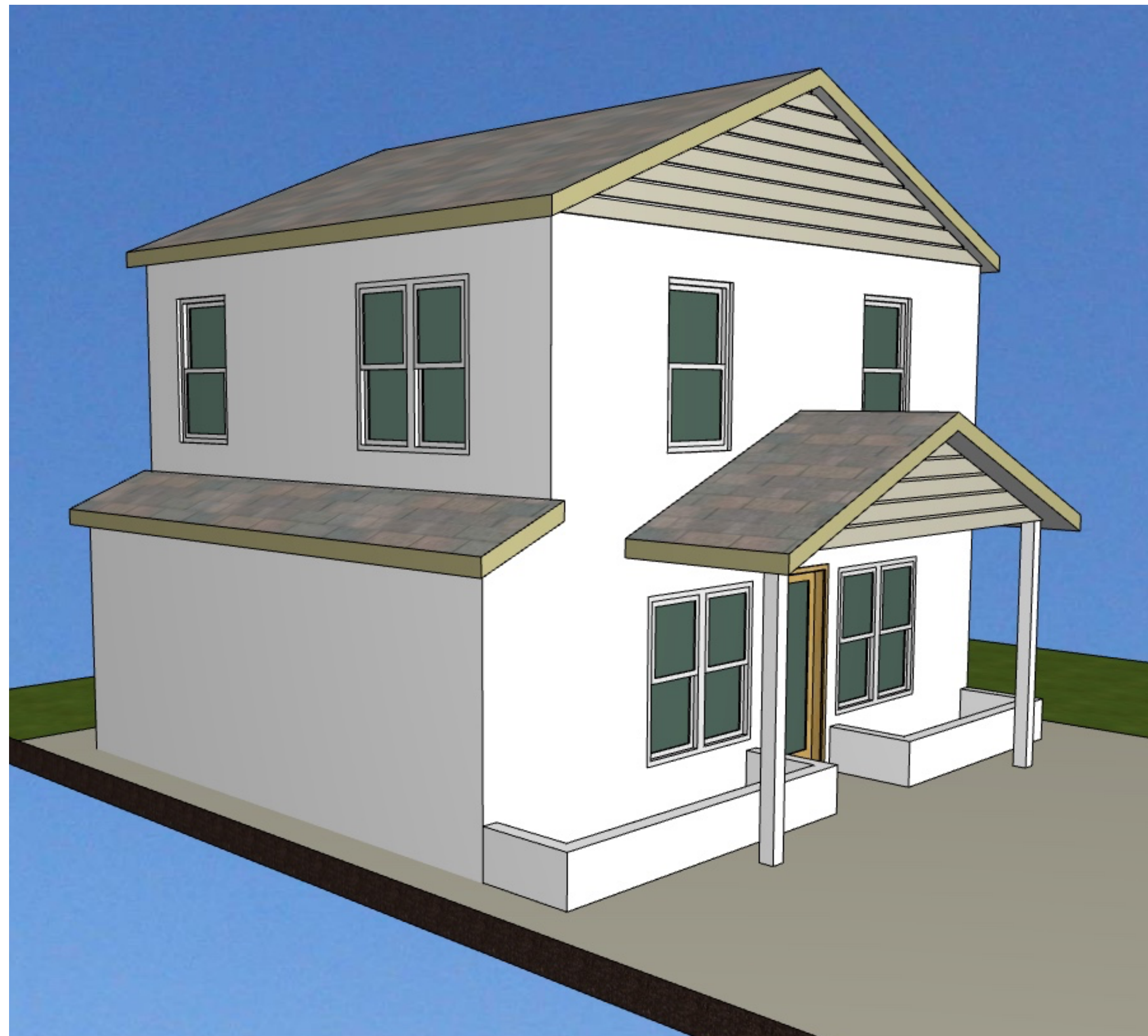
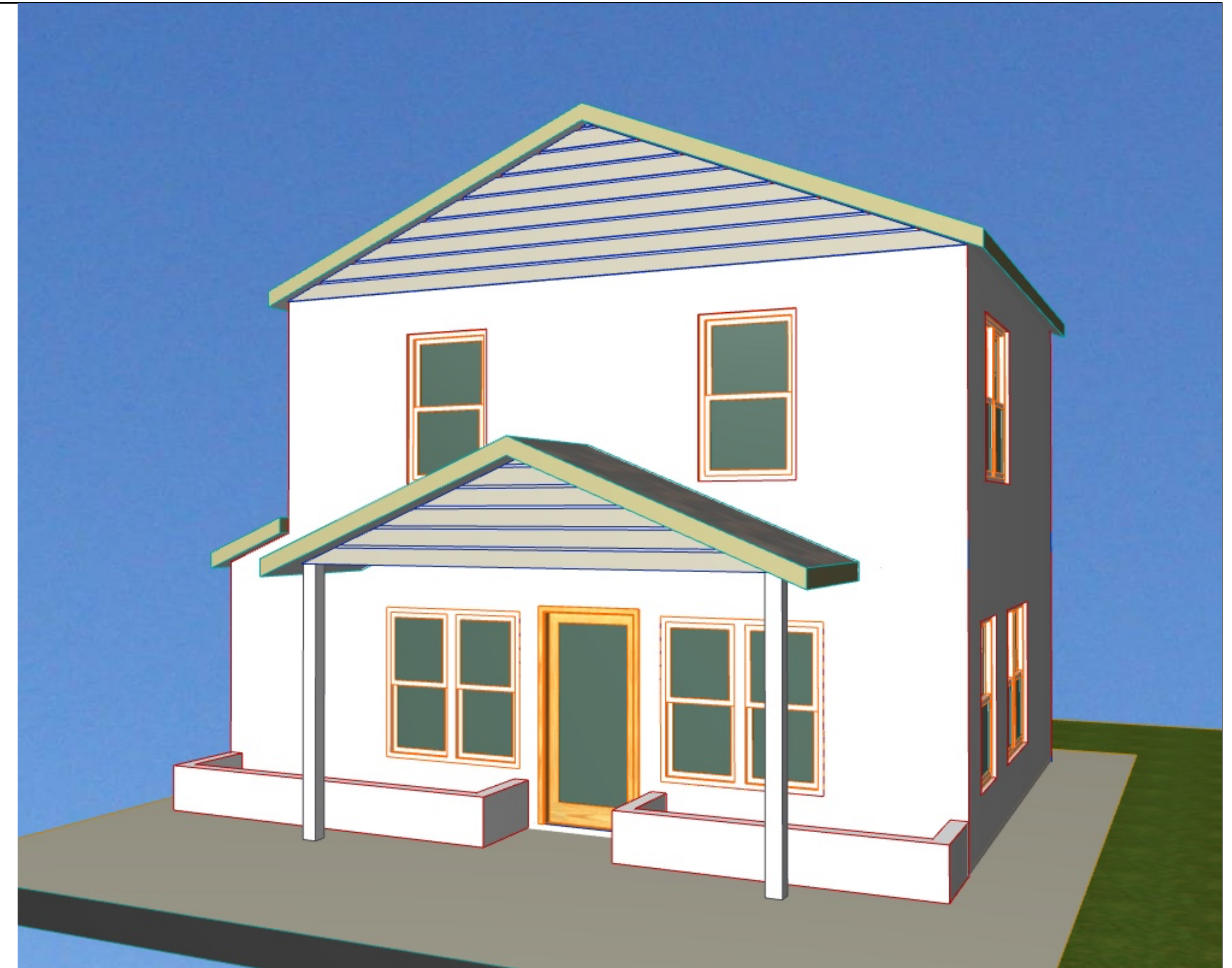
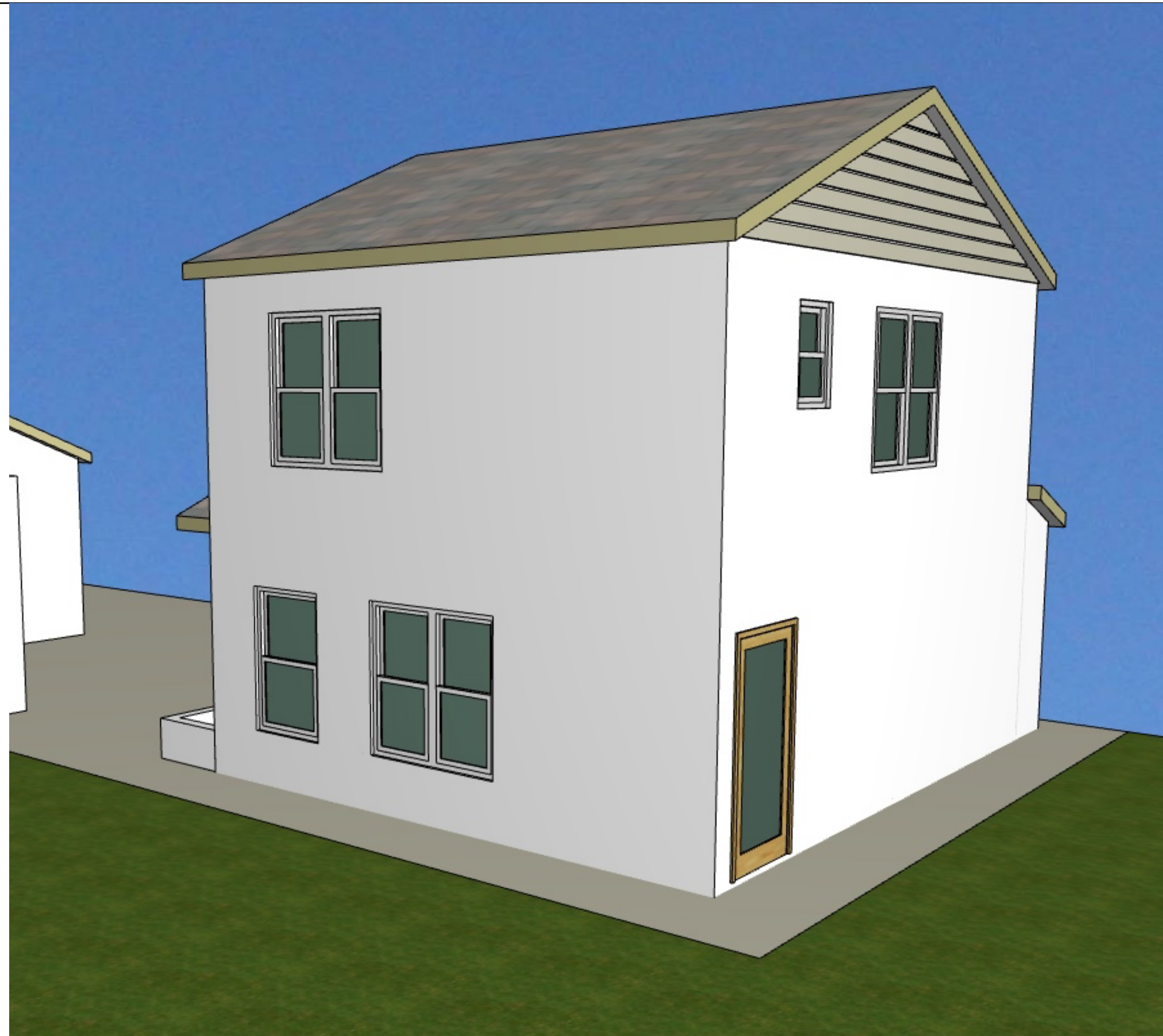
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3435 N Gaviota Avenue
Long Beach, CA 90807

REVISIONS		

JOB NO.	20-60
DATE	12/16/21
DRAWN	NF
SCALE	SEE DWG
DRAWING TITLE	
EXTERIOR ELEVATIONS, SECTIONS , AND DOOR AND WINDOW SCHEDULE	
SHEET NO.	

A4.0



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Convert (E) Garage to ADU

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Long Beach, CA 90807

[illegible]

DATE	12/16/21
BY	NF
REVISION	SEE DWG

WING TITLE

ET NO.

A5.0



Nori Fukuda Building Design and Consulting 15435 Yukon Avenue Lawndale, CA 90260 T 424-294-3027 F 424-294-3027 y2nori@hotmail.com		
Convert (E) Garage to ADU		3435 N Gaviota Avenue Long Beach, CA 90807
REVISIONS		
JOB NO.	20-60	
DATE	12/16/21	
DRAWN	NF	
SCALE	SEE DWG	
DRAWING TITLE		
3D		
SHEET NO.		
A5.1		