

31516  
RIGHT OF ENTRY AGREEMENT  
BETWEEN

LBUSD No. 3807.01  
AUTHORIZED  
BY  
BOARD ACTION  
JUN - 2 2009  
Date By

LONG BEACH UNIFIED SCHOOL DISTRICT  
AND CITY OF LONG BEACH

**THIS AGREEMENT** ("Agreement") is approved and entered into as of June 2, 2009, by and between the Long Beach Unified School District ("District") and the City of Long Beach ("City") (collectively, the "Parties").

**WHEREAS**, District owns certain real property located at 1600 Atlantic Avenue within the City of Long Beach, County of Los Angeles, State of California, more commonly known as Polytechnic High School (the "School Property"). Attached hereto and incorporated herein as Exhibit "A" is a map depicting the School Property;

**WHEREAS**, City is widening a portion of Atlantic Avenue and installing a right hand turn lane and public sidewalk;

**WHEREAS**, City desires to enter upon the School Property for the purposes of, at City's sole expense, widening a portion of Atlantic Avenue and installing a right hand turn lane and public sidewalk (collectively, the "Improvements") on a strip of property located on a portion of the School Property parking lot which borders Atlantic Avenue. In addition to installing the Improvements, City, at City's sole expense, shall be responsible for additional improvements on the School Property that include but are not limited to repaving and re-striping of the parking lot, landscaping, and fence relocation ("Additional Work") (the Improvements and the Additional Work shall collectively be referred to as the "Work"). Attached hereto and incorporated herein as Exhibit "B" are plans and specifications for the Work;

**WHEREAS**, District desires to authorize City to enter the School Property for the limited purpose of performing the activities necessary to complete the Work.

**NOW THEREFORE**, the parties hereto agree as follows:

**Section 1. Grant of Entry.** Pursuant to the terms of this Agreement, District grants City, including City's agents, employees, contractors, and consultants, an exclusive license (the "License") to enter upon the School Property at reasonable times for the limited purpose of performing the Work. Prior to utilizing the License or entering upon the School Property, City shall coordinate with District, either telephonically or in writing, in order to ensure that District activities are not disrupted.

**Section 2. Term.** The License shall commence on June 3, 2009 and shall remain in effect until the completion of the Work. In the event that City abandons the Work by either providing written notice to District of such abandonment or if there is a cessation of the Work beyond a three (3) month period ("Abandonment Period"), this License shall be deemed terminated.

**Section 3. Conditions of Use**

A. City shall be responsible for and shall pay for any repairs or replacements of any character whatsoever which are occasioned or are made necessary because of the negligence or misuse of the School Property by City's employees or invitees. In the event that City fails to maintain or repair the School Property during the term of the License, District shall provide City with written notification of such failure and City shall have thirty (30) days to cure; thereafter, District may, at District's sole discretion, undertake any maintenance or repair of the School Property and City shall reimburse District for the costs of such repairs or maintenance within thirty (30) days of invoice by District.

B. City shall provide a construction schedule to District as soon as possible after execution of this Agreement and thereafter shall provide construction progress updates promptly upon request of District. In the event that (i) the Additional Work (not including the fence relocation) is delayed, (ii) District determines that such Additional Work is unlikely to be completed prior to September 4, 2009, and (iii) then City shall use its best efforts to work with District to locate and provide adequate temporary parking for District.

C. On or before the date of termination of this License, City shall, at its sole expense, remove from the School Property all of City's property, equipment, and fixtures, and shall, at City's sole cost and expense, clean up and remove all rubbish and debris, and place School Property in the same order and condition as existed at the commencement of this License, Improvements associated with the Work and reasonable wear and tear excepted. In the event that City fails to clean up and maintain the School Property, District shall provide City with written notification of such failure and City shall have thirty (30) days to cure; thereafter, District may, at District's sole discretion, undertake any clean up or maintenance of the School Property and City shall reimburse District for the costs of such clean up or maintenance within thirty (30) days of invoice by District.

D. Upon termination or expiration of the License, City shall have sole responsibility to maintain and repair the Improvements in accordance with the terms and conditions of that easement agreement which has or shall be entered into between District and City ("Easement"), the form of the Easement is attached hereto as Exhibit "C". Under no circumstances shall District have any obligation to maintain, repair or replace the Improvements associated with the Work. Ongoing maintenance of the Additional Work shall be the responsibility of District.

**Section 4. Insurance.**

A. General Liability. City agrees to maintain in full force and effect throughout the duration of the Agreement commercial general liability insurance equivalent in scope to ISO CG 00 01 11 85, including contractual coverage, coverage from and against claims, demands, causes of action, expenses, costs, or liability for injury to or death of persons, or damage to or loss of property arising out of activities solely performed by or on behalf of City or caused by or connected with City's use of the School Property under this Agreement. Such insurance shall be in amounts not less than \$1,000,000 per occurrence; and \$3,000,000 for general aggregate. Said insurance shall be primary with respect to District.

B. Automobile Liability. City also agrees to maintain in full force and effect for the duration of this Agreement commercial automobile liability insurance equivalent in scope to ISO CA 00 01 06 92, covering Symbol 1 (any auto) with a combined single limit of \$1,000,000 per accident.

C. Workers' Compensation. City shall also maintain, in full force and effect throughout the term of this Agreement, Workers' Compensation insurance in accordance with the laws of California, and employers' liability insurance with a limit of not less than \$1,000,000 per employee and \$1,000,000 per occurrence.

D. Notice: Additional Named Insureds. All insurance required under this Agreement shall be issued by a company or companies lawfully authorized to do business in California as admitted carriers. District shall be designated as an additional named insured on a form equivalent in scope to ISO CG 20 26 11 85. Prior to entry, City shall provide District with Certificates of Insurance.

E. Self-Insurance. City has the right to self-insure all or any portion of its insurance obligations herein.

**Section 5. Indemnification.** City shall be responsible for, and District shall not be answerable or accountable in any manner for, any loss or expense by reason of any damage or injury to person or property, or both, arising out of the acts of City, its agents, officers, employees, or invitees, or resulting from City's activities on the School Property or from any cause whatsoever arising out of or in connection with this Agreement, the performance of activities necessary to complete the Work, and any other use of and operations on the School Property. City shall indemnify District, its officers, agents, employees, and invitees against and will hold and save them and each of them harmless from any and all actions, claims, damages to persons or property, penalties, obligations or liabilities (collectively, the "Losses") that may be asserted or claimed by any person, firm, association, entity, corporation, political subdivision, or other organization arising out of or in connection with City's activities on the School Property, the performance of activities necessary to complete the Work, and any other use of and operations on the School Property, whether or not there is concurrent passive negligence on the part of District, its agents, employees or officers, except to the extent that Losses are caused by the sole negligence or willful misconduct of District, and in connection therewith:

A. Actions Filed. City shall defend any action or actions filed in connection with any of said claims, damages, penalties, obligations or liabilities, and will pay all costs and expenses, including attorneys' fees incurred in connection therewith;

B. Judgments Rendered. City shall promptly pay any judgment rendered against City or District covering such claims, damages, penalties, obligations and liabilities arising out of or in connection with such use of and operations on the School Property referred to herein and agrees to save and hold District harmless therefrom; and

C. Costs and Expenses; Attorneys' Fees. In the event District is made a party to any action or proceeding filed or prosecuted against City for such damages or other claims arising out of the use of and operations on the School Property referred to herein, City agrees to pay

District any and all costs and expenses incurred by them in such action or proceeding together with reasonable attorneys' fees.

The provisions of this Section 5 shall survive the termination or expiration of this Agreement.

**Section 6. Compliance with Law.** City shall comply with all laws, ordinances, rules, and regulations applicable to the School Property, and shall be responsible to obtain any and all permits, which may be necessary pertaining to City's activities on or about the School Property. District shall ensure that the Work complies with all applicable federal, state or local laws, rules or regulations, including compliance with Division of the State Architect ("DSA") building requirements, if applicable.

**Section 7. Background Checks.** In the event any portion of the Work or City's activities on the School Property will occur when students are present, City shall conduct criminal background checks, through the California Department of Justice, of all employees, agents, and contractors providing services to City upon the School Property pursuant to this Agreement, and shall provide to District a list of the names of the employees and/or agents of City who may come into contact with pupils upon the School Property, pursuant to Education Code section 45125.1. In the alternative, City may elect to ensure the safety of pupils pursuant to Education Code section 45125.2 by one or more of the following methods: 1) the installation of a physical barrier at the worksite to limit contact with pupils, or 2) continual supervision and monitoring of all employees or agents of City by an employee or agent of City whom the Department of Justice has ascertained has not been convicted of a serious felony.

**Section 8. Liens and Claims.** City will not permit any mechanics' materialmen's, or similar liens or claims to stand against the School Property for labor or material furnished in connection with any work performed by City under this Agreement. Upon reasonable and timely notice of any such lien or claim delivered to City by District, City may bond and contest the validity and the amount of such lien, but City will immediately pay any judgment rendered, will pay all proper costs and charges, and will have the lien or claim released at its sole expense.

**Section 9. Legal Interpretation of Instrument.** The parties expressly understand and agree that this Agreement constitutes an exclusive license for use of the School Property, and is neither intended by the parties, nor shall it be legally construed to convey, a leasehold, easement, or other interest in real property. Should either party be compelled to institute arbitration, legal, or other proceedings against the other for or on account of the other party's failure or refusal to perform or fulfill any of the covenants or conditions of this Agreement on its part to be performed or fulfilled, the parties agree that the rules and principles applicable to licenses shall govern such actions or proceedings. This Agreement shall be governed by the laws of the State of California.

**Section 10. Attorneys' Fees.** If any legal action is necessary to enforce any of the terms or conditions of this Agreement, the prevailing party shall be entitled to reasonable attorneys' fees in addition to any other relief to which it is entitled.

**Section 11. Entire Agreement; Amendment.** This Agreement constitutes the entire understanding between the parties with respect to the subject matter hereof, superseding all

negotiations, prior discussions and preliminary agreements made prior to the date hereof. This Agreement may not be changed except in writing executed by both parties.

**Section 12. Successors, Assignment.** This Agreement shall be binding and inure to the benefits of the successors of the respective parties. This Agreement may only be assigned upon the written consent of both parties.

**Section 13. Exhibits.** The following exhibits which are attached hereto are incorporated herein and made a part of this License:

- Exhibit "A" - Map of School Property
- Exhibit "B" - Plans and Specifications
- Exhibit "C" - Easement Agreement

**Section 14. Recitals.** The Recitals are incorporated into this Agreement as though fully set forth herein.

**Section 15. Execution in Counterpart.** This Agreement may be executed in several counterparts, and all so executed shall constitute one agreement binding on all parties hereto, notwithstanding that all parties are not signatories to the original or the same counterpart.

IN WITNESS WHEREOF, the parties have entered into this Agreement as of the day set forth above.

Dated: 6/3, 2009

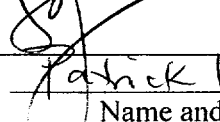
LONG BEACH UNIFIED SCHOOL DISTRICT

By:   
**Barrick L. Bartlett**  
Purchasing & Contracts Director  
Name and Title

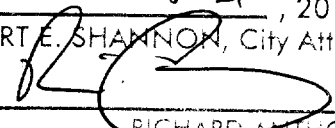
Dated: 5/26, 2009

CITY OF LONG BEACH

APPROVED AS TO FORM  
TO SECTION 301 OF  
THE CITY CHARTER.

By:   
**Patrick H. West, City Manager**  
Name and Title

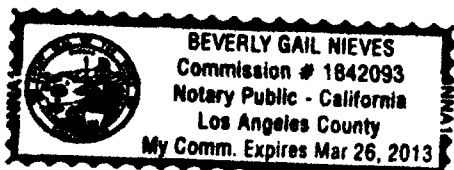
APPROVED AS TO FORM

5-21, 2009  
ROBERT E. SHANNON, City Attorney  
By:   
RICHARD ANTHONY  
DEPUTY CITY ATTORNEY

STATE OF CALIFORNIA )  
COUNTY OF Los Angeles ) ss.

On 5/26/09, before me, Beverly Nieves, personally appeared Suzanne Fritic, personally known to me, or proven to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that ~~he/she/they~~ executed the same in ~~his/her/their~~ authorized capacity(ies), and that by ~~his/her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.



(Seal)

WITNESS my hand and official seal.

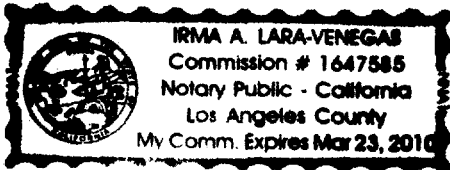
Beverly Nieves  
SIGNATURE OF NOTARY

STATE OF CALIFORNIA )  
COUNTY OF Los Angeles ) ss.

On June 3, 2009 before me, Irma A. Lara-Venegas, personally appeared Barrick L. Bartlett, personally known to me, or proven to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in his/~~her~~/their authorized capacity(ies), and that by his/~~her~~/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



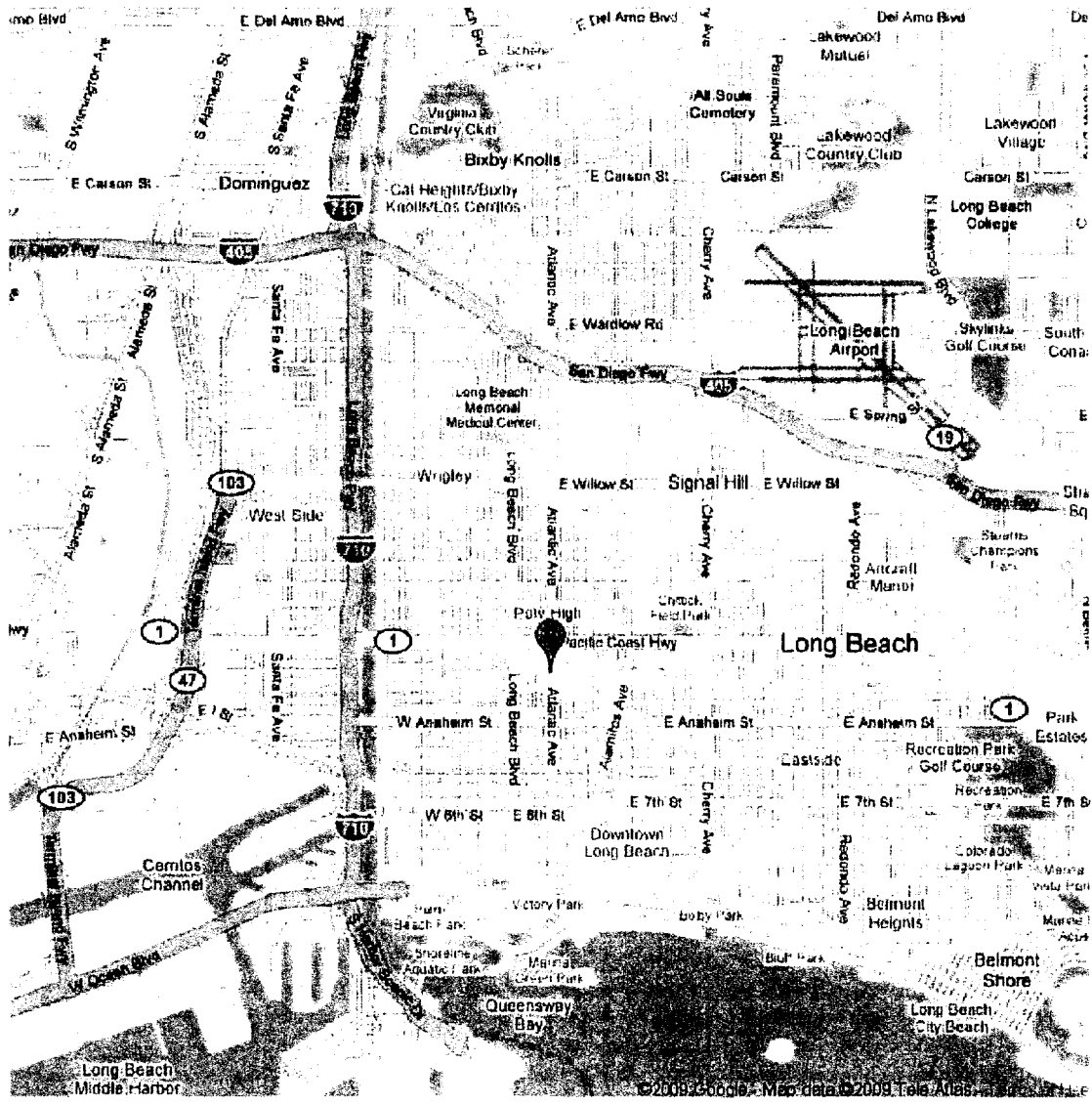
(Seal)

Irma A. Lara-Venegas  
SIGNATURE OF NOTARY

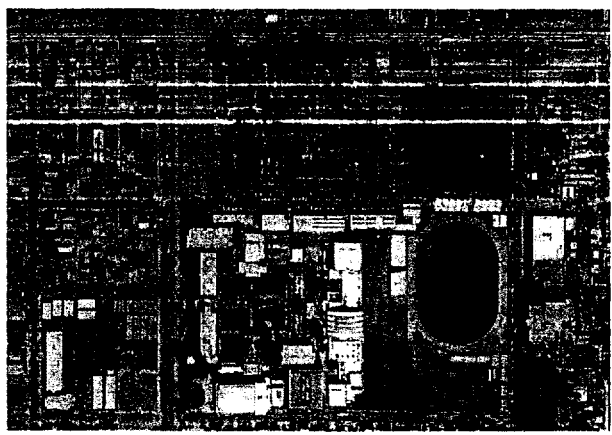
**EXHIBIT "A"**

**MAP OF SCHOOL PROPERTY**

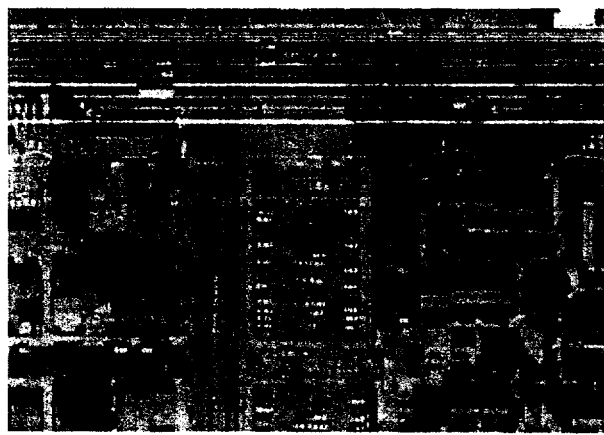




Vicinity map of Long Beach Polytechnic High School – 1600 Atlantic Avenue, Long Beach, CA 90813



Aerial map of Long Beach Polytechnic H.S.



Aerial map of work area

**EXHIBIT "B"**

**PLANS AND SPECIFICATIONS**

# ATLANTIC AVE NORTH BOUND RIGHT TURN POCKET BETWEEN ESTHER STREET AND PACIFIC COAST HIGHWAY

## CONSTRUCTION NOTES

REMOVE EXISTING PAVEMENT SECTION AND SOA  
 COLD MILL AC PAVEMENT, 24 INCHES  
 REPAIRS AND REPLACE CONCRETE CURB AND GUTTER, BUS PAV.  
 AND/OR CURBWAYS  
 VARIABLE DEPTH  
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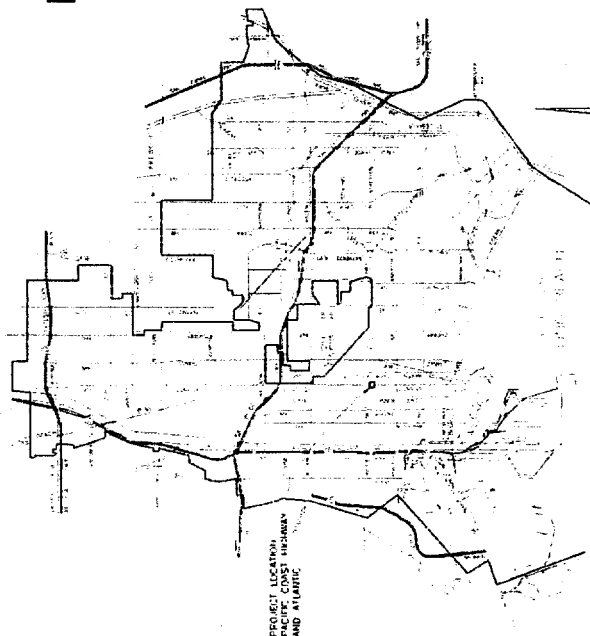
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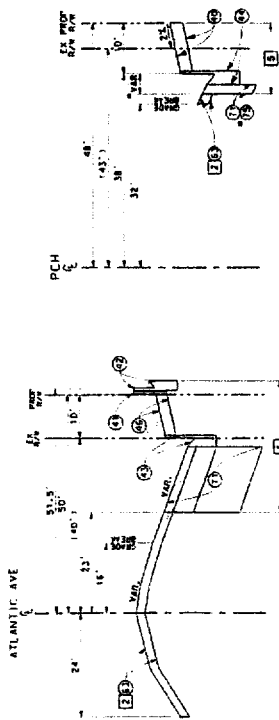


VICINITY MAP  
SCALE: NONE

BENCH MARK  
 CITY OF LONG BEACH / SOA  
 BENCH MARK WITH PRECAST STAMPED TYPED  
 MARK, MARK 11' W/CURB 132' N/CURB  
 MONUMENT MARK

### GENERAL NOTES

- 1- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (800) 277-2600 AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION.
- 2- THE CONTRACTOR SHALL CONTACT THE LONG BEACH GAS & OIL DEPARTMENT PLUMBING SERVICES FOR CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVED FACILITIES THAT MAY BE ENCOUNTERED WHILE CONSTRUCTING THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED FACILITIES FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED FACILITIES FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED FACILITIES FOR THE PROJECT.
- 3- ALL TREES, SHRUBS, SCISS, HERBES, EXISTING POSTS, SPRINKLER SYSTEM JUNCTIONS, ETC TO BE PROTECTED UNLESS NOTED OTHERWISE.
- 4- ALL EXISTING UTILITIES ARE TO BE VERIFIED AT TIME OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES TO BE PROTECTED BY THE PUBLIC ENGINEER.
- 5- ALL EXISTING PUBLIC WATER FACILITIES ARE TO BE PROTECTED IN PLACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING WATER FACILITIES AS A RESULT OF ANY DAMAGE OR REPAIR TO EXISTING WATER FACILITIES.
- 6- THE CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION OF ALL EXISTING SIDEWALKS AND SHALL REPLACE IT IN KIND.



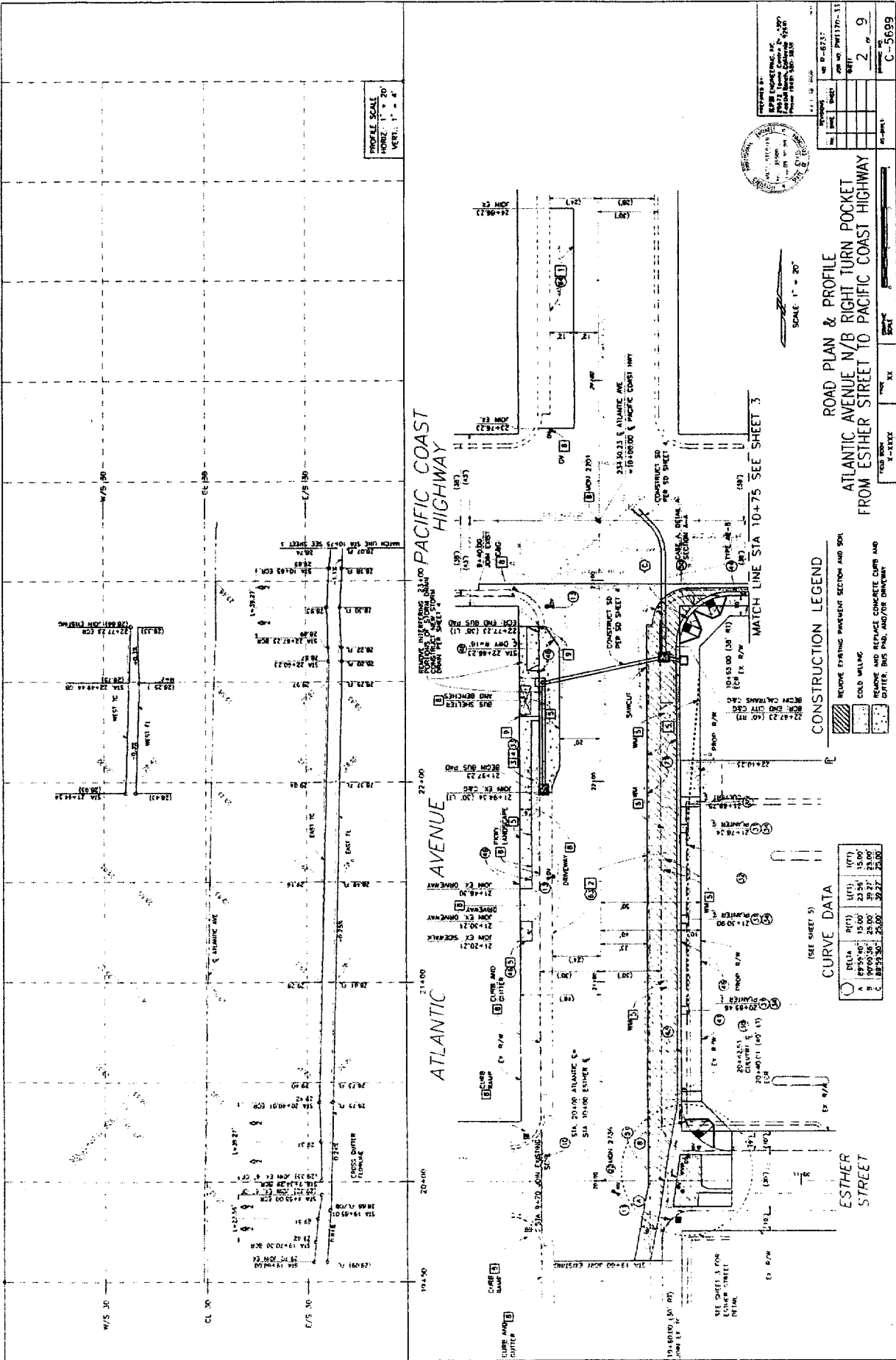
TYPICAL SECTION  
ATLANTIC AVENUE  
NOT TO SCALE

TYPICAL SECTION  
PACIFIC COAST HIGHWAY  
NOT TO SCALE

\*1/4" WIDTH IS 2" OR LESS USE NOTE ③

<p>PROJECT LOCATION PACIFIC COAST HIGHWAY AND ATLANTIC</p>		<p>CITY OF LONG BEACH DEPARTMENT OF PUBLIC WORKS OFFICE OF THE CITY ENGINEER</p>		<p>ATLANTIC AVENUE NORTH BOUND RIGHT TURN POCKET BETWEEN ESTHER STREET &amp; PACIFIC COAST HWY</p>		<p>DATE: 11/17/2023 DRAWN BY: JLS CHECKED BY: JLS SCALE: AS SHOWN</p>	
<p>APPROVALS</p> <p>CITY ENGINEER: _____ DATE: _____</p> <p>PUBLIC ENGINEER: _____ DATE: _____</p>		<p>DATE: 11/17/2023 DRAWN BY: JLS CHECKED BY: JLS SCALE: AS SHOWN</p>		<p>PROJECT NO: C-5699</p>		<p>DATE: 11/17/2023 DRAWN BY: JLS CHECKED BY: JLS SCALE: AS SHOWN</p>	

PROFILE SCALE  
 HORIZ. 1" = 20'  
 VERT. 1" = 4'



ROAD PLAN & PROFILE  
 ATLANTIC AVENUE N/B RIGHT TURN POCKET  
 FROM ESTHER STREET TO PACIFIC COAST HIGHWAY



REVISED BY: RHP ENGINEERING, INC.  
 25015 Island Avenue, Suite 200  
 Pacific Palisades, CA 90272  
 Phone: (310) 350-1800

DATE: 11/13/2006

NO.	DATE	BY	REVISION
1	11/13/06	RHP	ISSUE FOR PERMITS
2	02/20/07	RHP	ISSUE FOR PERMITS
3	02/20/07	RHP	ISSUE FOR PERMITS
4	02/20/07	RHP	ISSUE FOR PERMITS
5	02/20/07	RHP	ISSUE FOR PERMITS

SHEET NO. 2 OF 9  
 PROJECT NO. C-5699

CONSTRUCTION LEGEND

[Symbol]	REMOVE EXISTING PARKING SECTION AND SOIL
[Symbol]	COLD MILLING
[Symbol]	REMOVE AND REPLACE CONCRETE CURB AND GUTTER, BUS PAD, AND/OR DRIVEWAY

(SEE SHEET 5)

CURVE DATA

STATION	PI (FT)	LC (FT)	RT (FT)	LC (FT)	STATION
A	1855+00	15.00'	23.54'	15.00'	1865+00
B	1880+00	25.00'	30.27'	25.00'	1905+00
C	1925+00	25.00'	30.27'	25.00'	1950+00

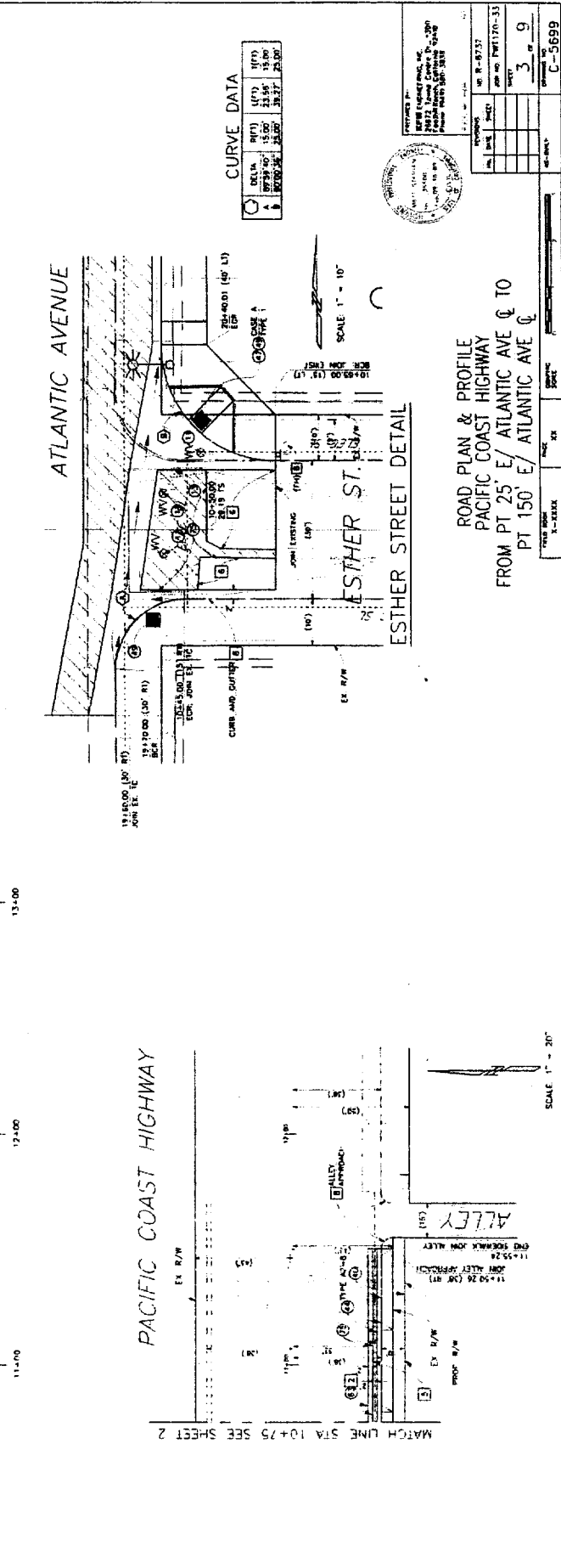
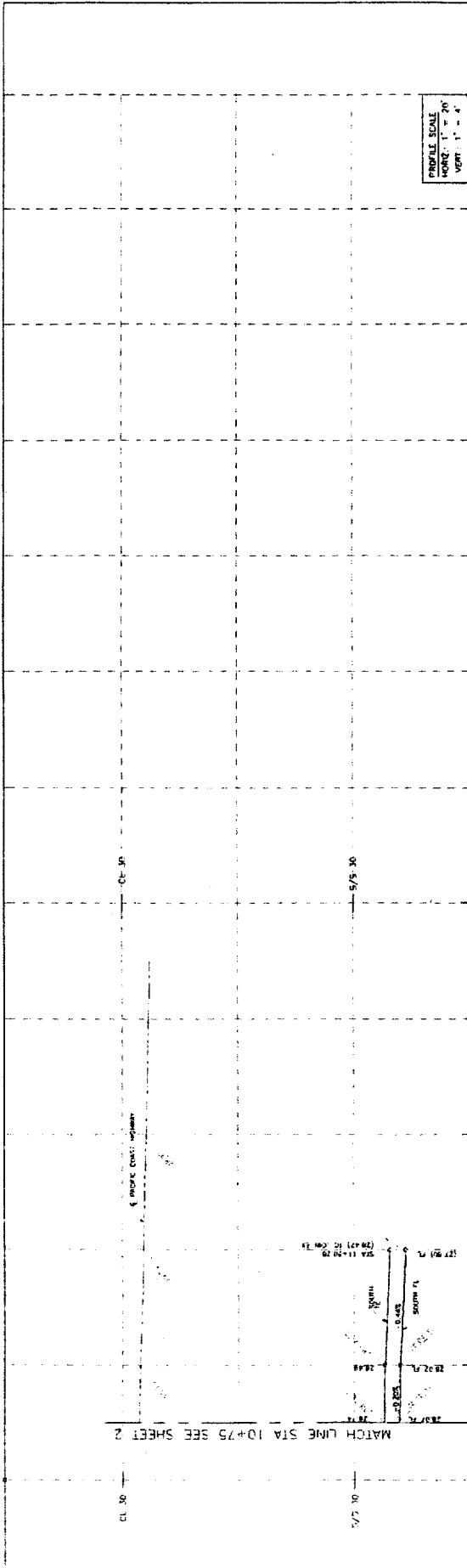
SCALE: 1" = 20'

MATCH LINE STA 10+75 SEE SHEET 3

PACIFIC COAST HIGHWAY

ATLANTIC AVENUE

ESTHER STREET



**CURVE DATA**

DELTA	R(FT)	L(FT)	T(FT)
100.00	15.00	23.55	15.00
100.00	25.00	38.27	25.00



PROJECT NO.	10000
DATE	10/15/00
BY	[Signature]
CHECKED BY	[Signature]
DATE CHECKED	10/15/00
SCALE	1" = 40'
SHEET	3 of 9
PROJECT	C-5699

ROAD PLAN & PROFILE  
 PACIFIC COAST HIGHWAY  
 FROM PT 25' E/ ATLANTIC AVE @ TO  
 PT 150' E/ ATLANTIC AVE @

ESTHER STREET DETAIL

PACIFIC COAST HIGHWAY

ATLANTIC AVENUE

ESTHER ST.

MATCH LINE STA 10+75 SEE SHEET 2

MATCH LINE STA 10+75 SEE SHEET 2

CL 30

5/5

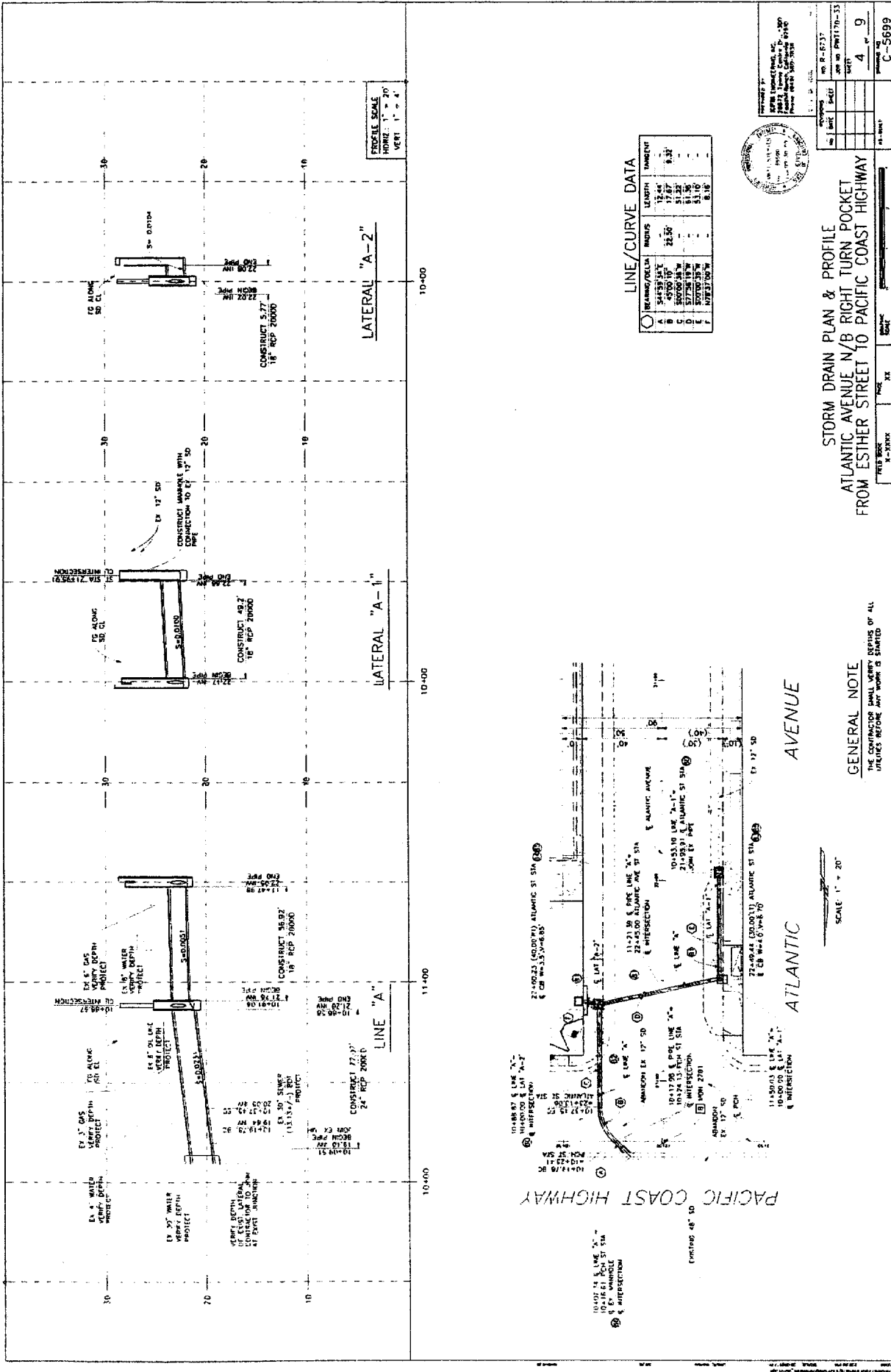
13+00

12+00

11+00

SCALE 1" = 30'

DATE: 10/15/00



**LINE/CURVE DATA**

PC	PVI	PT	STATION	ANGLE	TANGENT
2411.97	2411.97	2411.97	2411.97	90.00°	0.00'
2411.97	2411.97	2411.97	2411.97	90.00°	0.00'
2411.97	2411.97	2411.97	2411.97	90.00°	0.00'
2411.97	2411.97	2411.97	2411.97	90.00°	0.00'
2411.97	2411.97	2411.97	2411.97	90.00°	0.00'

**GENERAL NOTE**

THE CONTRACTOR SHALL VERIFY DEPTH OF ALL UTILITIES BEFORE ANY WORK IS STARTED.

STATE OF MARYLAND  
 DEPARTMENT OF TRANSPORTATION  
 DIVISION OF HIGHWAYS

PROFILE SCALE  
 HORIZ: 1" = 20'  
 VERT: 1" = 4'

LATERAL "A-2"

LATERAL "A-1"

LINE "A"

ATLANTIC AVENUE

PACIFIC COAST HIGHWAY

SCALE: 1" = 20'

GENERAL NOTE  
 THE CONTRACTOR SHALL VERIFY DEPTH OF ALL UTILITIES BEFORE ANY WORK IS STARTED.

**PROPOSED**

NO.	DATE	BY	REVISION
1			
2			
3			
4			
5			

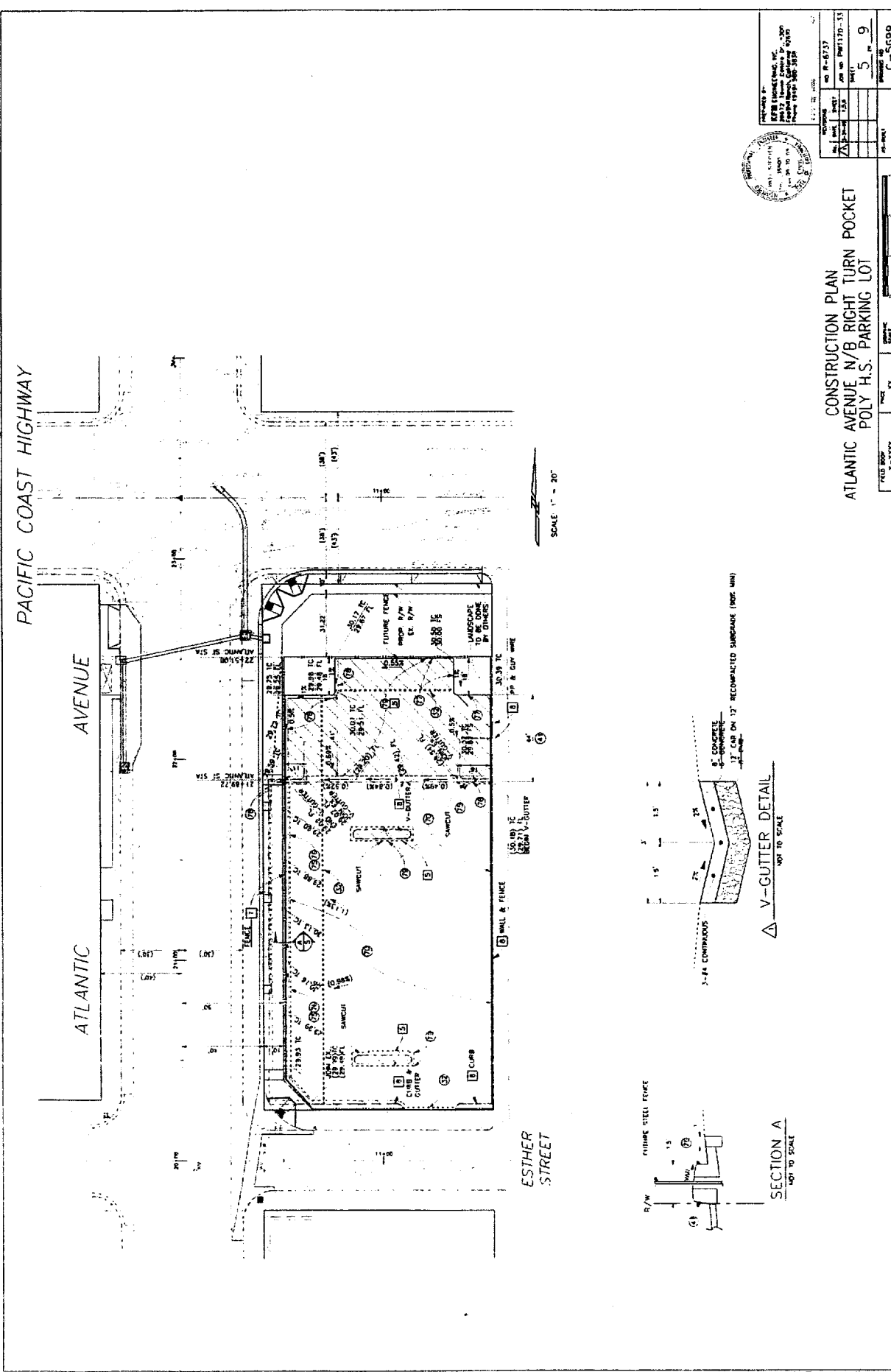
PROJECT NO. C-5699

PACIFIC COAST HIGHWAY

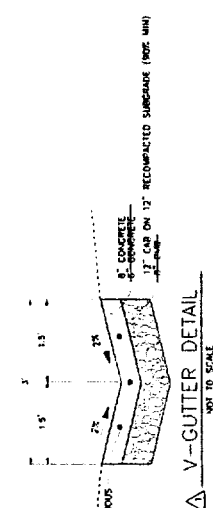
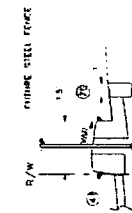
AVENUE

ATLANTIC

ESTHER STREET



SCALE 1" = 20'



DATE	NO. P-6737
PROJECT	CON. ON PLOT 17D-35
SCALE	AS SHOWN
DATE	5 9
PROJECT	C-5099

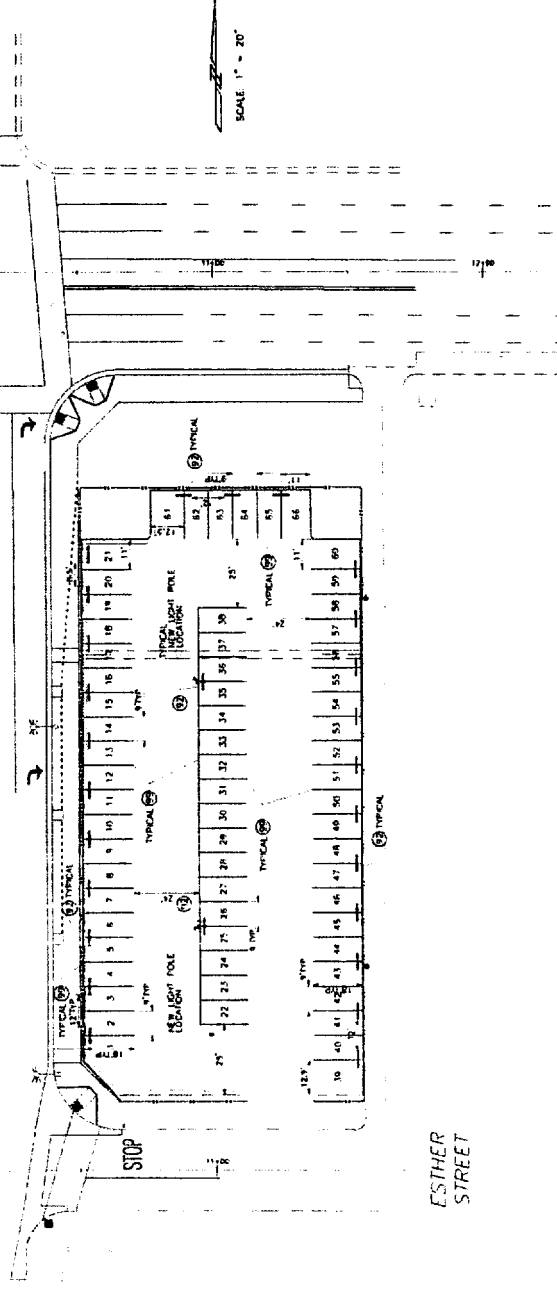
CONSTRUCTION PLAN  
ATLANTIC AVENUE N/B RIGHT TURN POCKET  
POLY H.S. PARKING LOT

DATE	NO. P-6737
PROJECT	CON. ON PLOT 17D-35
SCALE	AS SHOWN
DATE	5 9
PROJECT	C-5099

PACIFIC COAST HIGHWAY

ATLANTIC AVENUE

ATLANTIC AVENUE



SCALE 1" = 20'

ESTHER STREET

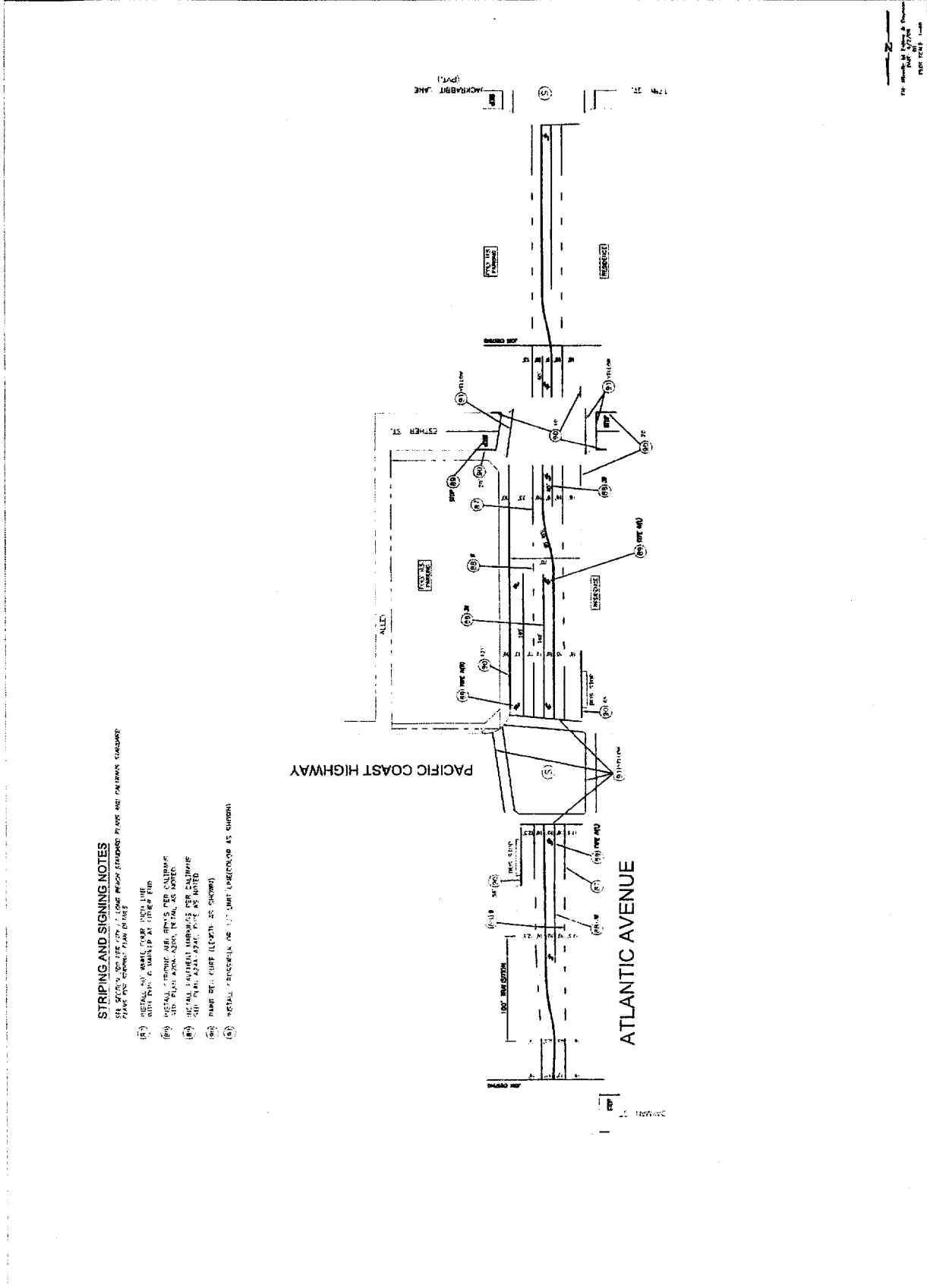
Δ STRIPING PLAN  
 ATLANTIC AVENUE N/B RIGHT TURN POCKET  
 POLY H.S. PARKING LOT



DATE	BY	REVISION
10/11/00	RS	1.0
10/11/00	RS	1.1
10/11/00	RS	1.2
10/11/00	RS	1.3
10/11/00	RS	1.4
10/11/00	RS	1.5
10/11/00	RS	1.6
10/11/00	RS	1.7
10/11/00	RS	1.8
10/11/00	RS	1.9
10/11/00	RS	1.10
10/11/00	RS	1.11
10/11/00	RS	1.12
10/11/00	RS	1.13
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10/11/00	RS	1.15
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10/11/00	RS	1.95
10/11/00	RS	1.96
10/11/00	RS	1.97
10/11/00	RS	1.98
10/11/00	RS	1.99
10/11/00	RS	2.00

PROJECT NO. C-5699  
 SHEET NO. 9  
 TOTAL SHEETS 13



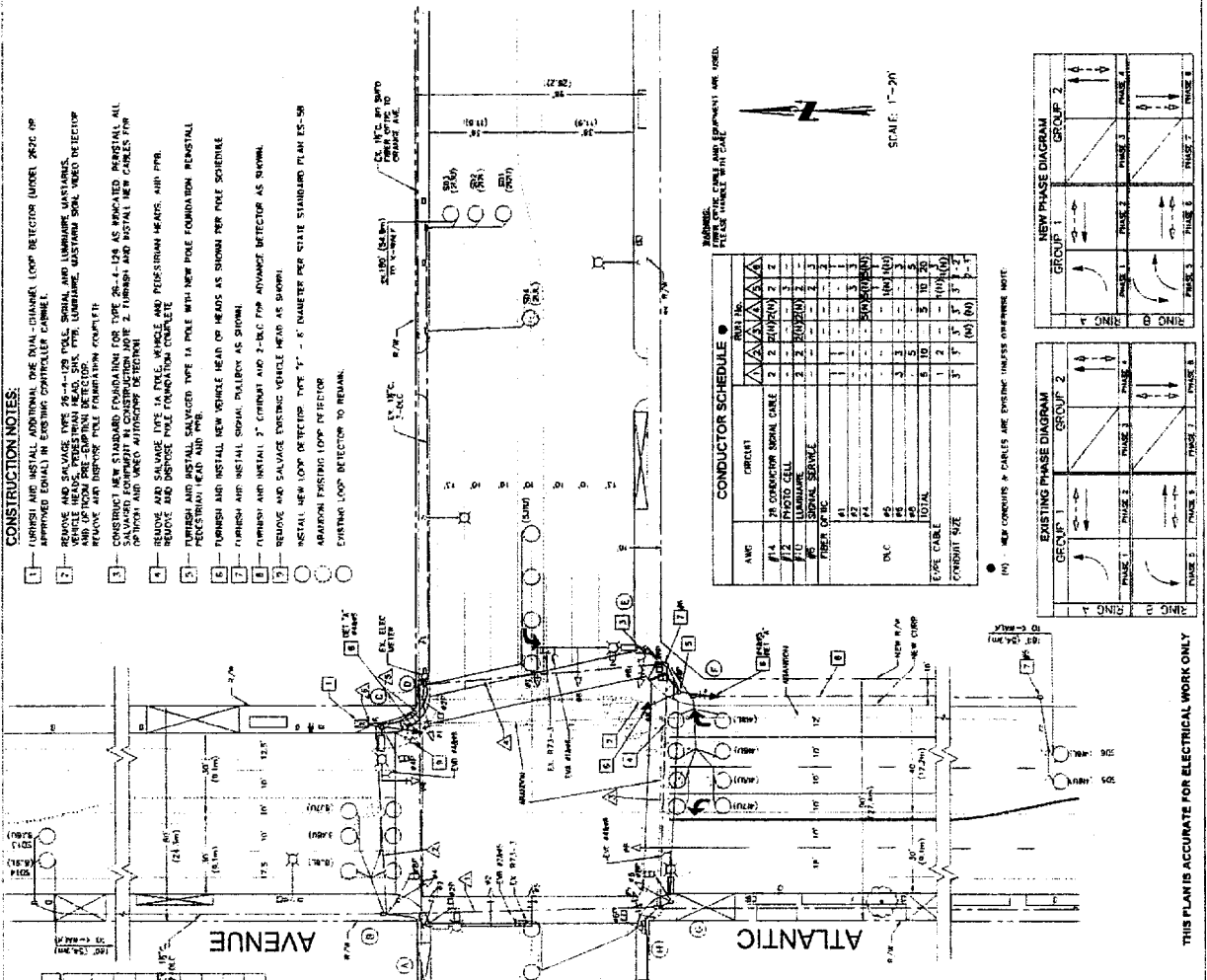


- STRIPING AND SIGNING NOTES**
- SEE SPEC'S, SD 105, CITY OF LONG BEACH STANDARD PLANS AND MATERIALS SPECIFICATIONS AND COUNTY STANDARD PLANS AND SPECIFICATIONS FOR STRIPING AND SIGNING.
- (1) METAL 30" WIDE, FOUR FOOT HIGH, THE WITH TWO (2) MARKS AT TOP OF END
  - (2) METAL 30" WIDE, FOUR FOOT HIGH, THE WITH TWO (2) MARKS AT TOP OF END
  - (3) METAL 30" WIDE, FOUR FOOT HIGH, THE WITH TWO (2) MARKS AT TOP OF END
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  - (100) METAL 30" WIDE, FOUR FOOT HIGH, THE WITH TWO (2) MARKS AT TOP OF END

CITY OF LONG BEACH - DEPARTMENT OF PUBLIC WORKS - ENGINEERING BUREAU  
 133 W. OCEAN BLVD., LONG BEACH, CA 90802

TRAFFIC SIGNAL MODIFICATION PLAN  
 ATLANTIC AVENUE AND PACIFIC COAST HIGHWAY

PROJECT NUMBER	DATE
DESIGN NUMBER	DATE
CHECKED BY	DATE
APPROVED BY	DATE



**POLE SCHEDULE**

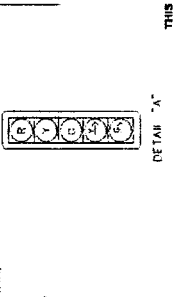
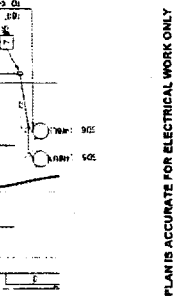
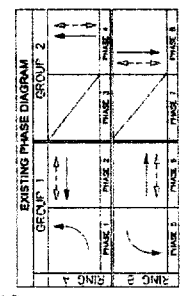
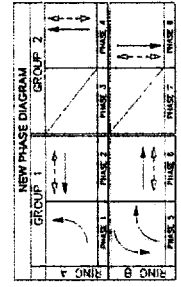
POLE NO.	TYPE	HEIGHT	TYPE	HEIGHT	TYPE	HEIGHT	TYPE	HEIGHT	REMARKS
1	2	15	1	15	1	15	1	15	REPLACE EXISTING POLE WITH NEW 15' TOWER
2	2	15	1	15	1	15	1	15	REPLACE EXISTING POLE WITH NEW 15' TOWER
3	2	15	1	15	1	15	1	15	REPLACE EXISTING POLE WITH NEW 15' TOWER
4	2	15	1	15	1	15	1	15	REPLACE EXISTING POLE WITH NEW 15' TOWER
5	2	15	1	15	1	15	1	15	REPLACE EXISTING POLE WITH NEW 15' TOWER
6	2	15	1	15	1	15	1	15	REPLACE EXISTING POLE WITH NEW 15' TOWER
7	2	15	1	15	1	15	1	15	REPLACE EXISTING POLE WITH NEW 15' TOWER
8	2	15	1	15	1	15	1	15	REPLACE EXISTING POLE WITH NEW 15' TOWER
9	2	15	1	15	1	15	1	15	REPLACE EXISTING POLE WITH NEW 15' TOWER
10	2	15	1	15	1	15	1	15	REPLACE EXISTING POLE WITH NEW 15' TOWER

**CONDUCTOR SCHEDULE**

CONDUCTOR	TYPE	SIZE	LENGTH	WEIGHT	RESISTANCE	REMARKS
1	24 CONDUCTOR SIGNAL CABLE	2	100	100	100	REPLACE EXISTING CABLE WITH NEW 24 CONDUCTOR SIGNAL CABLE
2	PHOTO CELL	2	100	100	100	REPLACE EXISTING PHOTO CELL WITH NEW PHOTO CELL
3	LUMINAIRE	2	100	100	100	REPLACE EXISTING LUMINAIRE WITH NEW LUMINAIRE
4	PHOTO CELL	2	100	100	100	REPLACE EXISTING PHOTO CELL WITH NEW PHOTO CELL
5	LUMINAIRE	2	100	100	100	REPLACE EXISTING LUMINAIRE WITH NEW LUMINAIRE
6	PHOTO CELL	2	100	100	100	REPLACE EXISTING PHOTO CELL WITH NEW PHOTO CELL
7	LUMINAIRE	2	100	100	100	REPLACE EXISTING LUMINAIRE WITH NEW LUMINAIRE
8	PHOTO CELL	2	100	100	100	REPLACE EXISTING PHOTO CELL WITH NEW PHOTO CELL
9	LUMINAIRE	2	100	100	100	REPLACE EXISTING LUMINAIRE WITH NEW LUMINAIRE
10	PHOTO CELL	2	100	100	100	REPLACE EXISTING PHOTO CELL WITH NEW PHOTO CELL
11	LUMINAIRE	2	100	100	100	REPLACE EXISTING LUMINAIRE WITH NEW LUMINAIRE
12	PHOTO CELL	2	100	100	100	REPLACE EXISTING PHOTO CELL WITH NEW PHOTO CELL
13	LUMINAIRE	2	100	100	100	REPLACE EXISTING LUMINAIRE WITH NEW LUMINAIRE
14	PHOTO CELL	2	100	100	100	REPLACE EXISTING PHOTO CELL WITH NEW PHOTO CELL
15	LUMINAIRE	2	100	100	100	REPLACE EXISTING LUMINAIRE WITH NEW LUMINAIRE
16	PHOTO CELL	2	100	100	100	REPLACE EXISTING PHOTO CELL WITH NEW PHOTO CELL
17	LUMINAIRE	2	100	100	100	REPLACE EXISTING LUMINAIRE WITH NEW LUMINAIRE
18	PHOTO CELL	2	100	100	100	REPLACE EXISTING PHOTO CELL WITH NEW PHOTO CELL
19	LUMINAIRE	2	100	100	100	REPLACE EXISTING LUMINAIRE WITH NEW LUMINAIRE
20	PHOTO CELL	2	100	100	100	REPLACE EXISTING PHOTO CELL WITH NEW PHOTO CELL

**GENERAL NOTES:**

- The contractor shall coordinate with the City of Long Beach Department of Transportation (DOT) and the California State Department of Transportation (Caltrans) for all utility work and traffic control during construction.
- Construction of all underground utilities shall be completed prior to the start of construction of the traffic signal system. All underground utilities shall be installed in accordance with the City of Long Beach Code, Chapter 13.10, and the California State Department of Transportation (Caltrans) Standard Specifications for Highway Construction.
- The contractor shall provide for the installation of all traffic signal equipment in accordance with the City of Long Beach Code, Chapter 13.10, and the California State Department of Transportation (Caltrans) Standard Specifications for Highway Construction.
- All new signal equipment shall be installed in accordance with the City of Long Beach Code, Chapter 13.10, and the California State Department of Transportation (Caltrans) Standard Specifications for Highway Construction.
- All new signal equipment shall be installed in accordance with the City of Long Beach Code, Chapter 13.10, and the California State Department of Transportation (Caltrans) Standard Specifications for Highway Construction.
- The contractor shall be responsible for the coordination of all utility work, including the relocation of existing utilities and the installation of new utilities.
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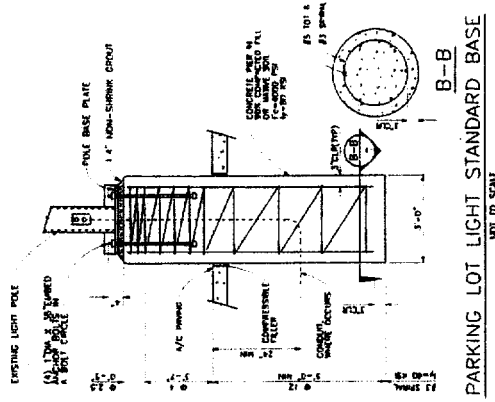
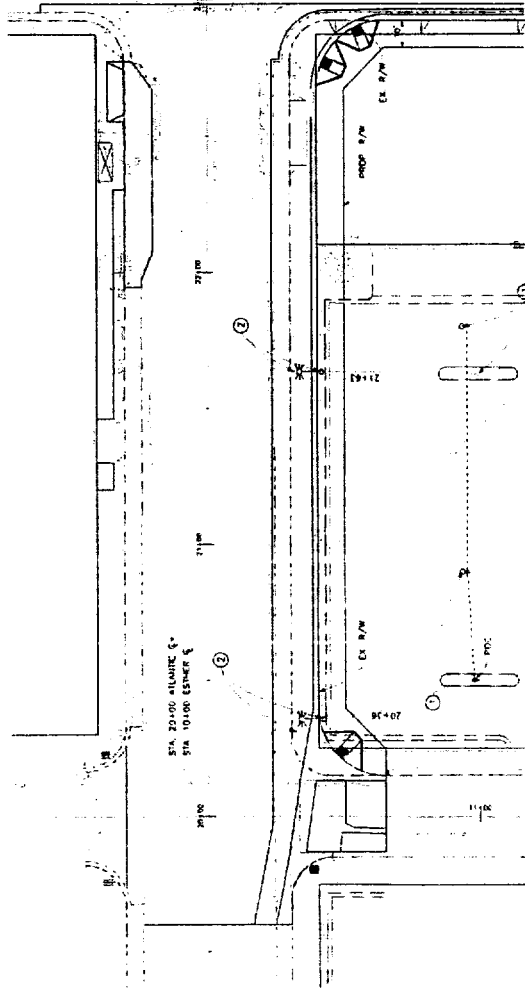


SCALE: 1"=20'  
 THIS PLAN IS ACCURATE FOR ELECTRICAL WORK ONLY.  
 ALL DIMENSIONS AND ELEVATIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.  
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 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

PACIFIC COAST  
HIGHWAY

ATLANTIC AVENUE

ESTHER STREET



SCALE: 1" = 20'

**CONSTRUCTION NOTES (THIS SHEET)**

- ① RELOCATE EXISTING PARKING LIGHT AND ALL APPURTENANCES TO NEW LIGHT STANDARD PER CITY OF LONG BEACH STANDARD PLAN NO. 102 CONCRETE LIGHT STANDARD TYPE D. USE TRAFFIC BEARING PULL BOXES. NEW LOCATION PER STRIPING PLAN.
- ② REPAIR EXISTING FOUNDATION COMPLETELY AND CONSTRUCT NEW STREET LIGHT FOUNDATION. CONDUIT, & PULL BOX AT STATIONS 20+38 AND 21+43. REPAIR EXISTING CONDUIT BETWEEN THESE STATIONS.

**GENERAL NOTES:**

- 1. FOR CONTRACTORS AT INTERSECTIONS SEE TRAFFIC SIGNAL MODIFICATION PLAN.
- 2. INCLUDE THE STREET LIGHT STANDARD TYPE C AND SPECIFICATIONS. LONG BEACH PUBLIC WORKS PROJECT CONTRACT DOCUMENT SPECIFICATIONS.
- 3. CONTRACTOR TO MAINTAIN EXISTING STREET LIGHTING DURING CONSTRUCTION. CONTRACTOR TO COORDINATE DE-ENERGIZING AND ENERGIZING OF STREET LIGHT SYSTEM WITH ENGINEER AND CITY OF LONG BEACH ELECTRICAL REPRESENTATIVE.



DESIGNED BY:  
MERRILL & ASSOCIATES, INC.  
28023 Loring Center Dr., 3rd  
Floor, Laguna Hills, CA 92653  
PHONE: (714) 832-3333

NO. P-8737	DATE	BY
NO. PH170-37	DATE	BY
9	9	9
C-5699		

STREET LIGHT PLAN  
ATLANTIC AVENUE N/B RIGHT TURN POCKET  
FROM ESTHER STREET TO PACIFIC COAST HIGHWAY

PROJECT NO.	DATE	BY
NO. PH170-37	DATE	BY
9	9	9
C-5699		

# CITY OF LONG BEACH

# PACIFIC COAST HIGHWAY & ATLANTIC

## LONG BEACH, CALIFORNIA

NO.	DATE	REVISION
1	10/1/57	ISSUED FOR PERMITS
2	10/1/57	ISSUED FOR PERMITS
3	10/1/57	ISSUED FOR PERMITS
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5	10/1/57	ISSUED FOR PERMITS
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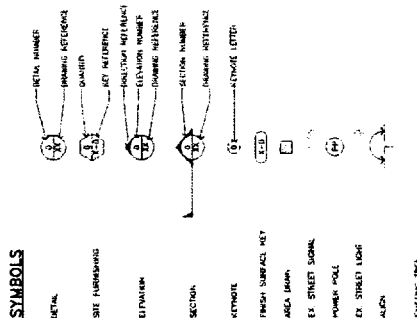
**PACIFIC COAST HIGHWAY  
& ATLANTIC AVENUE  
LANDSCAPE PLANS**

**MELENDREZ**

DATE: 10/1/57  
SHEET NO. 10

### SYMBOL INDEX

TITLE SHEET	SHT. NO.
COVER SHEET	L-0.01
CONSTRUCTION PLAN	L-1.01
CONSTRUCTION SECTIONS & DETAILS	L-2.01
IRRIGATION PLAN, LEGEND & NOTES	L-3.01
IRRIGATION DETAILS	L-4.01
PLANTING PLAN	L-5.01
PLANTING DETAILS, LEGEND & NOTES	L-6.01



### ABBREVIATIONS

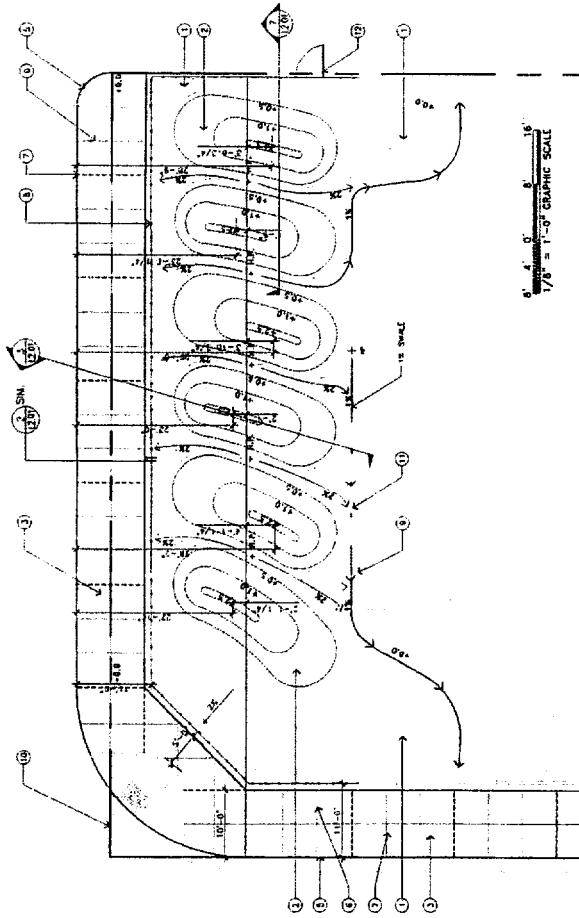
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2. ALUMINUM	2. ALUMINUM
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### GENERAL NOTES

1. PERMITS ARE REQUIRED FOR ALL WORKS.
2. ALL WORKS SHALL BE PERFORMED BY A LICENSED LANDSCAPE ARCHITECT.
3. IN THE EVENT OF ANY UNREASONABLE DELAY, CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LONG BEACH AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS.
5. SHEETS, SECTIONS AND ALL OTHER PROFILES SHALL BE PROTECTED THROUGHOUT THE PROJECT AND REPLACED AT THE END OF THE PROJECT.
6. ALL WORK AND MATERIALS OF THE PROJECT SHALL COMPLY WITH ALL APPLICABLE CODES.
7. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS REMOVED DURING THE COURSE OF THE PROJECT.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

# PACIFIC COAST HIGHWAY

# ATLANTIC AVENUE



0 2 4 6 8 10  
1/8" = 1'-0" GRAPHIC SCALE

### TRACT LOT NUMBERS:

PM 138-97-33 LOTS 3 & 4

### DEMOLITION NOTES:

1. REMOVE AND DESTROY EXISTING SWALE AND SWALE CURB AND GUTTER AND ALL UTILITIES AND STRUCTURES WITHIN EXISTING SWALE.
2. REMOVE ALL EXISTING ASPHALT AND SIDEWALK.
3. ALL EXISTING IS AVAILABLE COMPONENTS WITHIN SWALE TO BE REMOVED AND RECONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONCRETE PAVING.

### KEYNOTE LEGEND

1. HAZARDOUS AREA
2. SCOURING, DEMO
3. CONCRETE SIDEWALK PER CURB PLANE
4. NOT USED
5. CURB WITH CURE
6. SEWER JOINT PER CURE
7. EXPANSION JOINT PER CURE
8. MAIN STREET
9. Existing Curb and Gutter Paving Lot
10. ABOUT 10' WIDE
11. IS TO BE TO STREET - FINAL CHANGES TO BE APPROVED BY ARCHITECT AND CITY OF LONG BEACH
12. DATE - SEE DRAW 1/1-2/80

### NOTE

- A. CONTRACTOR TO CLEAR ALL WEEDS AND BRUSH TO THE EXISTING LOT TO THE NORTH AND CURB AND GUTTER TO THE WEST AS APPROVED BY THE ARCHITECT AND CITY OF LONG BEACH.
- B. TEMPORARY EROSION CONTROL TO BE INSTALLED DURING CONSTRUCTION.
- C. WHEN CHANGING DURING THE CONSTRUCTION PERIOD THROUGH JUNE 15th, THE CONTRACTOR SHALL COMPLY WITH THE CITY OF LONG BEACH AND COUNTY OF LOS ANGELES ORDINANCES AND REGULATIONS AND SHALL OBTAIN A 24-HOUR PERMIT TO WORK. EROSION CONTROL MEASURES SHALL BE COVERED.
- D. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION IN SITU.
- E. THE EXISTING SWALE SHALL BE RECONSTRUCTED AS A 12" DEEP SWALE WITH A 2% SLOPE TO THE STREET AND SHALL BE APPROVED BY THE ARCHITECT AND CITY OF LONG BEACH.
- F. FINAL CHANGES TO BE APPROVED BY ARCHITECT AND CITY OF LONG BEACH.

NO.	DATE	DESCRIPTION
1	1/1-2/80	ISSUED FOR PERMIT
2	1/1-2/80	ISSUED FOR PERMIT
3	1/1-2/80	ISSUED FOR PERMIT
4	1/1-2/80	ISSUED FOR PERMIT
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17	1/1-2/80	ISSUED FOR PERMIT
18	1/1-2/80	ISSUED FOR PERMIT
19	1/1-2/80	ISSUED FOR PERMIT



## PACIFIC COAST HIGHWAY AND ATLANTIC AVENUE CONSTRUCTION PLAN

**MELENDREZ**  
 James C. Melendrez - P.E.  
 12345 Main Street  
 Long Beach, California 90801  
 License No. 12345

NO.	DATE	DESCRIPTION
1	1/1-2/80	ISSUED FOR PERMIT
2	1/1-2/80	ISSUED FOR PERMIT
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19	1/1-2/80	ISSUED FOR PERMIT

DATE: 1/1-2/80  
 SCALE: AS SHOWN  
 SHEET NO. 1 OF 1

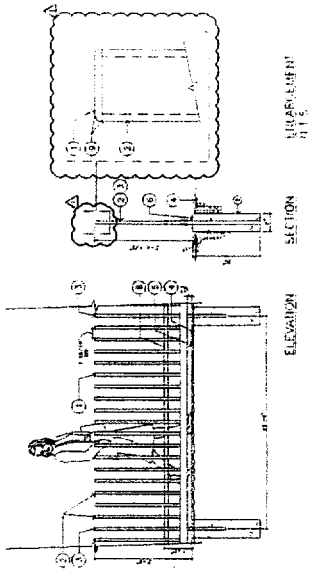
NO.	DATE	REVISIONS



**PACIFIC COAST HIGHWAY  
AND ATLANTIC AVENUE  
CONSTRUCTION SECTIONS AND DETAILS**

**MELNDRZ**  
James Oros Building, 1st Floor  
1750 Broadway, Oakland, California 94612  
Tel: 415.774.0000  
Fax: 415.774.0001  
www.melndrz.com

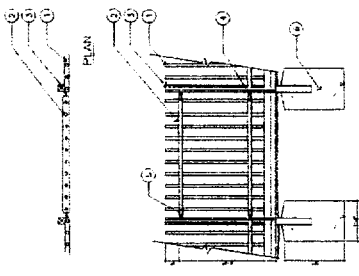
DATE	1/24/10
SCALE	AS SHOWN
PROJECT NO.	10732
SHEET NO.	17 OF 18



**SECTION**  
**ELEVATION**  
**METAL FENCE**  
1/24-10

- LEGEND:**
1. PROPOSED FENCE
  2. CONCRETE FOUNDATION
  3. CONCRETE WALK COURSE
  4. EXISTING GRADE
  5. PROPOSED GRADE
  6. PROPOSED CURB/TOP

**1 METAL GATE**  
1/24-10

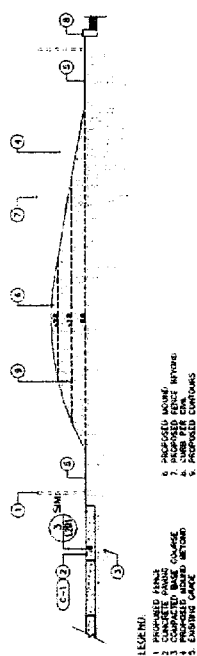


**PLAN**  
**ELEVATION**

- LEGEND:**
1. PROPOSED FENCE
  2. CONCRETE FOUNDATION
  3. CONCRETE WALK COURSE
  4. EXISTING GRADE
  5. PROPOSED GRADE
  6. PROPOSED CURB/TOP

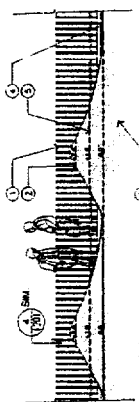
**NOTE:**  
A. PROVIDE SHIP BRACKETS FOR RAILS W/RT APPLICABLE  
B. GRAB ALL W/RTS SMOOTH

**1 METAL GATE**  
1/24-10



**SECTION THROUGH MOUND**  
1/24-10

- LEGEND:**
1. PROPOSED FENCE
  2. CONCRETE FOUNDATION
  3. CONCRETE WALK COURSE
  4. EXISTING GRADE
  5. PROPOSED GRADE
  6. PROPOSED CURB/TOP

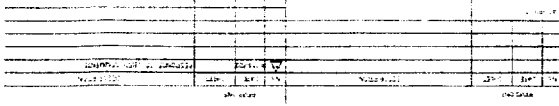


**ELEVATION**

- LEGEND:**
1. PROPOSED FENCE
  2. CONCRETE FOUNDATION
  3. CONCRETE WALK COURSE
  4. EXISTING GRADE
  5. PROPOSED GRADE
  6. PROPOSED CURB/TOP

**4 MOUND SECTION**  
1/24-10

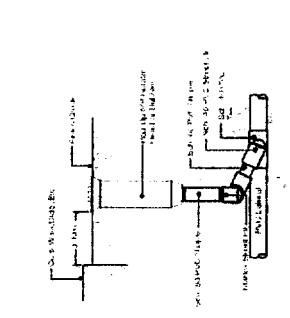




PACIFIC COAST HIGHWAY  
AND ATLANTIC AVENUE  
IRRIGATION DETAILS

**MELENDREZ**  
Irrigation Engineering  
1150 South Coast Street  
San Diego, California 92108  
Tel. (619) 591-1111

NO. OF SHEETS	12
SHEET NO.	11
DATE	11/11/11
PROJECT	PACIFIC COAST HIGHWAY AND ATLANTIC AVENUE IRRIGATION

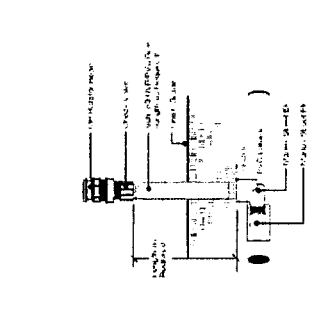


10 POP-UP MF ROTATOR HEAD  
1/4" SCALE

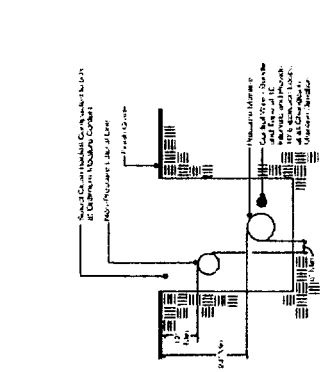
7 CONTROLLER  
1/4" SCALE

4 ISOLATION VALVE  
1/4" SCALE

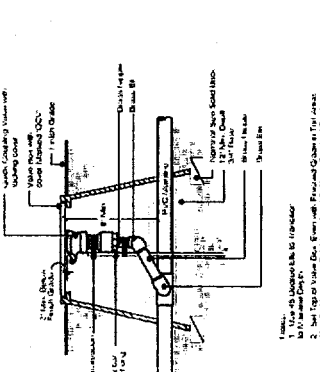
1 RED. PRESS. BACKFLOW DEVICE  
1/4" SCALE



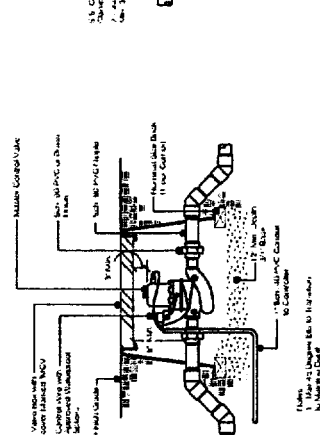
11 MF ROTATOR ON RISER  
1/4" SCALE



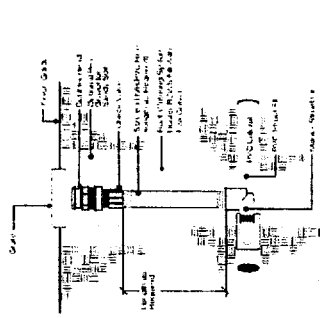
8 TRENCHING  
1/4" SCALE



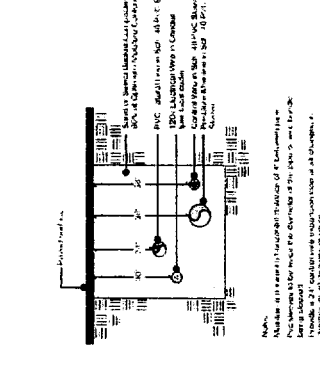
5 QUICK COUPLER VALVE  
1/4" SCALE



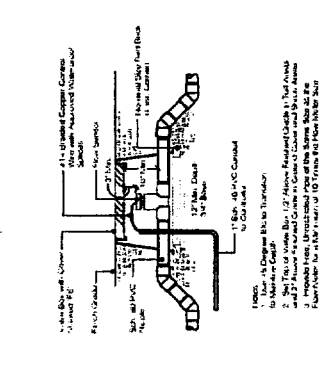
2 MASTER CONTROL VALVE  
1/4" SCALE



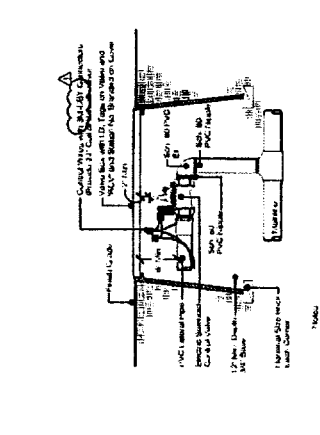
12 TREE BUBBLER  
1/4" SCALE



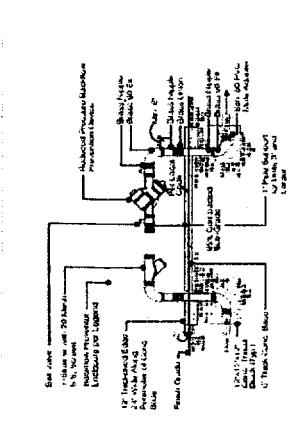
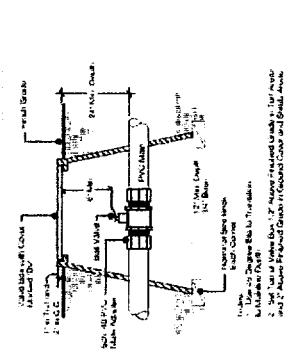
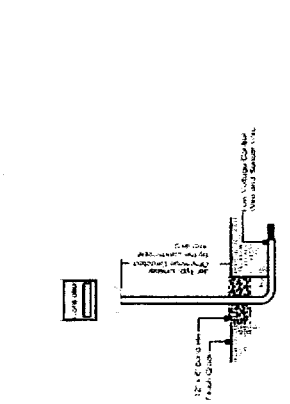
9 SLEEVING  
1/4" SCALE



6 FLOW SENSOR  
1/4" SCALE



3 REMOTE CONTROL VALVE  
1/4" SCALE

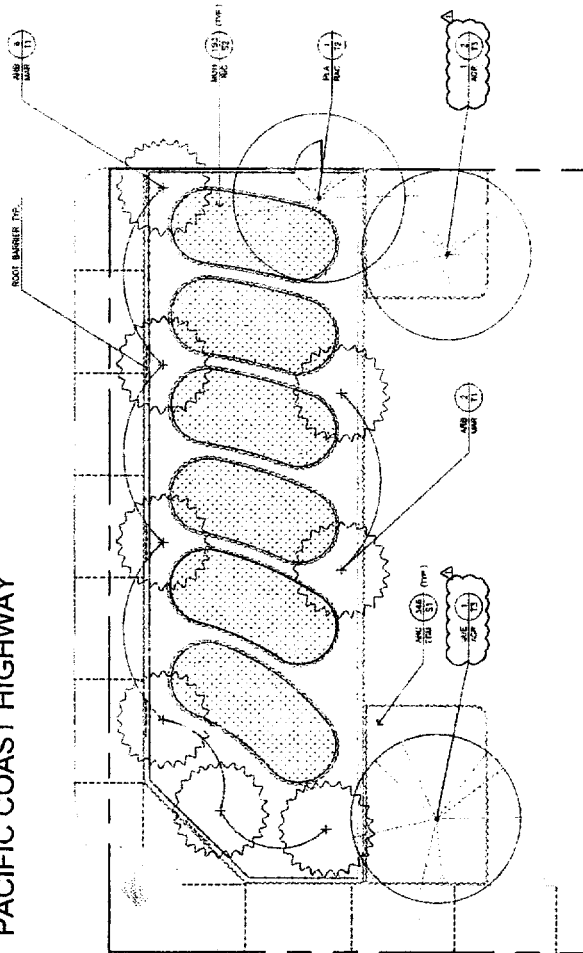


DATE: 11/11/11  
PROJECT: PACIFIC COAST HIGHWAY AND ATLANTIC AVENUE IRRIGATION



# PACIFIC COAST HIGHWAY

ATLANTIC AVE



PLANTING LIST					
SYMBOL	ABBREVIATION	SCIENTIFIC NAME	PLANTER	SIZE	REMARKS
T1	ARB. LARX	ACQUILUS LARXIA	8	1 1/2" DIA.	STANDARD
T2	ARB. LARX	ACQUILUS LARXIA	10	1 1/2" DIA.	STANDARD
T3	ARB. LARX	ACQUILUS LARXIA	15	1 1/2" DIA.	STANDARD
<b>STROBS/GROUNDCOVERS</b>					
S1	ARC. ELEM.	ACTINOTRAPHIS ELEMIFERA	24"	9 CM.	PLANT AT O.C.
S2	MOY. BG.	MARITIMICOLA BURGESSII	15"	5 CM.	PLANT AT O.C.

**MELNDRZ**

PACIFIC COAST HIGHWAY  
AND ATLANTIC AVENUE  
PLANTING PLAN

## PLANTING NOTES

1. SUBMITTALS TO VERIFY ALL PLANT SPECIES AND PLANTING METHODS TO BE USED SHALL BE MADE TO THE ARCHITECT AND THE PLANTING ENGINEER.
2. ALL PLANTS SHALL BE GROWN IN CONTAINERS AND SHALL BE DELIVERED TO THE SITE WITH A PROTECTIVE COVERING AND A PROTECTIVE NETTING TO PREVENT DAMAGE TO THE PLANTS DURING TRANSPORTATION AND PLANTING.
3. PLANTS SHALL BE DELIVERED TO THE SITE WITH A PROTECTIVE COVERING AND A PROTECTIVE NETTING TO PREVENT DAMAGE TO THE PLANTS DURING TRANSPORTATION AND PLANTING.
4. CONTAINERS SHALL BE MADE OF CORRUGATED AND NOT MADE OF METAL.
5. AUTHORIZED REPRESENTATIVE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
6. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
7. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
8. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
9. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
10. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
11. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
12. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
13. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
14. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
15. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
16. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
17. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.
18. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.

19. PLANTING SCHEDULES:  
A. SMALLER SIZE PLANTS SHALL BE PLANTED FIRST, WITH LARGER PLANTS PLANTED LAST.  
B. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.

20. PLANTING METHOD:  
A. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.  
B. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING METHOD SPECIFIED IN THE CONTRACT DOCUMENTS.

21. PLANTING MATERIALS:  
A. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING MATERIALS SPECIFIED IN THE CONTRACT DOCUMENTS.  
B. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING MATERIALS SPECIFIED IN THE CONTRACT DOCUMENTS.

22. PLANTING EQUIPMENT:  
A. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS.  
B. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS.

23. PLANTING LABOR:  
A. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING LABOR SPECIFIED IN THE CONTRACT DOCUMENTS.  
B. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING LABOR SPECIFIED IN THE CONTRACT DOCUMENTS.

24. PLANTING COSTS:  
A. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING COSTS SPECIFIED IN THE CONTRACT DOCUMENTS.  
B. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING COSTS SPECIFIED IN THE CONTRACT DOCUMENTS.

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	PLANTING				
2	PLANTING				
3	PLANTING				
4	PLANTING				
5	PLANTING				
6	PLANTING				
7	PLANTING				
8	PLANTING				
9	PLANTING				
10	PLANTING				



DATE: 10/15/2024  
SCALE: AS SHOWN  
SHEET NO. 1 OF 1

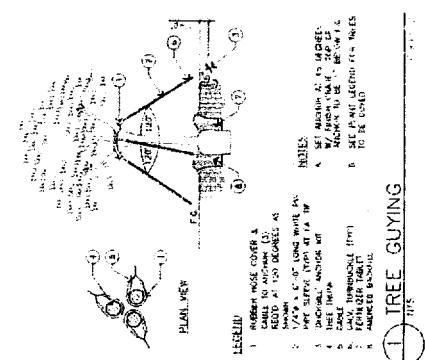
NO.	REV.	DATE	BY	CHKD.
1				
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3				
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8				
9				
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**PACIFIC COAST HIGHWAY  
AND ATLANTIC AVENUE  
PLANTING DETAILS**

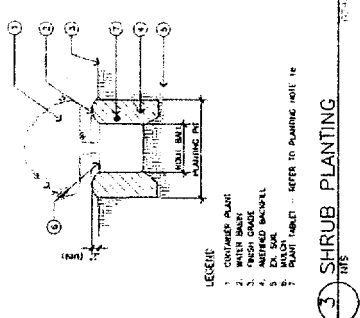
**MELENDREZ**  
1100 Pacific Coast Highway  
Pacific Palisades, California 90272  
Tel. (310) 351-1100

DATE: 11/11/70  
SCALE: AS SHOWN  
SHEET NO. 16 OF 16



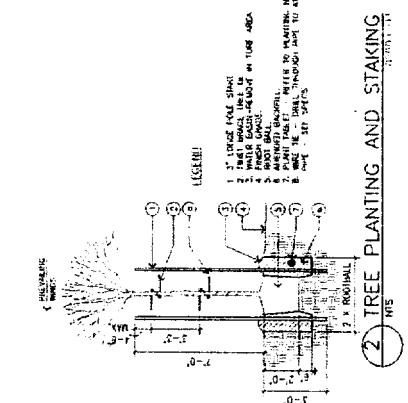
- LEGEND**
- RUBBER HOSE COVER
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
- NOTES**
- SET ANCHORS AT 90 DEGREE
  - WHILE EXCAVATING AT TREE AREA
  - REMOVE RUBBER HOSE COVER
  - REMOVE RUBBER HOSE COVER
  - REMOVE RUBBER HOSE COVER
  - REMOVE RUBBER HOSE COVER
  - REMOVE RUBBER HOSE COVER
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  - REMOVE RUBBER HOSE COVER
  - REMOVE RUBBER HOSE COVER

**1 TREE GUYING**  
1/4" = 1'-0"



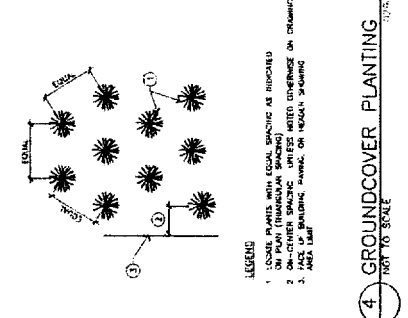
- LEGEND**
- 2" X 4" STAKE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
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**2 TREE PLANTING AND STAKING**  
1/4" = 1'-0"



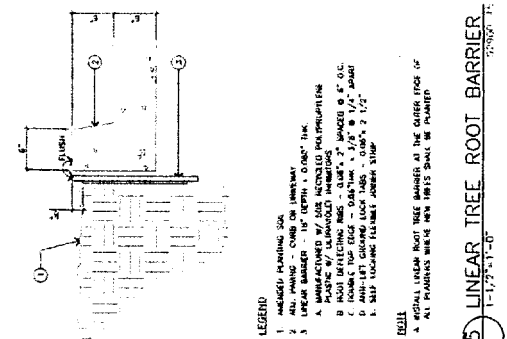
- LEGEND**
- 2" X 4" STAKE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
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  - 1/2" DIA. GALV. WIRE
- NOTES**
- SET ANCHORS AT 90 DEGREE
  - WHILE EXCAVATING AT TREE AREA
  - REMOVE RUBBER HOSE COVER
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**3 SHRUB PLANTING**  
1/4" = 1'-0"



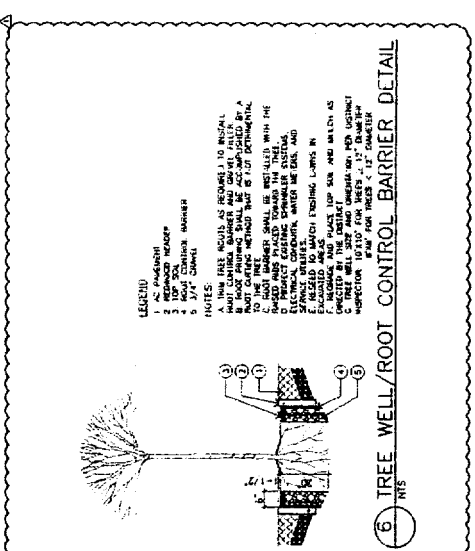
- LEGEND**
- 2" X 4" STAKE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
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  - 1/2" DIA. GALV. WIRE
  - 1/2" DIA. GALV. WIRE
- NOTES**
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  - WHILE EXCAVATING AT TREE AREA
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  - REMOVE RUBBER HOSE COVER

**4 GROUNDCOVER PLANTING**  
1/4" = 1'-0"



- LEGEND**
- 12" WIDE PLANTING SOA
  - 12" WIDE PLANTING SOA
  - 12" WIDE PLANTING SOA
  - 12" WIDE PLANTING SOA
  - 12" WIDE PLANTING SOA
  - 12" WIDE PLANTING SOA
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  - 12" WIDE PLANTING SOA
- NOTES**
- SET ANCHORS AT 90 DEGREE
  - WHILE EXCAVATING AT TREE AREA
  - REMOVE RUBBER HOSE COVER
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  - REMOVE RUBBER HOSE COVER

**5 LINEAR TREE ROOT BARRIER**  
1/4" = 1'-0"



- LEGEND**
- 12" WIDE PLANTING SOA
  - 12" WIDE PLANTING SOA
  - 12" WIDE PLANTING SOA
  - 12" WIDE PLANTING SOA
  - 12" WIDE PLANTING SOA
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  - 12" WIDE PLANTING SOA
- NOTES**
- SET ANCHORS AT 90 DEGREE
  - WHILE EXCAVATING AT TREE AREA
  - REMOVE RUBBER HOSE COVER
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  - REMOVE RUBBER HOSE COVER
  - REMOVE RUBBER HOSE COVER

**6 TREE WELL/ROOT CONTROL BARRIER DETAIL**  
1/4" = 1'-0"

**EXHIBIT "C"**

**EASEMENT AGREEMENT**

**RECORDING REQUESTED BY AND  
WHEN RECORDED RETURN TO:**

Long Beach Unified School District  
Facilities Planning and Management  
2425 Webster Avenue  
Long Beach, California 90810-3204

Attention: Director of Facilities Planning and Management

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*(Above Space for Recorder's Use Only)*

**GRANT OF EASEMENT**

THIS GRANT OF EASEMENT ("Easement") is made and entered into and to be performed in Long Beach, California, between the Long Beach Unified School District, a California public school district duly organized and existing under Chapter 1 of Division 3 of Title 2 of the Education Code of the State of California, hereinafter referred to as "GRANTOR" and the City of Long Beach, a municipal corporation, hereinafter referred to as "GRANTEE."

**RECITALS**

WHEREAS, GRANTOR is the owner of certain real property located at 1764-1766 Atlantic Avenue within the City of Long Beach, County of Los Angeles, State of California, more commonly known as Polytechnic High School ("Grantor's Property") and referred to as Los Angeles County Assessor's Parcel No. 7268-006-911;

WHEREAS, GRANTEE is the owner of certain real property located at 1790 Atlantic Avenue within the City of Long Beach, County of Los Angeles, State of California ("Grantee's Property"), and referred to as Los Angeles County Assessor's Parcel No. 7268-006-020; and

WHEREAS, GRANTEE is widening a portion of Atlantic Avenue to install a right-hand turn lane and adjacent public sidewalk ("Project"), and requires an easement from GRANTOR for sidewalk and street widening purposes, including all related purposes, over, under and across the real property; and

WHEREAS, GRANTEE desires to obtain from GRANTOR and GRANTOR is willing to grant a permanent exclusive easement for use of that portion of Grantor's Property necessary to allow GRANTEE to construct, use, and maintain the Project, as more particularly described in the legal description attached hereto and incorporated herein as Exhibit "A-1" (the "Easement Area"). The Easement Area includes any below ground footings and infrastructure that must be installed in connection with the Project subject to the terms and conditions set forth herein. Attached hereto and incorporated herein as Exhibit "A-2" is a depiction of the Easement Area.

## AGREEMENT

In consideration of the mutual covenants and conditions hereinafter set forth, the receipt and sufficiency of which are hereby acknowledged, the parties hereby agree as follows:

1. GRANT OF EASEMENT. GRANTOR does hereby grant to GRANTEE, to the extent GRANTOR has any right, title or interest in the Easement Area, a permanent exclusive easement for the benefit of the public to utilize the Easement Area to construct, use and maintain the Project in the Easement Area. References herein to GRANTOR and GRANTEE shall include GRANTOR'S and GRANTEE'S successors in interest with respect to the Grantor's Property and Grantee's Property as applicable. This Easement is subject to all existing easements, covenants, conditions, and restrictions recorded against Grantor's Property and which affect the Easement Area.

2. EFFECTIVE DATE. The Effective Date of this Easement shall be June 3, 2009.

3. LIMITATIONS ON EASEMENT. It is understood and agreed that this Easement does not constitute a conveyance of a fee interest in Grantor's Property or of the minerals therein and thereunder, but grants only the limited easement as provided in Paragraph 1 above. Unless otherwise stated herein, the Easement granted herein is on an "AS-IS" basis and GRANTOR makes no representation or warranty of any kind regarding the condition of the Grantor's Property or the Easement Area. GRANTOR retains for its successors and assigns all rights and uses that do not unreasonably interfere with the use of the rights granted herein to GRANTEE. It is understood that GRANTOR grants only that portion of the above-described real property in which it has an interest. GRANTOR, by signing below, represents and certifies that it is the owner of this real property and grants this Easement free of any other encumbrances not specifically listed herein.

4. GRANTEE'S OBLIGATIONS.

(a) Parking Lot. GRANTEE shall be responsible for all costs and expenses for repaving and re-striping the parking lot ("Parking Lot Scope of Work") located on Grantor's Property, as described in greater detail in Exhibit "B" attached hereto and incorporated herein.

(b) Wrought Iron Fence.

(1) GRANTEE shall be responsible for removal of the ten (10) foot wrought iron fence ("Fence") located on the Grantor's Property, as depicted in Exhibit "B" attached hereto and incorporated herein.

(2) GRANTEE shall be responsible for all costs and expenses associated with the removal ("Fence Removal Costs") and for all costs and expenses associated with the reinstallation of the Fence, including but not limited to architecture fees, inspector of record fees, and Division of State Architect ("DSA") fees ("Fence Reinstallation Costs") (Fence Removal Costs and Fence Reinstallation Costs shall be referred to collectively as "Fence Costs").

(3) GRANTEE or the Redevelopment Agency of the City of Long Beach shall pay to District the Fence Reinstallation Costs in the amount of Twenty-Eight Thousand Six Hundred Forty-Two Dollars (\$28,642) which consists of the Fence Reinstallation Costs, as estimated and agreed upon by the parties, and a twenty-five percent (25%) contingency for cost overruns. Upon completion of the reinstallation of the Fence, as determined by GRANTOR, all excess funds shall be returned to GRANTEE. In the event that the reinstallation of the Fence exceeds the amount of funds called for above for any reason, including but not limited to compliance with DSA, GRANTEE agrees to assume any contractual obligation or responsibility undertaken by GRANTOR, pursuant to Paragraph 4. (b) (6) below, for the reinstallation of the Fence and GRANTEE shall have full responsibility to reinstall the Fence.

(4) In the event that the Fence is damaged during the removal process, GRANTEE shall be responsible for all costs and expenses associated with the replacement or repair of such damage. Such costs and expenses are in addition to the Fence Costs and shall not be paid out of the funds paid to GRANTOR pursuant to Section 4. (b) (3).

(5) Subsequent to removal, GRANTEE shall be responsible for the proper storage of the Fence including all costs and expenses associated with such storage and the security required to ensure the Fence is not damaged, vandalized or stolen. Such costs and expenses are in addition to the Fence Costs and shall not be paid out of the funds paid to GRANTOR pursuant to Section 4. (b) (3).

(6) GRANTEE affirms that GRANTOR is exempt, without further action by GRANTOR whatsoever, from the City of Long Beach zoning requirements as they relate to the Grantor's Property, including but not limited to the removal and reinstallation of the Fence on Grantor's Property. In reliance on said exemption, GRANTOR shall contract for the reinstallation of the Fence, however, GRANTEE agrees that the costs and expenses associated with the reinstallation of the Fence shall be the responsibility of GRANTEE and shall be paid out of the funds paid to GRANTOR pursuant to Section 4. (b) (3). Furthermore, GRANTEE and its successors and assigns shall indemnify, protect, defend and hold harmless GRANTOR and its successors and assigns from and against any and all actual or potential claims, liens, actions, demands, proceedings, lawsuits, liabilities, damages, losses, fines, penalties, judgments, awards, costs and expenses (including, without limitation, reasonable attorneys' fees, litigation expenses and court costs) of every kind and character arising out of, or caused, in whole or in part, by GRANTOR'S reinstallation of the Fence as it relates to compliance or non-compliance with City of Long Beach zoning requirements; such indemnification shall be in addition to the indemnification set forth in Section 7 of this Easement and survive the termination of this Easement.

(c) GRANTEE shall conduct its activities on the Easement Area in a safe, good and workmanlike manner, to the extent possible, to avoid causing any damage to, or interference with, any activities and improvements on or near the Easement Area or any adjacent property owned by GRANTOR.

(d) GRANTEE shall maintain said Project in the same condition and repair as adjacent streets, reasonable wear and tear allowed.

5. GRANTOR'S OBLIGATIONS. Upon completion of the Parking Lot Scope of Work to GRANTOR's satisfaction, GRANTOR shall provide a written certification of acceptance to GRANTEE of the Parking Lot Scope of Work.

6. CONDITION OF GRANTEE'S PROPERTY. Unless otherwise stated herein, GRANTEE understands and acknowledges that (i) GRANTEE has inspected the Grantor's Property and Easement Area and accepts the Grantor's Property and Easement Area "AS IS" with full knowledge of the physical condition, and (ii) GRANTOR has not made any representation or warranty, express or implied, as to the condition of the Grantor's Property and Easement Area, the suitability of the Grantor's Property and Easement Area for GRANTEE's intended use or as to any matter. Nothing in this Easement shall transfer any responsibility for actual or alleged environmental contamination to GRANTEE, whether such contamination is known or unknown to GRANTOR at the time of the making of this grant or at any time thereafter.

7. INDEMNITY. The indemnification provisions set forth in this Section 7 shall survive the termination of the Easement. GRANTEE and its successors and assigns shall indemnify, protect, defend and hold harmless GRANTOR and its successors and assigns from and against any and all actual or potential claims, liens, actions, demands, proceedings, lawsuits, liabilities, damages, losses, fines, penalties, judgments, awards, costs and expenses (including, without limitation, reasonable attorneys' fees, litigation expenses and court costs) of every kind and character including, without limitation, on account of death, injury or damage to persons or property, arising out of, or caused, in whole or in part, by GRANTEE'S use of the Easement Area, including any use of the Easement Area by third parties for the purpose of the Easement, or the exercise by GRANTEE of any rights under this Easement; provided, however, that GRANTEE shall not be liable for damages caused by GRANTOR'S active or passive negligence.

GRANTOR and its successors and assigns shall indemnify, protect, defend and hold harmless GRANTEE and its successors and assigns from and against any and all actual or potential claims, liens, actions, demands, proceedings, lawsuits, liabilities, damages, losses, fines, penalties, judgments, awards, costs and expenses (including, without limitation, reasonable attorneys' fees, litigation expenses and court costs) of every kind and character including, without limitation, on account of death, injury or damage to persons or property, arising out of, or caused, in whole or in part, by GRANTOR'S use of the Easement Area or the exercise by GRANTOR of any rights under this Easement; provided, however, that GRANTOR shall not be liable for damages caused by GRANTEE'S active or passive negligence.

(a) Environmental Indemnification: GRANTOR and its successors and assigns shall indemnify, protect, defend and hold harmless GRANTEE and its successors and assigns from and against any and all costs, damages, claims, and liabilities, including reasonable attorney fees, foreseeable or unforeseeable, directly or indirectly arising from the release, treatment, use, generation, storage, or disposal on, under, or from the Grantor's Property of any Hazardous Materials at any time prior to the Effective Date of this Easement, including, without limitation, the cost of any required or necessary remediation or removal of such hazardous materials, any cost or repair or improvements on the Grantor's Property or surrounding property necessitated by the remediation or removal of such hazardous materials, and the costs of any

testing, sampling, or other investigations or preparation of remediation or other required plans undertaken in connection with the remediation or removal of such hazardous materials.

(b) Definition of Hazardous Materials: The term "Hazardous Materials" when used in this Easement shall mean any hazardous waste, hazardous substance, hazardous materials or toxic substances as defined, as of the Effective Date, in any federal, state, or local statute, ordinance, rule, or regulation applicable to the Property, including, without limitation, the Comprehensive Environmental Response, Compensation, and Liability Act of 1980, as amended (Title 42 United States Code sections 9601-9675), the Resource Conservation and Recovery Act (Title 42 United States Code sections 6901-6992k), the Carpenter-Presley-Tanner Hazardous Substance Account Act (Health and Safety Code sections 25300-25395), Hazardous Waste Control Law (Health and Safety Code section 25100-25250.25); the Hazardous Materials Transportation Act, as amended (Title 49 United States Code Sections 1801-1819); and any substance defined as "hazardous waste" in Health and Safety Code Section 25117 or as a "hazardous substance" in Health and Safety Code Section 25316, and in the regulations adopted and publications promulgated under these laws. "Hazardous Materials" shall also include asbestos or asbestos-containing materials, radon gas, and petroleum or petroleum fractions, whether or not defined as a hazardous waste or hazardous substance in any such statute, ordinance, rule, or regulation as of the Effective Date.

## 8. INSURANCE.

(a) General Liability. GRANTEE agrees to maintain in full force and effect throughout the duration of the Easement commercial general liability insurance equivalent in scope to ISO CG 00 01 11 85, including contractual coverage, coverage from and against claims, demands, causes of action, expenses, costs, or liability for injury to or death of persons, or damage to or loss of property arising out of activities solely performed by or on behalf of GRANTEE or caused by or connected with GRANTEE's use of the Easement. Such insurance shall be in amounts not less than \$1,000,000 per occurrence; and \$3,000,000 for general aggregate. Said insurance shall be primary insurance with respect to GRANTOR.

(b) Automobile Liability. GRANTEE also agrees to maintain in full force and effect for the duration of the Easement commercial automobile liability insurance equivalent in scope to ISO CA 00 01 06 92, covering Symbol 1 (any auto) with a combined single limit of \$1,000,000 per accident.

(c) Workers' Compensation. GRANTEE shall also maintain, in full force and effect throughout the term of this Easement, Workers' Compensation insurance in accordance with the laws of California, in the amount of Statutory Limits for Coverage A and \$1,000,000 per accident for bodily injury or disease for Coverage B, employers' liability.

(d) Notice; Additional Named Insureds. All insurance required under this Easement shall be issued by a company or companies lawfully authorized to do business in California as admitted carriers. GRANTOR shall be designated as an additional named insured on a form equivalent in scope to ISO CG 20 26 11 85. Prior to entry, GRANTEE shall provide GRANTOR with Certificates of Insurance.



(e) Self-Insurance. GRANTEE has the right to self-insure all or any portion of its insurance obligations herein.

9. SUCCESSORS, MISCELLANEOUS. The terms and provisions of this Easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of GRANTOR and GRANTEE. GRANTEE shall not assign, transfer or convey any of its rights and/or obligations under this Easement except in connection with a conveyance of Grantee's Property. This Easement shall remain in effect until it is released by GRANTOR and GRANTEE by recordable instrument. This Easement contains the entire agreement between the parties relating to the rights granted herein and the obligations assumed hereby and may only be modified by a written agreement executed by all parties hereto and recorded in the official records of the County of Los Angeles.

10. NOTICE. Any notice which a party is required or may desire to give the other shall be in writing and shall be sent either (a) by United States registered or certified mail, return receipt requested, postage prepaid, or (b) by a generally recognized overnight carrier providing proof of delivery. Any such notice shall be addressed to a party at the party's address appearing below. Any party may change its address for notice at any time by written notice in accordance with this paragraph 8.

LONG BEACH UNIFIED SCHOOL DISTRICT  
Facilities Planning and Management  
2425 Webster avenue  
Long Beach, California 90810-3204  
Attention: Director of Facilities Planning and Management

CITY OF LONG BEACH  
13<sup>th</sup> Floor, City Hall  
333 West Ocean Boulevard  
Long Beach, California 90802

11. ATTORNEY'S FEES. In the event any action or suit is brought by a party against another party by reason of the breach of any of the covenants or agreements set forth in this Easement or any other dispute between the parties concerning this Easement, each party shall be responsible for its own attorney's fees and costs.

12. GOVERNING LAW. This Easement shall be governed and construed in accordance with the laws of the State of California.

13. AUTHORITY. Each of the undersigned represents and warrants that he or she is duly authorized to execute and deliver this Easement and that such execution is binding upon the entity or which he or she is executing this document

14. HEADINGS. The headings of this Easement are for purposes of reference only and shall not limit or define the meaning of the provisions of this Easement.

15. SEVERABILITY. If any paragraph, section, sentence, clause or phrase contained in the Easement shall become illegal, null or void, against public policy, or to otherwise

unenforceable, for any reason, or shall be held by any court of competent jurisdiction to be illegal, null or void, against public policy, or otherwise unenforceable, the remaining paragraphs, sections, sentences, clauses or phrases contained in the Easement shall not be affected thereby.

16. SUCCESSORS AND ASSIGNS. This Agreement shall be binding on GRANTEE and GRANTOR, respectively, and the respective rights and obligations hereunder shall run with the land and shall inure to the benefit and be binding upon the heirs, successors and assigns of the parties hereto.

17. WAIVER. The waiver of any breach of any provision hereunder by GRANTOR or GRANTEE shall not be deemed to be a waiver of any preceding or subsequent breach hereunder. No failure or delay of any party in the exercise of any right given hereunder shall constitute a waiver thereof nor shall any partial exercise of any right preclude further exercise thereof.

18. COUNTERPARTS. This Agreement may be executed in any number of counterparts, each of which shall be an original but all of which shall constitute one and the same instrument.

IN WITNESS WHEREOF, the parties hereto have executed this Grant of Easement this day of \_\_\_\_\_, 2009.

Approved as to form

ATKINSON, ANDELSON, LOYA, RUUD & ROMO LONG BEACH UNIFIED SCHOOL DISTRICT

\_\_\_\_\_  
Constance J. Schwindt, Esq.  
Attorneys for Long Beach Unified School District

\_\_\_\_\_  
Name and Title

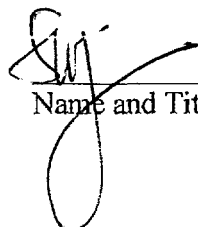
Approved as to form

CITY OF LONG BEACH

Robert E. Shannon, City Attorney

Assistant City Manager

 5-21-09  
\_\_\_\_\_  
Richard F. Anthony, Deputy

  
\_\_\_\_\_  
Patrick H. West, City Manager  
Name and Title  
EXECUTED PURSUANT  
TO SECTION 301 OF  
THE CITY CHARTER.

unenforceable, for any reason, or shall be held by any court of competent jurisdiction to be illegal, null or void, against public policy, or otherwise unenforceable, the remaining paragraphs, sections, sentences, clauses or phrases contained in the Easement shall not be affected thereby.

16. SUCCESSORS AND ASSIGNS. This Agreement shall be binding on GRANTEE and GRANTOR, respectively, and the respective rights and obligations hereunder shall run with the land and shall inure to the benefit and be binding upon the heirs, successors and assigns of the parties hereto.

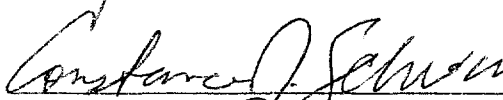
17. WAIVER. The waiver of any breach of any provision hereunder by GRANTOR or GRANTEE shall not be deemed to be a waiver of any preceding or subsequent breach hereunder. No failure or delay of any party in the exercise of any right given hereunder shall constitute a waiver thereof nor shall any partial exercise of any right preclude further exercise thereof.

18. COUNTERPARTS. This Agreement may be executed in any number of counterparts, each of which shall be an original but all of which shall constitute one and the same instrument.

IN WITNESS WHEREOF, the parties hereto have executed this Grant of Easement this 3rd day of June, 2009.

Approved as to form

ATKINSON, ANDELSON, LOYA, RUUD & ROMO LONG BEACH UNIFIED SCHOOL DISTRICT

  
Constance J. Schwindt, Esq.  
Attorneys for Long Beach Unified School District

  
Name and Title: Barrick L. Bartlett 6/3/09  
**Purchasing & Contracts Director**

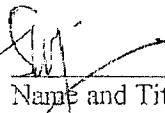
Approved as to form

CITY OF LONG BEACH

Robert E. Shannon, City Attorney

  
Richard F. Anthony, Deputy

Assistant City Manager

  
Name and Title: Patrick H. West, City Manager

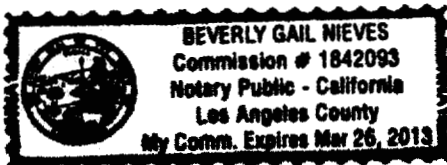
RECORDED TO SECTION 501 OF THE CITY CHARTER.

STATE OF CALIFORNIA )  
COUNTY OF Los Angeles ) ss.

On 5/26/09, before me, Beverly Nieves, personally appeared Suzanne Frick, personally known to me, or proven to me on the basis of satisfactory evidence to be the person(s) whose name(s) is subscribed to the within instrument and acknowledged to me that he she they executed the same in his her their authorized capacity(ies), and that by his her their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



(Seal)

Beverly G. Nieves  
SIGNATURE OF NOTARY

STATE OF CALIFORNIA )  
COUNTY OF Los Angeles ) ss.

On June 3, 2009, before me, Irma A. Lara-Venegas, personally appeared Barrick L. Bartlett, personally known to me, or proven to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Irma A. Lara-Venegas  
SIGNATURE OF NOTARY

(Seal)

**EXHIBIT "A-1"**

**EASEMENT AREA  
(legal description)**

LBUSD TO CITY OF LONG BEACH  
SIDEWALK EASEMENT  
ATLANTIC AVENUE BETWEEN ESTHER STREET AND PCH

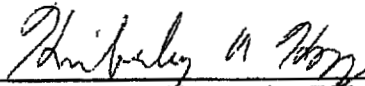
Those portions of Lot 4 through 11 inclusive of the Park Tract in the City of Long Beach, County of Los Angeles, State of California as per Map in Book 21 pages 34 of Miscellaneous Records in the Office of County Recorder of said County described as follows:

**Beginning** at the South East corner of Lot 11 of said track; thence North 000'00" East 185.00 feet along the Easterly Line of Lot 1 through 11 of said Tract to an intersection with the North Line of the South 10.00 feet of said Lot 4, measured at right angles and parallel with the South Line of said Lot 4; thence North 90'00'00" West 105.00 feet along last said parallel line to a point being 50.00 feet distant Easterly from the centerline of Atlantic Avenue, said point being the **True Point of Beginning**; thence North 90'00'00" West 10.00 feet to the intersection of a line 40.00 feet distant Easterly measured at the right angles, and parallel with the centerline of Atlantic Avenue, last said parallel line being the Easterly line of 10.00 feet wide Los Angeles County street easement as described in Deeds 3028 Pg. 245 recorded 3-5-1908, 3059 Pg. 309 recorded 12-27-1906, 3059 Pg. 313 recorded 1-22-1907, 3153 Pg. 81 recorded 3-5-1907, 3205 Pg. 3 recorded 7-15-1907, 3228 Pg. 311 recorded 12-21-06, all of the official records of said county, also said 10.00 feet wide strip annexed to the City of Long Beach 1-19-1910 by Increment No. 8 more clearly shown on City of Long Beach Drawing G-73 Sheet 5 of 5 in the Office of the City Engineer of said City, thence South 0'00'00" West 185.00 feet along last said parallel, line to the Westerly prolongation of

the Southerly line of said Lot 11; thence South 90°00'00" East 25.00 along the Southerly line of said Lot 11; thence North 45°00'00" West 21.21 feet leaving last said line to the intersection with a line 50.00 feet distant Easterly, measured at right angles, and parallel with the centerline of Atlantic Avenue, also said intersection being 15.00 feet distant Northerly of Southerly Line of said Lot 11; thence North 0°00'00" East 170.00 feet along last said parallel line to the **True Point of Beginning**.

Containing more or less 1962.50 square feet or 0.045 Acres

More particularly shown on attached Exhibit "B"

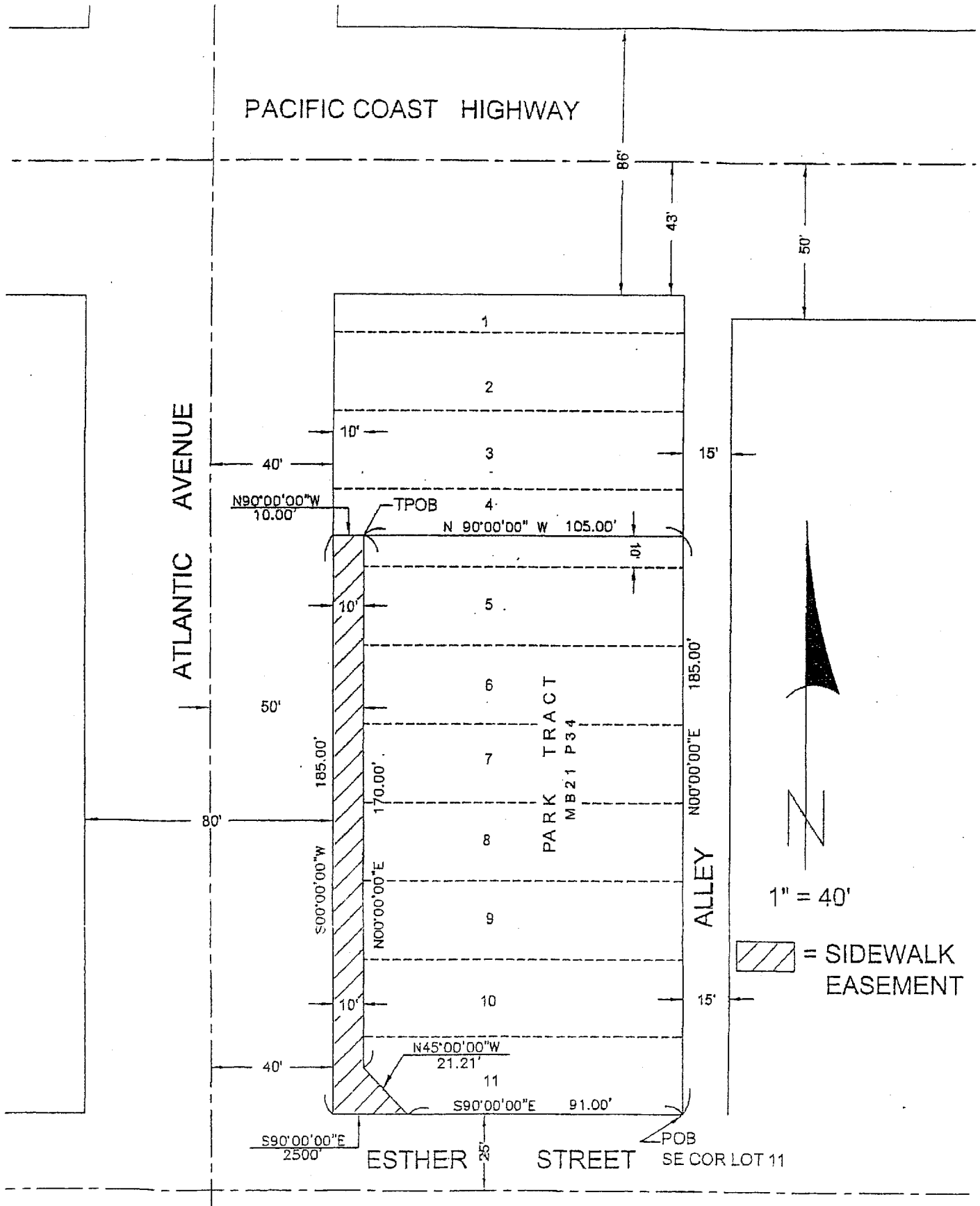
  
\_\_\_\_\_  
Kimberley A. Holtz, PLS 7080  
Expires Dec. 31, 2010





**EXHIBIT "A-2"**

**EASEMENT AREA  
(depiction)**



**EXHIBIT "B"**

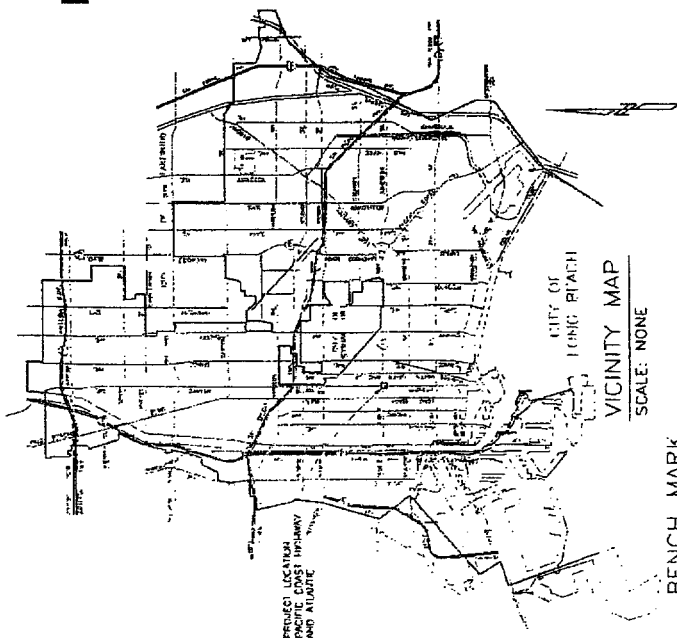
**PARKING LOT SCOPE OF WORK**

# ATLANTIC AVE NORTH BOUND RIGHT TURN POCKET BETWEEN ESTHER STREET AND PACIFIC COAST HIGHWAY

## SHEET INDEX

SHEET # TITLE

- 1 - TITLE SHEET - VERTICAL CURVE, DRIVEWAYS AND CONSTRUCTION NOTES AND SPECIFICATIONS
- 2 - ROAD PLAN & PROFILE - PACIFIC COAST HIGHWAY TO PACIFIC COAST HIGHWAY
- 3 - ROAD PLAN & PROFILE - PACIFIC COAST HIGHWAY FROM E 1/4 OF ATLANTIC AVENUE & TO E 1/4 OF ATLANTIC AVENUE
- 4 - STORM DRAIN PLAN & PROFILE - ATLANTIC AVENUE FROM ESTHER STREET TO PACIFIC COAST HIGHWAY
- 5 - CONSTRUCTION PLAN - POLY A.S. PAVING LOT AT ATLANTIC AVENUE & PACIFIC COAST HIGHWAY
- 6 - STORM PLAN - POLY A.S. PAVING LOT AT ATLANTIC AVENUE & PACIFIC COAST HIGHWAY
- 7 - STORM & SIGNING PLAN - ATLANTIC STREET TO OYANAH STREET
- 8 - TRAFFIC SIGNAL INDICATION PLAN - ATLANTIC AVENUE AND PACIFIC COAST HIGHWAY
- 9 - STREET AND PARKING LOT LIGHT PLAN - ATLANTIC AVENUE FROM ESTHER STREET TO PACIFIC COAST HIGHWAY

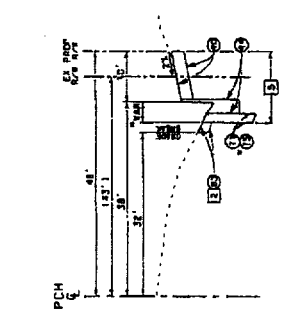


BENCH MARK

CITY OF LONG BEACH # 5405, ELEVATION 28.234'  
EAST SIDE OF WALKWAY AND 10' ELM.  
SIGN MARK 11" WOOD 1/2" ALUMINUM  
NOTES: THIS MARK IS

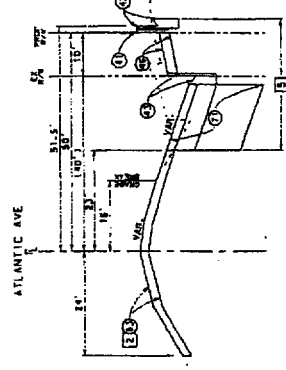
### GENERAL NOTES

- 1- THE CONTRACTOR SHALL NOTIFY SUPERVISORS SERGE ALLEN & (608) 227-7000 AT LEAST TWO WEEKS BEFORE WORK TO BE INITIATED ON CONSTRUCTION.
- 2- THE CONTRACTOR SHALL CONTACT THE LONG BEACH GAS & OIL DEPARTMENT PLANNING DIVISION AT (562) 570-1000 A MINIMUM OF TWO WEEKS BEFORE CONSTRUCTION TO REVIEW ANY PROPOSED TRENCHING THAT MAY BE DISCONTINUED BEFORE THE CHOICE OF CONSTRUCTION FROM PROPOSED TRENCHING TO BE A GAS OR OIL WELL TRENCH AND MARK THEIR ACTIVE UNDERGROUND FACILITIES FOR THE CONTRACTOR. (SEE SPECIFICATION SECTION 01100) AND HAVE THE QUESTIONS RELEVANT TO GAS OR OIL WELL TRENCHING MARKED ON DRAWINGS.
- 3- ALL TREES, SHRUBS, SPICES, PINNACLES, CROCKETS, SPRINKLER SYSTEMS, WELLS, ETC., TO BE PROTECTED UNLESS NOTED OTHERWISE.
- 4- ALL EXISTING UTILITIES ARE TO BE VERIFIED AT TIME OF CONSTRUCTION AND IF NECESSARY ALL OTHER UTILITIES SHALL BE LOCATED BY THE FIELD ENGINEER.
- 5- CONTRACTOR SHALL VERIFY THE WATER FACILITIES ARE IN PLACE, THE CONTRACTOR RESPONSIBILITY FOR THIS WORK SHALL BE RESPONSIBLE FOR ALL COSTS AS A RESULT OF ANY DAMAGE TO EXISTING WATER FACILITIES.
- 6- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL EXISTING UTILITIES AND SHALL INCLUDE IT IN BIDDING.



TYPICAL SECTION  
PACIFIC COAST HIGHWAY  
NOT TO SCALE

\*IF WIDTH IS 2' OR LESS USE NOTE 6\*



TYPICAL SECTION  
ATLANTIC AVENUE  
NOT TO SCALE

### CONSTRUCTION NOTES

- 1 REMOVE EXISTING PARKING SECTION AND SOIL.
- 2 COLD WELLS.
- 3 REMOVE AND REPLACE CONCRETE CURB AND GUTTER, 8" X 18" IN. MAJOR DRAINAGE.
- 4 VARIABLE DEPTH.
- 5 COLD WELLS AC W/SPACING, 24' MAXIMUM.
- 6 PHONE ROOTS.
- 7 PHONE TREE.

- 8 REMOVE EXISTING SIDEWALK SECTION, SIDEWALK, TOLERANCES, AND EXISTING IMPROVEMENTS.
- 9 COLD WELLS CONCRETE PREPARED TO OBTAIN PROPOSED IMPROVED SURFACE.
- 10 REMOVE & SALVAGE EXISTING STEEL, REINFORCING & TOLERANCE.
- 11 PROTECT IN PLACE (AS NOTED).
- 12 RECONSTRUCT CURB DRAIN.
- 13 RECONSTRUCT CURB DRAIN.
- 14 ADJUST WALKWAY FRAME AND COVER.
- 15 ADJUST WALKWAY WALKWAY AND COVER.
- 16 ADJUST GAS WELVE BOX AND COVER.
- 17 ADJUST SURVEY CORNER AND COVER. DO NOT DISTURB EXISTING MONUMENT.
- 18 CONSTRUCT WALKWAY DRAIN PER PER CITY STD. 119 (TYPE 1) OR CITY STD. 119-2.
- 19 CONSTRUCT WELLS WITHOUT COVER TYPE 1, (TYPE 1) OR CITY STD. 119-2.
- 20 INSTALL 12" X 12" PVC SLEEVES FOR VERTICAL ANCHORAGE WORK BY OTHERS.
- 21 INSTALL 12" X 12" WOOD BRACKETS AT SPACING, 12' FEET LONG.
- 22 PLANT ANDIANS PLANT (NOI).
- 23 CONSTRUCT 4" PCC SIDEWALK.
- 24 CONSTRUCT 12" AC CURB (FINISHABLE HEIGHT) PER PER CITY STD. 119-1, A1.
- 25 CONSTRUCT 12" AC CURB & GUTTER PER PER CITY STD. 119 AND OR CITY STD. 119-1 AND OR CITY STD. 119-1.
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DESIGNED BY:  

 PACIFIC COAST ENGINEERING, INC.  
 28172 ENCINO BLVD., SUITE 100  
 ENCINO, CALIFORNIA 91436  
 PHONE (818) 350-3020

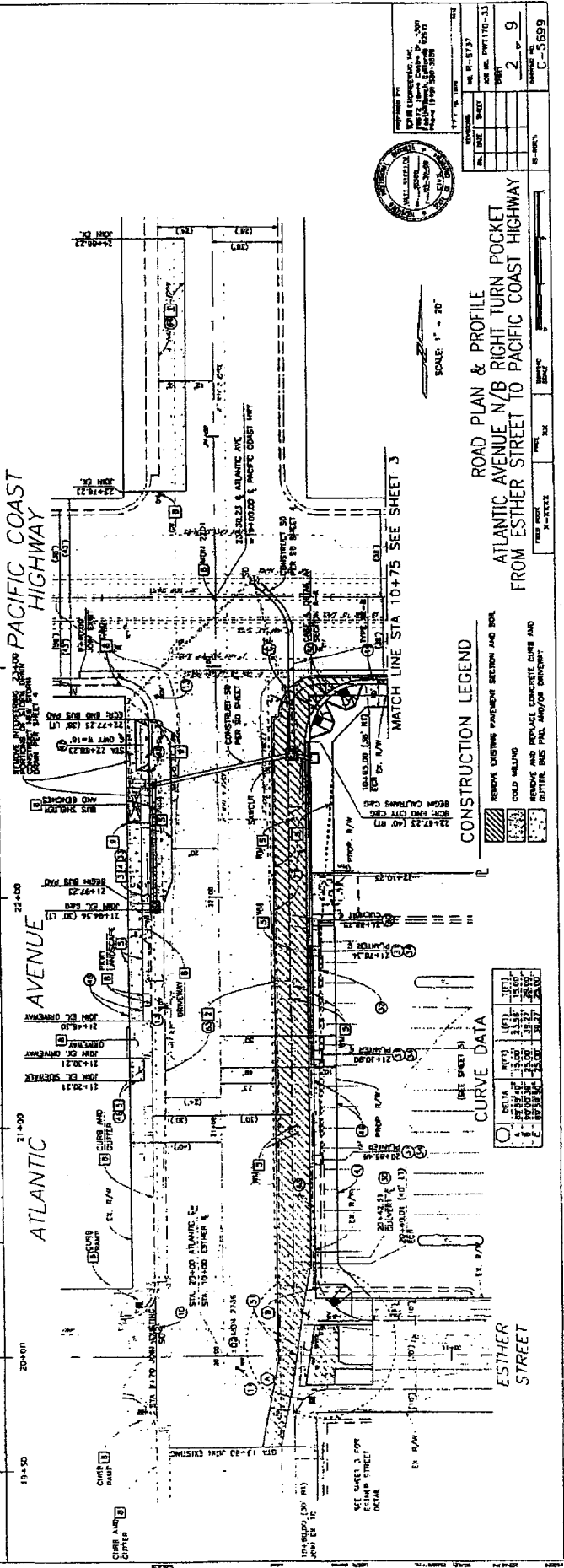
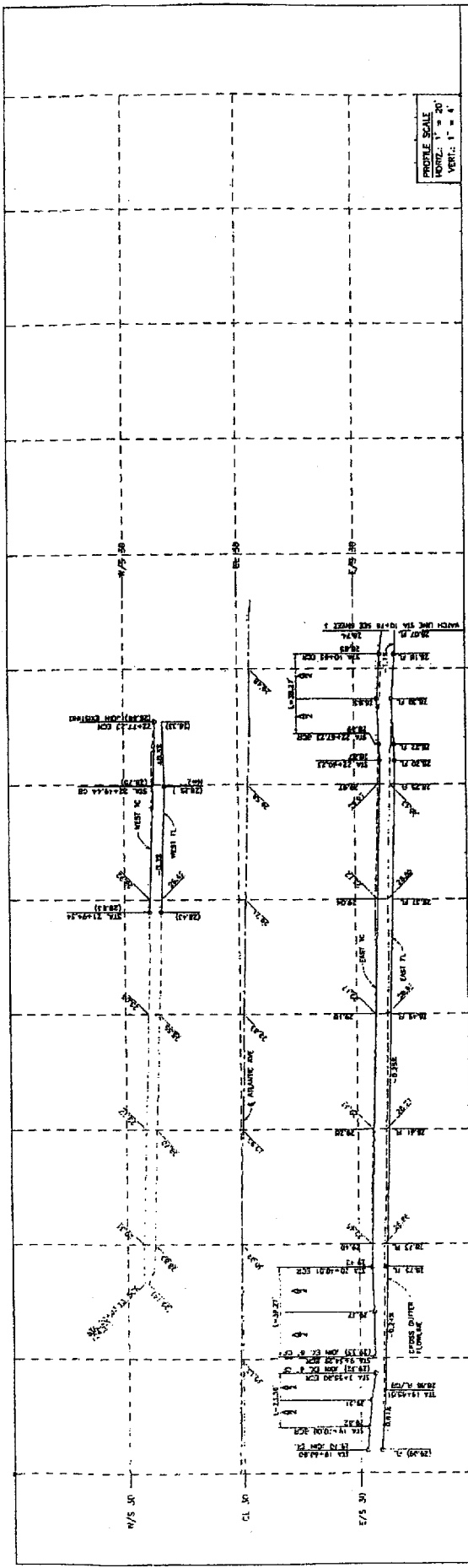
PROJECT NO.	DATE	SCALE
PACIFIC COAST HWY	11/19/23	AS SHOWN
CHECKED BY:	DATE	SCALE
PROJECT ENGINEER	11/19/23	AS SHOWN
CITY ENGINEER	11/19/23	AS SHOWN
DATE	SCALE	NO. OF SHEETS
11/19/23	AS SHOWN	9
		9
C-5569		

**ATLANTIC AVENUE NORTH BOUND  
RIGHT TURN POCKET  
BETWEEN ESTHER STREET & PACIFIC COAST HWY**

**CITY OF LONG BEACH  
DEPARTMENT OF PUBLIC WORKS  
OFFICE OF THE CITY ENGINEER**

APPROVALS	
PROJECT ENGINEER	DATE
CITY ENGINEER	DATE
CITY ENGINEER	DATE
CITY ENGINEER	DATE
CITY ENGINEER	DATE

SEE PL. SECTION FOR  
 LONG BEACH, CALIF. DIV.  
 11/19/23



DATE	NO. SHEETS	TOTAL SHEETS
11/17/50	2	9
PROJECT	NO. PROJECT	NO. SHEET
ROAD PLAN & PROFILE	2	9
CONTRACT NO.	NO. CONTRACT	NO. SHEET
C-5699		

ROAD PLAN & PROFILE  
 ATLANTIC AVENUE N/B RIGHT TURN POCKET  
 FROM ESTHER STREET TO PACIFIC COAST HIGHWAY

CONSTRUCTION LEGEND

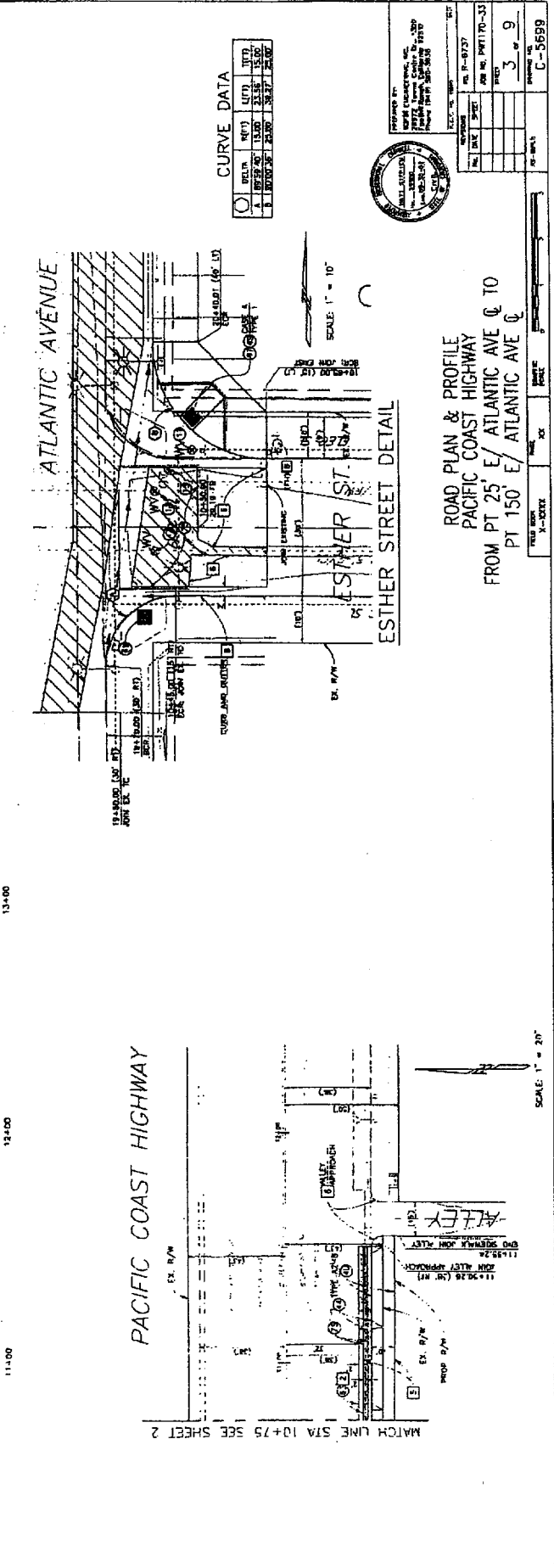
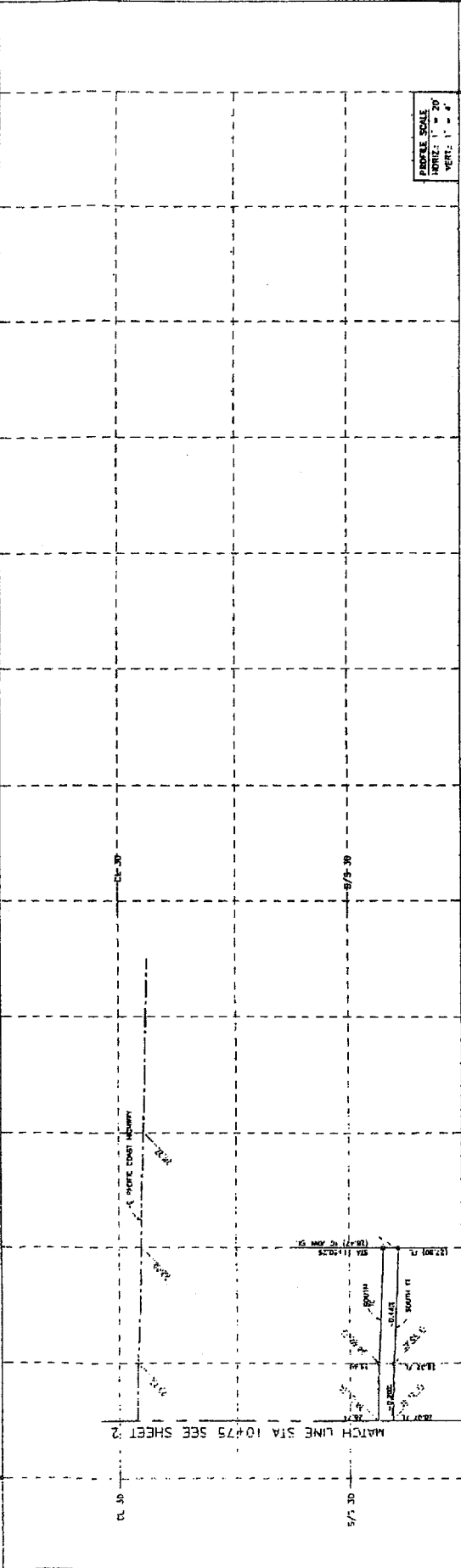
- ROADWAY EXISTING PAVEMENT SECTION AND ISOL.
- COLD MILLING
- PAVEMENT AND REINFORCE CONCRETE CURBS AND
- RAILROAD BUS PAV. AND/OR DRIVEWAY

CURVE DATA

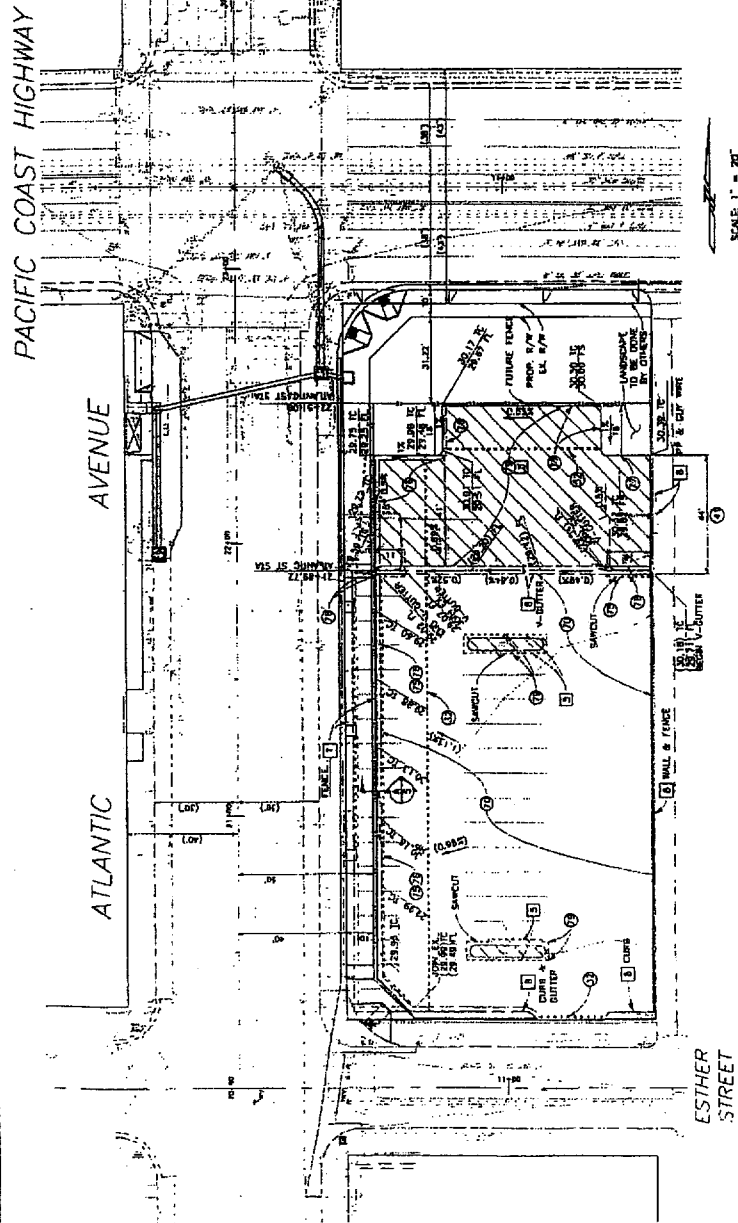
STATION	PC	PT	PI	STATION	PI	PT	PC	STATION
19+50	19+50	19+50	19+50	19+50	19+50	19+50	19+50	19+50
20+00	20+00	20+00	20+00	20+00	20+00	20+00	20+00	20+00
20+50	20+50	20+50	20+50	20+50	20+50	20+50	20+50	20+50
21+00	21+00	21+00	21+00	21+00	21+00	21+00	21+00	21+00
21+50	21+50	21+50	21+50	21+50	21+50	21+50	21+50	21+50
22+00	22+00	22+00	22+00	22+00	22+00	22+00	22+00	22+00
22+400	22+400	22+400	22+400	22+400	22+400	22+400	22+400	22+400

ESTHER STREET

MATCH LINE STA 10+75 SEE SHEET 3







DESIGNED BY: WALL AVENUE, INC. 10000 WALL AVENUE, SUITE 100, SAN FRANCISCO, CA 94115

DATE: 10/17/10

PROJECT NO.: 10000

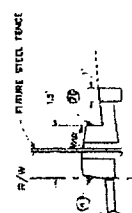
NO. SHEETS: 5

SHEET NO.: 9

SCALE: C-5689

CONSTRUCTION PLAN  
ATLANTIC AVENUE N/B RIGHT TURN POCKET  
POLY H.S. PARKING LOT

NO. SHEETS: 5  
SHEET NO.: 9  
SCALE: C-5689



V-GUTTER DETAIL  
NOT TO SCALE



PACIFIC COAST HIGHWAY

AVENUE

ATLANTIC

STOP

ESTHER STREET

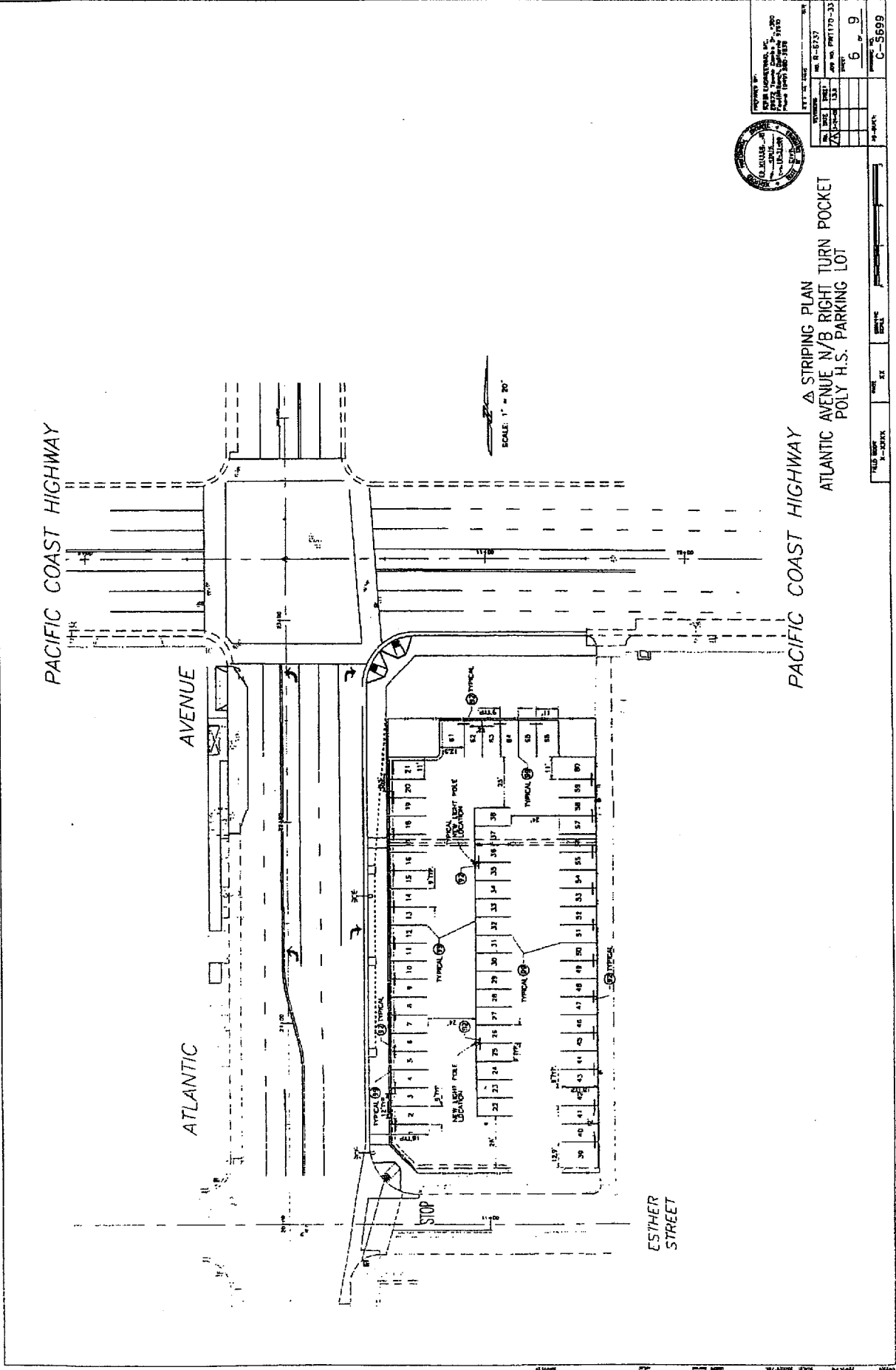
PACIFIC COAST HIGHWAY

△ STRIPING PLAN  
ATLANTIC AVENUE N/B RIGHT TURN POCKET  
POLY H.S. PARKING LOT

SCALE: 1" = 20'



PROJECT NO.	8-8737
DATE	12/15/10
BY	...
CHECKED BY	...
DATE	...
SCALE	1" = 20'
NO. OF SHEETS	6
SHEET NO.	9
PROJECT NAME	C-5699

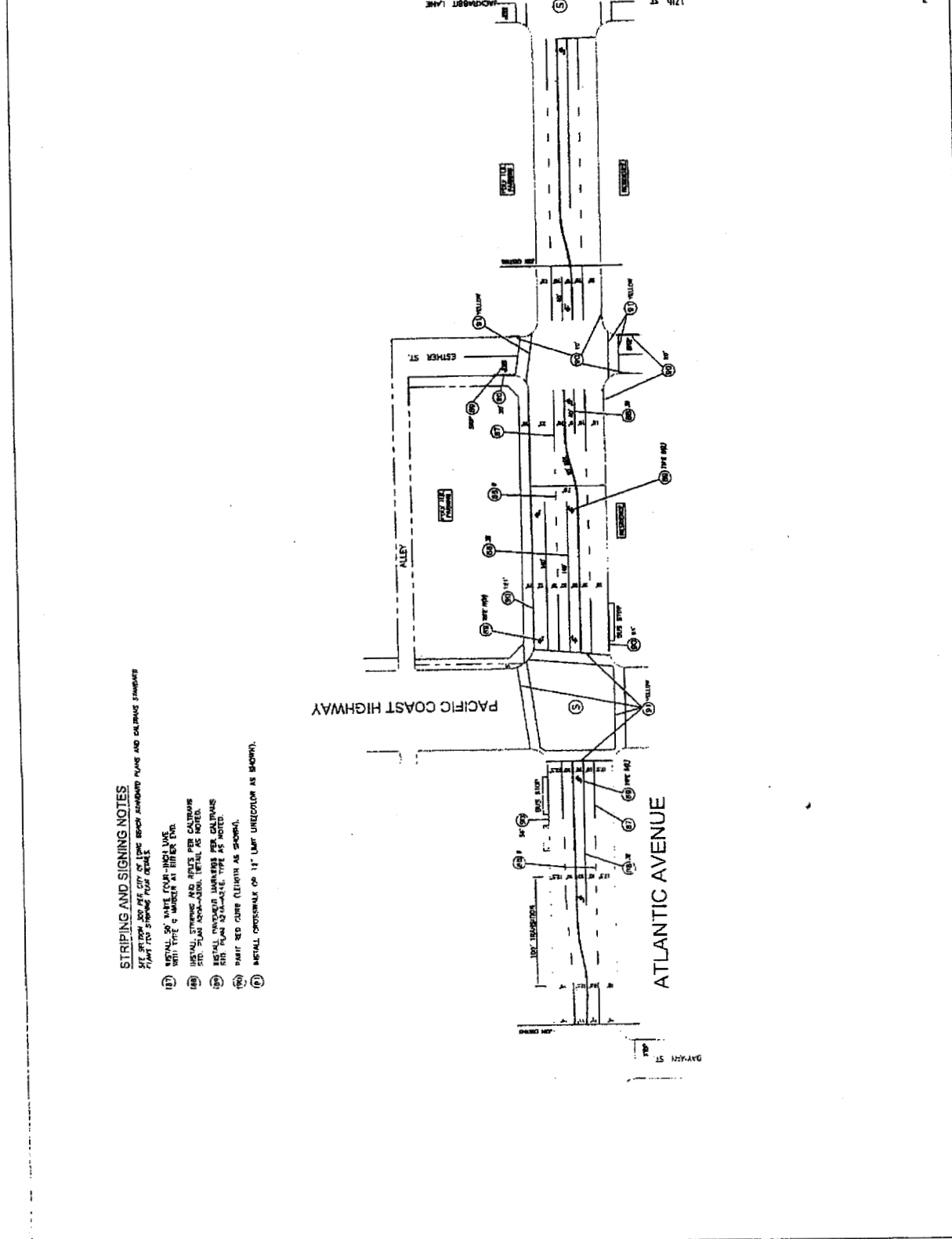


CITY OF LONG BEACH - DEPARTMENT OF PUBLIC WORKS - ENGINEERING BUREAU 333 W. OCEAN BLVD., LONG BEACH, CA 90802		APPROVALS		STRIPING AND SIGNING PLAN ATLANTIC AVENUE BETWEEN ESTHER STREET AND DAYMAN STREET	
DATE	CITY PROJECT	DATE	DATE	PROJECT NO.	PROJECT NAME
				17-1-42-1	STRIPING AND SIGNING PLAN
DATE	CITY PROJECT	DATE	DATE	PROJECT NO.	PROJECT NAME
				17-1-42-1	STRIPING AND SIGNING PLAN
DATE	CITY PROJECT	DATE	DATE	PROJECT NO.	PROJECT NAME
				17-1-42-1	STRIPING AND SIGNING PLAN

STRIPING AND SIGNING PLAN  
ATLANTIC AVENUE BETWEEN  
ESTHER STREET AND DAYMAN STREET

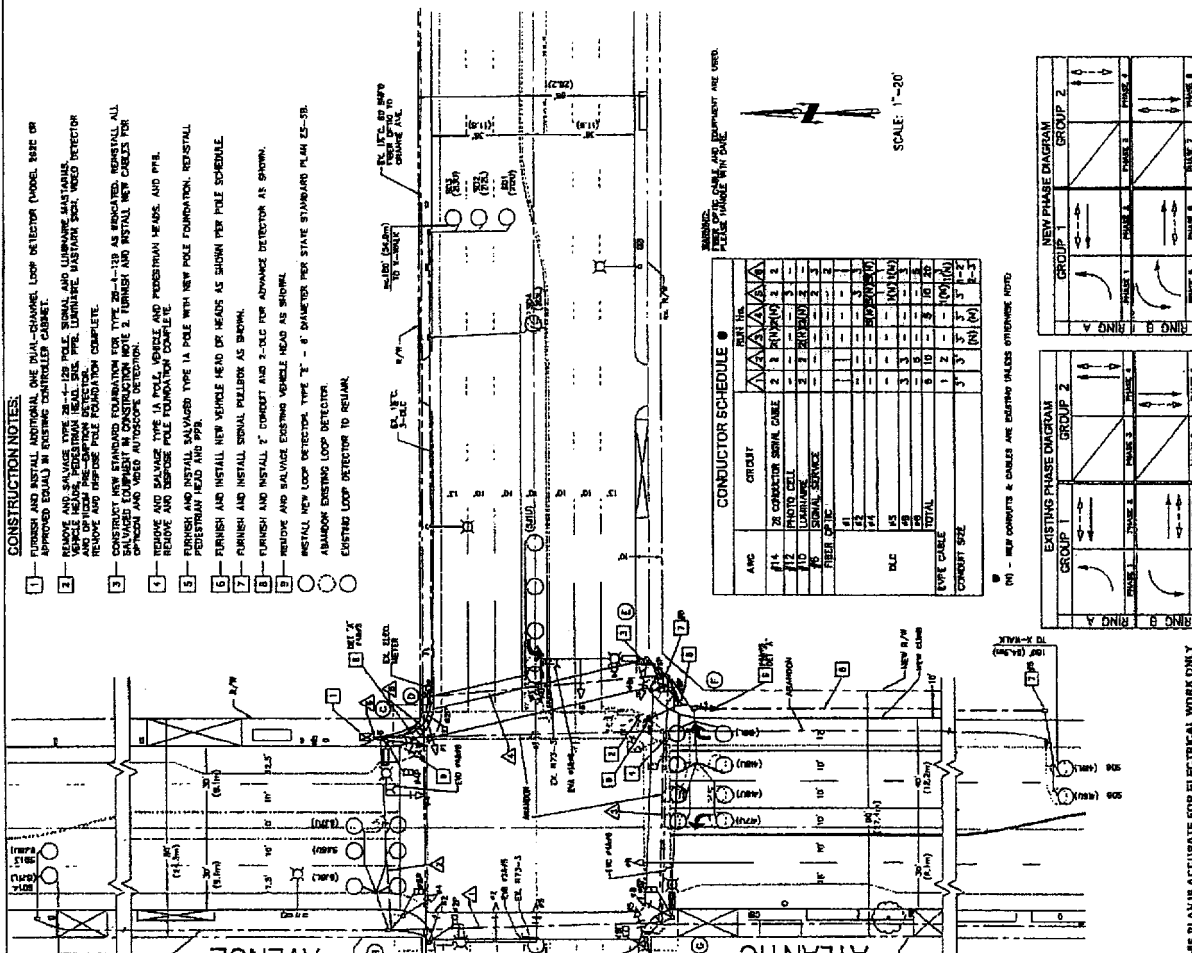
PROJECT NO. 17-1-42-1  
PROJECT NAME STRIPING AND SIGNING PLAN

DATE 7/9/73  
CITY PROJECT 17-1-42-1



**STRIPING AND SIGNING NOTES**

- 1) STRIPING AND SIGNING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.
- 2) STRIPING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.
- 3) STRIPING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.
- 4) STRIPING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.
- 5) STRIPING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.
- 6) STRIPING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.
- 7) STRIPING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.
- 8) STRIPING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.
- 9) STRIPING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.
- 10) STRIPING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.
- 11) STRIPING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.
- 12) STRIPING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA MUTUAL ROAD AND TRAILING STANDARDS.



**POLE SCHEDULE**

NO.	TYPE	HEIGHT	WIDTH	DEPTH	REMARKS
1	3" DIA. GALV. STEEL	10'-0"	12'-0"	4'-0"	FOR SIGNAL HEADS
2	4" DIA. GALV. STEEL	10'-0"	12'-0"	4'-0"	FOR SIGNAL HEADS
3	4" DIA. GALV. STEEL	10'-0"	12'-0"	4'-0"	FOR SIGNAL HEADS
4	4" DIA. GALV. STEEL	10'-0"	12'-0"	4'-0"	FOR SIGNAL HEADS
5	4" DIA. GALV. STEEL	10'-0"	12'-0"	4'-0"	FOR SIGNAL HEADS
6	4" DIA. GALV. STEEL	10'-0"	12'-0"	4'-0"	FOR SIGNAL HEADS
7	4" DIA. GALV. STEEL	10'-0"	12'-0"	4'-0"	FOR SIGNAL HEADS
8	4" DIA. GALV. STEEL	10'-0"	12'-0"	4'-0"	FOR SIGNAL HEADS
9	4" DIA. GALV. STEEL	10'-0"	12'-0"	4'-0"	FOR SIGNAL HEADS
10	4" DIA. GALV. STEEL	10'-0"	12'-0"	4'-0"	FOR SIGNAL HEADS

**CONSTRUCTION NOTES:**

1. FURNISH AND INSTALL ADDITIONAL ONE (1) PUL-CHANNEL LOOP DETECTOR MODEL, MAKE OR APPROVED EQUAL IN TECHNICAL SPECIFICATIONS.
2. REMOVE AND SALVAGE TYPE 1A POLE WITH NEW POLE FOUNDATION, REINSTALL ALL EXISTING AND NEW CONDUITS TO REMAIN AND REPAIR AND REFINISH POLE FOUNDATION COMPLETE.
3. REMOVE AND SALVAGE TYPE 1A POLE WITH NEW POLE FOUNDATION, REINSTALL ALL EXISTING AND NEW CONDUITS TO REMAIN AND REPAIR AND REFINISH POLE FOUNDATION COMPLETE.
4. REMOVE AND SALVAGE TYPE 1A POLE WITH NEW POLE FOUNDATION, REINSTALL ALL EXISTING AND NEW CONDUITS TO REMAIN AND REPAIR AND REFINISH POLE FOUNDATION COMPLETE.
5. FURNISH AND INSTALL SALVAGED TYPE 1A POLE WITH NEW POLE FOUNDATION, REINSTALL ALL EXISTING AND NEW CONDUITS TO REMAIN AND REPAIR AND REFINISH POLE FOUNDATION COMPLETE.
6. FURNISH AND INSTALL SIGNAL PUL-CHANNEL AS SHOWN.
7. FURNISH AND INSTALL 2" CONDUIT FOR ADVANCE DETECTOR AS SHOWN.
8. REMOVE AND SALVAGE EXISTING VEHICLE HEAD AS SHOWN.
9. INSTALL NEW LOOP DETECTOR, TYPE "L" - 6" DIAMETER PER STATE STANDARD PLAN ES-39.
10. REMARK EXISTING LOOP DETECTOR.
11. EXISTING LOOP DETECTOR TO REMAIN.

**CONDUCTOR SCHEDULE**

GROUP	CONDUCTOR	SIZE	NO.	REMARKS
A/C	20	2"	1	20
A/C	20	2"	2	20
A/C	20	2"	3	20
A/C	20	2"	4	20
A/C	20	2"	5	20
A/C	20	2"	6	20
A/C	20	2"	7	20
A/C	20	2"	8	20
A/C	20	2"	9	20
A/C	20	2"	10	20
A/C	20	2"	11	20
A/C	20	2"	12	20
A/C	20	2"	13	20
A/C	20	2"	14	20
A/C	20	2"	15	20
A/C	20	2"	16	20
A/C	20	2"	17	20
A/C	20	2"	18	20
A/C	20	2"	19	20
A/C	20	2"	20	20
A/C	20	2"	21	20
A/C	20	2"	22	20
A/C	20	2"	23	20
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A/C	20	2"	27	20
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A/C	20	2"	63	20
A/C	20	2"	64	20
A/C	20	2"	65	20
A/C	20	2"	66	20
A/C	20	2"	67	20
A/C	20	2"	68	20
A/C	20	2"	69	20
A/C	20	2"	70	20

**GENERAL NOTES:**

1. Traffic signal work, equipment, and materials shall conform to the 2004 Standard Specification for Construction of Transportation (California Standard Specifications).
2. Location of all underground utilities are approximate. The contractor shall verify all conditions on the job site. Hand dig to determine exact utility locations and depths as required until stop at restrictions. Contact Underground Service Alert (USA) at 800-485-5844 prior to any excavation.
3. The Traffic Signal Department of Engineer shall determine exact locations of any installations in the field prior to installation. Installation of new signal equipment shall be as shown on the plans. All new conduits shall be Type 1 (rigid galvanized steel).
4. All new conduits shall be 2" (50mm) unless otherwise specified. All new conduits shall be Type 1 (rigid galvanized steel) and to be used for conduit and support.
5. All new signal installations shall be 12" high (0.3m) nominal diameter, metal (minimum) bolts, and washers. All vehicles and pedestrians shall be notified by Light Emitting Diode (LED) per California approved Type 1 LED specifications (Design Limit 2500 mcd) at 120 per degree. Illumination shall be approved by the City of Long Beach prior to installation.
6. The contractor shall be responsible for obtaining all necessary permits for this project. The contractor's responsibility to provide the correct installation shall be the contractor's responsibility. Contractor shall obtain all needed utility, construction, and electrical permits.
7. Traffic signal installation shall not be started until the contractor shall receive a written order to commence equipment.
8. California shall furnish conduits, pull boxes, cables, wires, conduits, and any other required materials that is below or extending from the surface and any materials as noted.
9. Approval of the traffic signal shall be maintained at all times.
10. Contractor shall be responsible for the general installation only. Contractor shall be responsible for the complete construction required for the alarm system.

**TRAFFIC SIGNAL**

DRAWN BY: [Signature]

CHECKED BY: [Signature]

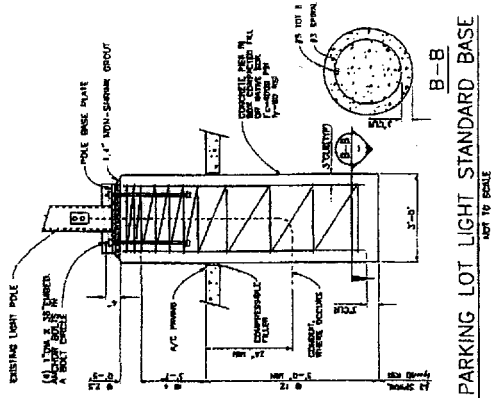
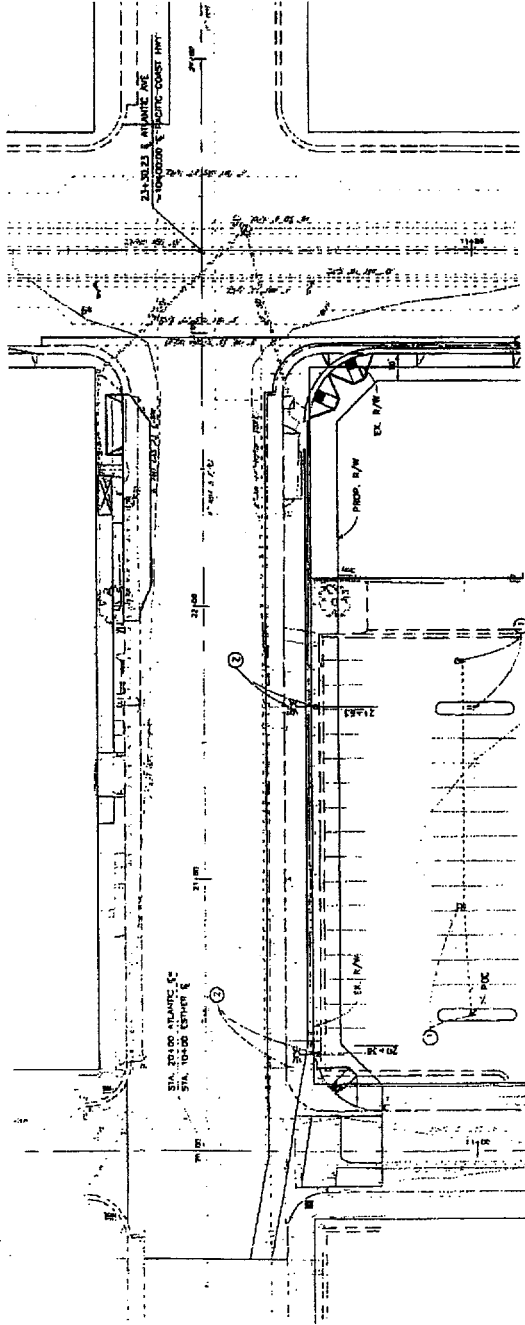
SCALE: 1" = 20'

DETAIL "A"

PACIFIC COAST  
HIGHWAY

ATLANTIC  
AVENUE

ESTHER  
STREET



PARKING LOT LIGHT STANDARD BASE  
NOT TO SCALE

SCALE: 1" = 20'

**GENERAL NOTES:**

1. FOR ELECTRICALS AT INTERSECTIONS SEE TRAFFIC SIGNAL MODIFICATION PLAN.
2. INCLUDE THE STREET LIGHT STANDARD TYPE C AND SPECIFICATIONS.
3. CONTRACTOR TO MAINTAIN EXISTING STREET LIGHTING DURING CONSTRUCTION.
4. CONTRACTOR TO COMBINE OR RELOCATE EXISTING AND NEW ELECTRICAL INTERSECTIONS.
5. LIGHT STYLE WITH ENGINEER AND CITY OF LONG BEACH ELECTRICAL REPRESENTATIVE.

**CONSTRUCTION NOTES (THIS SHEET)**

1. REMOVE EXISTING PARKING LIGHT AND ALL APPEARANCES ON THE LIGHT STANDARD BASE PER DETAILS ON THIS SHEET. THEN CONNET TO EXISTING POWER SYSTEM AND REPAIR. USE TRAFFIC SIGNAL PULL BOXES. NEW LOCATION PER STRIPING PLAN.
2. REMOVE EXISTING FOUNDATION COMPLETELY AND CONSTRUCT NEW STREET LIGHT FOUNDATION PER THIS SHEET. NEW LOCATION PER STRIPING PLAN. REMOVE EXISTING CONDUIT BETWEEN TRAFFIC SIGNAL AND LIGHT STANDARD. NEW CONDUIT PER CITY OF LONG BEACH STANDARD PER CITY OF LONG BEACH STANDARD PLAN NO. 100 CONCRETE LIGHT STANDARD TYPE C.



PROJECT NO.	NO. 8-8737
DRAWING NO.	PH179-33
SHEET NO.	9
TOTAL SHEETS	9
DATE	
BY	
CHECKED BY	
APPROVED BY	
DATE	

STREET LIGHT PLAN  
ATLANTIC AVENUE N/B RIGHT TURN POCKET  
FROM ESTHER STREET TO PACIFIC COAST HIGHWAY

C-5899

# CITY OF LONG BEACH

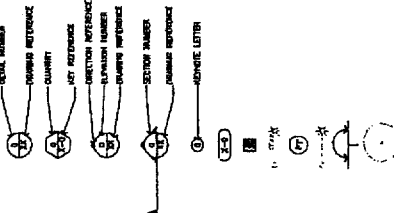
## PACIFIC COAST HIGHWAY & ATLANTIC

### LONG BEACH, CALIFORNIA

#### ABBREVIATIONS

- A.1. APPROX.
- A.2. AREA
- A.3. AREA SET - TREE
- A.4. AREA SET - TREE
- A.5. AREA SET - TREE
- A.6. AREA SET - TREE
- A.7. AREA SET - TREE
- A.8. AREA SET - TREE
- A.9. AREA SET - TREE
- A.10. AREA SET - TREE
- A.11. AREA SET - TREE
- A.12. AREA SET - TREE
- A.13. AREA SET - TREE
- A.14. AREA SET - TREE
- A.15. AREA SET - TREE
- A.16. AREA SET - TREE
- A.17. AREA SET - TREE
- A.18. AREA SET - TREE
- A.19. AREA SET - TREE
- A.20. AREA SET - TREE
- A.21. AREA SET - TREE
- A.22. AREA SET - TREE
- A.23. AREA SET - TREE
- A.24. AREA SET - TREE
- A.25. AREA SET - TREE
- A.26. AREA SET - TREE
- A.27. AREA SET - TREE
- A.28. AREA SET - TREE
- A.29. AREA SET - TREE
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- A.32. AREA SET - TREE
- A.33. AREA SET - TREE
- A.34. AREA SET - TREE
- A.35. AREA SET - TREE
- A.36. AREA SET - TREE
- A.37. AREA SET - TREE
- A.38. AREA SET - TREE
- A.39. AREA SET - TREE
- A.40. AREA SET - TREE
- A.41. AREA SET - TREE
- A.42. AREA SET - TREE
- A.43. AREA SET - TREE
- A.44. AREA SET - TREE
- A.45. AREA SET - TREE
- A.46. AREA SET - TREE
- A.47. AREA SET - TREE
- A.48. AREA SET - TREE
- A.49. AREA SET - TREE
- A.50. AREA SET - TREE

#### SYMBOLS



#### SHEET INDEX

TITLE SHEET	SHT. NO.
COVER SHEET	L-0.01
CONSTRUCTION PLAN	L-1.01
CONSTRUCTION SECTIONS & DETAILS	L-2.01
IRRIGATION PLAN, LEGEND & NOTES	L-3.01
IRRIGATION DETAILS	L-4.01
PLANTING PLAN	L-5.01
PLANTING DETAILS, LEGEND & NOTES	L-6.01

#### GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES.
2. ALL LANDSCAPE WORK SHALL BE PERFORMED BY A LICENSED LANDSCAPE ARCHITECT OR ARCHITECTURAL FIRM.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES.
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8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES.



PACIFIC COAST HIGHWAY AND ATLANTIC AVENUE LANDSCAPE PLANS

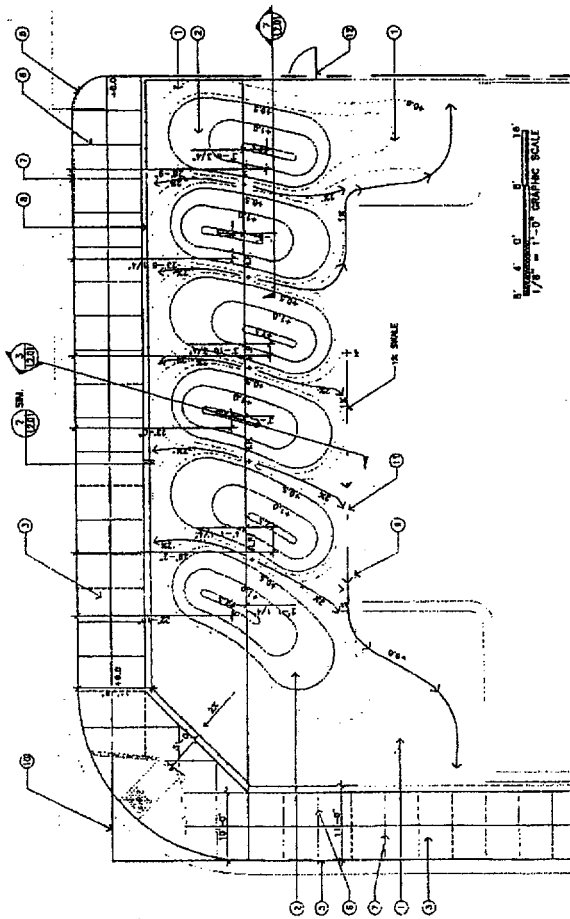
DATE: 10.15  
SHEET: 10.16

DIRE. DIVISION  
NEW HIRE / 401.1 - 4  
BY: J. G. BAKER

**MELNDRZ**

NO.	DATE	REVISION

PACIFIC COAST HIGHWAY



ATLANTIC AVENUE

KEYNOTE LEGEND

1. PLAYING AREA.
2. SCULPTURAL FORM.
3. CONCRETE SIDEWALK PER CIVIL PLAN.
4. NOT USED.
5. DRIVE PER CIVIL.
6. SCENE LIGHT PER CIVIL.
7. EXPANSION JOINT PER CIVIL.
8. PARK FENCE.
9. DRIVE CHAIN LINK FENCE PER CIVIL.
10. NORTH OF ANY LINE.
11. IS SCALE TO STREET - PARK CHANGES TO BE APPROVED BY LANDSCAPE ARCHITECT AND CITY OF LONG BEACH.
12. DATE - SEE DETAIL 1/2-1.01.

TRACT LOT NUMBERS:  
 PM 12A-47-43 LOTS 3 & 4

DEMOLITION NOTES:

1. REMOVE ALL EXISTING EXTERIOR WALLS, FENCES, CONCRETE DRIVEWAYS, DRIVEWAYS, AND DRIVEWAYS.
2. REMOVE ALL EXISTING ASPHALT AND GRAVEL DRIVEWAYS AND DRIVEWAYS.
3. IF CONCRETE IS AVAILABLE COORDINATE WITH LANDSCAPE ARCHITECT FOR REUSE OF MATERIAL.

NOTE:

- A. CONTRACTOR TO CLEAR ALL TREES AND SHRUBS TO THE PARCEL LOT TO THE NORTH AND CHAIN LINK FENCE TO THE WEST, AS APPROVED BY OWNER AUTHORIZED REPRESENTATIVE.
- B. TEMPORARY EROSION CONTROL TO BE INSTALLED DURING CONSTRUCTION.
- C. WHEN GRADING OCCURS DURING ANY PHASE OF CONSTRUCTION, THE CONTRACTOR SHALL CONDUCT AND DOCUMENT SOIL SHIELD INSPECTIONS DURING EACH PHASE EXCEPTING 5.1 NOT OVER A 24-HOUR PERIOD. IN ADDITION, GRADINGS SHALL BE COVERED.
- D. ALL FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90%.
- E. THE FOLLOWING MAPS SHALL BE USED AS APPLICABLE CA-10.1.1, 12.3.2.1, 21.5.1.3, 21.5.1.4, AND 21.5.1.5 THROUGH 21.5.1.6.
- F. PARK GRASSES TO BE APPROVED BY LANDSCAPE ARCHITECT AND CITY OF LONG BEACH.

**MELNDRZ**  
 12327-1244  
 1713-2144  
 1713-2144  
 1713-2144

DATE: 1/2/74  
 SCALE: 1/8" = 1'-0"  
 SHEET NO. 10

PACIFIC COAST HIGHWAY  
 AND ATLANTIC AVENUE  
 CONSTRUCTION PLAN



NO.	DATE	REVISIONS
1	1/2/74	AS SHOWN



MELENDRÉZ  
 ARCHITECTS  
 1150 F STREET, N.W.  
 WASHINGTON, D.C. 20004

**SECTION THROUGH MOUND**  
1/2" = 1'-0"

**LEGEND:**

- 1. PROPOSED FENCE
- 2. CONCRETE PAVERS
- 3. CONCRETE BASE COURSE
- 4. EXISTING MOUND
- 5. PROPOSED CONTOUR

**SECTION**

**ELEVATION**

**ENLARGEMENT**  
N.T.S.

**SECTION**

**ELEVATION**

**PLAN**

**SECTION THROUGH MOUND**  
3/8\"/>

**LEGEND:**

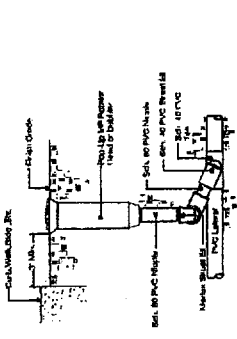
- 1. PROPOSED FENCE
- 2. CONCRETE PAVERS
- 3. CONCRETE BASE COURSE
- 4. EXISTING MOUND
- 5. PROPOSED CONTOUR

MELENDRÉZ ARCHITECTS  
 1150 F STREET, N.W.  
 WASHINGTON, D.C. 20004

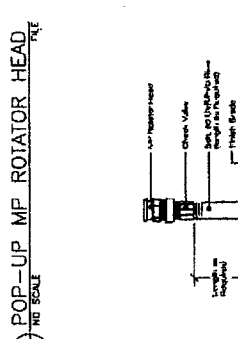




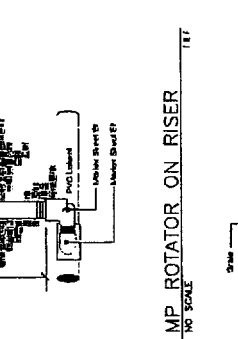
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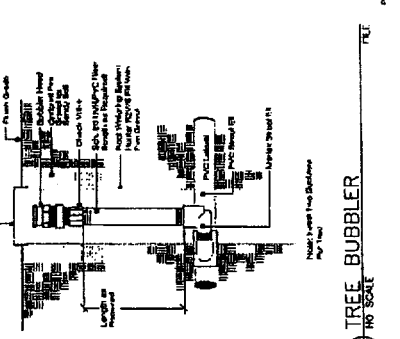
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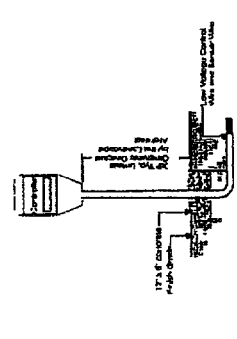
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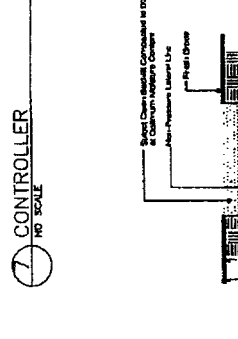
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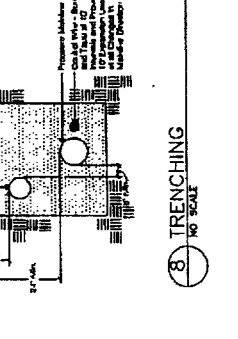
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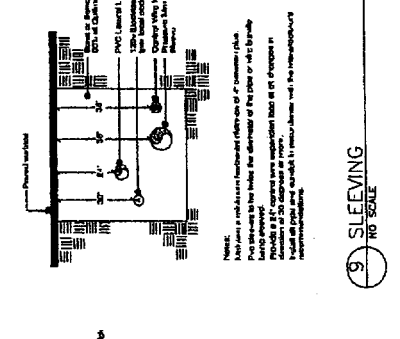
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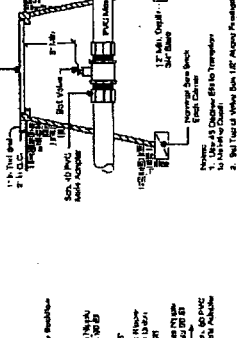
5 QUICK COUPLER VALVE  
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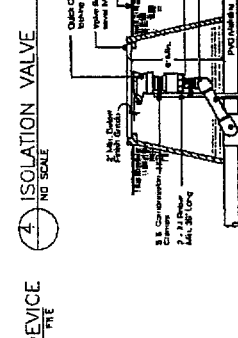
6 FLOW SENSOR  
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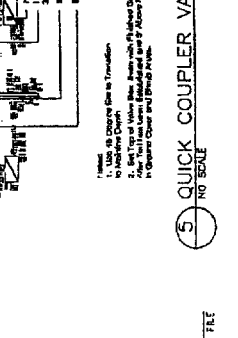
3 REMOTE CONTROL VALVE  
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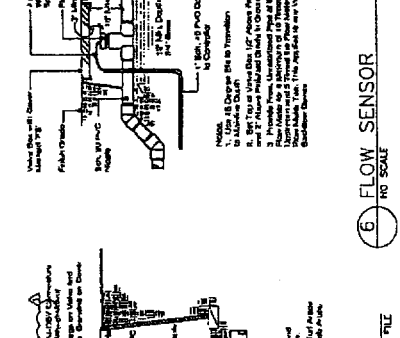
2 MASTER CONTROL VALVE  
 NO SCALE  
 FILE



9 SLEEVING  
 NO SCALE  
 FILE



11 MP ROTATOR ON RISER  
 NO SCALE  
 FILE



**MELENDREZ**  
 1000 Sycamore Street  
 Los Angeles, California 90015  
 Phone: (213) 477-1111  
 Fax: (213) 477-1112

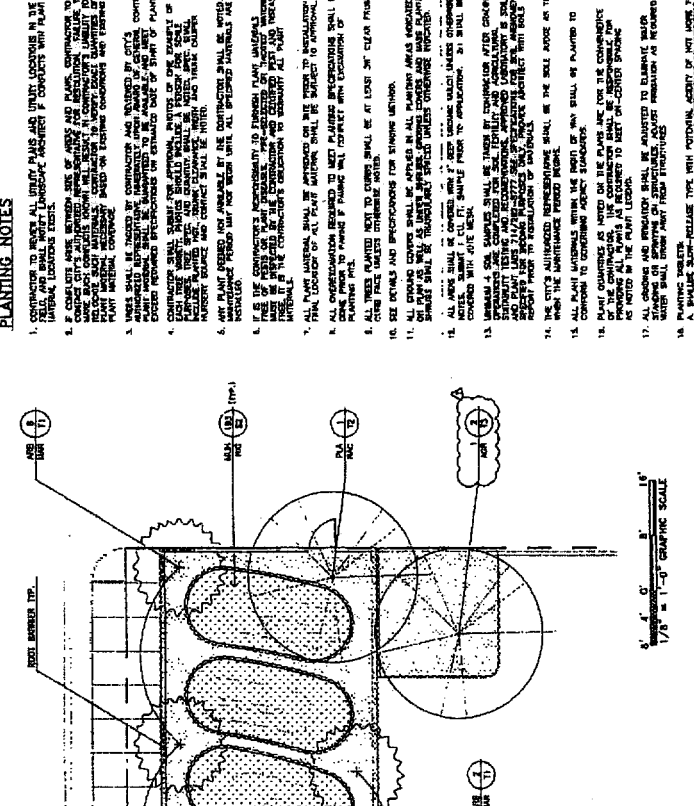
DATE OF PLAN 14 of 16  
 SHEET NO. 4 of 4

PLANTING PLAN

PACIFIC COAST HIGHWAY  
AND ATLANTIC AVENUE

MELENDRIZ

PACIFIC COAST HIGHWAY



PACIFIC COAST HIGHWAY

ATLANTIC AVE

1/8" = 1'-0" GRAPHIC SCALE

PLANTING NOTES

- 1. CONTRACTOR TO VERIFY ALL UTILITY PLANS AND FIELD CONDITIONS IN THE FIELD AND SHALL NOTIFY THEREAFTER PROMPTLY TO CONTRACTOR WITH PLANTING LOCATION TABLES.
- 2. CONTRACTOR TO VERIFY THE USE OF BIRDS AND PLANTS, CONFORMANCE TO ALL CITY AND COUNTY ORDINANCES, AND THE PROVISIONS OF THE ATLAS TO THE STATE OF CALIFORNIA AND THE CALIFORNIA NURSERY REGULATIONS, AND TO THE CITY OF PALM BEACH COUNTY ORDINANCES, AND TO THE CALIFORNIA NURSERY REGULATIONS, AND TO THE CALIFORNIA NURSERY REGULATIONS, AND TO THE CALIFORNIA NURSERY REGULATIONS.
- 3. VESSELS SHALL BE ASSESSOR BY CONTRACTOR AND INSPECTED BY CITY'S ENGINEER. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY PERMITS AND INSURANCE TO BE PROVIDED BY CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
- 4. CONTRACTOR SHALL VERIFY THE QUALITY AND QUANTITY OF THE STOCK OF PLANTS, AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
- 5. ANY PLANT PERIOD NOT AVAILABLE BY THE CONTRACTOR SHALL BE NOTED INDIVIDUALLY.
- 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE PLANT MATERIALS AND TO VERIFY THE QUALITY AND QUANTITY OF THE STOCK OF PLANTS, AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
- 7. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.
- 8. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.
- 9. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.
- 10. SEE NOTES AND SPECIFICATIONS FOR STAKE METHODS.
- 11. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.
- 12. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
- 14. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.
- 15. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.
- 16. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.
- 17. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.
- 18. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.
- 19. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.
- 20. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREIN, AND SHALL BE SUBJECT TO APPROVAL.

PLANTING LIST

MARK	QUANTITY	SPECIFICATION	DATE	PLANTING
TREES				
101	10	101' WIDE	101	101
102	10	102' WIDE	102	102
103	10	103' WIDE	103	103
104	10	104' WIDE	104	104
105	10	105' WIDE	105	105
106	10	106' WIDE	106	106
107	10	107' WIDE	107	107
108	10	108' WIDE	108	108
109	10	109' WIDE	109	109
110	10	110' WIDE	110	110
111	10	111' WIDE	111	111
112	10	112' WIDE	112	112
113	10	113' WIDE	113	113
114	10	114' WIDE	114	114
115	10	115' WIDE	115	115
116	10	116' WIDE	116	116
117	10	117' WIDE	117	117
118	10	118' WIDE	118	118
119	10	119' WIDE	119	119
120	10	120' WIDE	120	120

PLANTING LIST

MARK	QUANTITY	SPECIFICATION	DATE	PLANTING
TREES				
101	10	101' WIDE	101	101
102	10	102' WIDE	102	102
103	10	103' WIDE	103	103
104	10	104' WIDE	104	104
105	10	105' WIDE	105	105
106	10	106' WIDE	106	106
107	10	107' WIDE	107	107
108	10	108' WIDE	108	108
109	10	109' WIDE	109	109
110	10	110' WIDE	110	110
111	10	111' WIDE	111	111
112	10	112' WIDE	112	112
113	10	113' WIDE	113	113
114	10	114' WIDE	114	114
115	10	115' WIDE	115	115
116	10	116' WIDE	116	116
117	10	117' WIDE	117	117
118	10	118' WIDE	118	118
119	10	119' WIDE	119	119
120	10	120' WIDE	120	120

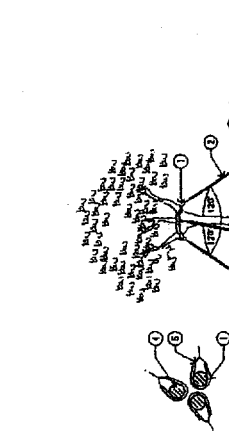
MELENDRIZ  
1840 Pacific Coast Highway, Suite 100  
Palm Beach Gardens, FL 33408  
Tel: 561-984-4444  
Fax: 561-984-4445  
www.melendrez.com

DATE 01/10/11  
SCALE 15' = 1'-0" GRAPHIC SCALE

PLANTING PLAN

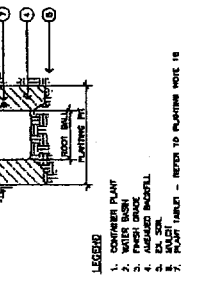
PACIFIC COAST HIGHWAY  
AND ATLANTIC AVENUE

MELENDRIZ



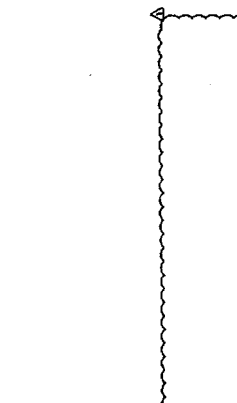
- LEGEND**
1. CONCRETE CURB
  2. DRAINAGE GRATE
  3. CONCRETE BASE
  4. ROOT BARRIER
  5. WATER BURN
  6. AGGREGATE

**1 TREE GUYING**  
NOT TO SCALE  
02500-21



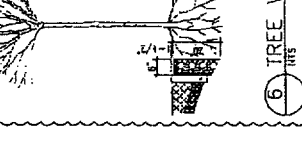
- LEGEND**
1. CONCRETE CURB
  2. DRAINAGE GRATE
  3. CONCRETE BASE
  4. ROOT BARRIER
  5. WATER BURN
  6. AGGREGATE

**2 TREE PLANTING AND STAKING**  
NOT TO SCALE  
02500-03



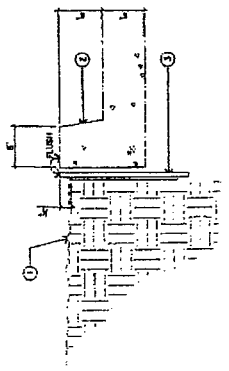
- LEGEND**
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  2. DRAINAGE GRATE
  3. CONCRETE BASE
  4. ROOT BARRIER
  5. WATER BURN
  6. AGGREGATE

**3 SHRUB PLANTING**  
NOT TO SCALE  
02500-22



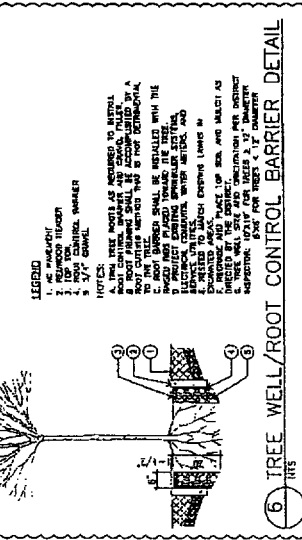
- LEGEND**
1. CONCRETE CURB
  2. DRAINAGE GRATE
  3. CONCRETE BASE
  4. ROOT BARRIER
  5. WATER BURN
  6. AGGREGATE

**4 GROUND COVER PLANTING**  
NOT TO SCALE  
02500-23



- LEGEND**
1. CONCRETE CURB
  2. DRAINAGE GRATE
  3. CONCRETE BASE
  4. ROOT BARRIER
  5. WATER BURN
  6. AGGREGATE

**5 LINEAR TREE ROOT BARRIER**  
1-177-01-00  
02500-13



- LEGEND**
1. CONCRETE CURB
  2. DRAINAGE GRATE
  3. CONCRETE BASE
  4. ROOT BARRIER
  5. WATER BURN
  6. AGGREGATE

**6 TREE WELL/ROOT CONTROL BARRIER DETAIL**  
NOT TO SCALE  
02500-14