



CITY OF LONG BEACH

DEPARTMENT OF DEVELOPMENT SERVICES

333 W. Ocean Boulevard Long Beach, CA 90802 (562) 570-6194 FAX (562) 570-6068

October 13, 2014

CULTURAL HERITAGE COMMISSION
City of Long Beach
California

RECOMMENDATION:

Approve a Certificate of Appropriateness to add a 499 square-foot one-story addition to the rear of an existing 886 square-foot one-story single family residence at 3441 Gardenia Avenue within the California Heights Historic District (District 7)

APPLICANT: Payam Nazarian
100 S. Doheny Drive #918
Los Angeles, CA 90048
(Application No. HP 14-265)

DISCUSSION

This application was continued from the September 8, 2014, Cultural Heritage Commission meeting. At the September 8, 2014, hearing the Commission expressed concern that the proposed 422 square-foot one-story and 780 square foot two-story addition was too massive and out of scale with the surrounding homes. In addition, approximately half a dozen residents spoke against the project, a petition in opposition to the project with 21 signatures was submitted, along with two letters of opposition. The report from September 8, 2014 is attached for your reference along with the letters of opposition and petition (Exhibit A- Staff Report, Letters, Petition).

Since the September Cultural Heritage Commission meeting, the applicant has submitted revised plans for a 499 square-foot one-story addition to the rear of the home. The proposed second story has been eliminated. Revised plans include the remodel and relocation of the kitchen from the rear of the home to the center, conversion of the existing front bedroom to a living room, addition of one new bathroom with remodel and relocation of the existing bathroom, and the addition of two bedrooms to the rear of the home. The existing 886 square-foot two bedroom, one bathroom home will be converted to a 1,385 square-foot three bedroom, two bathroom home. The proposed square footage of the revised project is more compatible with the surrounding neighborhood and goals of the California Heights Historic District Ordinance (Exhibit B – Plans and Photographs).

All existing window locations on the side and rear elevations will be altered with new windows, locations, and sizes. Staff recommends that the new windows shall be multi-pane (six light over six light) wood sash to match the existing window styles with a dimension of

three feet wide by four feet high or four feet wide by four feet high, with the exception of the smaller awning windows in the bathrooms. This requirement will maintain the historic window material, size, and style. A more appropriate window for the large fixed window on the front elevation is a multi-pane fixed window or two side-by-side sash windows with a four to six inch wide vertical mullion between them instead of the proposed Craftsman-style window pattern of a fixed glass centerpiece flanked by two sash windows.

Conditions for the project have been revised, as follows: there shall be no foam, wood trim or stucco surrounds on the window or doors, the window installation design shall match the existing with a projecting wood sill, the French doors proposed for each bedroom on the rear elevation shall have a divided light or one piece of glass with wood trim, if sidelights are proposed they shall have divided lights to match the door pattern and all windows and exterior doors shall be wood.

Based on the plans and proposed conditions of approval, staff has analyzed the proposed project and believes that the one-story addition is in compliance with Section 2.63.070 of the City of Long Beach Municipal Code (Cultural Heritage Commission), the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the California Heights Historic District (Ordinance No. C-6704). Staff recommends approval of the proposed project (Exhibit C - Findings and Conditions of Approval).

PUBLIC HEARING NOTICE

As the project was continued from September 8, 2014 to a date uncertain, revised public hearing notices were mailed on September 23, 2014. A notice was also mailed to the California Heights Neighborhood Association. No responses were received as of the date of preparation of this report.

ENVIRONMENTAL REVIEW

In accordance with Section 15302 of the Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project is exempt as an alteration to an existing structure, subject to the requested Certificate of Appropriateness.

Respectfully submitted,



STEVE GERHARDT, AICP
ACTING PLANNING OFFICER

SG:lf

Attachments Exhibit A – Staff Report, Letters, Petition
 Exhibit B – Revised Plans & Photographs
 Exhibit C -- Findings & Conditions of Approval



CITY OF LONG BEACH

DEPARTMENT OF DEVELOPMENT SERVICES

333 W. Ocean Boulevard Long Beach, CA 90802 (562) 570-6194 FAX (562) 570-6068

September 8, 2014

CULTURAL HERITAGE COMMISSION
City of Long Beach
California

RECOMMENDATION:

Review and consider approval of a Certificate of Appropriateness to add a 422 square-foot one-story and a 780-square-foot two-story addition to the rear of an existing single-story residence for a total addition of 1,202 square feet to an existing 886 square foot one-story single family residence at 3441 Gardenia Avenue within the California Heights Historic District (District 7)

APPLICANT: Payam Nazarian
100 S. Doheny Drive #918
Los Angeles, CA 90048
(Application No. HP 14-265)

DISCUSSION

The subject site, 3441 Gardenia Avenue, is located on the west side of Gardenia Avenue between Wardlow Road and East 36th Street (Exhibit A - Location Map). The site is within the California Heights Historic District and has a zoning designation of R-1-N (Single-family Residential District with standard size lots). The parcel is 5,737.5 square-feet in area (45 feet by 127.5 feet) and is improved with an 886 square-foot, one story Neo-Traditional home built in 1951. A detached 480 square-foot two-car garage is located towards the rear of the lot with access provided from the alley. The California Heights Historic District was adopted in 1990 (C-6704) and expanded in 2000 when Gaviota, Rose, and Gardenia Avenues between Wardlow and Bixby Roads were added to the district (C-7702). The home is classified as a contributing structure.

The applicant is requesting approval for a one and two story 1,202 square-foot addition to the rear of the existing residence (Exhibit B – Plans and Photographs). The plans call for the removal of the rear (west) wall of the home and eight feet of the south wall. The first story addition at the rear of the home will provide a larger kitchen and dining area, larger bedroom and relocate a full bathroom. The 780 square foot second story addition will provide a master bedroom with master bath and walk in closet and another bedroom with a full bathroom and sitting area. The existing home has two bedrooms and one bathroom. The addition will provide a total of four bedrooms, three full bathrooms, a larger kitchen and dining area in a 2,088 square foot home.

The home was built in 1951. In 1969 an open carport approximately 20 feet by 13 feet was added to the north side of the garage. The existing home has a square shape with a low pitch hipped roof, boxed eaves and a small simple recessed porch. The exterior is finished with a cream colored smooth stucco and the windows on the side and rear elevations are multi-pane divided light (six over six) wood sash windows. The two windows on the front elevation have been changed to vinyl with sandwiched mullions. The eaves have been boxed in with vinyl and the diagonal porch columns are also covered in vinyl. There is a detached two car garage at the rear of the lot with a carport attached to the north side of the garage. No Certificates of Appropriateness have been issued for this property.

The home is classified as Neo-Traditional. These homes were mostly developed between 1935-1948 and typically are one story with a stucco finish or clapboard siding and hipped roof. Windows were often multipaned sash with bay windows and window shutters.

Initially, the applicant submitted plans for a 462 square foot first floor and 865 square foot second story addition for a total of 1,327 square feet and would have removed approximately 40 percent of the exterior walls. The original plans included a front facing gable over both floors and large expanses of blank wall. Windows were shown as white vinyl sliders in varying sizes and a random pattern. The front porch columns were modified to straight columns with a large base and the front door replaced with an inappropriate style door. The applicant has been working with staff and has also met with the City's Historic Preservation consultant to review the proposed project and provide direction on the design. The applicant was encouraged to reduce the square footage of the addition, maintain the side elevations as much as possible, offset the addition and change the roofline from a front facing gable roof to a low pitched hip roof. It was also recommended that the windows be changed to wood sash and the window pattern be more consistent.

The applicant has reduced the square footage from 2,167 to 2,088, a reduction of 79 square feet. The roof has been changed to a low pitch hip roof, which has substantially changed the appearance of the home making it more compatible with neighboring structures. Boxed eaves are proposed although Neo-Traditional homes traditionally have exposed rafter tails. In addition, many windows were added and they were changed from vinyl sliders to wood sash with a few fixed and awning type windows. None of the existing original windows on the first floor are scheduled to remain.

Although many changes have been made to the plans that result in the proposed addition being more compatible with the historic district and surrounding properties, the project will be substantially larger and more massive than surrounding homes. If the project is approved, it will be the second two-story home on this block. The first two-story addition was approved prior to adoption of the historic district. The proposed 1,202 square foot addition will compromise the historic integrity of the existing 886 square foot home and will no longer be a contributing structure. Staff has concerns that the size and mass of the home may not be compatible with the surrounding historic district.

Based on the plans and proposed conditions of approval, if the commission finds that the proposed 1,202 square foot two story addition to an existing one story Neo-Traditional residence is in compliance with Section 2.63.070 of the City of Long Beach Municipal Code (Cultural Heritage Commission), the Secretary of the Interior's Standards for

Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the California Heights Historic District (Ordinance No. C-6704), staff recommends approval of the proposed project (Exhibit C - Findings and Conditions of Approval).

PUBLIC HEARING NOTICE

Public notices were distributed on August 19, 2014. A notice was also mailed to the California Heights Neighborhood Association. No responses were received as of the date of preparation of this report.

ENVIRONMENTAL REVIEW

In accordance with Section 15302 of the Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project is exempt as an alteration to an existing structure, subject to the requested Certificate of Appropriateness.

Respectfully submitted,



STEVE GERHARDT, AICP
PLANNER

SG:lf

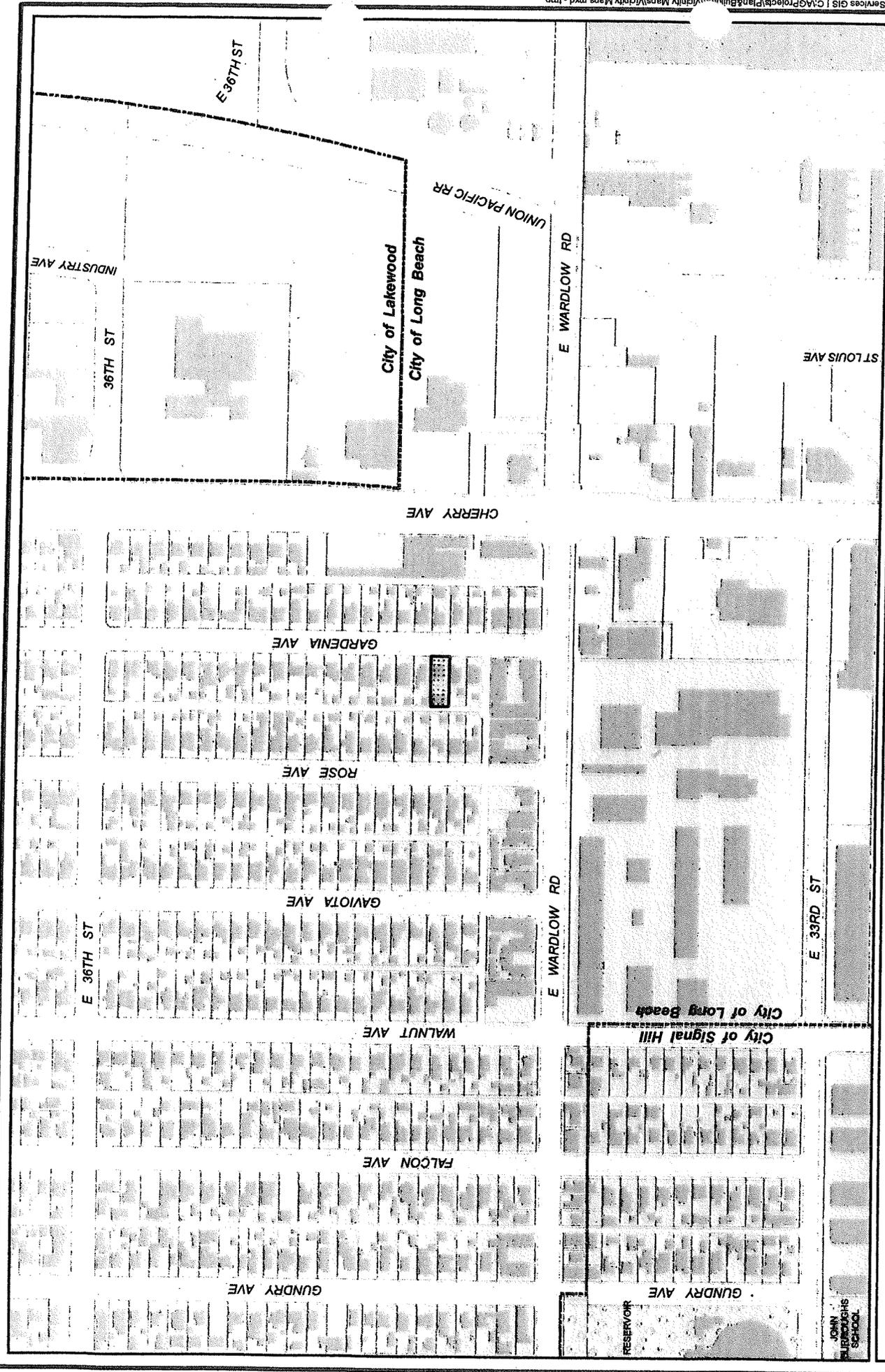
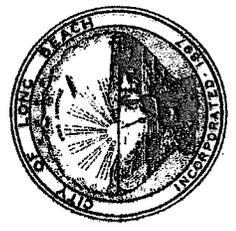
Attachments Exhibit A - Location Map
 Exhibit B - Plans & Photographs
 Exhibit C - Findings & Conditions of Approval



Exhibit A



Subject Property:
3441 Gardena Ave
Application No. HP14-265
Council District 7
Zoning Code : R-1-N



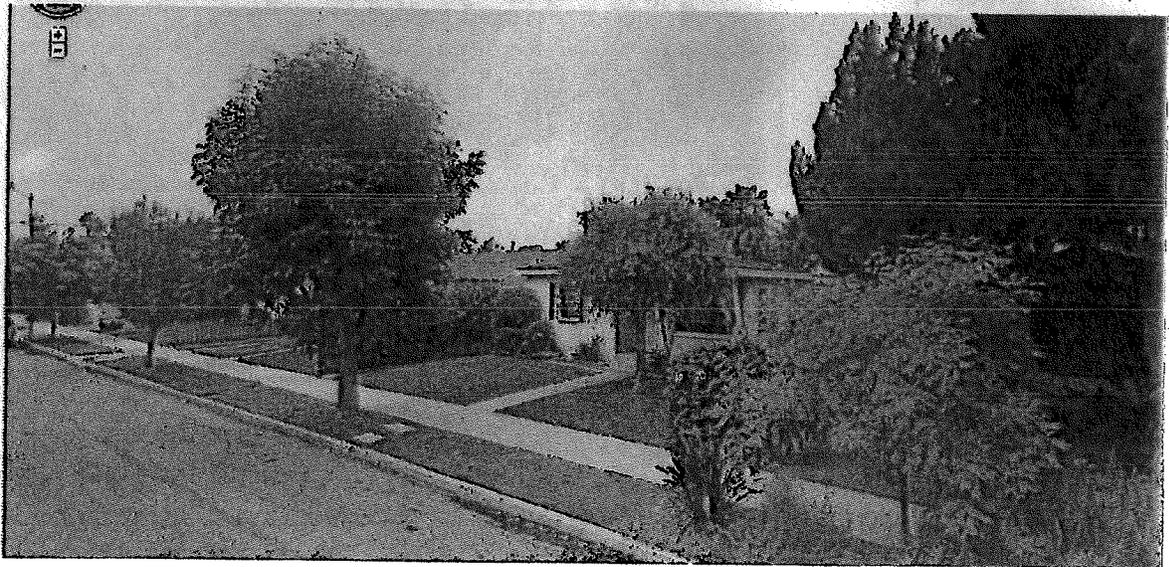
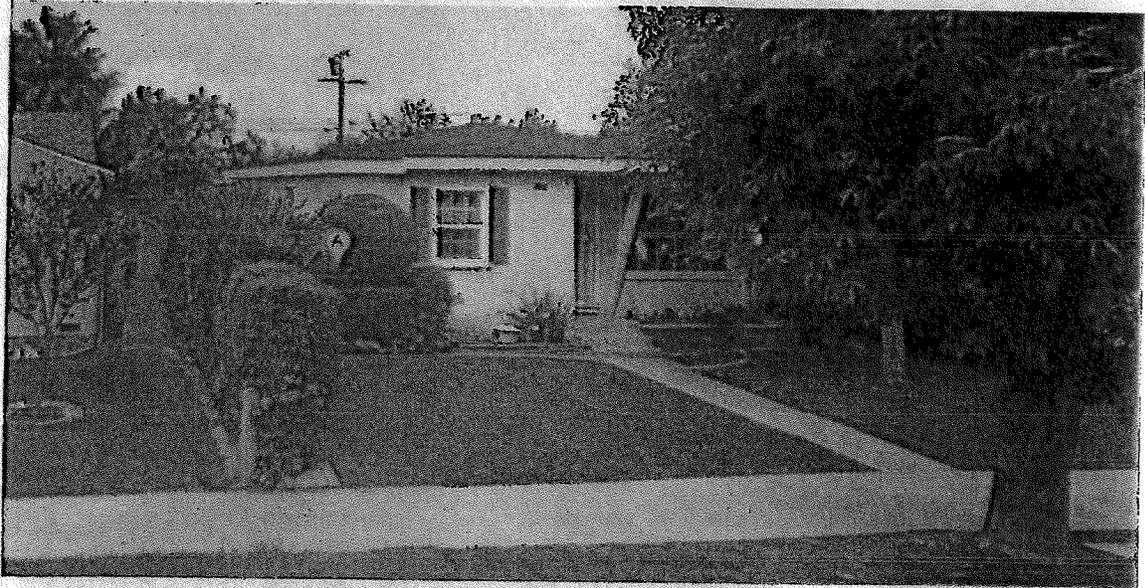


Exhibit B

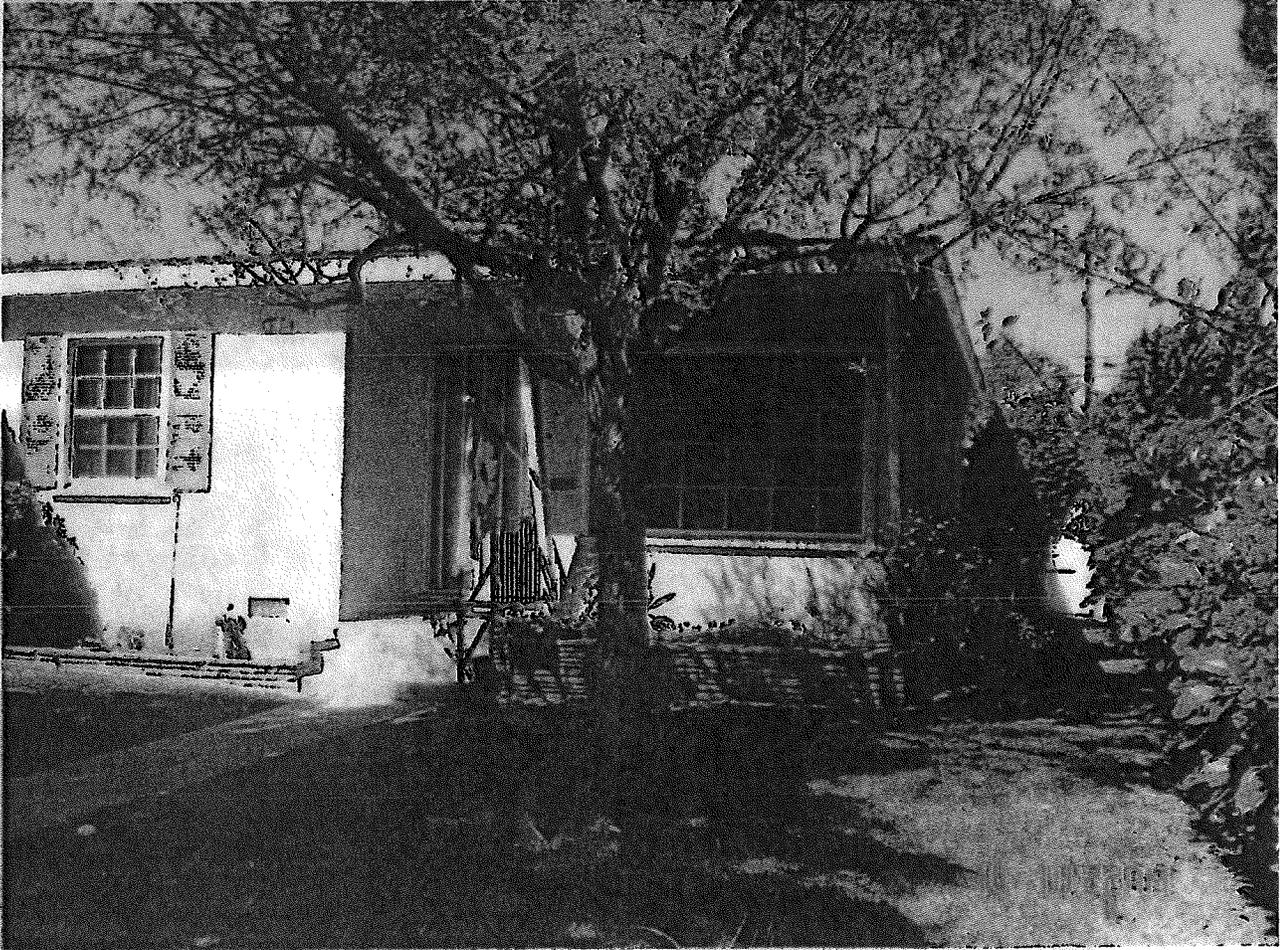
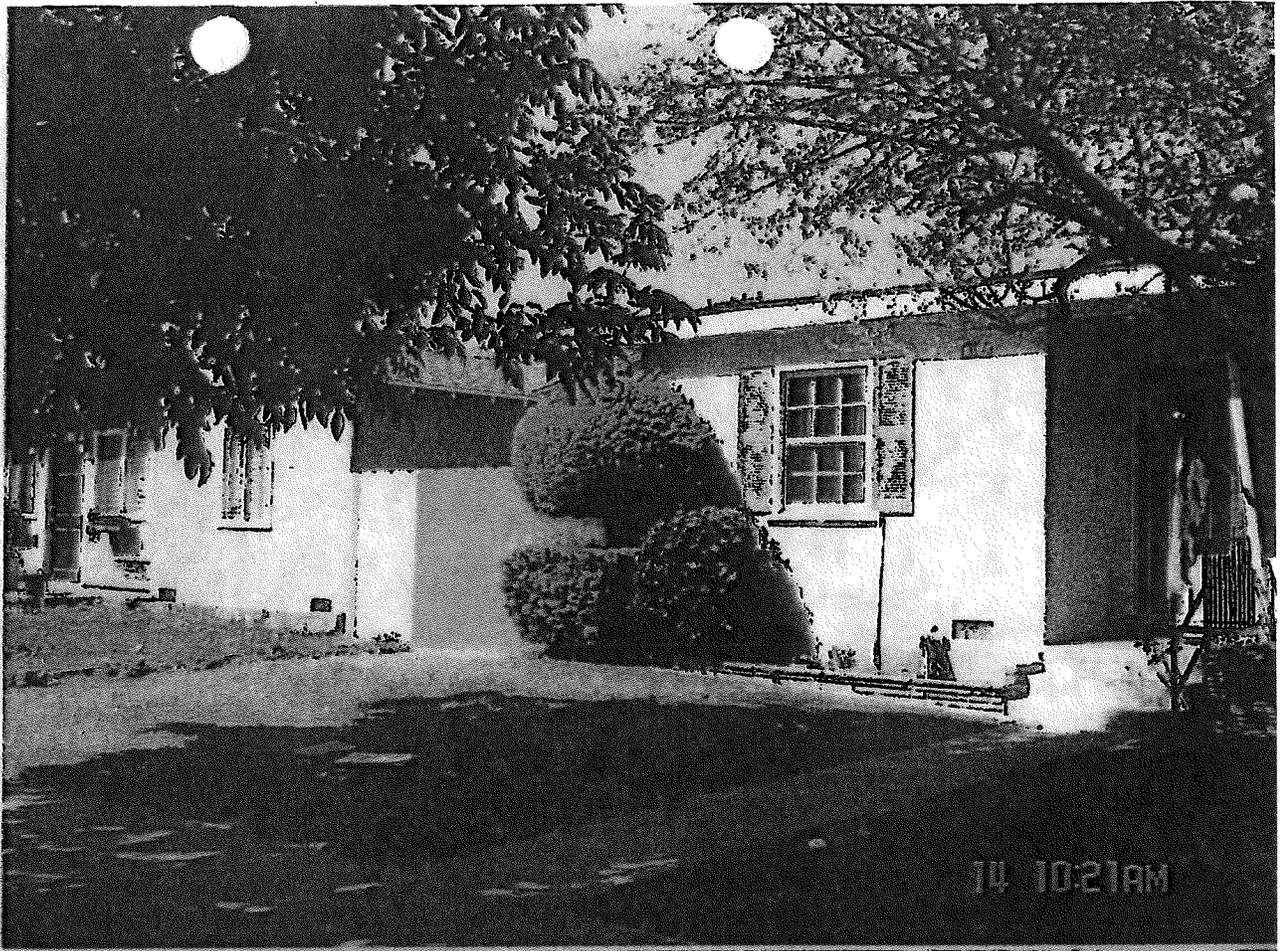


Exhibit B

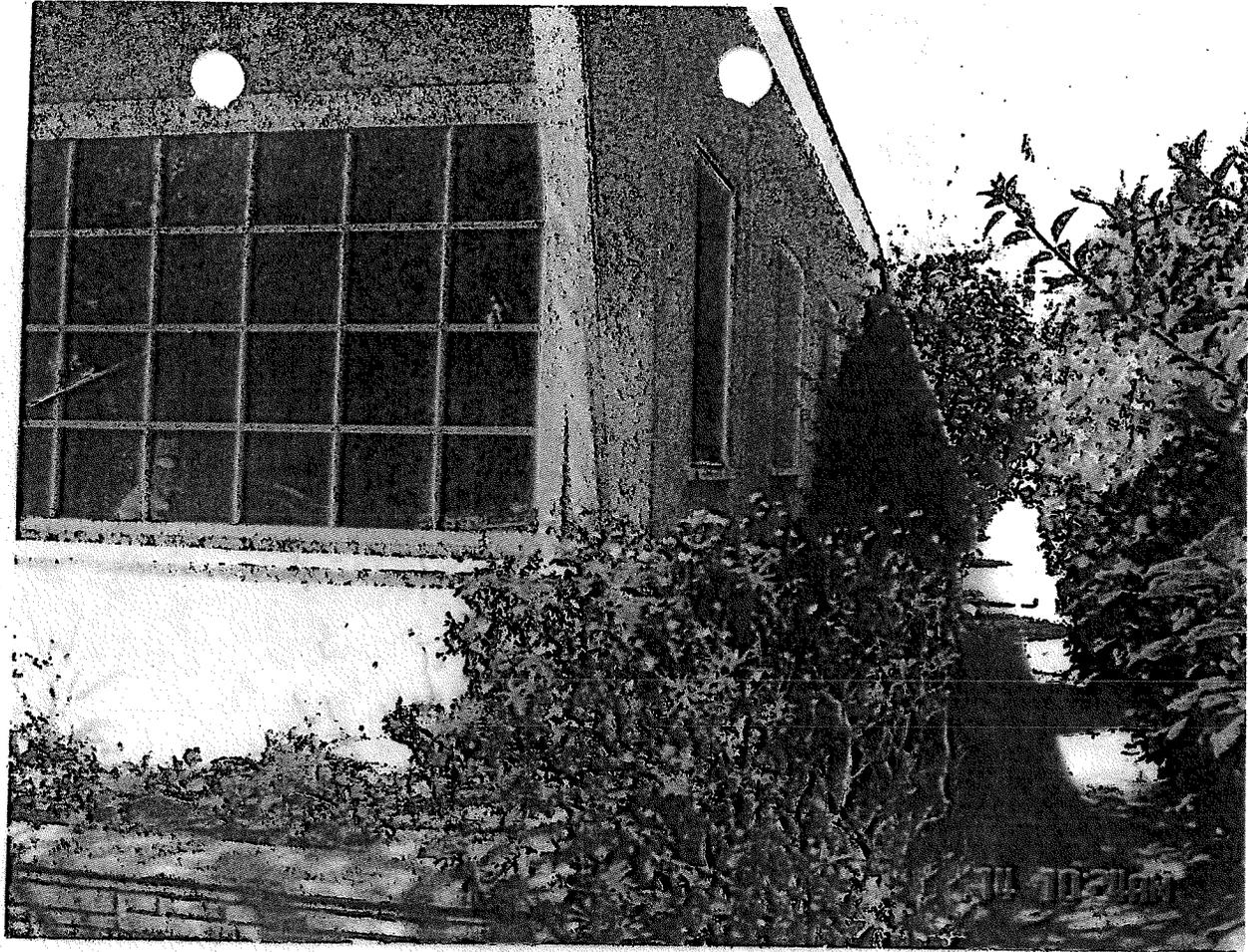


Exhibit B



Exhibit B

**CERTIFICATE OF APPROPRIATENESS
FINDINGS AND ANALYSIS**

Application No. HP14-265

3441 Gardenia Avenue

September 8, 2014

ANALYSIS:

In Compliance with section 2.63.070 of the City of Long Beach Municipal Code (Cultural Heritage Commission), the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* (the Standards), and the California Heights Historic District ordinance (Ordinance No. C-6704):

Staff has analyzed the proposed project in accordance with Chapter 2.63.070 of the Municipal Code (Cultural Heritage Commission ordinance), the *Secretary of the Interior's Standards for Rehabilitation*, and the California Heights District ordinance. Staff has also reviewed the plans for consistency with the City's zoning codes and has found that the project complies with the R-1-N development standards.

The subject site, 3441 Gardenia Avenue, is located on the west side of Gardenia Avenue between Wardlow Road and East 36th Street (Exhibit A - Location Map). The site is within the California Heights Historic District and has a zoning designation of R-1-N (Single-family Residential District with standard size lots). The parcel is 5,737.5 square-feet in area (45 feet by 127.5 feet) and is improved with an 886 square-foot, one story Neo-Traditional home built in 1951. A detached 480 square-foot two car garage is located towards the rear of the lot with access provided from the alley. The California Heights Historic District was adopted in 1990 (C-6704) and expanded in 2000 when Gaviota, Rose, and Gardenia Avenues between Wardlow and Bixby Roads were added to the district (C-7702). The home is classified as a contributing structure.

The applicant is requesting approval for a one and two story 1,202 square-foot addition to the rear of the existing residence. The plans call for the removal of the rear (west) wall of the home and eight feet of the south wall. The first story addition at the rear of the home will provide a larger kitchen and dining area, larger bedroom and relocate a full bathroom. The 780 square foot second story addition will provide a master bedroom with master bath and walk in closet and another bedroom with a full bathroom and sitting area. The existing home has two bedrooms and one bathroom. The addition will provide a total of four bedrooms, three full bathrooms, a larger kitchen and dining area for a total of 2,088 square feet.

The home is classified as a Neo-Traditional. These homes were mostly developed between 1935-1948 and typically are one-story with a stucco finish or clapboard siding and hipped roof. Windows were often multipaned sash with bay windows and window shutters.

As currently proposed, the scale and mass of the addition may negatively impact the integrity of the original home. The proposed second story addition of 780 square feet is nearly the same size as the existing home of 886 square foot home. Although the second story addition is setback 15 feet 6 inches from the front of the home and 44 feet 6 inches

from the front property line the massing is large relative to adjoining properties. In addition, all the original windows locations will be removed or altered and the square footage of the addition is 135 percent of the existing home. If approved, this sized expansion substantially changes the scale and mass of the home.

FACTS FOR FINDINGS: (from Section 2.63.070(D) of the Long Beach Municipal Code)

- 1. (It) will not adversely affect any significant historical, cultural, architectural or aesthetic feature of the concerned property or of the landmark district in which it is located and that issuance of the certificate is consistent with the spirit and intent of this chapter.**

The proposed change may adversely affect the aesthetic character of this property and the historic district in which it is located. The intent of the chapter is to protect and enhance historic districts and ensure any changes are consistent with the cultural, architectural or aesthetic features of the subject property or the historic district in which the property is located.

The applicant is requesting approval for a one and two story 1,202 square-foot addition to the rear of the existing residence, removal of the rear (west) wall of the home, eight feet of the south wall and removal of all the original windows on the side and rear elevations. The addition will result in a 2,088 square foot home, much larger than the typical home found on this block of predominately Neo-Traditional homes constructed between the 1930's through early 1950's. This change is inconsistent with the spirit and intent of the ordinance.

- 2. (It) will remedy any condition determined to be immediately dangerous or unsafe by the Fire Department or the Director of Development Services.**

The existing property is not considered dangerous or unsafe. Therefore, this finding is not relevant for this particular property.

- 3. The proposed change is consistent with or not incompatible with the architectural period of the building.**

As conditioned, the addition will be consistent with the architectural period of the structure although the size of the addition may jeopardize the historic integrity of the structure. The divided light wood windows, low-pitched hip roof and stucco finish are consistent with the architectural period of this home. The change from an 886 square foot home to a 2,088 square foot home may create a structure incompatible in size and mass with the typical architectural of that period.

- 4. The proposed change is compatible in architectural style with existing adjacent contributing structures in a historic landmark district.**

As proposed, the two-story 1,202 square foot addition will create a home substantially larger than the vast majority of homes in the immediate neighborhood, which are mostly two or three bedroom one-bath homes in the area of 1,000 to

1,500 square feet. The home to the south was constructed in 1941, the home to the north in 1939 and across the street in 1941. These homes are one-story with low-pitched roofs and between 1,000 to 1,500 square feet. The proposed change is not compatible in terms of mass and scale with the adjacent contributing structures, which are generally smaller homes typically of the 1930's, and 1940's era of construction. The proposed plans are not consistent with the spirit of the California Heights Historic District and the Secretary of the Interior's Standards for Rehabilitation.

- 5. The scale, massing, proportions, materials, colors, textures, fenestration, decorative features and details proposed are consistent with the period and/or are compatible with adjacent structures.**

As conditioned, the two-story 1,202 square-foot addition has a scale and mass much larger than adjacent structures. Although there is one other two-story home on the northern portion of the block constructed prior to adoption of the historic district, the surrounding homes are generally much smaller in size. The architectural features and fenestration can be conditioned to be compatible and appropriate.

- 6. The proposed change is consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings by the U.S. Department of the Interior.**

As required by the Secretary of the Interior's Standards for Rehabilitation additions to historic properties should be subordinate to the historic structure. The proposed addition may not be consistent with the standards due to the height, mass and scale of the proposed addition and will change the front elevation and appearance of the home from the public right-of-way.

**CERTIFICATE OF APPROPRIATENESS
CONDITIONS OF APPROVAL
Application No. HP14-265
3441 Gardenia Avenue
September 8, 2014**

1. This approval is for expansion and associated exterior improvements proposed on plans received by the Department of Development Services - Office of Historic Preservation dated June 30, 2014. The approved exterior improvements are limited to a 1,202 square-foot one and two story addition to the rear of the existing home with the exterior to match. The plans are on file in this office, except as amended herein.
2. The project must be completed per the plans approved by the Cultural Heritage Commission, including all conditions listed herein. Any subsequent changes to the project must be approved by the Cultural Heritage Commission or the Cultural Heritage Commission staff before implementing. Upon completion of the project, a Cultural Heritage Commission staff inspection must be requested by the Applicant to ensure that the plans have been executed according to approved plans and that all conditions have been implemented before the OCCUPANCY hold can be released.
3. There is a ten day appeal period that will lapse at 4:30 p.m., 10 calendar days after the action by the Cultural Heritage Commission. Appeal of the Commission's action will not be accepted after this time. A separate fee will apply to appeal an action made by the Cultural Heritage Commission.
4. This Certificate of Appropriateness shall be in full force and effect from the date of the rendering of the decision by the Cultural Heritage Commission. Pursuant to the Cultural Heritage Commission Ordinance Section 2.63.070(I), this approval shall expire within one year if the authorized work has not commenced. Should the applicant be unable to comply with this restriction, an extension may be granted pursuant to Section 2.63.070(J) for an additional 12 months maximum. The applicant must request such an extension prior to expiration of this Certificate of Appropriateness. After that time, the applicant will be required to return to the Cultural Heritage Commission for approval. In addition, this Certificate of Appropriateness shall expire if the authorized work is suspended for a 180-day period after being commenced.
5. This permit shall be invalid if the owner(s) and/or applicant(s) have failed to return written acknowledgment of their acceptance of the conditions of approval on the *Conditions of Approval Acknowledgment Form* supplied by the Planning Bureau. This acknowledgment must be submitted within 30 days from the effective date of approval (final action date or, if in the appealable area of the Coastal Zone, 21 days after the local final action date).

6. Any changes to the plans reviewed by the Cultural Heritage Commission and staff will need prior approval by applicable staff before implementing. Significant changes to the project's design will require review and approval by the Cultural Heritage Commission before permits are issued by the Department of Development Services.
7. All required Building permits shall be obtained by the applicant. Building permits must be obtained prior to the implementation of any construction or rehabilitation work. Separate plan check and permit fees will apply. Plans submitted for Building plan check shall be drawn to scale and include details on all areas of restoration and reconstruction, and shall include a window and door schedule.
8. The materials used shall be as shown on the elevations and materials packet submitted as part of the application process. Any substitutions proposed shall be of a similar or higher quality than originally identified to the satisfaction of the Director of Development Services. Requests for significant changes in materials will have to be reviewed and approved by the Cultural Heritage Commission.
9. Exterior security bars and roll-up doors applied to windows and pedestrian building entrances are prohibited.
10. The proposed alterations should not destroy historic materials or architectural features that characterize the property as a contributing historic structure.
11. Any damages caused to the building during any phase of the project shall be reported to the Planning Bureau and repaired immediately in a manner that is consistent with the Standards.
12. Any other exterior work not specifically included in the approved scope of work reviewed herein shall require review and approval by the Cultural Heritage Commission.
13. The Certificate of Appropriateness is valid for one (1) year from the date of issuance. It may be extended by the Department of Development Services upon request by the applicant prior to the date of expiration.
14. Any new exterior light fixtures shall be period appropriate subject to approval by the Director of Development Services.
15. All roofing materials, vents, architectural details, and window recess, details and profile shall be constructed to match those existing features on the home. The addition may be clad in a smooth sand stucco finish that shall be used on the entire house.
16. The applicant shall remove the two white vinyl-sliding windows on the front elevation and replace the windows with multipaned wood sash windows to the satisfaction of the Director of Development Services.

17. All utilities shall be noted on the plans submitted for plan check. Any exterior conduit shall be painted to match the house and any new utilities shall be located in a stucco doghouse enclosure.
18. The existing front six panel wood front door shall be maintained. If the original door has been removed the new door shall be a wood six-panel door. The existing metal security grill over the front door shall be removed and if a new screen door is proposed, the door shall be wood and subject to review and approval by the Director of Development Services.
19. The eaves shall not be boxed in nor shall fascia boards shall be applied to the eave. The home shall have exposed wood rafter tails.
20. Existing vinyl on the underside of the eave and on the diagonal porch columns shall be removed to the satisfaction of the Director of Development Services.
21. The two windows on the proposed front elevation of the second story for the two bathrooms shall be reduced in size to approximately the size of the existing bathroom window of 18 to 24 inches wide and 30 inches high.
22. All conditions of approval must be printed verbatim on all plans submitted for plan review to Long Beach Development Services. These conditions must be printed on the site plan or a subsequent reference page.

U

Lynette Ferenczy

From: John Keyantash <jkeyantash@verizon.net>
Sent: Monday, September 08, 2014 9:54 AM
To: Steve Gerhardt
Cc: Lynette Ferenczy; jkeyantash@verizon.net
Subject: Petition against Application HP14-265
Attachments: petition against Application HP14-265.pdf

Importance: High

Dear Mr. Gerhardt,

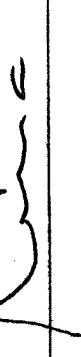
Attached is a petition signed by neighbors of 3441 Gardenia Ave., the property for which there is scheduled hearing this evening concerning a Certificate of Appropriateness. I would appreciate it if you would distribute this petition to the Cultural Heritage Commissioners prior to this evening's hearing.

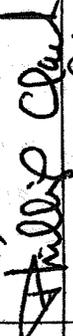
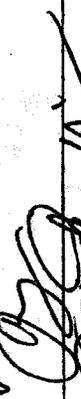
Thank you for your attention,
John Keyantash

Dear Cultural Heritage Commission,

We the undersigned are opposed to the existing reconstruction plans (application no. HP14-265) for 3441 Gardenia Avenue, specifically the proposed addition of a second story to the house. The second story addition would be fully out of character with the homes on this block of the California Heights Historic Neighborhood.

Due to the second story component, the undersigned request that the Certificate of Appropriateness for application no. HP14-265 be denied.

Printed Name	Signature	Address	Date
Margie Keyantash		3449 Gardenia Ave, LB 90807	9/5/14
John Keyantash		3449 Gardenia Ave	9-5-14
Carlos De Carabarra		3456 Gardenia Ave	9/5/14
Patrice Conduy Rubin		3461 Gardenia Ave	9/5/14
Andrew Rubin		3461 Gardenia Ave	9/5/14
Rebecca Ingrassia		3464 Gardenia Ave.	9/5/14
JEROME CALLEJA		3470 GARDENIA AVE.	9/5/14
Sarina Calleja		3470 Gardenia Ave.	9/5/14
Jennifer Belt		3450 Rose Ave	9/5/14
MINI ROS		3430 GARDENIA	9/5/14

Printed Name	Signature	Address	Date
PHILIP CLARK		3429 GARDENIA AVE LB 90807	9/6/14
SUSAN CLARK		3429 GARDENIA AVE LB CA ⁹⁰⁸⁰⁷	9/6/14
BRENDA MARTINEZ		3455 GARDENIA AVE LB CA ⁹⁰⁸⁰⁷	9/6/14
EDMOND CLARKE		3455 GARDENIA AVE CA ⁹⁰⁸⁰⁷	9/6/14
CATHY CRANE		3433 GARDENIA AVE CA ⁹⁰⁸⁰⁷	9/6/14
David Bohinger		3433 Gardenia Ave ⁹⁰⁸⁰⁷	9/6/14
Laura Willbanks		3440 Rose Ave 90807	9/6/14
Claudio Ingrassia		3464 Gardenia Ave.	9/6/14
David Bouché		3440 Rose Av 90807	9/6/14
NICK KORMSEVICH		3535 GARDENIA 90807	9/6/14
SPACE SOUTHERN		3511 GARDENIA 90807	9/6/14

Dear Cultural Heritage Commission,

As a neighbor of 3441 Gardenia Ave, I feel compelled to voice my strong opposition to the proposed remodeling project (application no. HP14-265), as it currently exists. While I appreciate the charm of small, pre-War (World War II) bungalows, I accept that properties sometimes need refurbishing and updating. But this application is much more than that: it is *grossly* increasing the square footage of the property by 135%, from the existing 885 square feet to 2087 square feet. The proposal is to add another ground floor bedroom (which I accept), **plus** add a second story to the home (to which I object). The second story component is wholly out of character with our “bungalow” block on Gardenia Ave. and the California Heights Historic Neighborhood.

I am reticent of construction enlargements in our historic neighborhood, but I am particularly opposed to second floors being added. Such architectures are out of character with the pre-World War II origins of the neighborhood, and devalue the concept of a historic neighborhood. Second story expansions can also create a potentially un-neighborly settings where tenants in the second story property can conceivably peer down upon surrounding homes, without suffering any reciprocity. I happen to have a TV antenna on my rooftop, and when I occasionally have to adjust the reception (e.g., after Santa Ana winds), I am amazed how many nearby backyards can be viewed by the elevation of a single story—three homes in each direction. Overall, I see no benefit to the greater California Heights neighborhood by permitting the 3441 Gardenia property to elevate to a second story. The second story remodel would be clearly incoherent with the original time stamp of the neighborhood. When I first learned about the proposal, I thought to myself, *“If that is the desired architecture, why not build it in a non-historic neighborhood where there are no zoning restrictions to such plans?”* Most California communities have no such restrictions, and owners are free to expand structures without any public hearing process. Why Cal Heights?

When I bought my home here in 2006, the historical designation of the neighborhood was disclosed to me by my realtor—the associated architectural/remodeling limitations were a potential detriment *or* asset, depending on the mindset of the buyer. For me, living within a historic neighborhood was a huge plus, and a principal deal-closer for my real estate transaction. For all of the residents who cherish the Historical Neighborhood designation of California Heights, it is important that zoning decisions be made which preserve and perpetuate the character of our historical neighborhood. Speaking with the Gardenia and Rose Avenue neighbors in the 3441 vicinity, we do not want the Certificate of Appropriateness to be issued for Application HP14-265. It is out of tune with the fundamental building codes that help preserve the unique, historical character of our neighborhood, which helped California Heights be nationally recognized and awarded the National Neighborhood of the Year in 2013. The ground level addition of an attached bedroom is reasonable, but the addition of a second floor is not.

I will be attending the public hearing to voice my opinion in person, but also wanted to share my concerns in writing. Thank you for your reflective consideration.

Best regards,

Dr. John Keyantash
3449 Gardenia Ave.
(562) 595-4346

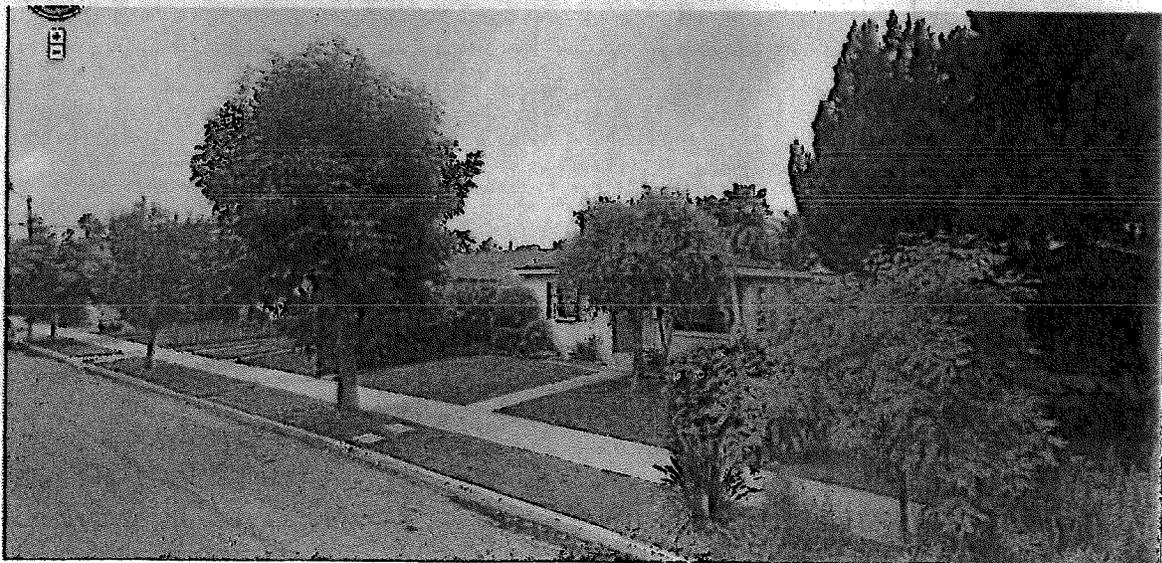
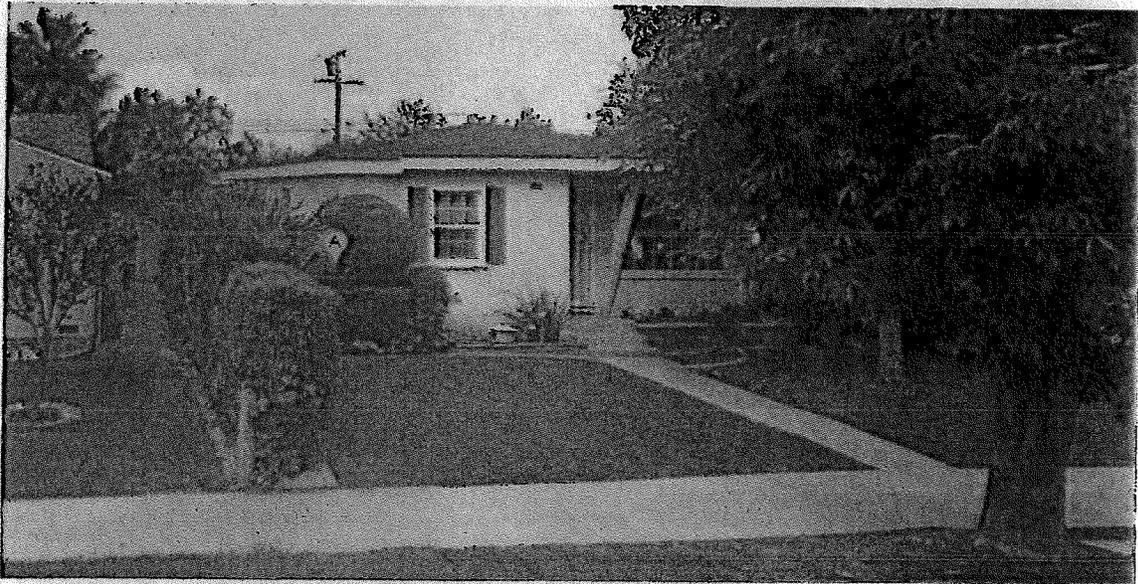


Exhibit B

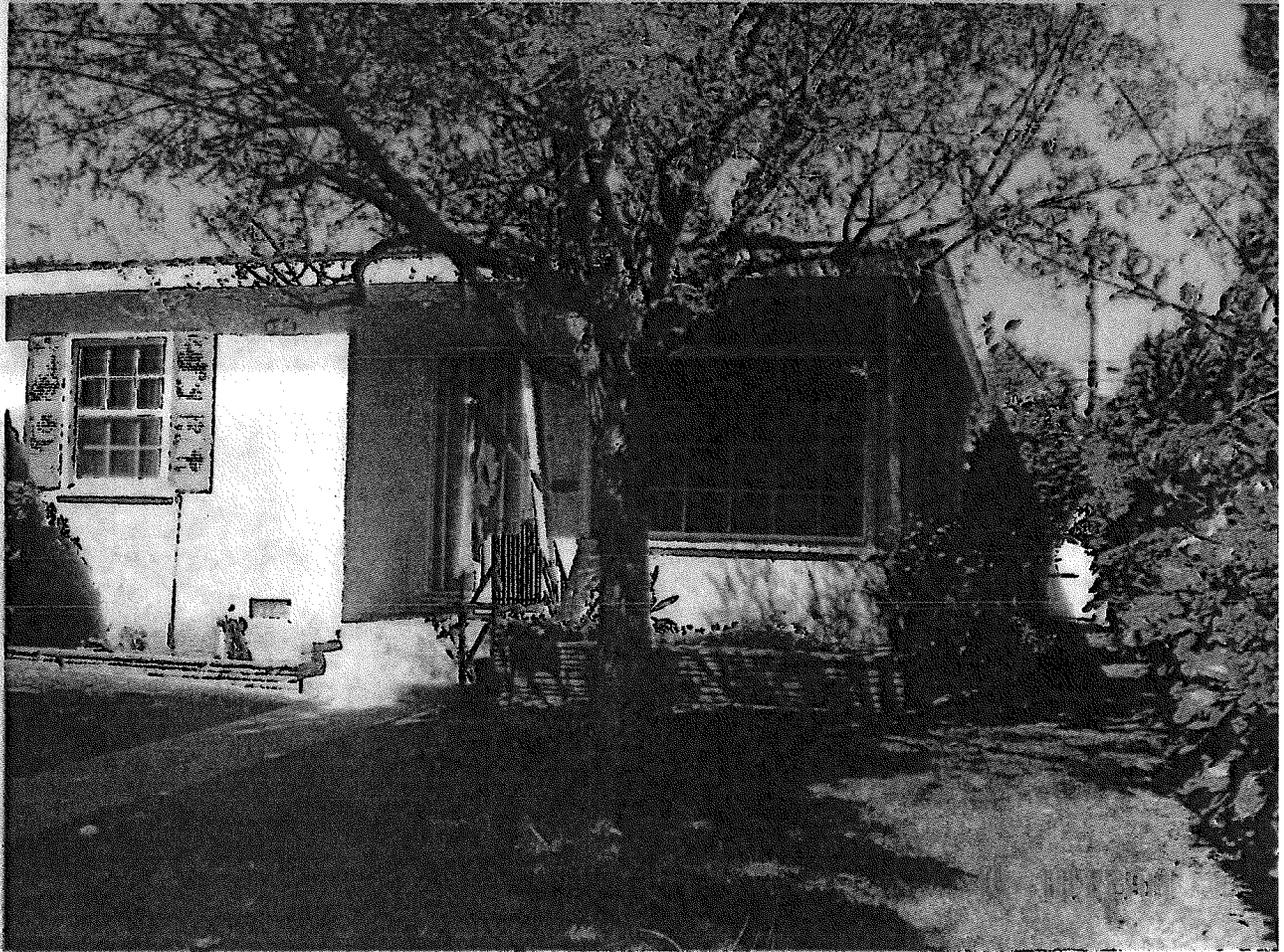
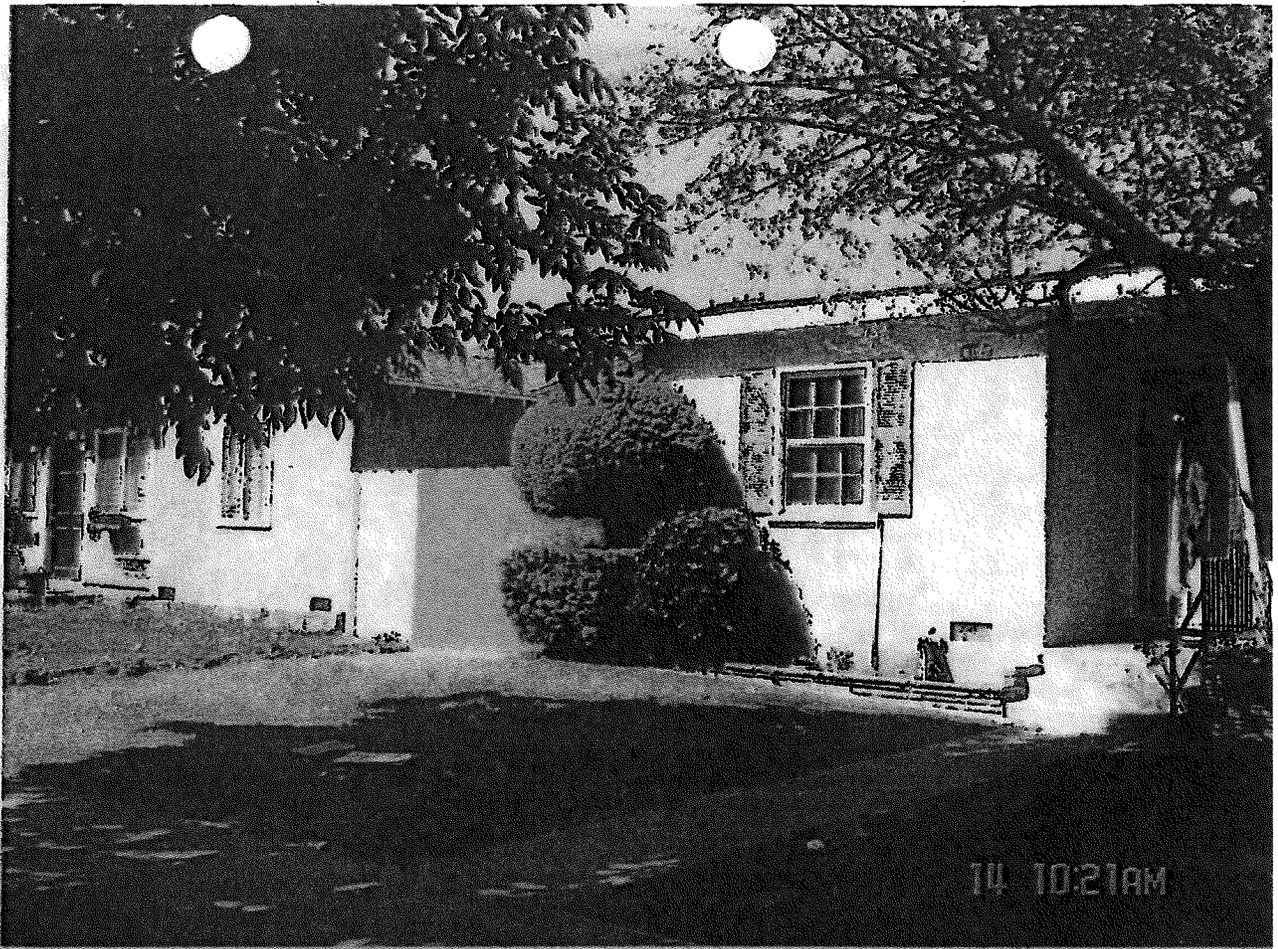


Exhibit B



Exhibit B



Exhibit B

**CERTIFICATE OF APPROPRIATENESS
FINDINGS AND ANALYSIS
Application No. HP14-265
3441 Gardenia Avenue
October 13, 2014**

ANALYSIS:

In Compliance with Section 2.63.070 of the City of Long Beach Municipal Code (Cultural Heritage Commission), the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* (the Standards), and the California Heights Historic District Ordinance (Ordinance No. C-6704):

Staff has analyzed the proposed project in accordance with Chapter 2.63.070 of the Municipal Code (Cultural Heritage Commission ordinance), the *Secretary of the Interior's Standards for Rehabilitation*, and the California Heights District Ordinance. Staff has also reviewed the plans for consistency with the City's zoning codes and has found that the project complies with the R-1-N development standards.

The subject site, 3441 Gardenia Avenue, is located on the west side of Gardenia Avenue between Wardlow Road and East 36th Street (Exhibit A - Location Map). The site is within the California Heights Historic District and has a zoning designation of R-1-N (Single-family Residential District with standard size lots). The parcel is 5,737.5 square feet in area (45 feet by 127.5 feet) and is improved with an 886 square-foot, one story Neo-Traditional home built in 1951. A detached 480 square-foot two car garage is located towards the rear of the lot with access provided from the alley. The home is classified as a contributing structure.

The applicant has submitted revised plans for a 499 square-foot one-story addition to the rear of the home. The second story has been eliminated. The revised plans include the remodel and relocation of the kitchen from the rear of the home to the center, conversion of the existing front bedroom to a living room, addition of one new bathroom with remodel and relocation of the existing bathroom, and the addition of two bedrooms to the rear of the home. The existing 886 square-foot two bedroom, one bathroom home will be converted to a 1,385 square-foot three bedroom, two bathroom home. The proposed square footage of the revised project is more compatible with the surrounding neighborhood and goals of the California Heights Historic District Ordinance (Exhibit B – Plans and Photographs).

All existing window locations on the side and rear elevations will be altered with new windows, locations, and sizes. Staff recommends that the new windows shall be multi-pane (six light over six light) wood sash to match the existing window styles with a dimension of three feet wide by four feet high or four feet wide by four feet high, with the exception of the smaller awning windows in the bathrooms. This requirement will maintain the historic window material, size, and style. A more appropriate window for the large fixed window on the front elevation is a multi-pane fixed window or two side-by-side sash windows with a four to six inch wide vertical mullion instead of the proposed Craftsman style window pattern of a fixed glass centerpiece flanked by two sash windows. There shall be no foam, wood trim or stucco surrounds on the window or doors. The window installation design

shall match the existing with a projecting wood sill. The French doors proposed for each bedroom on the rear elevation shall have a divided light or one piece of glass with wood trim. If sidelights are proposed they shall have divided lights to match the door pattern. All windows and exterior doors shall be wood.

Based on the plans and proposed conditions of approval, staff has analyzed the proposed project and believes that the one story addition is in compliance with Section 2.63.070 of the City of Long Beach Municipal Code (Cultural Heritage Commission), the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the California Heights Historic District (Ordinance No. C-6704), staff recommends approval of the proposed project.

FACTS FOR FINDINGS: (from Section 2.63.070(D) of the Long Beach Municipal Code)

- 1. (It) will not adversely affect any significant historical, cultural, architectural or aesthetic feature of the concerned property or of the landmark district in which it is located and that issuance of the certificate is consistent with the spirit and intent of this chapter.**

The proposed change is not expected to adversely affect the aesthetic character of this property or the historic district in which it is located. The intent of the chapter is to protect and enhance historic districts and ensure any changes are consistent with the cultural, architectural or aesthetic features of the subject property or the historic district in which the property is located.

The applicant is requesting approval for a 499 square-foot one-story addition to the rear of the existing residence, removal of the rear (west) wall of the home and eight linear feet of the south wall, and removal of all the original windows on the side and rear elevations. The addition will result in a 1,385 square-foot home, typical of the size found on this block of predominately Neo-Traditional homes constructed between the 1930's through the early 1950's. This change is consistent with the spirit and intent of the ordinance.

- 2. (It) will remedy any condition determined to be immediately dangerous or unsafe by the Fire Department or the Director of Development Services.**

The existing property is not considered dangerous or unsafe. Therefore, this finding is not relevant for this particular property.

- 3. The proposed change is consistent with or not incompatible with the architectural period of the building.**

As conditioned, the addition will be consistent with the architectural period of the structure. The divided light wood windows, low-pitched hip roof and stucco finish are consistent with the architectural period of this home. The two existing vinyl windows on the front elevation will also be changed to wood to provide a period appropriate appearance.

4. The proposed change is compatible in architectural style with existing adjacent contributing structures in a historic landmark district.

As proposed, the one story 499 square-foot addition will create a home that is compatible in size with the vast majority of homes in the immediate neighborhood, which are mostly two or three bedroom one-bath homes in the area of 1,000 to 1,500 square feet. The home to the south was constructed in 1941, the home to the north in 1939 and across the street in 1941. These homes are one story with low pitched roofs and between 1,000 to 1,500 square feet. The proposed change is compatible in terms of mass and scale with the adjacent contributing structures, which were built during the 1930's, and 1940's era of construction. The proposed plans are consistent with the spirit of the California Heights Historic District and the Secretary of the Interior's Standards for Rehabilitation.

5. The scale, massing, proportions, materials, colors, textures, fenestration, decorative features and details proposed are consistent with the period and/or are compatible with adjacent structures.

As conditioned, the 499 square-foot one-story addition has a scale and mass compatible with adjacent structures. The height and proportions are consistent with the Neo-Traditional homes in the area built in the 1940's and early 1950's. The exterior finish material, wood multi-pane windows and roof line will be compatible with the architectural features of this style of home and surrounding homes.

6. The proposed change is consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings by the U.S. Department of the Interior.

As required by the Secretary of the Interior's Standards for Rehabilitation additions to historic properties should be subordinate to the historic structure. The proposed one story addition at the rear of the home is consistent with the standards and compatible with the height, mass and scale of the surrounding homes. The addition will have a minimal impact on the street elevation, as the addition is located at the rear of the home 55 feet from the front property line.

**CERTIFICATE OF APPROPRIATENESS
CONDITIONS OF APPROVAL
Application No. HP14-265
3441 Gardenia Avenue
October 13, 2014**

1. This approval is for expansion and associated exterior improvements proposed on plans received by the Department of Development Services - Office of Historic Preservation dated September 18, 2014. The approved exterior improvements are limited to a 499 square-foot one-story addition to the rear of the existing home with the exterior to match. The plans are on file in this office, except as amended herein.
2. The project must be completed per the plans approved by the Cultural Heritage Commission, including all conditions listed herein. Any subsequent changes to the project must be approved by the Cultural Heritage Commission or the Cultural Heritage Commission staff before implementing. Upon completion of the project, a Cultural Heritage Commission staff inspection must be requested by the Applicant to ensure that the plans have been executed according to approved plans and that all conditions have been implemented before the OCCUPANCY hold can be released.
3. There is a ten day appeal period that will lapse at 4:30 p.m., 10 calendar days after the action by the Cultural Heritage Commission. Appeal of the Commission's action will not be accepted after this time. A separate fee will apply to appeal an action made by the Cultural Heritage Commission.
4. This Certificate of Appropriateness shall be in full force and effect from the date of the rendering of the decision by the Cultural Heritage Commission. Pursuant to the Cultural Heritage Commission Ordinance Section 2.63.070(I), this approval shall expire within one year if the authorized work has not commenced. Should the applicant be unable to comply with this restriction, an extension may be granted pursuant to Section 2.63.070(J) for an additional 12 months maximum. The applicant must request such an extension prior to expiration of this Certificate of Appropriateness. After that time, the applicant will be required to return to the Cultural Heritage Commission for approval. In addition, this Certificate of Appropriateness shall expire if the authorized work is suspended for a 180-day period after being commenced.
5. This permit shall be invalid if the owner(s) and/or applicant(s) have failed to return written acknowledgment of their acceptance of the conditions of approval on the *Conditions of Approval Acknowledgment Form* supplied by the Planning Bureau. This acknowledgment must be submitted within 30 days from the effective date of approval (final action date or, if in the appealable area of the Coastal Zone, 21 days after the local final action date).

6. Any changes to the plans reviewed by the Cultural Heritage Commission and staff will need prior approval by applicable staff before implementing. Significant changes to the project's design will require review and approval by the Cultural Heritage Commission before permits are issued by the Department of Development Services.
7. All required Building permits shall be obtained by the applicant. Building permits must be obtained prior to the implementation of any construction or rehabilitation work. Separate plan check and permit fees will apply. Plans submitted for Building plan check shall be drawn to scale and include details on all areas of restoration and reconstruction, and shall include a window and door schedule.
8. The materials used shall be as shown on the elevations and materials packet submitted as part of the application process. Any substitutions proposed shall be of a similar or higher quality than originally identified to the satisfaction of the Director of Development Services. Requests for significant changes in materials will have to be reviewed and approved by the Cultural Heritage Commission.
9. Exterior security bars and roll-up doors applied to windows and pedestrian building entrances are prohibited.
10. The proposed alterations should not destroy historic materials or architectural features that characterize the property as a contributing historic structure.
11. Any damages caused to the building during any phase of the project shall be reported to the Planning Bureau and repaired immediately in a manner that is consistent with the Standards.
12. Any other exterior work not specifically included in the approved scope of work reviewed herein shall require review and approval by the Cultural Heritage Commission.
13. The Certificate of Appropriateness is valid for one (1) year from the date of issuance. It may be extended by the Department of Development Services upon request by the applicant prior to the date of expiration.
14. Any new exterior light fixtures shall be period appropriate subject to approval by the Director of Development Services.
15. All roofing materials, vents, architectural details, and window recess, details and profile shall be constructed to match those existing features on the home. The addition may be clad in a smooth sand stucco finish that shall be used on the entire house.
16. The applicant shall remove the white vinyl windows on the front elevation and replace the windows with multipaned wood sash windows to the satisfaction of the Director of Development Services. The fixed living room window can either be replaced with a fixed multi-paned wood window or two side-by-side sash windows with a four to six inch wide vertical mullion between the windows.

17. The new windows shall be multi-pane (six light over six light for a three foot wide window or eight light over eight light for a four foot wide window) wood sash to match the existing window styles with a dimension of three feet wide by four feet high or four feet wide by four feet high, with the exception of the smaller awning window in the bathrooms. The window installation design shall match the existing windows with a projecting wood sill. The French doors proposed for each bedroom shall have a divided light or one piece of glass and if sidelights are proposed shall be divided lights to match the doors. All windows and exterior doors shall be wood.
18. There shall be no foam, trim or raised stucco surround on the window or doors.
19. All utilities shall be noted on the plans submitted for plan check. Any exterior conduit shall be painted to match the house and any new utilities shall be located in a stucco doghouse enclosure.
20. The existing front six panel wood front door shall be maintained. If the original door has been removed the new door shall be a wood six-panel door. The existing metal security grill over the front door shall be removed and if a new screen door is proposed, the door shall be wood and subject to review and approval by the Director of Development Services.
21. The eaves shall not be boxed in nor shall fascia boards be applied to the eave. The home shall have exposed wood rafter tails.
22. Existing vinyl on the underside of the eave and on the diagonal porch columns shall be removed to the satisfaction of the Director of Development Services.
23. All conditions of approval must be printed verbatim on all plans submitted for plan review to Long Beach Development Services. These conditions must be printed on the site plan or a subsequent reference page.