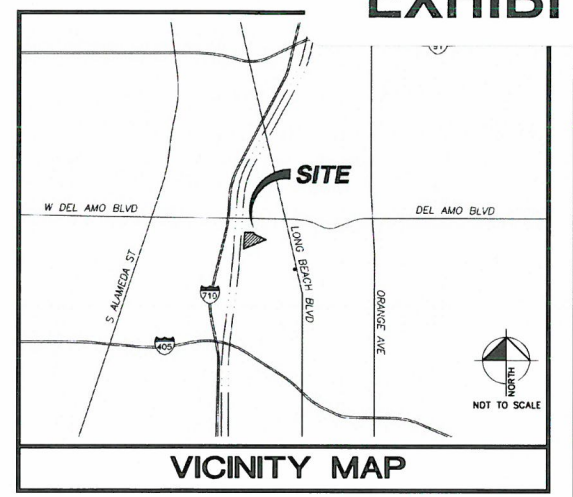
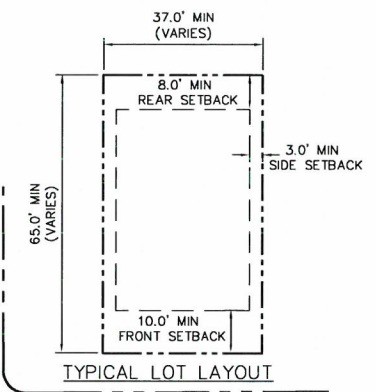
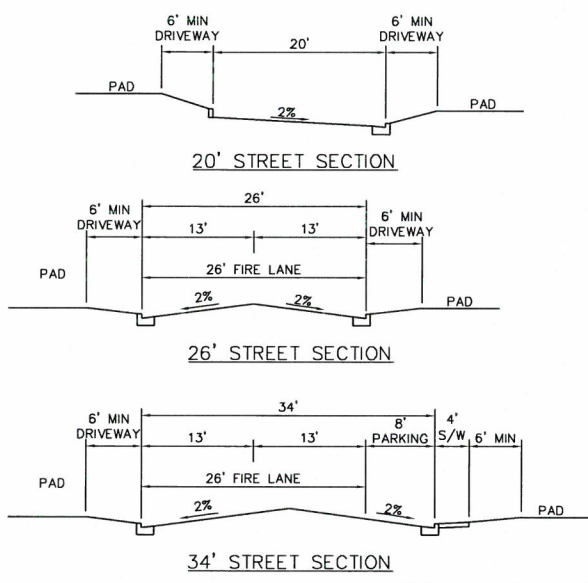


VESTING TENTATIVE TRACT NO. 72608

IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES
STATE OF CALIFORNIA
JUNE 6, 2014

EXHIBIT F



LEGEND:

- EXISTING RETAINING WALL
- - - PROPOSED RETAINING WALL
- UNDERGROUND GAS
- UNDERGROUND WATER
- STORM DRAIN
- UNDERGROUND SEWER
- ▨ BUILDING PERIMETER
- POWER POLE
- UNIT NUMBER
- SEWER MANHOLE
- PROPERTY LINE
- BOUNDARY
- - - RIGHT OF WAY
- - - EASEMENT
- - - CENTERLINE
- CURB AND GUTTER
- ▨ 26' FIRELANE

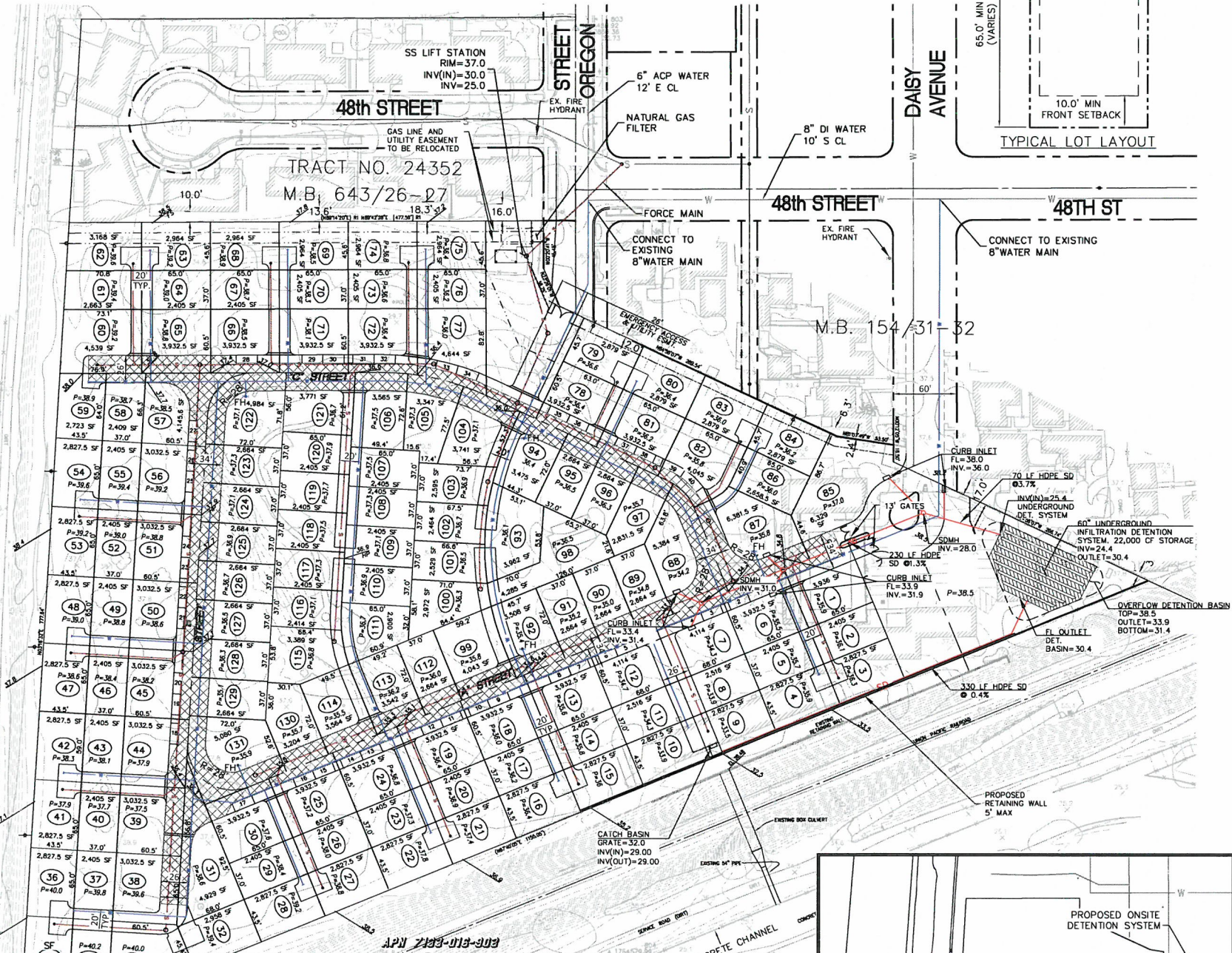
LOS ANGELES RIVER
APN 7133-017-905

ABBREVIATIONS:

- BFP BACKFLOW PREVENTOR
- CLF CHAIN LINK FENCE
- EPB ELECTRIC PULL-BOX
- ET ELECTRIC TRANSFORMER
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- GPB GAS PULL-BOX
- GVT GAS VAULT
- MB MAIL BOX
- TPB TELEPHONE PULL-BOX
- UTCN TRAILOR/MODULAR UTILITY CONNECTIONS
- WM WATER METER
- WV WATER VALVE

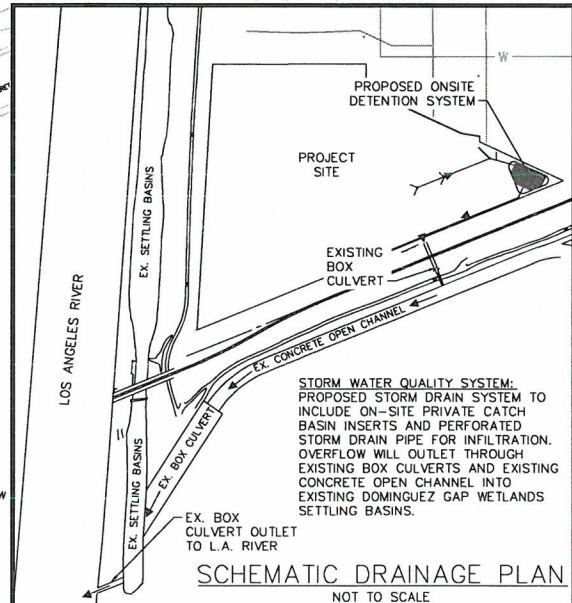
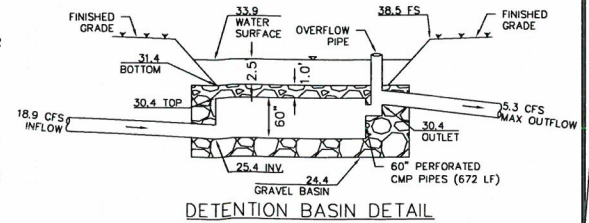
GENERAL NOTES:

1. DEAD END STREETS TO BE LESS THAN 300 FEET IN LENGTH.
2. ALL LOTS TO HAVE A MINIMUM OF 2400 SQUARE FEET.



DRAINAGE AND STORM WATER QUALITY NOTES:

1. LOW IMPACT DEVELOPMENT (LID) STANDARDS AND REGULATIONS PER NPDES (CITY OF LONG BEACH TITLE 18.16) ARE REQUIRED.
2. ON-SITE RETENTION AND INFILTRATION WILL BE PROVIDED BY MEANS OF PERFORATED PIPE STORM DRAIN SYSTEM LOCATED WITH DRIVE AISLES.
3. PER THE L.A. COUNTY'S ALLOWABLE FLOW RATE (Q) A MAXIMUM OF 1 CFS/ACRE (OR 10.56 CFS) WILL BE DISCHARGED FROM THE SITE AND CONNECTED TO THE L.A. COUNTY 54" RCP SD LOCATED ALONG THE SOUTHERN PROPERTY LINE.



OWNERS:

THE LONG BEACH PROJECT, LLC
888 SAN CLEMENTE, SUITE 100
NEWPORT BEACH, CA 92660
PHONE: (949) 720-3612

ENGINEER:

KIMLEY-HORN AND ASSOCIATES
6800 OWENSOUTH AVE., SUITE 410
CANOGA PARK, CA 91303
PHONE: (747) 900-8381
EMAIL: JON.WAKENHUT@KIMLEY-HORN.COM

APN:

7133-016-005

ZONING:

1. EXISTING LAND USE: INACTIVE BOY SCOUT SITE
2. PROPOSED LAND USE: RESIDENTIAL SINGLE FAMILY DWELLINGS
3. EXISTING ZONING: (I) INSTITUTIONAL
4. PROPOSED ZONING: R-1-T
5. WATER SERVICE PROVIDED BY: LONG BEACH WATER DEPARTMENT
6. SANITARY SEWER SERVICE PROVIDED BY: LONG BEACH WATER DEPARTMENT
7. ELECTRIC SERVICE PROVIDED BY: SOUTHERN CALIFORNIA EDISON
8. GAS SERVICE PROVIDED BY: LONG BEACH GAS & OIL
9. TELEPHONE SERVICE PROVIDED BY: AT&T
10. CABLE SERVICE PROVIDED BY: TIME WARNER CABLE
11. ALL PROPOSED UTILITIES TO BE UNDERGROUND.
12. DRAINAGE FACILITIES TO BE DESIGNED IN ACCORDANCE WITH THE MASTER PLAN OF DRAINAGE, CITY OF LONG BEACH.
13. ALL GRADING TO CONFORM TO THE CITY OF LONG BEACH GRADING AND EXCAVATION CODE.
14. ALL SLOPES SHALL BE 2:1 UNLESS OTHERWISE NOTED.
15. THIS PROPERTY IS WITHIN THE DOMINGUEZ GAP SPREADING GROUNDS OF COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS SPREADING GROUND FACILITIES.
16. FEMA FLOOD ZONE X (0.2%)

PROPOSED DEVELOPMENT:

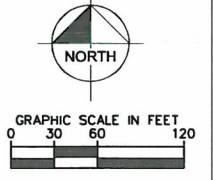
PROPOSED SINGLE FAMILY RESIDENTIAL COMPLEX WITH 131 DWELLING UNITS.

AREA:

EXISTING AREA = 460,093 S.F. (10.56 ACRES)

PARKING:

ON STREET PROVIDED = 40 SPACES
REQUIRED (1:4 LOTS) = 33 SPACES



Kimley-Horn and Associates, Inc.

6800 OWENSOUTH AVENUE, SUITE 410
CANOGA PARK, CA 91303

TEL. NO. (747) 900-8400
FAX NO. (916) 608-0885

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