

1. ERODED SEDIMENTS AND POLLUTANTS SHALL BE RETAINED ON SITE AND SHALL NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE OR WIND.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE COVERED AND/OR PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND SHALL NOT CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED TOXIC STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY AND SHALL NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. NON-STORM WATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED ON THE PROJECT SITE.
5. EXCESSIVE OR WASTEFUL CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL IT CAN BE APPROPRIATELY DISPOSED OF OR RECYCLED.
6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF STORM WATER AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE OR WIND. IF TRACKING OF SEDIMENTS OR ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT TRACKING, THEN BEING DEPOSITED INTO THE STREET/PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.
8. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE PROVIDED TO RETAIN STORM WATER RUNOFF ON-SITE AND SHALL BE PROPERLY LOCATED TO COLLECT ALL TRIBUTARY SITE RUNOFF.
9. WHERE RETENTION OF STORM WATER RUNOFF ON-SITE IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, THE EXCESS WATER SHALL BE CONVEYED TO THE STORM DRAIN SYSTEM PROVIDED THAT AN APPROVED FILTERING SYSTEM IS INSTALLED AND MAINTAINED ON-SITE DURING THE CONSTRUCTION DURATION.

3. PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3.

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ADDITION OF NEW KITCHEN, MASTER BEDROOM, BATHROOM, AND COVERED PORCH. NEW ROOF TO REPLACE EXISTING.

2013 CALIFORNIA BUILDING STANDARDS CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRICAL CODE
2008 CALIFORNIA ENERGY CODE
2013 CALIFORNIA EXISTING BUILDING CODE
2013 CALIFORNIA GREEN BUILDING STANDARD CODE

AB.	ANCHOR BOLT
ABV.	ABOVE
ACCA	ANTENNA CABLE COVER ASSEMBLY
ADTL	ADDITIONAL
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
ALUM.	ALUMINUM
ALT.	ALTERNATE
ANT.	ANTENNA
APPRX.	APPROXIMATE(LY)
ARCH.	ARCHITECT(URAL)
AWG.	AMERICAN WIRE GAUGE
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
B.N.	BOUNDARY NAILING
BTCW.	BARE TINNED COPPER WIRE
B.O.F.	BOTTOM OF FOOTING
BU	BACK-UP CABINET
CAB.	CABINET
CANT.	CANTILEVER(ED)
C.I.P.	CAST IN PLACE
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION(WOR)
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
d	PENNY (NAIL)
DBL.	DOUBLE
DEPT.	DEPARTMENT
D.F.	DOUGLAS FIR
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DWG.	DRAWING(S)
DWL.	DOWEL(S)
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EMT.	ELECTRICAL METALLIC TUBING
E.N.	EDGE NAIL
ENG.	ENGINEER
EQ.	EQUAL
EXP.	EXPANSION
EXST.(E)	EXISTING
EXT.	EXTERIOR

FAB	FABRICATION(OR)
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FIN.	FINISHED
FLR	FLOOR
FDN.	FOUNDATION
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
F.S.	FINISH SURFACE
FT.(')	FOOT(FEET)
FTG.	FOOTING
G.	GROWTH (CABINET)
GA.	GAUGE
GI.	GALVANIZED(I)
G.I.F.	GROUND FAULT CIRCUIT INTERRUPTER
GLB (GLU-LAM)	GLUE LAMINATED BEAM
GPS	GLOBAL POSITIONING SYSTEM
GRND.	GROUND
HDR	HEADER
HGR	HANGER
HT	HEIGHT
ICGB.	ISOLATED COPPER GROUND BUS
IN.(")	INCH(ES)
INT.	INTERIOR
LB.#	POUND(S)
L.B.	LAG BOLTS
L.F.	LINEAR FEET (FOOT)
L.	LONG(ITU)DINAL
MAS.	MASONRY
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
(N)	PROPOSED
NO.#	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPNG.	OPENING
P/C	PRECAST CONCRETE
PCS	PERSONAL COMMUNICATION SERVICES
P.V.	PLYWOOD
PPC	POWER PROTECTION CABINET
PRC	PRIMARY RADIO CABINET
P.S.F.	POUNDS PER SQUARE FOOT
PS.I.	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED

FABRICATION(OR)
FINISH FLOOR
FINISH GRADE
FINISH(ED)
FLOOR
FOUNDATION
FACE OF CONCRETE
FACE OF MASONRY
FACE OF STUD
FACE OF WALL
FINISH SURFACE
FOOT(FEET)
FOOTING
GROWTH (CABINET)
GAUGE
GALVANIZED
GROUND FAULT CIRCUIT INTERRUPTER
GRIND
GUIDE WHEEL BEAM
GLOBAL POSITIONING SYSTEM
GROUND
HEADER
HANGER
HEIGHT
ISOLATED COPPER GROUND BUS
INCH(ES)
INTERIOR
POUND(S)
LAG BOLTS
LINEAR FEET (FOOT)
LONG(ITUDINAL)
MASONRY
MAXIMUM
MACHINE BOLT
MECHANICAL
MANUFACTURER
MINIMUM
MISCELLANEOUS
METAL
PROPOSED
NUMBER
NOT TO SCALE
ON CENTER
OPENING
PRECAST CONCRETE
PERSONAL COMMUNICATION SERVICES
PITCH
POWER PROTECTION CABINET
PRIMARY RADIO CABINET
POUNDS PER SQUARE FOOT
POUNDS PER SQUARE INCH
PREFAB TRAY

PWR	POWER (CABINET)
QTY.	QUANTITY
RAD.(R)	RADIUS
REF.	REFERENCE
REINF.	REINFORCEMENT(ING)
REQ.D	REQUIRED
RGS.	RIGID GALVANIZED STEEL
RRU.	RADIO REMOTE UNIT
SCH.	SCHEDULE
SHT	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION(S)
SQ.	SQUARE
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STRUC.	STRUCTURAL
TEMP.	TEMPORARY
THK.	THICK(NESS)
TMA	TOWER MOUNTED AMPLIFIER
T.N.	TOE NAIL
T.O.A.	TOP OF ANTENNA
T.O.C.	TOP OF CURB
T.O.F.	TOP OF FOUNDATION
T.O.P.	TOP OF PLATE (PARAPET)
T.O.S.	TOP OF STEEL
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.G.	UNDER GROUND
U.L.	UNDERWRITERS LABORATORY
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
W	WIDE(WIDTH)
WI	WITH
WD.	WOOD
W.P.	WEATHERPROOF
WT.	WEIGHT
W.	CENTERLINE
P	PLATE

POWER (CABINET)
QUANTITY
RADIUS
REFERENCE
REINFORCEMENT(ING)
REQUIRED
RIGID GALVANIZED STEEL
RADIO REMOTE UNIT
SCHEDULE
SHEET
SIMILAR
SPECIFICATION(S)
SQUARE
STAINLESS STEEL
STANDARD
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TOWER MOUNTED AMPLIFIER
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TOP OF STEEL
TOP OF WALL
TYPICAL
UNDER GROUND
UNDERWRITERS LABORATORY
UNLESS NOTED OTHERWISE
VERIFIED IN FIELD
WIDE(WIDTH)
WITH
WOOD
WEATHERPROOF
WEIGHT
CENTERLINE
PLATE

Map of Long Beach, CA, showing the location of 3730 Garderia Ave. The map includes major roads like Carson St, Cherry Ave, and the Harbor Freeway (I-110). A red pin marks the site location near the Long Beach Airport and the Harbor Freeway. A callout box points to the site with the text "3730 Garderia Ave, Long Beach, CA 90807".

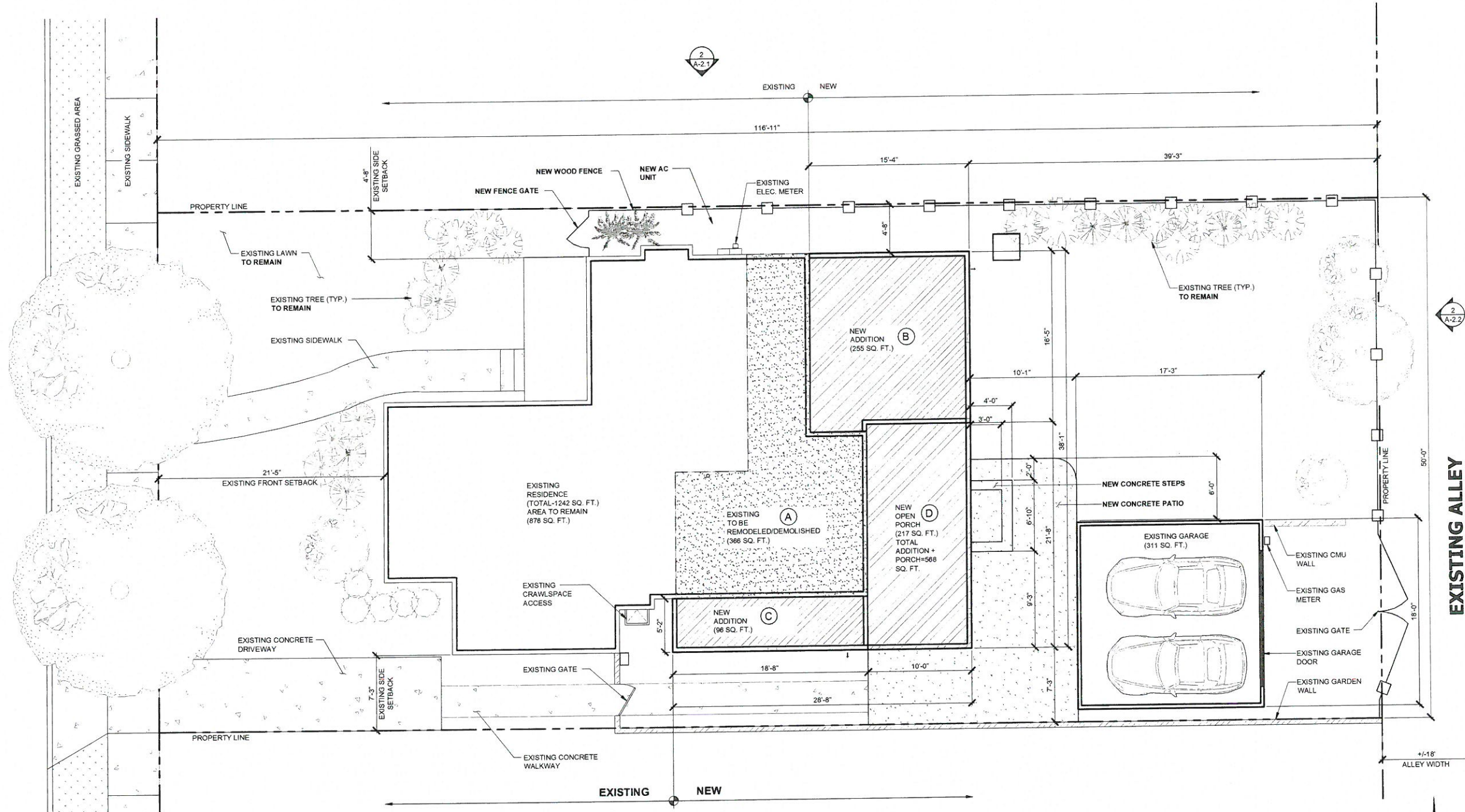
An aerial photograph of a residential neighborhood in St. Louis, Missouri. The image shows a grid of streets including Rose Ave, E Bixby Rd, Gardenia Ave, and Cherry Ave. The area is densely packed with houses, many of which have red roofs. There are numerous mature trees throughout the neighborhood, particularly along the streets. A large commercial building is visible on the right side of the image, near the intersection of Cherry Ave and E Bixby Rd. The overall scene depicts a typical urban residential area with a mix of housing and greenery.

T-1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

GARDENIA AVENUE

NEW SITE PLAN



(A) DEMOLISHED AREA

368 SQ. FT.

(B) KITCHEN ADDITION

15'-4" X 16'-5"= 255 SQ. FT.

(C) MASTER BEDROOM/BATH

18'-8" X 5'-2"=98 SQ. FT.

TOTAL NEW LIVING AREA=351 SQ. FT.

(D) OPEN REAR PORCH

21'-8" X 10'-0"=217 SQ. FT.

DISCLAIMER

THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, AND SETBACKS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION.

REMODEL & ADDITION TO CARNEY/GARVEY RESIDENCE 3730 GARDENIA AVENUE LONG BEACH, CA 90807

NEW SITE PLAN

A-1

REV	DATE	DESCRIPTION
1	06/23/2016	HISTORIC REVIEW
0	07/17/2016	SUBMITTAL
C	06/09/2016	90% CONSTRUCTION DOCUMENTS FOR BIDDING
B	06/01/2016	PRELIMINARY CD's
A	02/14/2016	PRELIMINARY CD's

EXISTING INFORMATION:

100 AMP SERVICE
A/C-GOODMAN MANUFACTURING 10-101D CONDENSING UNIT
HEATER-DUCANE FURNACES (A050B3 OR A075B3) GAS-FIRED, NON-CONDENSING WARM-AIR FURNACE
WATER HEATER-BOSCH AQUASTAR 125B-NG TANKLESS

LEGEND:

- EXISTING WALLS TO REMAIN (WOOD FRAME W/STUCCO)
- EXISTING WALLS TO BE REMOVED
- EXISTING CONCRETE PATIO TO BE REMOVED
- EXISTING CMU WALL
- EXISTING GARDEN WALL

GENERAL DEMOLITION PLAN NOTES

- SEE FLOOR PLAN, SHEET A-1.2 FOR LOCATIONS WHERE INFILL WALL CONSTRUCTION, TO MATCH EXISTING, IS REQUIRED AT EXISTING DOORS/WINDOWS THAT ARE TO BE ABANDONED.
- IN IS THE GENERAL INTENT OF THE CONSTRUCTION DOCUMENTS TO FULLY DESCRIBE THE DEMOLITION WORK REQUIRED TO PROVIDE AND INSTALL THE NEW AND/OR ALTERED WORK. HOWEVER, IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL DEMOLITION WORK REQUIRED WHETHER OR NOT DRAWN AND/OR NOTED OR CALLED FOR IN ORDER THAT THE FINAL PRODUCT BE A COMPLETELY WORKABLE HABITABLE BUILDING AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS FOR THE INTENDED OCCUPANCY.
- ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY GOVERNING AGENCIES HAVING JURISDICTION.
- ANY AND ALL SCAFFOLDING REQUIRED FOR THE DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL STATE HEALTH AND SAFETY CODES AND ORDINANCES.
- CONTRACTOR SHALL PROTECT ALL EXISTING WORK TO REMAIN FROM DAMAGE DURING THE DEMOLITION PROCESS. ANY WORK WHICH IS TO REMAIN WHICH IS DAMAGED DURING ANY OF THE DEMOLITION WORK SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR.

LEGEND:

- EXISTING CONTINUOUS FOUNDATION AND STEM WALL
- EXISTING CONTINUOUS FOOTING AND STEM WALL TO BE REMOVED

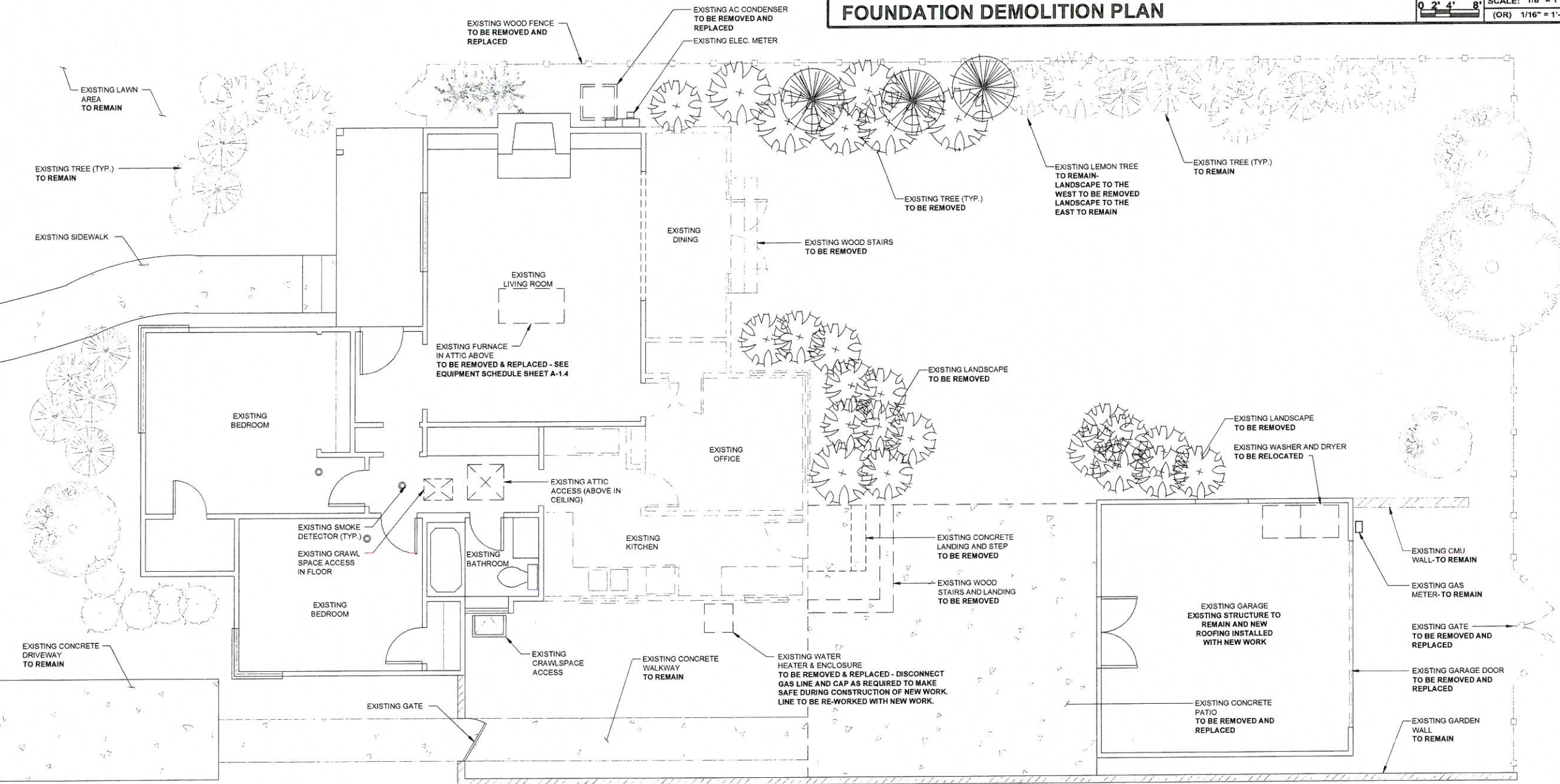
FOUNDATION DEMOLITION PLAN

0 2' 4' 8' SCALE: 1/8" = 1'-0" (24x36)
(OR) 1/16" = 1'-0" (11x17)

1



EXISTING ALLEY



DEMOLITION PLAN

0 1.5' 3' 5' SCALE: 3/16" = 1'-0" (24x36)
(OR) 3/32" = 1'-0" (11x17)

2

NO.	DATE	REVISION	DESCRIPTION
1	08/23/2016	HISTORIC REVIEW	
2	07/17/2016	SUBMITAL	
3	06/30/2016	90% CONSTRUCTION DOCUMENTS FOR BIDDING	
4	06/01/2016	PRELIMINARY CD	
5	07/14/2016	PRELIMINARY CD	
6	07/14/2016	DATE	DESCRIPTION

REMODEL & ADDITION TO
CARNEY/GARVEY RESIDENCE
3730 GARDENIA AVENUE
LONG BEACH, CA 90807

DEMOLITION PLAN

A-1.1

GENERAL NOTES - FLOOR PLAN

- A. ALL NEW PLUMBING FIXTURES TO BE PER OWNER
- B. INSULATION NOTES: RESIDENTIAL AREA
CEILINGS: R-19 UNFACED FIBERGLASS BLANKET
PERIMETER WALLS: R-13 BATT INSULATION
INTERIOR WALLS: R-13 BATT INSULATION
- C. SMOKE DETECTORS SHALL SOUND AN ALARM
AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT
- D. ALL NEW INTERIOR FINISHES TO MATCH EXISTING AND BE VERIFIED BY OWNER
- E. ALL NEW DOOR AND WINDOW FINISHES ARE TO BE PER OWNER
- F. WHEN THE VALUATION OF A ROOM ADDITION OR REPAIR EXCEEDS \$1,000, OR
WHEN SLEEPING ROOMS ARE CREATED SMOKE DETECTORS SHALL BE
PROVIDED, EXCEPT THAT, SMOKE DETECTORS AT EXISTING BEDROOMS NEED
ONLY BE BATTERY POWERED. SEC. 310.9.1.2
- G. PROVIDE FLOURESCENT GENERAL LIGHTING (40 LUMENS PER WATT MINIMUM)
IN KITCHENS AND BATHROOMS CONTAINING A TUB OR SHOWER.
- H. THE DISCHARGE POINT FOR EXHAUST AIR WILL BE AT LEAST 3 FT. FROM ANY
OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- I. CEILING HEIGHT FOR HABITABLE ROOMS IS A MIN. OF 7'-6". SEC. 310.6.1
- J. CEILING HEIGHT FOR LAUNDRY ROOMS, HALLWAYS, CORRIDORS, AND BATHROOMS
IS A MIN. OF 7'-0". SEC. 310.6.1.
- K. BEDROOM ELECTRICAL CIRCUITS MUST BE PROTECTED BY ARC FAULT CIRCUIT
INTERRUPTORS (AFCI).

- L. SMOKE DETECTORS ARE REQUIRED IN EACH EXISTING SLEEPING ROOM AND IN THE
HALLWAY / AREA SERVING EACH SLEEPING AREA. BATTERY OPERATED DETECTORS
ARE ACCEPTABLE FOR EXISTING CONSTRUCTION.
- M. IN ADDITION TO ANY TOILETS BEING ADDED TO THE BUILDING AS A RESULT OF THIS
PROJECT, ALL EXISTING TOILETS MUST BE REPLACED WITH ULTRA-LOW FLOW
TOILETS. ALL WATER CLOSETS IN THIS BUILDING TO BE STATE OF CALIFORNIA,
DEPARTMENT OF HOUSING & MAX. 1.6 GAL PER FLUSH.
- N. WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 70"
ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN
STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.

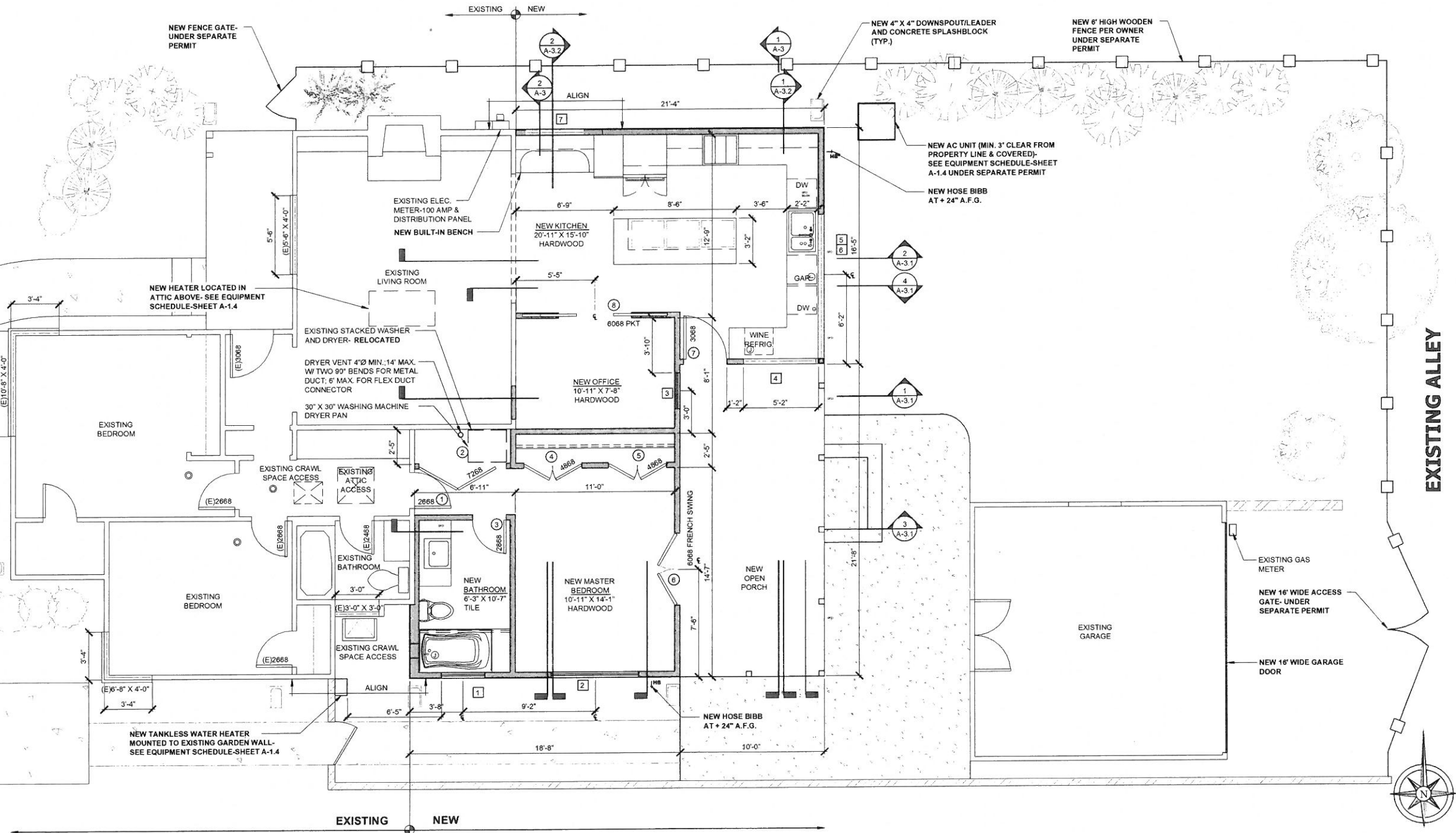
STAIR NOTES

- A. MAXIMUM RISE OF 7.75" ND MIN. RUN (TREAD) OF 10".
- B. PROVIDE CONTINUOUS HANDRAIL FOR STAIRWAYS WITH 4 OR MORE RISERS.
- C. HANDRAILS SHALL BE 34" - 38" ABOVE THE NOSING OF TREADS.
- D. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" OR
MORE THAN 2" IN CROSS-SECTIONAL DIMENSION.
- E. DESIGN HANDRAIL SYSTEM TO RESIST HORIZONTAL FORCES DESCRIBED IN
SEC. 1607.7.
- F. A NOSING NOT LESS THAN .75" BUT NOT MORE THAN 1.25" SHALL BE PROVIDED
ON STAIRWAYS WITH SOLID RISERS WHERE TREAD DEPTH IS LESS THAN 11".
- G. GUARD RAILS SHALL HAVE A HEIGHT OF 42" MIN. (MAY BE 34" ALONG THE
SIDES OF STAIRS).
- H. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR
OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A
GUARDRAIL AS A STAIR SHALL BE LESS THAN 6".
- I. HANDRAILS ARE REQUIRED ON EACH SIDE OF STAIRWAYS (ONLY STAIRS
WITHIN DWELLING UNITS ARE ALLOWED TO HAVE JUST ONE HANDRAIL ON ONE
SIDE).
- J. HANDRAIL EXTENSIONS SHALL BE 34" TO 38" ABV. NOSING OF TREADS
AND ARE TO BE CONTINUOUS.
- K. HANDRAILS PROJECTING FROM WALLS SHALL HAVE AT LEAST 1-1/2"
BETWEEN WALL AND THE HANDRAIL.
- L. ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED
TERMINATIONS OR BENDS.

LEGEND:

- EXISTING WALLS TO REMAIN
(WOOD FRAME W/STUCCO)
- TO BE CLOSED IN OR NEW CONSTRUCTION
- DETAIL REFERENCE
- ELEVATION REFERENCE
- SECTION REFERENCE

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



REMODEL & ADDITION TO
CARNEY/GARVEY RESIDENCE
3730 GARDENIA AVENUE
LONG BEACH, CA 90807

NEW
FLOOR PLAN

A-1.2

0 1' 2' 4' SCALE: 1/4" = 1'-0" (24x36)
(OR) 1/8" = 1'-0" (11x17)

1

HISTORIC REVIEW

SUBMITTAL

90% CONSTRUCTION DOCUMENTS FOR BIDDING

PRELIMINARY CD

PRELIMINARY CD

DATE

1

0

0

B

A

REV

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL CONFORM WITH LATEST EDITION OF THE NATIONAL ELECTRIC CODE AND ANY OTHER GOVERNING AGENCY.
2. WALL (TOP) SWITCHES SHALL BE LOCATED AT 48" ABOVE FINISH FLOOR.
3. TELEPHONE, T.V. AND ELECTRICAL CONVENIENCE OUTLETS SHALL BE SECURED TO A WALL STUD AND LOCATED AT 9" (BOTTOM OF BOX) ABOVE COUNTER TOPS.
4. FIRE WARNING DEVICES SHALL BE SUPPLIED AND INSTALLED IN COMPLIANCE WITH CURRENT UBC CODES.
5. PANEL BOXES: CIRCUIT BREAKER TYPE SHALL BE RECESSED, FLUSH MOUNTED, GALVANIZED AND PRIME COATED WITH LATCH. PROVIDE CARD IDENTIFYING CIRCUITS.
6. OWNER OR ARCHITECT TO PROVIDE LIGHTING FIXTURE SCHEDULE, OR LIGHT FIXTURES FOR ALL J BOXES OR WALL OR FLUSH MOUNTED LIGHTS.
7. IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS ALL FIXTURES MUST BE HIGH EFFICACY STYLE FIXTURES (PROVIDE AT LEAST 40 LUMENS/WATT), OR BE CONTROLLED BY A VACANCY SENSOR.
8. ALL OUTDOOR FIXTURES MUST BE HIGH EFFICACY FLUORESCENT FIXTURES OR INCANDESCENT FIXTURES CONTROLLED BY A COMBINATION PHOTO-CONTROL TIME CLOCK OR MOTION SENSOR.
9. IN ALL OTHER SPACES INCLUDING HABITABLE ROOMS, HALLWAYS, OR CLOSETS OVER 70 S.F., PROVIDE HIGH EFFICACY FIXTURES, FIXTURES WITH A VACANCY SENSORS OR DIMMER SWITCHES.
10. PROVIDE UFER OR OTHER APPROVED GROUND PER NEC 250.
11. BATHROOM OUTLETS SHALL BE ON A 20 AMP CIRCUIT, WITH NO OTHER OUTLETS ALLOWED.
12. CIRCUITS SERVING 15 AND 20 AMP OUTLETS IN SLEEPING ROOMS MUST BE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTED PER NEC 210-12.
13. IN KITCHENS AT LEAST ONE-HALF OF THE WATTAGE RATING OF THE FIXTURES MUST BE HIGH EFFICACY WITH NON-HIGH EFFICACY FIXTURES SWITCHED SEPARATELY. NOTE: APPROXIMATELY 1/4 OF THE FIXTURES WILL BE REQUIRED TO BE OF THE HIGH EFFICACY VARIETY.

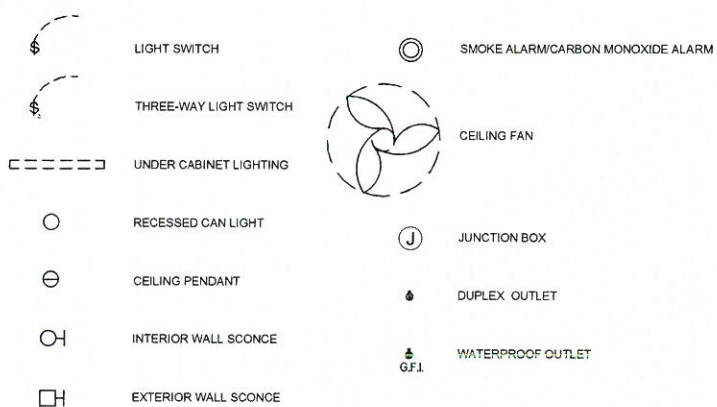
PLUMBING NOTES

1. ALL PLUMBING WORK SHALL CONFORM WITH THE LATEST EDITION OF THE UNIFORM PLUMBING CODE AND ANY OTHER ADOPTED CODES.
2. FIXTURES TO BE LOW FLOW FIXTURES PURSUANT TO STATE LAW AND ON THE CEC APPROVED LIST.
3. PROVIDE 32" CLEARANCE IN FRONT OF WATER CLOSETS.
4. BATHTUBS SHALL BE PROVIDED WITH A 12" X 12" READILY ACCESSIBLE SPACE OR SOLID SOLDER WASTE LINE.
5. WATER HEATER SHALL BE SIZED AND LOCATED AS SHOWN ON PLANS.
6. GAS WATER HEATER MUST BE PLACED ON AN 18" HIGH PLATFORM.
7. VERIFY ALL FIXTURE SELECTIONS WITH OWNER OR ARCHITECT.
8. DOMESTIC WATER PIPING: TYPE L COPPER TUBING ABOVE SLAB, TYPE K COPPER TUBING BELOW GRADE OR SLAB.
9. NO SOLDER JOINTS OF ANY KIND BELOW CONCRETE SLAB FOUNDATION. USE ROLLED COPPER (K) PIPING.
10. OPENINGS IN PIPES, DRAINS AND FITTINGS SHALL BE KEPT COVERED DURING CONSTRUCTION.
11. WATER HEATER TO BE ADEQUATELY BRACED TO RESIST SEISMIC FORCES BY PROVIDING TWO STRAPS (ONE STRAP AT TOP 1/3 OF THE TANK AND ONE STRAP AT BOTTOM 1/3 OF THE TANK).
12. COMBUSTION AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE WITH UPC SECTION 507 AND TABLE 5-1.
13. ANTI-SCALDING SHOWER AND TUB AND SHOWER VALVES REQUIRED.

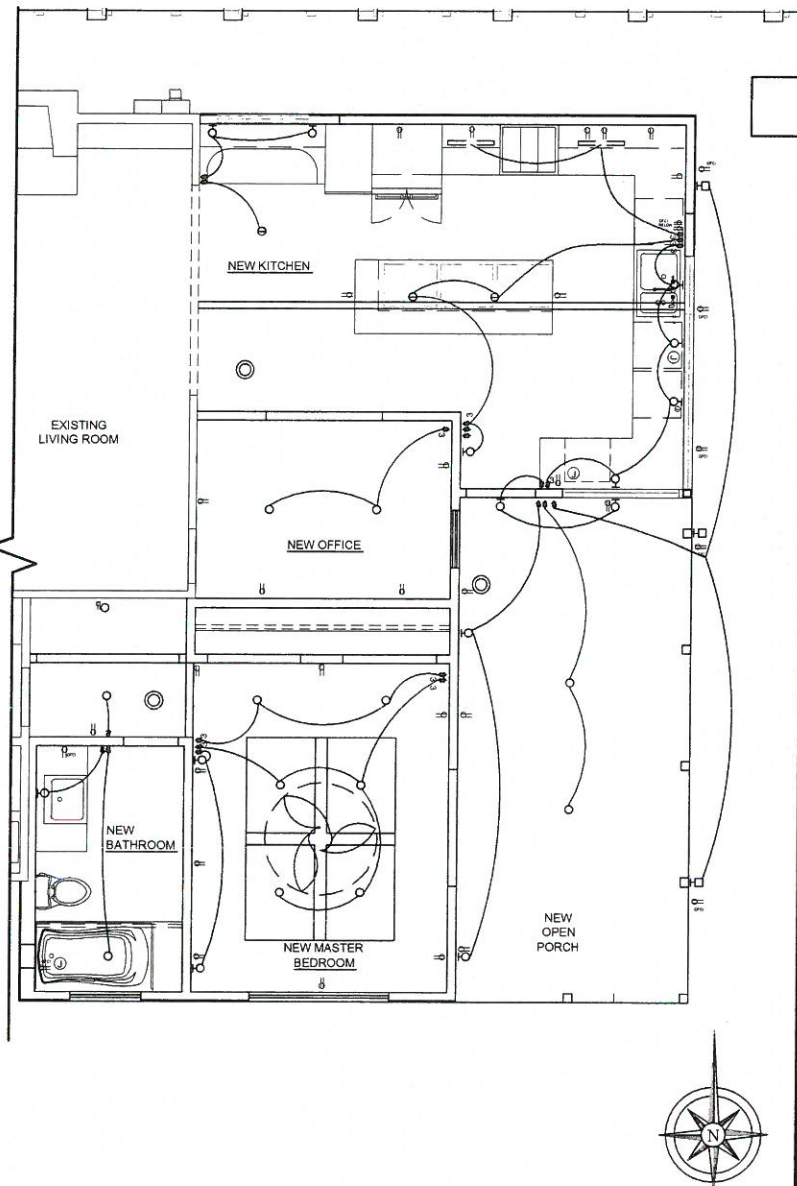
MECHANICAL NOTES

1. SYSTEM SHALL BE IN CONFORMANCE WITH LATEST EDITION OF THE UNIFORM MECHANICAL CODE AND ANY OTHER GOVERNING CODES.
2. BATHROOMS, LAUNDRY ROOM AND SIMILAR ROOMS EXHAUST FANS SHALL PROVIDE MIN. OF 5 AIR CHANGES PER HOUR.
3. DUCTS FOR EXHAUST FANS, RANGE HOODS, OR HEAT SUPPLY, ETC. THAT PIERCE FLOOR CONSTRUCTION SHALL BE A MINIMUM OF 26 GA. GALV. SHEET METAL. ALSO PROVIDE A ONE HOUR FIRE RESISTIVE SHAFT AT PENETRATION.
4. DUCTS PIERCING ONE HOUR FIRE RATED WALL BETWEEN GARAGE AND THE LIVING UNIT SHALL BE 26 GA. GALV. SHEET METAL.
5. ALL VENTS THROUGH ASSEMBLY SHALL BE LOCATED TOWARDS REAR OR LOWER SIDE OF ROOF HIGH POINT WHERE POSSIBLE.
6. ALL VENTS IN EXTERIOR WALL TO TURN BACK A MIN. OF 2' INTO RAFTER SPACE BEFORE RAISING VERTICALLY AND PENETRATING ROOF. ALL VENTS/DUCTS PENETRATING ROOF TO BE PROPERLY SLEEVED, FLASHED AND COUNTER FLASHED.
7. GAS FIRED FORCED AIR UNITS:
 - A. PROVIDE 100 SQ. IN. OF OUTSIDE COMBUSTION AIR FROM VENT THROUGH ROOF AND DUCT IN ATTIC FOR FAU SIZES OF 100,000 BTU OR UNDER.
 - B. PROVIDE 100 SQ. IN. OF OUTSIDE COMBUSTION AIR FROM VENT THROUGH ROOF AND DUCT IN ATTIC FOR EACH 1000 BTU FOR FAU SIZES OVER 100,000 BTU.
8. ALL EQUIPMENT INSTALLATION AS PER MANUFACTURERS SPECIFICATIONS.
9. IN LIEU OF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION, A MECHANICAL VENTILATION SYSTEM MAY BE PROVIDED. SUCH SYSTEM SHALL BE CAPABLE OF PROVIDING TWO AIR CHANGES PER HOUR IN HABITABLE ROOMS WITH A MIN. OF 15 CUBIC FEET PER MINUTE OF OUTSIDE AIR PER OCCUPANT DURING SUCH TIME AS THE BUILDING IS OCCUPIED.
10. THE DUCT INSULATION MUST BE A MIN. OF R-4.2 FOR CLIMATE ZONE 7.

LEGEND:



- ALL 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTICLES INSTALLED IN BATHROOMS, GARAGES, BASEMENTS, OUTDOORS AND WITHIN 6 FEET OF SINK SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTOR PROTECTION
- ALL BATHROOM CIRCUITING SHALL BE EITHER:
1. A 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM, OR
2. AT LEAST ONE 20 AMP CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
- SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT.

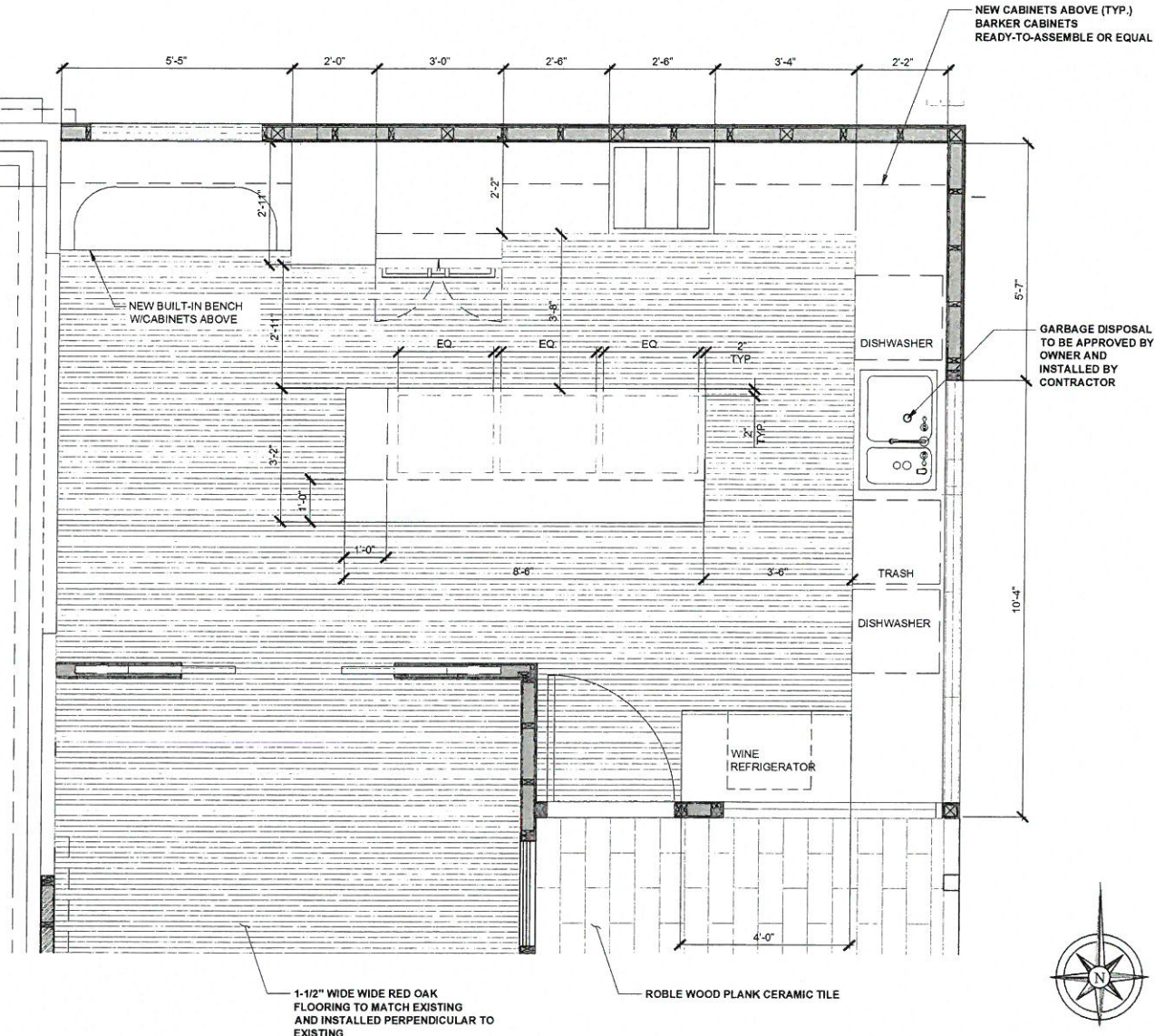


REFLECTED CEILING PLAN

0 1' 2' 4' SCALE: 1/4" = 1'-0" (24x36)
(OR) 1/8" = 1'-0" (11x17)

1

ENLARGED KITCHEN PLAN



0 1' 2' 4' SCALE: 1/4" = 1'-0" (24x36)
(OR) 1/8" = 1'-0" (11x17)

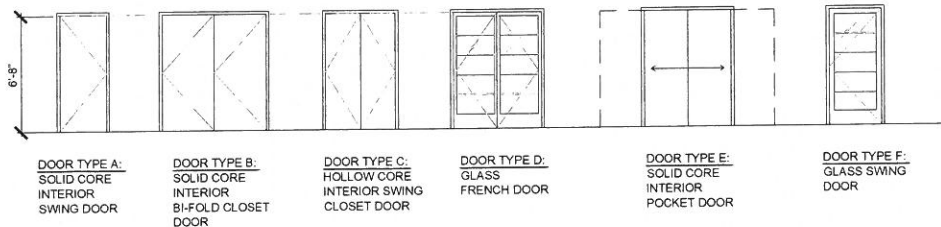
2

REMODEL & ADDITION TO
CARNEY/GARVEY RESIDENCE
3730 GARDENIA AVENUE
LONG BEACH, CA 90807

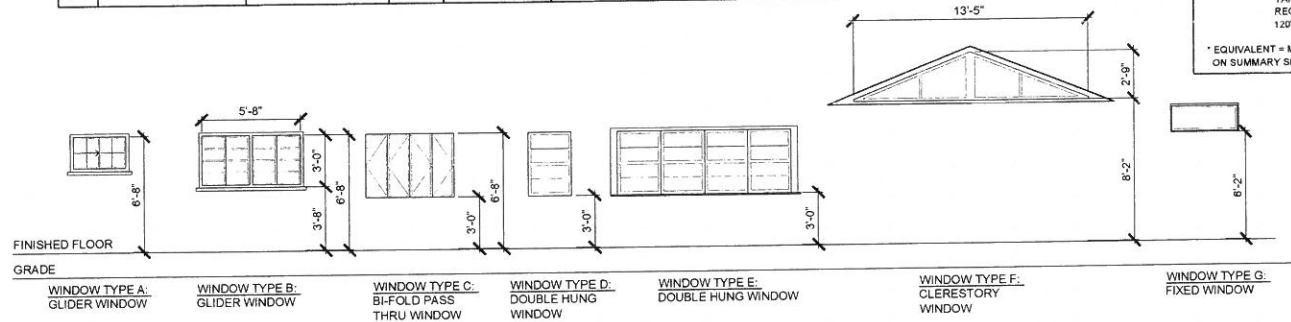
REFLECTED
CEILING PLAN &
ENLARGED KITCHEN
A-1.3

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

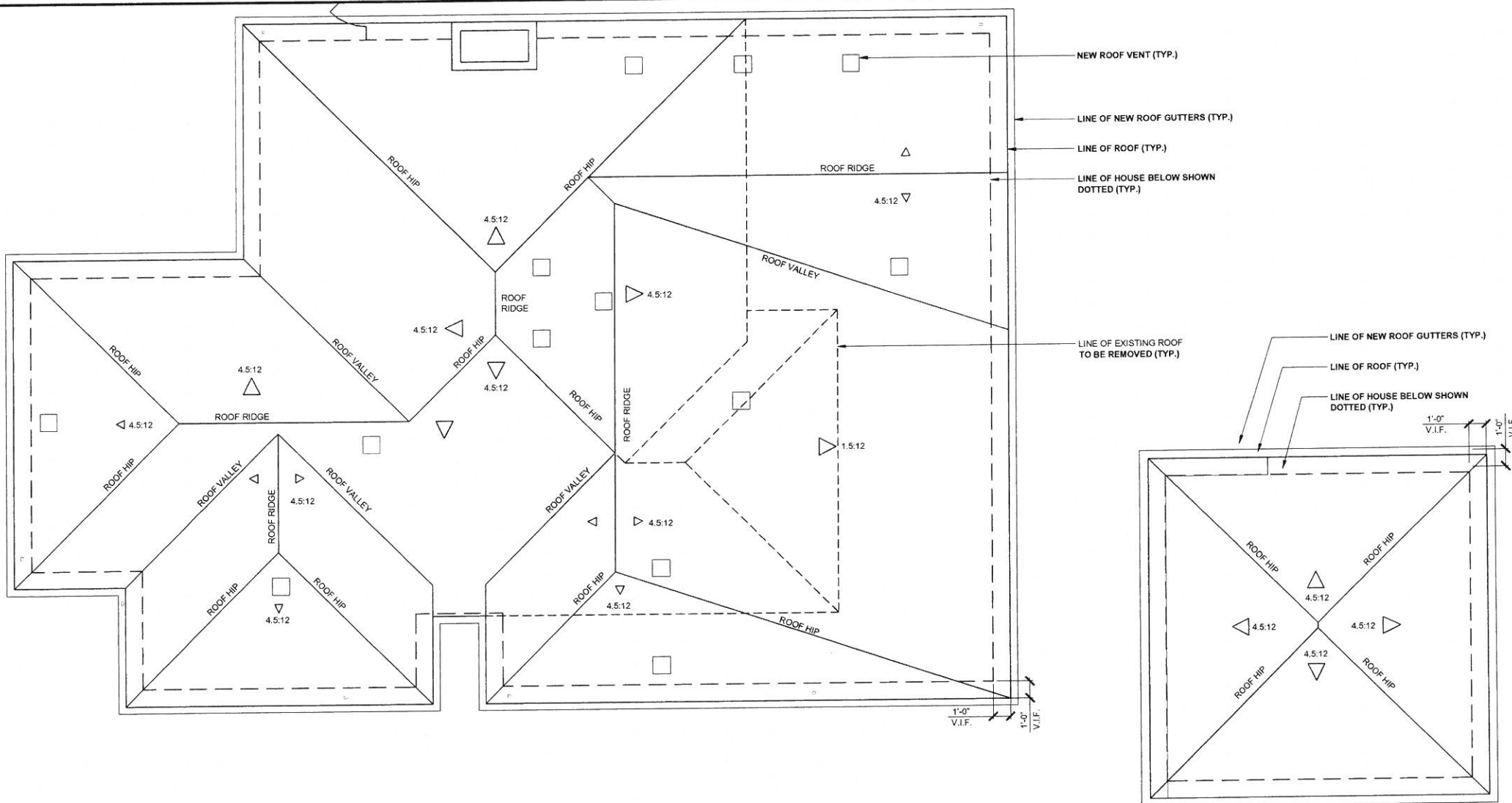
DOOR SCHEDULE		NOTES: 1. ALL FINISHES TO BE VERIFIED BY OWNER 2. HARDWARE BY OWNER						
SYM.	LOCATION	SIZE (WxH)	THK.	TYPE	MATERIAL	SC/HG/GL	FINISH	REMARKS
①	MASTER BEDROOM ENTRY	2'-4" X 6'-8"	1-3/4"	A	WOOD	SC	PER OWNER	EXISTING OPENING WITH NEW DOOR
②	MASTER BEDROOM CLOSET	6'-0" X 6'-8"		B	WOOD	HC	PER OWNER	NEW BI-FOLD DOOR
③	MASTER BATH ENTRY	2'-8" X 6'-8"	1-3/4"	A	WOOD	SC	PER OWNER	NEW SWING DOOR
④	MASTER BEDROOM CLOSET	(2) 2'-0" X 6'-8"		C	WOOD	HC	PER OWNER	NEW SWING DOUBLE DOORS
⑤	MASTER BEDROOM CLOSET	(2) 2'-0" X 6'-8"		C	WOOD	HC	PER OWNER	NEW SWING DOUBLE DOORS
⑥	MASTER BEDROOM	9'-10" X 6'-8"	1-3/4"	D	WD/GL	GL	PER OWNER	NEW FRENCH GLASS SWING DOORS
⑦	KITCHEN	3'-0" X 6'-8"	1-3/4"	F	WD/GL	GL	PER OWNER	NEW SWING DOOR
⑧	OFFICE	(2) 2'-6" X 6'-8"		E	WOOD	SC	PER OWNER	NEW DOUBLE POCKET DOOR



WINDOW SCHEDULE		NOTE: 1. ALL FINISHES TO BE VERIFIED BY OWNER 2. HARDWARE BY OWNER 3. ALL GLASS TO BE LOW-E2 DUAL GLAZED 4. PROVIDE DECORATIVE CONCEALED MUNTINS AT ALL WINDOWS			
SYM.	LOCATION	SIZE (WxH)	TYPE	FRAME	REMARKS
1	MASTER BATH	3'-0" X 2'-0"	A	WOOD	GLIDER WITH SCREEN & TEMPERED GLASS
2	MASTER BEDROOM	5'-8" X 3'-0"	B	WOOD	GLIDER WITH SCREEN
3	OFFICE	2'-6" X 3'-8"	D	WOOD	DOUBLE HUNG
4	KITCHEN	5'-0" X 3'-8"	C	WOOD	PASS THRU
5	KITCHEN	10'-0" X 3'-8"	E	WOOD	DOUBLE HUNG
6	KITCHEN	SEE ELEVATION	F	WOOD	PICTURE
7	KITCHEN	4'-0" X 1'-7"	G	WOOD	FIXED



EQUIPMENT SCHEDULE	
MECHANICAL EQUIPMENT (OR EQUIVALENT*)	
FAU - BRYANT MODEL 311JAV-036070 63,000 BTU/H INPUT / 51,000 BTU/H OUTPUT / 80% AFUE MULTI-POSITION FAU (HORIZONTAL RATING SHOWN ABOVE) CFM FOR UP TO 3.0 TONS (NOM.) A/C	
A/C - BRYANT MODEL 114CNA-036 (CONDENSER WITH PURON REFRIGERANT) BRYANT MODEL CAPMP-36 (UP FLOW OR HORIZONTAL CASED COIL) SEER = 14.0 / EER = 11.7 NOMINAL 3.0 TON A/C COMBINATION 208/230V-60 HZ-1F	
WATER HEATER - RINNAI CONTINUUM MODEL RL75E (OUTDOOR UNIT) TANKLESS / 10,300 TO 180,000 BTU/H / 82% RECOVERY EFFICIENCY RECOMMEND WEBSTONE ISOLATOR/SERVICE VALVES (OR EQUIVALENT) 120V-60 HZ-1F	
* EQUIVALENT = MEETS DESIGN HEATING AND/OR COOLING LOADS AND EFFICIENCIES ON SUMMARY SHEET.	



FIRE NOTES

- IN ROOF COVERINGS WHERE THE PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACE AT THE EAVE ENDS SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAMES OR EMBERS.
- EXTERIOR WALL SURFACES MUST BE NON-COMBUSTIBLE. PLYWOOD OR 3/4" DROP SIDING MAY BE USED WITH AN UNDERLAY OF 1/2" FIRE RATED GYP. BD.
- COMBUSTIBLE EAVES, SOFFITS AND FASCIAS SHALL BE CONSTRUCTED AS REQUIRED IN GUIDANCE DOCUMENT DFLU #198.
- ALL VENTS (ROOF, FOUNDATION, COMBUSTION AIR, ETC.) MUST BE LOUVERED AND COVERED WITH 1/4" NONCOMBUSTIBLE, CORROSION-RESISTANT METAL MESH. TURBINE VENTS SHALL TURN IN ONE DIRECTION ONLY.
- PAPER FACED INSUL. IS NOT PERMITTED IN ATTICS OR OTHER VENTILATED SPACES.
- WINDOWS SHALL BE TEMPERED GLASS, MULTI-LAYERED GLASS PANELS, OR GLASS BLOCK HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES. GLAZING FRAMES MADE OF VINYL SHALL HAVE WELDED CORNERS, METAL REINFORCED IN THE INTERLOCK AREA.
- ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES, OR EAVE OVERHANGS.
- GUTTERS AND DOWN SPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL, AND DESIGNED TO REDUCE ACCUMULATION OF LEAF LITTER AND DEBRIS.
- EXTERIOR DOORS SHALL BE APPROVED IGNITION RESISTANT CONSTRUCTION, SOLID-CORE WOOD NOT LESS THAN 1 3/4" THICK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
- ALL STRUCTURES HAVING ANY CHIMNEY, FLUE, OR STOVEPIPE ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE, OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT AND DEVICES, SHALL HAVE SUCH CHIMNEY, FLUE, OR STOVEPIPE EQUIPPED WITH AN APPROVED SPARK ARRESTER. SPARK ARRESTERS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS, 12 GAUGE MIN. WELDED OR WOVEN WIRE MESH W/ MAX. 1/2" OPENINGS, OR CAST IRON PLATE W/ 3/16" MAX. OPENING, OR OTHER MATERIAL FOUND SATISFACTORY BY THE FAHJ.

ATTIC VENTILATION CALCULATIONS
TOTAL ROOF AREA = 2092 S.F.
REQUIRED VENTILATION @ 1/150 = 14 S.F.
PROVIDED VENTILATION 14 S.F.

NOTE:
ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4 INCH IN DIMENSION. SEC. 1505.3



NEW ROOF PLAN & WINDOW AND DOOR SCHEDULES

A-1.4

0 1.5' 3' 5' SCALE: 3/16" = 1'-0" (24x36)
(OR) 3/32" = 1'-0" (11x17)

1

HISTORIC REVIEW	SUBMITTAL	90% CONSTRUCTION DOCUMENTS FOR BIDDING	PRELIMINARY CDs	DATE	DESCRIPTION
06/22/2016	07/17/2016	08/02/2016	08/10/2016	09/14/2016	REV
1	0	C	B	A	

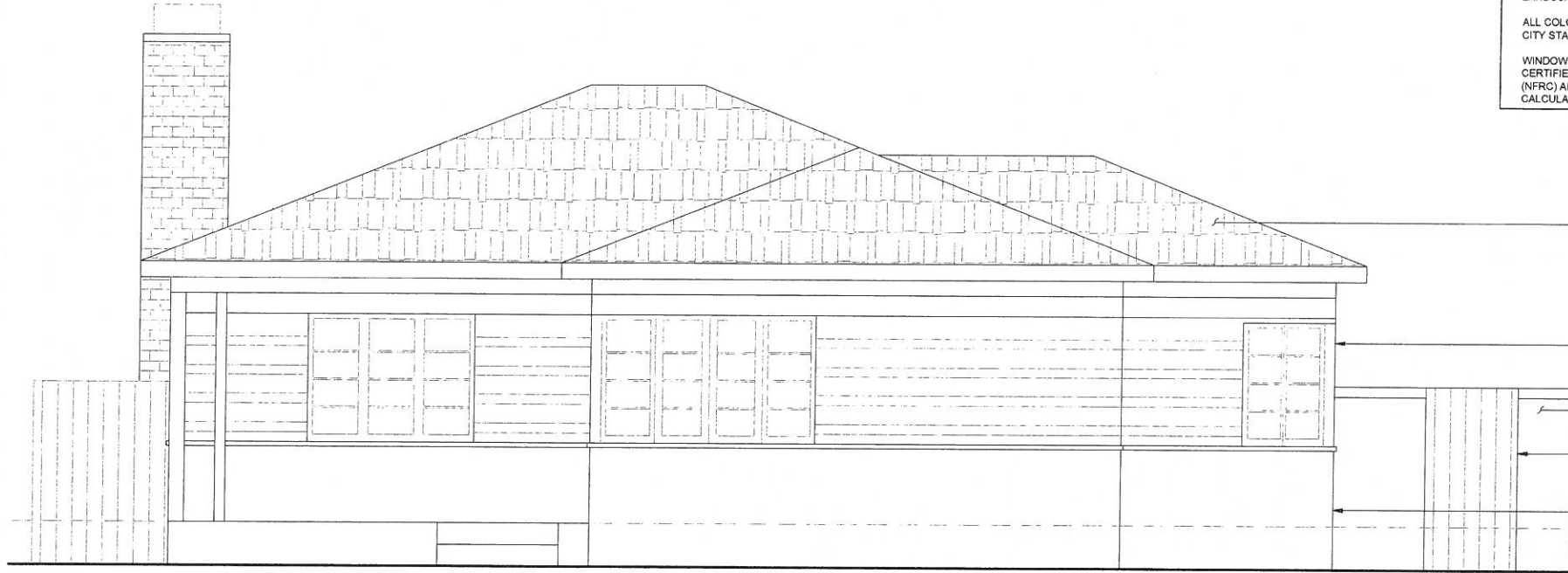
REMODEL & ADDITION TO CARNEY/GARVEY RESIDENCE 3730 GARDENIA AVENUE LONG BEACH, CA 90807

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

TOP OF EXISTING ROOF
ELEV. +/- 15'-9"

EXISTING FINISHED FLOOR
ELEV. 1'-5"

EXISTING GRADE
ELEV. 0'-0"



NOTES:
LANDSCAPE NOT DRAWN FOR CLARITY.
ALL COLORS TO BE VERIFIED WITH OWNER AND APPROVED BY CITY STAFF PRIOR TO INSTALL.
WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH ENERGY CALCULATIONS

REV	DATE	DESCRIPTION
1	08/23/2016	HISTORIC REVIEW
0	07/17/2016	SUBMITTAL
C	09/02/2016	90% CONSTRUCTION DOCUMENTS FOR BIDDING
B	05/01/2016	PRELIMINARY CD
A	02/14/2016	PRELIMINARY CD

EXISTING WEST ELEVATION

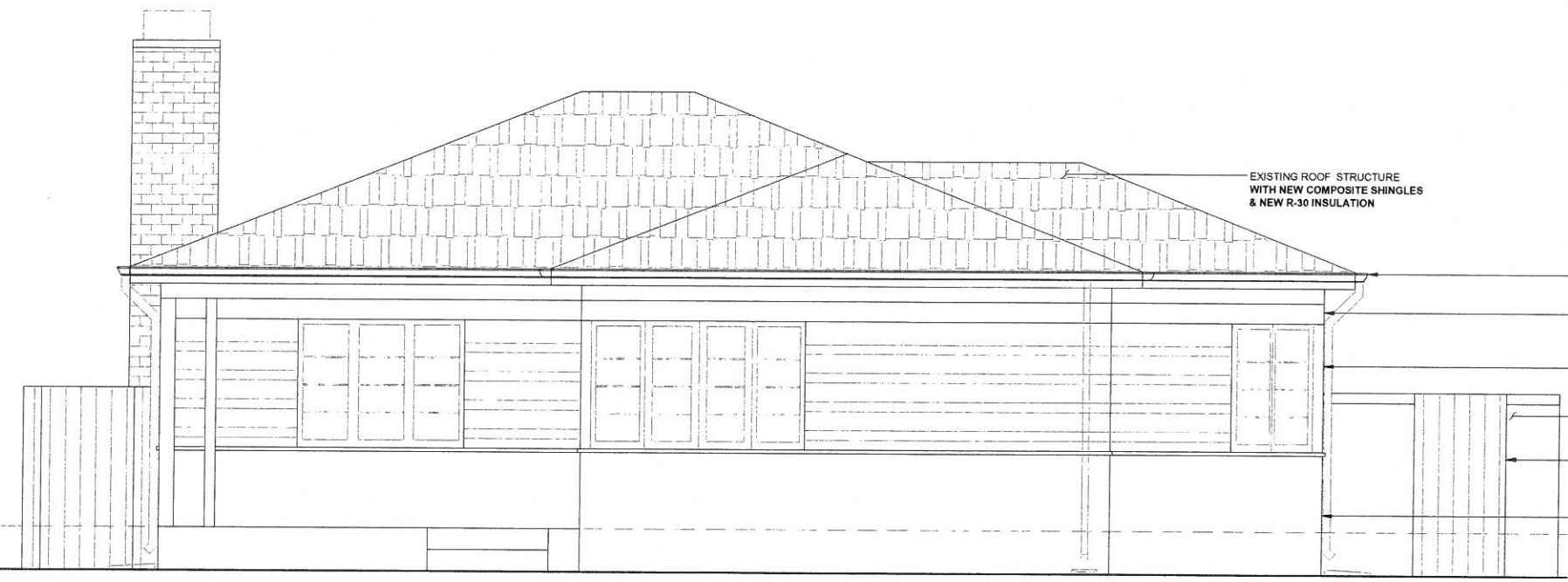
0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

1

TOP OF EXISTING ROOF
ELEV. +/- 15'-9"

EXISTING FINISHED FLOOR
ELEV. 1'-5"

EXISTING GRADE
ELEV. 0'-0"



ELEVATIONS

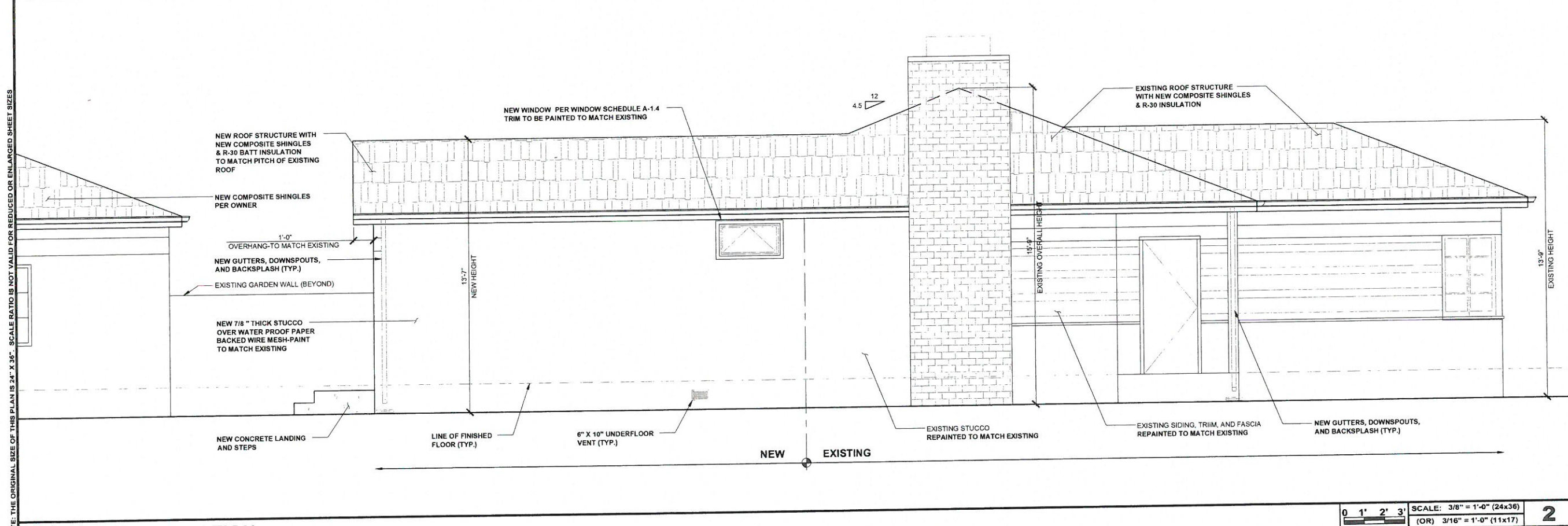
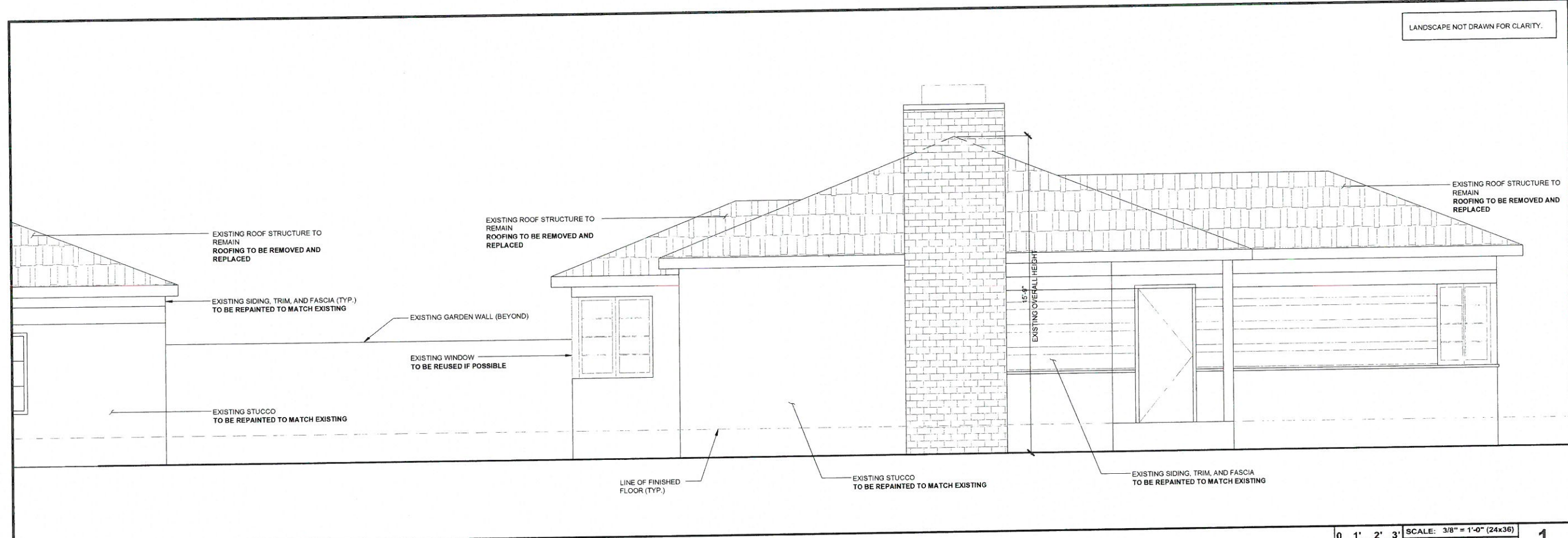
A-2

NEW WEST ELEVATION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

2

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



LANDSCAPE NOT DRAWN FOR CLARITY.

REMODEL & ADDITION TO
CARNEY/GARVEY RESIDENCE
3730 GARDENIA AVENUE
LONG BEACH, CA 90807

ELEVATIONS

A-2.1

REV	DATE	DESCRIPTION
1	08/23/2016	HISTORIC REVIEW
0	07/12/2016	SUBMITTAL
C	06/03/2016	90% CONSTRUCTION DOCUMENTS FOR BIDDING
B	06/01/2016	PRELIMINARY CD's
A	02/14/2016	PRELIMINARY CD's

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

TOP OF EXISTING ROOF
ELEV. +/- 15'-9"

EXISTING FINISHED FLOOR
ELEV. 1'-5"

EXISTING GRADE
ELEV. 0'-0"

EXISTING ROOF STRUCTURE TO REMAIN
ROOFING TO BE REMOVED AND REPLACED

EXISTING ROOF & FRAMING
TO BE REMOVED

EXISTING SIDING, TRIM, AND FASCIA
TO BE REPAINTED TO MATCH EXISTING

EXISTING STUCCO WALL
TO BE REMOVED

EXISTING DOOR
TO BE REMOVED

EXISTING STUCCO
TO BE REPAINTED TO MATCH EXISTING

EXISTING WOODEN STAIRS
TO BE REMOVED

EXISTING WALL
TO BE REMOVED

EXISTING DOOR
TO BE REMOVED

EXISTING WOOD FENCE
TO BE REMOVED AND REPLACED

LANDSCAPE NOT DRAWN FOR CLARITY.

EXISTING EAST ELEVATION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

1

TOP OF EXISTING ROOF
ELEV. +/- 15'-9"

EXISTING FINISHED FLOOR
ELEV. 1'-5"

EXISTING GRADE
ELEV. 0'-0"

EXISTING ROOF STRUCTURE
WITH NEW COMPOSITE SHINGLES
& NEW R-30 INSULATION

NEW ROOF STRUCTURE WITH NEW
COMPOSITE SHINGLES & R-30 BATT
INSULATION TO MATCH
PITCH OF EXISTING ROOF

NEW OPEN
PORCH

NEW GUTTERS, DOWNSPOUTS,
AND BACKSPLASH (TYP.)

NEW WINDOW
TRIM TO BE PAINTED TO MATCH EXISTING

NEW 8'-0" HIGH WOOD FENCE
PER OWNER
UNDER SEPARATE PERMIT

NEW 7/8" THICK STUCCO
OVER WATER PROOF PAPER
BACKED WIRE MESH-PAINT
TO MATCH EXISTING

NEW CONCRETE LANDING
AND STEPS

6" X 10" UNDERFLOOR
VENT (TYP.)

NEW

NEW EAST ELEVATION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

2

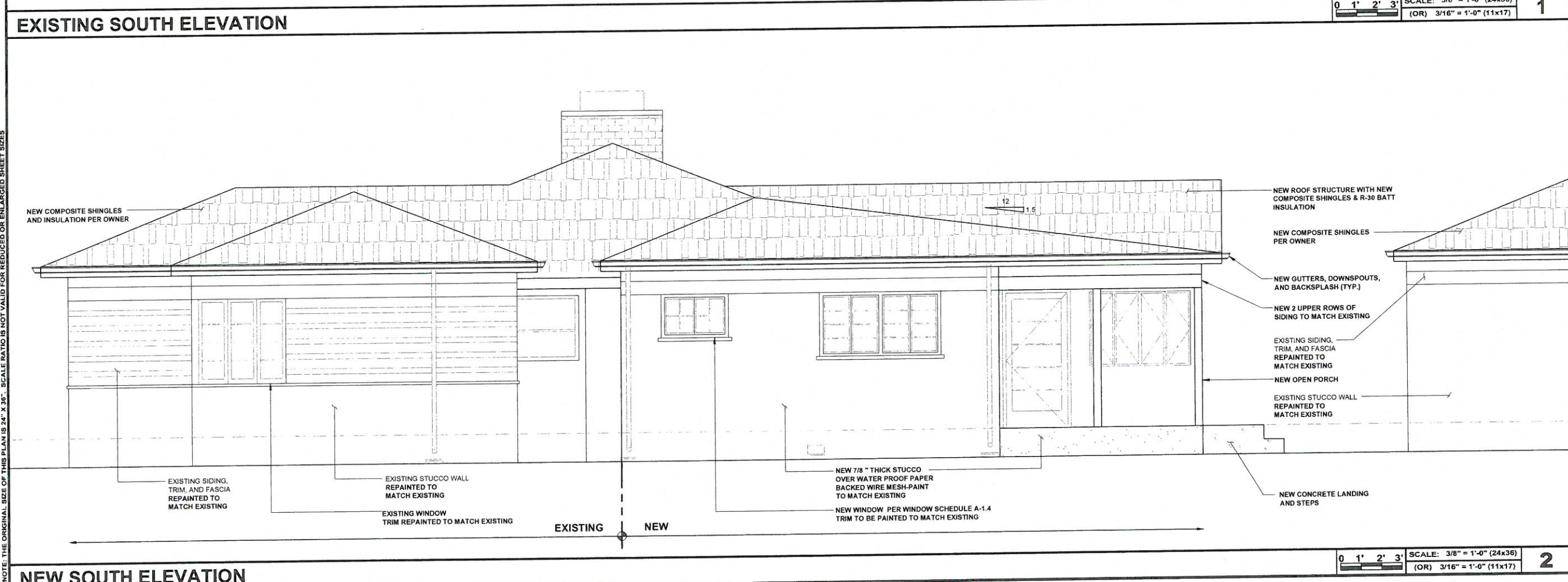
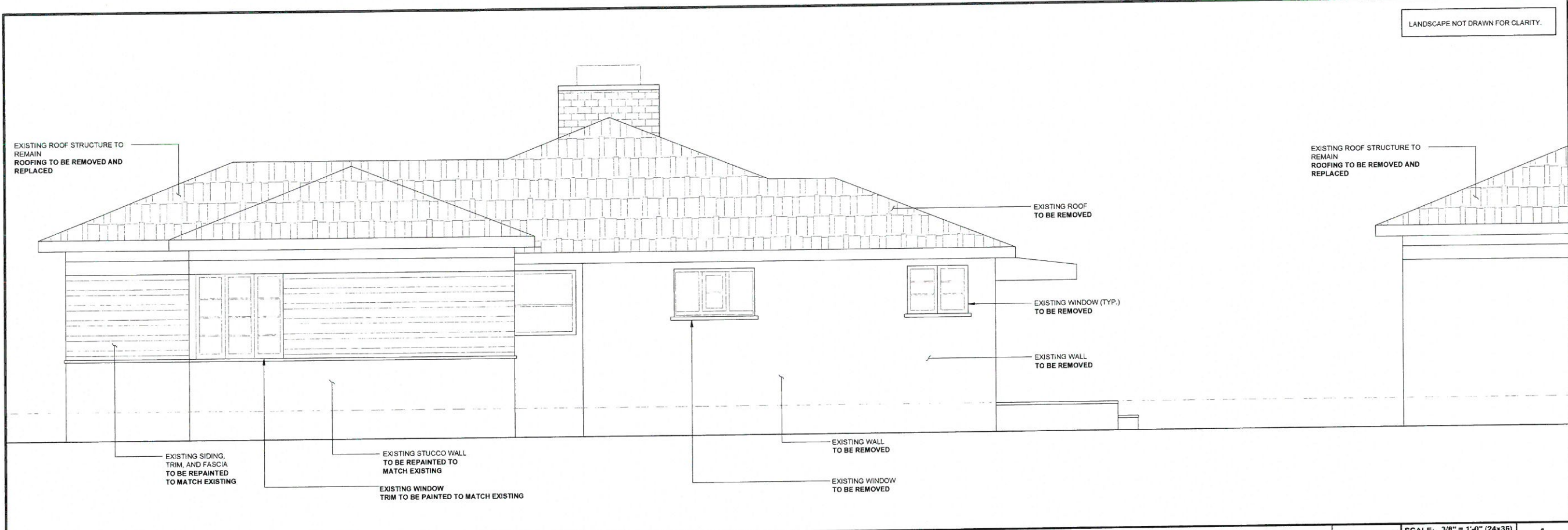
REV	DATE	DESCRIPTION
1	08/23/2016	HISTORIC REVIEW
0	07/17/2016	SUBMITTAL
C	06/30/2016	90% CONSTRUCTION DOCUMENTS FOR BIDDING
B	06/01/2016	PRELIMINARY CD
A	02/14/2016	PRELIMINARY CD

REMODEL & ADDITION TO
CARNEY/GARVEY RESIDENCE
3730 GARDENIA AVENUE
LONG BEACH, CA 90807

ELEVATIONS

A-2.2

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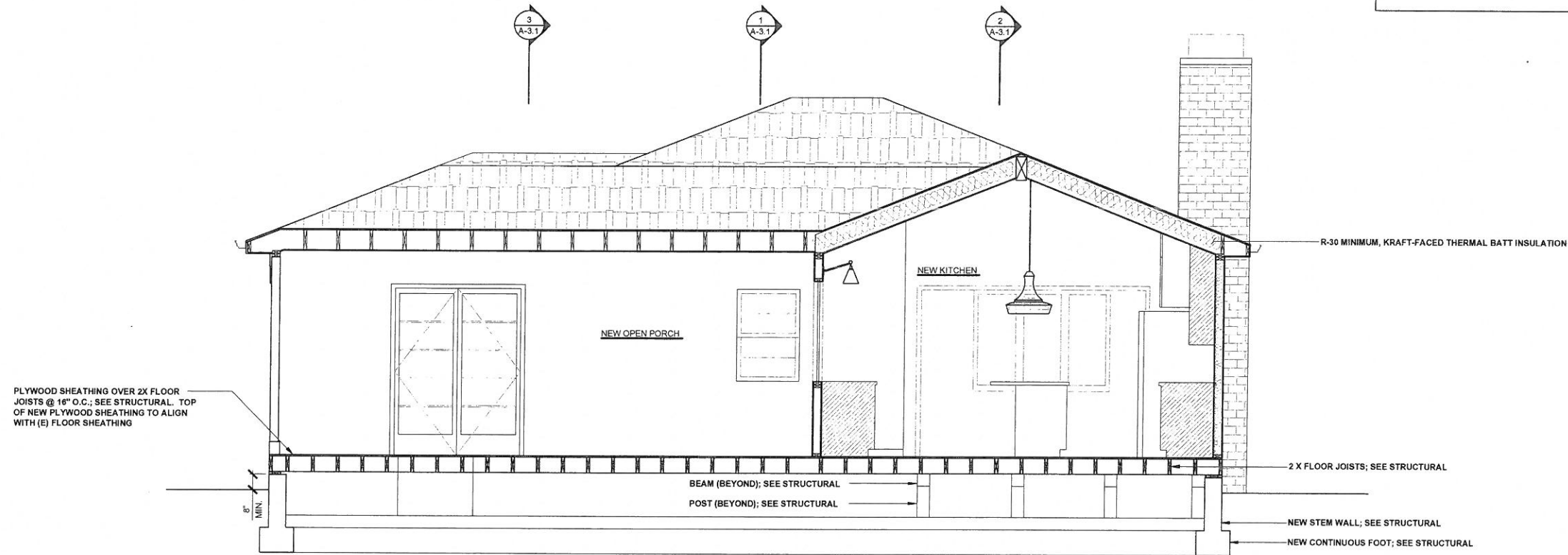


REMODEL & ADDITION TO
CARNEY/GARVEY RESIDENCE
3730 GARDENIA AVENUE
LONG BEACH, CA 90807

REV	DATE	DESCRIPTION
1	08/20/2018	HISTORIC REVIEW
2	07/17/2018	SUBMITTAL
3	08/02/2018	RPS CONSTRUCTION DOCUMENTS FOR BIDDING
4	08/02/2018	PRELIMINARY CD's
5	07/14/2018	PRELIMINARY CD's

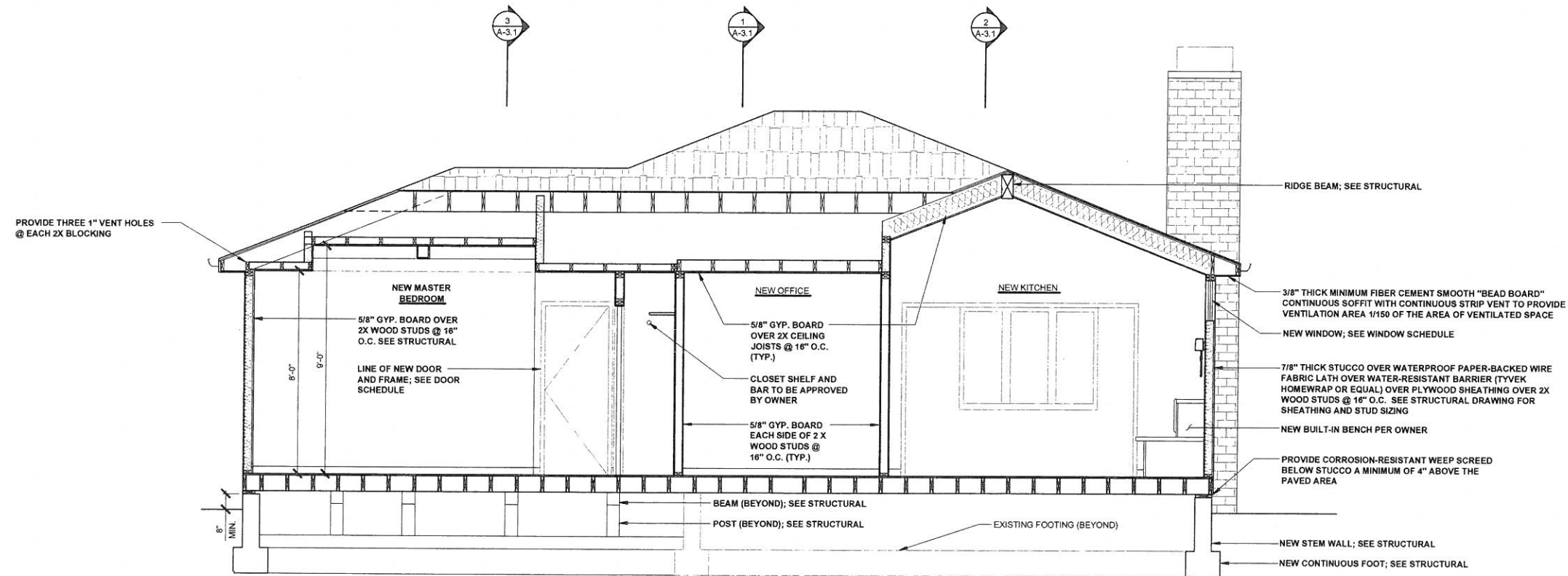
NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

SECTION



0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17) 1

SECTION



0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17) 2

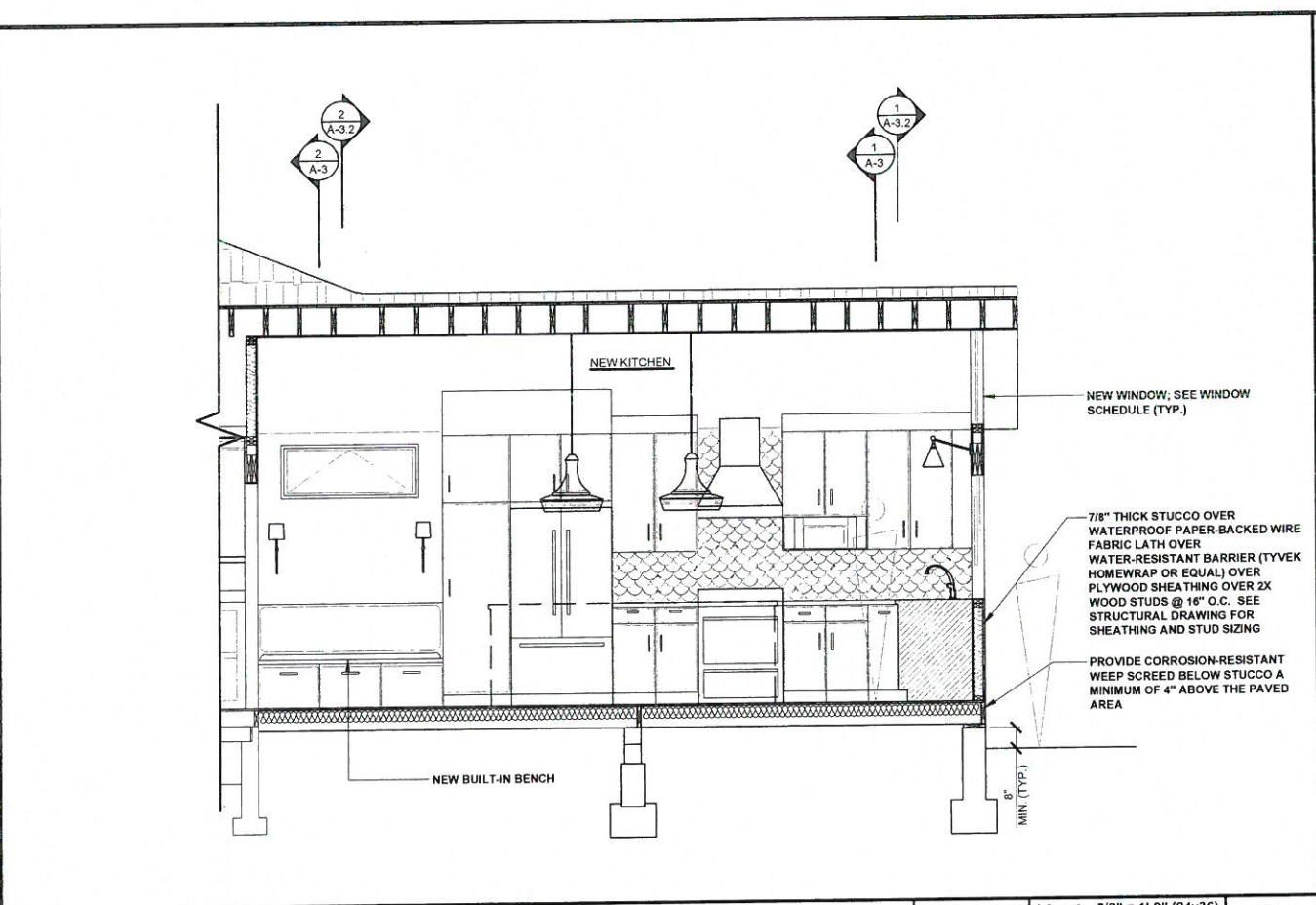
REMODEL & ADDITION TO
CARNEY/GARVEY RESIDENCE
3730 GARDENIA AVENUE
LONG BEACH, CA 90807

SECTIONS

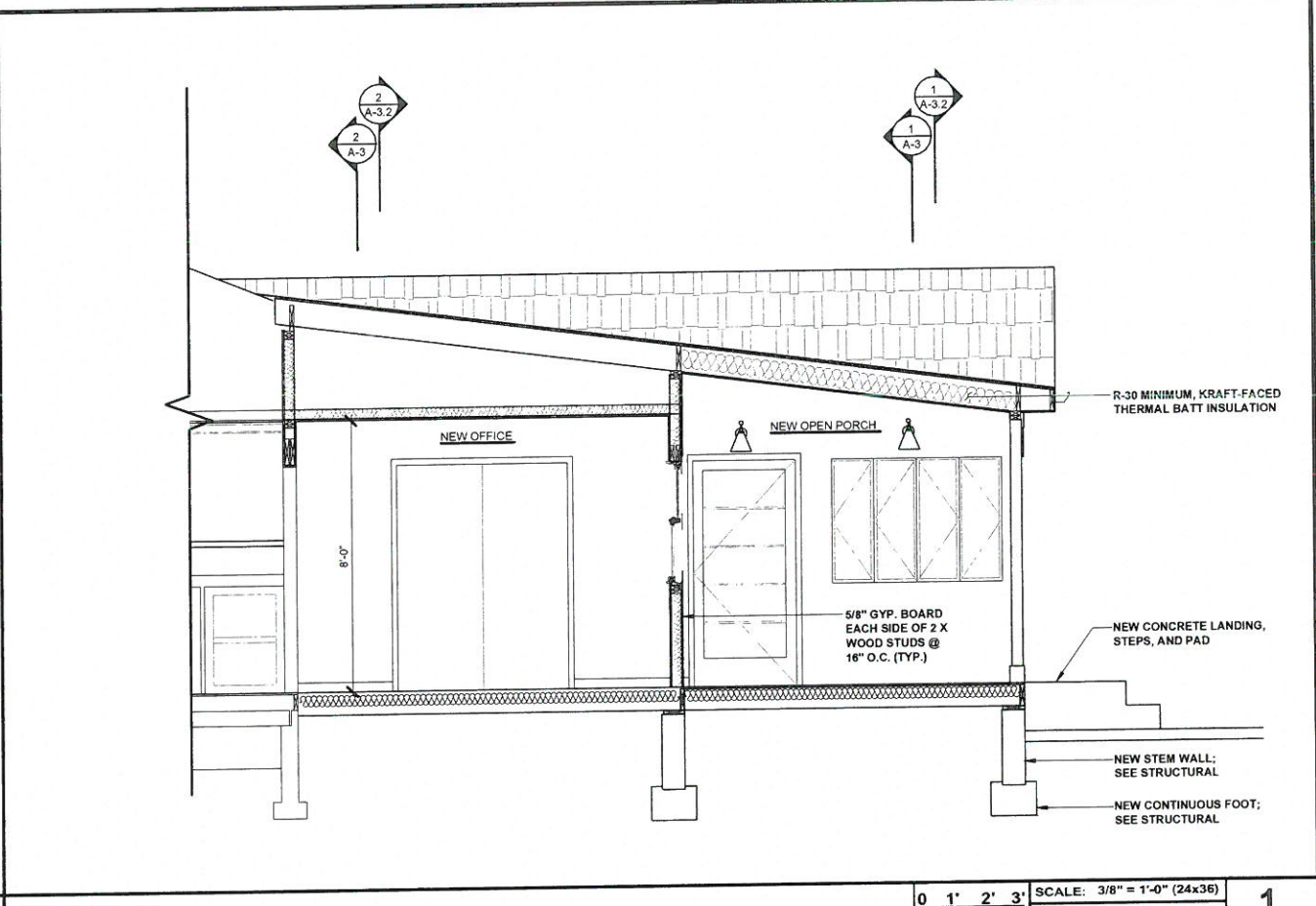
A-3

REV	DATE	DESCRIPTION
1	08/23/2016	HISTORIC REVIEW
0	01/17/2016	SUBMITTAL
C	06/03/2016	90% CONSTRUCTION DOCUMENTS FOR BIDDING
B	05/01/2016	PRELIMINARY CD
A	02/14/2016	PRELIMINARY CD

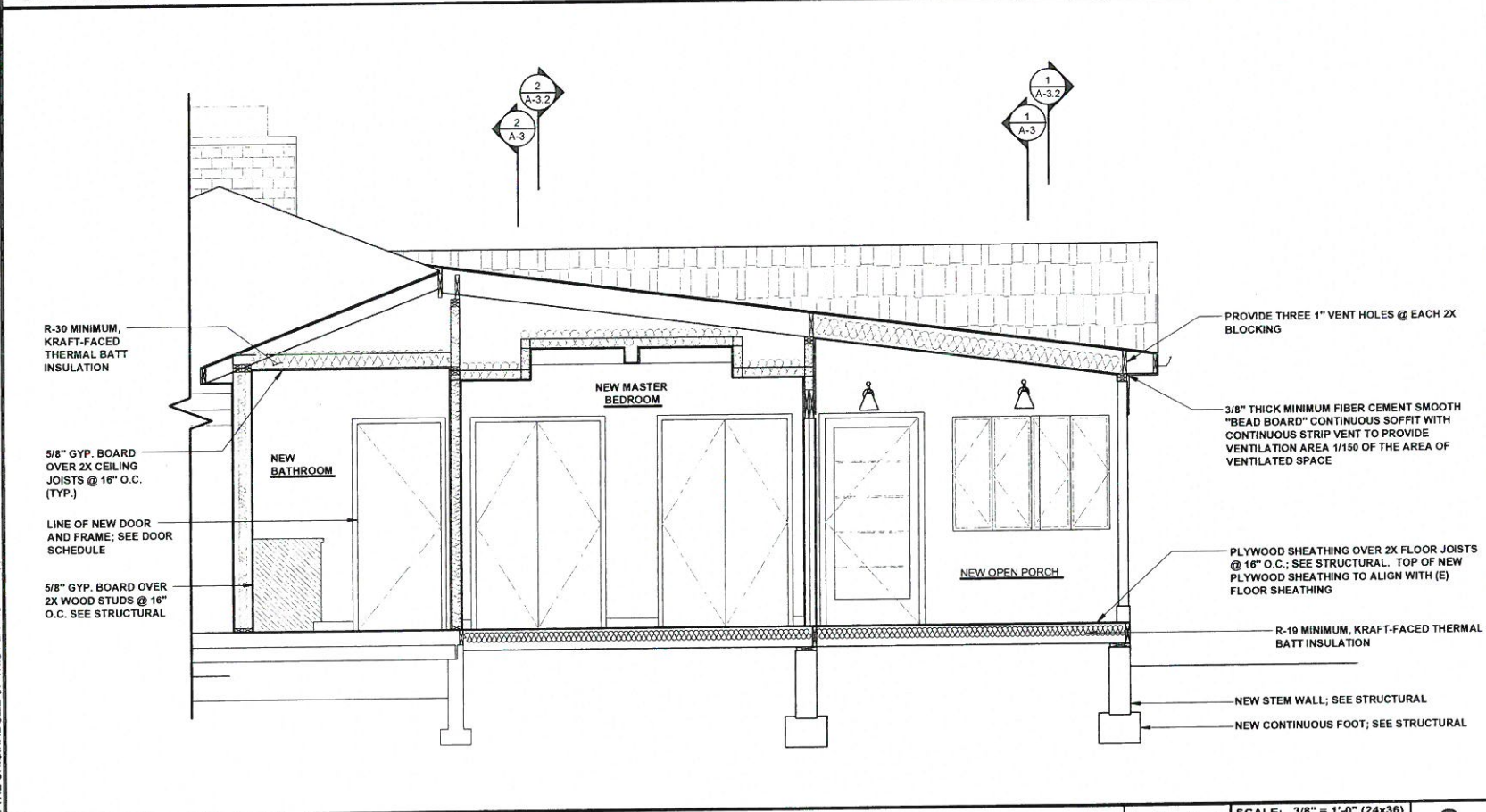
NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



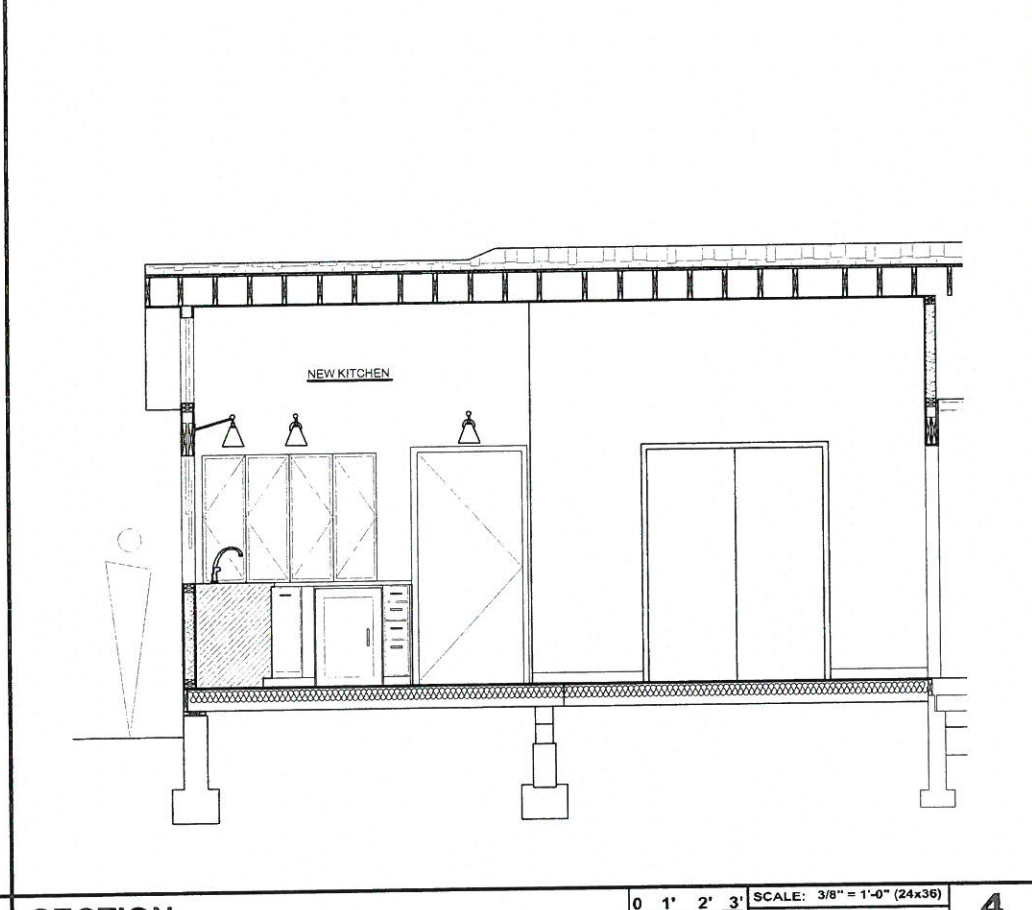
SECTION 2 SCALE: 3/8" = 1'-0" (24x36) (OR) 3/16" = 1'-0" (11x17)



SECTION 1 SCALE: 3/8" = 1'-0" (24x36) (OR) 3/16" = 1'-0" (11x17)



SECTION 3 SCALE: 3/8" = 1'-0" (24x36) (OR) 3/16" = 1'-0" (11x17)



SECTION 4 SCALE: 3/8" = 1'-0" (24x36) (OR) 3/16" = 1'-0" (11x17)

REV	DATE	DESCRIPTION
1	09/20/2018	HISTORIC REVIEW
0	07/17/2018	SUBMITTAL
C	06/02/2018	80% CONSTRUCTION DOCUMENTS FOR BIDDING
B	05/01/2018	PRELIMINARY CD's
A	02/14/2018	PRELIMINARY CD's

REMODEL & ADDITION TO
CARNEY/GARVEY RESIDENCE
3730 GARDENIA AVENUE
LONG BEACH, CA 90807

SECTIONS

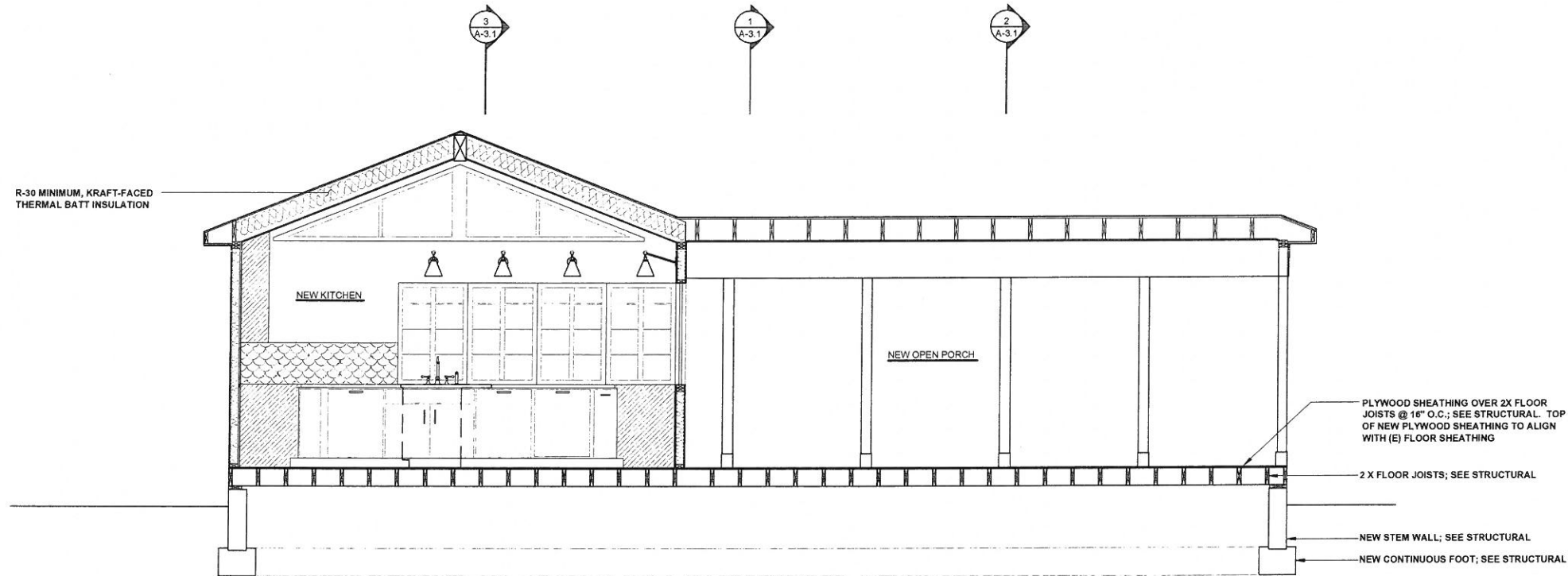
A-3.1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

SECTION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

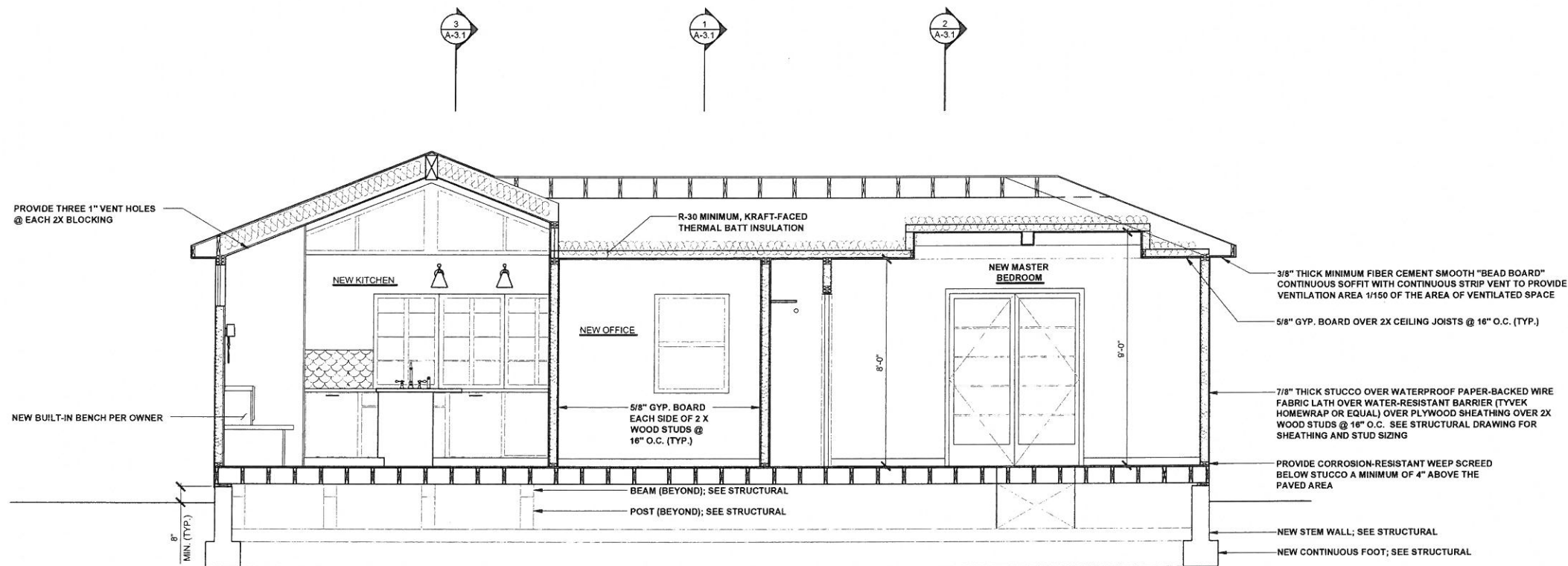
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SECTION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

2



REMODEL & ADDITION TO
CARNEY/GARVEY RESIDENCE
3730 GARDENIA AVENUE
LONG BEACH, CA 90807

SECTIONS

A-3.2

REV	DATE	DESCRIPTION
1	08/22/2016	HISTORIC REVIEW
0	01/17/2016	SUBMITAL
C	09/30/2016	80% CONSTRUCTION DOCUMENTS FOR BIDDING
B	05/01/2016	PRELIMINARY CD
A	02/18/2016	PRELIMINARY CD