

ADDITION AND REMODEL FOR:

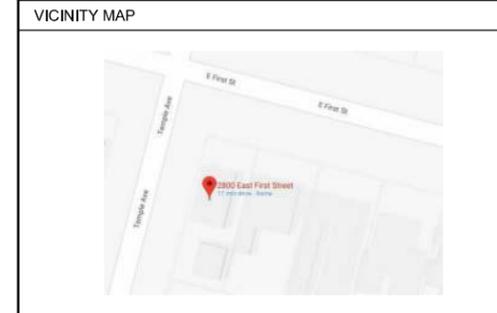
# Bullo Residence

2800 E. 1ST. ST.  
LONG BEACH, CA. 90803

## EXHIBIT C - PLANS

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T-1.0	TITLE - 24
T-2.0	MANDATORY MEASURES

PROJECT DATA	
EXISTING CONSTRUCTION TYPE	TYPE V - B
FIRE SPRINKLERS	NO
PROPOSED USE	SINGLE FAMILY RESIDENCE
APN	7264-017-001
LEGAL DESCRIPTION: RESUB OF PART OF ALAMITOS BEACH TOWNSITE NE 125 FT OF LOT 1 BLK 45	
SITE AREA	5,617 SQ. FT.
EXISTING LIVING AREA (FIRST STORY)	1,265 SQ. FT.
EXISTING LIVING AREA (SECOND STORY)	338 SQ. FT.
NEW LIVING AREA (FIRST STORY)	94 SQ. FT.
NEW LIVING AREA (SECOND STORY)	443 SQ. FT.
NEW SQUARE FOOTAGE	2,140 SQ. FT.
TOTAL ADDITIONS	673 SQ. FT.
EXISTING ATTACHED 2 CAR GARAGE	333 SQ. FT.
NEW GARAGE 1st FLOOR ADDITION	137 SQ. FT.
NEW SECOND STORY DECK	137 SQ. FT.
LOT COVERAGE	32%
FAR	37%
FRONT SETBACK	20'-0" (E)
REAR SETBACK	5'-0" (E)
SIDES	5'-0" (E)
PROPOSED BUILDING HEIGHT	XX
TOTAL BATHS	4
TOTAL BEDROOMS	4
NUMBER OF STORIES	2



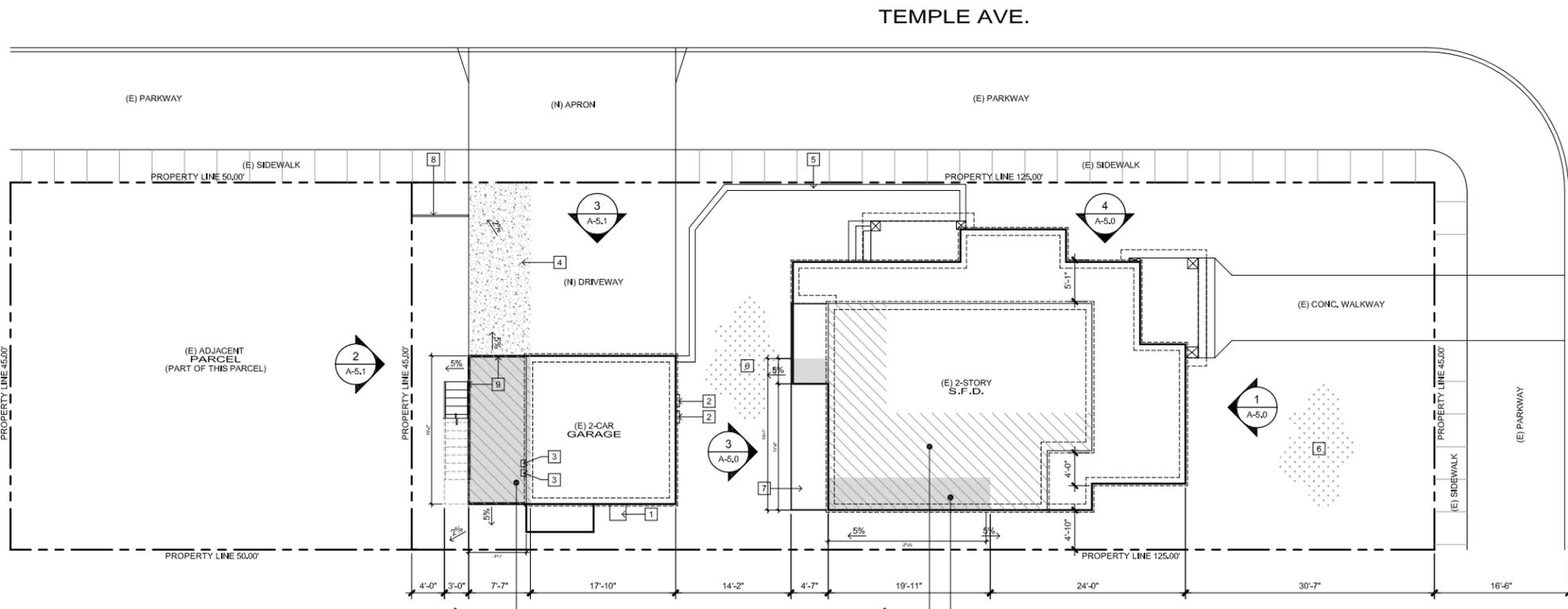
KEYNOTES	
1	(E) WATER HEATER
2	(E) ELECTRICAL METER
3	(E) GAS METER TO BE RELOCATED
4	(N) CONC. DRIVEWAY
5	(E) CMU WALL
6	(E) LANDSCAPING
7	(N) BALCONY @ 2nd FLOOR
8	(E) WOODEN PICKET FENCE
9	(N) 1-HR. FIRE RATED WALL

LEGEND		
	SOLID SHADING INDICATES NEW ADDITION - 1st FLOOR	(E) S.F.D. 93 SQ. FT. (E) 2-CAR GARAGE 137 SQ. FT.
	CROSS SHADING INDICATES NEW ADDITION - 2nd FLOOR	(E) S.F.D. 443 SQ. FT. (N) STUDIO DECK 137 SQ. FT.
	ELEVATION SYMBOL	

SCOPE OF WORK	
•	INTERIOR REMODEL
•	ADDITION OF 93 SQ. FT. TO 1st FLOOR OF (E) S.F.D.
•	ADDITION OF 443 SQ. FT. TO 2nd FLOOR OF (E) S.F.D.
•	ADDITION OF 137 SQ. FT. TO (E) 2-CAR GARAGE
•	ADDITION OF A 137 SQ. FT. DECK TO (E) STUDIO ABOVE GARAGE

CODES	
ALL WORK SHALL CONFORM TO THE 2016 CRC, CBC, CMC, CEC, CPC, THE CITY OF LONG BEACH MUNICIPAL CODE, AND THE 2016 CALIFORNIA ELECTRICAL CODE	

GENERAL NOTES	
1.	PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET.
2.	FINISH GRADE AROUND THE NEW STRUCTURE/ ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
3.	THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
4.	CONTRACTOR TO REPLACE CLAY SEWER LINE IF IT FALLS WITHIN NEW ADDITION TO ABS LINE (ONLY AT ADDITION)
5.	CONTRACTOR TO VERIFY THAT GAS PIPING, ELECTRICAL PANEL, CENTRAL HEATING ARE ADEQUATE FOR NEW ADDITIONS & OR REMODEL AND PROVIDE HOME OWNER WITH A PRICE PRIOR TO START OF WORK. (ALL ELECTRICAL, MECHANICAL, & PLUMBING TO BE DESIGN BUILD & TO CODE)
6.	SEPARATE PERMIT(S) IS/ARE REQUIRED FOR ACCESSORY BUILDING, PATIO COVERS, FENCES, SWIMMING POOL, RETAINING WALL, DEMOLITION, ETC.



1st STREET

TEMPLE AVE.

PROPOSED SITE PLAN

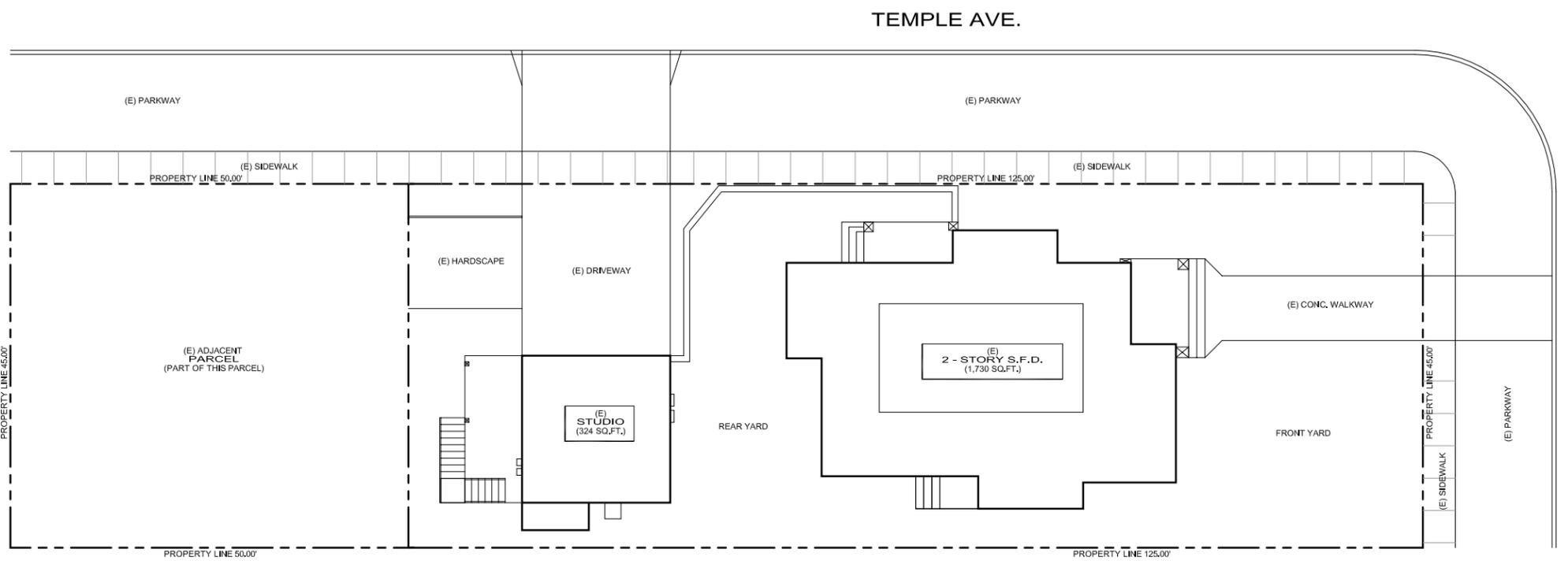
1/8" = 1'-0" 1

Innovative Design Studio  
3735 Cherry Ave.  
Long Beach, CA. 90807  
(562) 277-6806

ADDITION AND REMODEL FOR THE:  
**BULLO RESIDENCE**  
2800 E. 1st. St.  
LONG BEACH, CA. 90803

COVER SHEET  
AND SITE PLAN

REVISIONS  
SHEET NO:  
**A-1.0**



**PROJECT DATA**

EXISTING CONSTRUCTION TYPE ..... TYPE V - B  
 FIRE SPRINKLERS ..... NO  
 PROPOSED USE ..... SINGLE FAMILY RESIDENCE  
 APN ..... 7264-017-001  
 LEGAL DESCRIPTION:  
 RESUB OF PART OF ALAMITOS BEACH TOWNSITE NE 125 FT OF LOT 1 BLK 45

SITE AREA ..... 5,617 SQ. FT.  
 EXISTING LIVING AREA (FIRST STORY) ..... 1,265 SQ. FT.  
 EXISTING LIVING AREA (SECOND STORY) ..... 338 SQ. FT.  
 EXISTING ATTACHED 2 CAR GARAGE ..... 333 SQ. FT.  
 FRONT SETBACK ..... 20'-0" (E)  
 REAR SETBACK ..... 5'-0" (E)  
 SIDES ..... 5'-0" (E)  
 PROPOSED BUILDING HEIGHT ..... XX  
 NUMBER OF STORIES ..... 2



**CODES**

ALL WORK SHALL CONFORM TO THE 2016 CRC, CBC, CMC, CEC, CPC, THE CITY OF LONG BEACH MUNICIPAL CODE, AND THE 2016 CALIFORNIA ELECTRICAL CODE

- GENERAL NOTES**
1. PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET.
  2. FINISH GRADE AROUND THE NEW STRUCTURE/ ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
  3. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
  4. CONTRACTOR TO REPLACE CLAY SEWER LINE IF IT FALLS WITHIN NEW ADDITION TO ABS LINE (ONLY AT ADDITION)
  5. CONTRACTOR TO VERIFY THAT GAS PIPING, ELECTRICAL PANEL, CENTRAL HEATING ARE ADAQIET FOR NEW ADDITIONS & OR REMODEL AND PROVIDE HOME OWNER WITH A PRICE PRIOR TO START OF WORK. (ALL ELECTRICAL, MECHANICAL, & PLUMBING TO BE DESIGN BUILD & TO CODE)
  6. SEPARATE PERMIT(S) IS/ARE REQUIRED FOR ACCESSORY BUILDING, PATIO COVERS, FENCES, SWIMMING POOL, RETAINING WALL, DEMOLITION, ETC.



**EXISTING SITE PLAN**

1/8" = 1'-0"

2

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 Long Beach, CA. 90807  
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ADDITION AND REMODEL FOR THE:  
**BULLO RESIDENCE**  
 2800 E. 1st. St.  
 LONG BEACH, CA. 90803

**EXISTING SITE PLAN**

REVISIONS  
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 △  
 △  
 SHEET NO:  
**A-1.2**

- KEY NOTES**
- 1 REMOVE ALL WALLS AS NEEDED AND SUPPORT AS NEEDED. CONTACT DESIGNER IF BARRING
  - 2 REMOVE ALL DOORS
  - 3 REMOVE ALL PLUMBING FIXTURES
  - 4 REMOVE (E) LANDING AND STEPS
  - 5 REMOVE (E) WINDOWS
  - 6 REMOVE ALL KITCHEN APPLIANCES AND CABINETS. RELOCATE PER NEW LAYOUT
  - 7 (E) SUB-PANEL TO BE RELOCATED
  - 8 (E) F.A.U. TO BE RELOCATED AND UPGRADED IF NECESSARY
  - 9 REMOVE (E) INTERIOR STAIRS, SUPPORT CEILING AS NEEDED
  - 10 CREATE (N) OPENING FOR DOOR
  - 11 RELOCATE (E) LAUNDRY APPLIANCES PER NEW LOCATION
  - 12 REMOVE (E) WINDOW AND PORTION OF WALL TO CREATE (N) OPENING. INSTALL NEW HEADER
  - 13 REMOVE ALL (E) FLOOR JOICES THROUGHOUT 2nd FLOOR
  - 14 REMOVE (E) BARRING WALL, SUPPORT CEILING AS NEEDED
  - 15 CREATE (N) OPENING FOR WINDOW
  - 16 REMOVE (E) NON-BARRING WALL. CONTACT DESIGNER IF BARRING
  - 17 REMOVE (E) PARAPET WALL

- DEMO PLAN SHEET NOTES**
- 1 PRIOR TO BID, CONTRACTOR SHALL VISIT THE SITE TO ADEQUATELY DETERMINE ALL PREEXISTING CONDITIONS AND THE FULL EXTENT OF ALL REQUIRED DEMOLITION. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE ALLOWANCES THEREFORE IN PREPARING HIS BID.
  - 2 CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
  - 3 CONTRACTOR TO COORDINATE REMOVAL AND STORAGE OF ALL EQUIPMENT AND FIXTURES WITH OWNER.
  - 4 WHERE ANY PLUMBING, MECHANICAL, OR ELECTRICAL ITEMS, LINES, CONDUITS, PIPES, FIXTURES, ETC., HAVE BEEN REMOVED; PLUG AND CAP CEILING AS NECESSARY TO CONCEAL ABANDONED ITEMS, PATCH AND REPAIR FLOOR, CEILING AND/OR WALLS AS NECESSARY.
  - 5 CONTRACTOR TO PATCH AND REPAIR ANY DAMAGED PORTIONS OF THE BUILDING TO REMAIN AND MATCH NEW OR EXISTING WORK AT NO ADDITIONAL COST TO OWNER.
  - 6 THIS PLAN INDICATES A GENERAL DEMOLITION SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER INCIDENTAL DEMOLITION WORK REQUIRED TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, AND HVAC.
  - 7 ANY ITEMS SALVAGED BY THE CONTRACTOR SHALL BE DISPOSED OF PROPERLY OFF-SITE AND IN AN EXPEDITIOUS MANNER. DO NOT BURN ANY DEMOLISHED MATERIALS ON SITE.
  - 8 PROTECT ALL PEDESTRIAN TRAFFIC AFFECTED BY THE DEMOLITION AND CONSTRUCTION WORK, AS SET FORTH IN THE BUILDING CODE. HEIGHT AND BARRICADE CONSTRUCTION, IF ANY, TO BE DETERMINED BY LOCAL PUBLIC AGENCY.
  - 9 IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY STOP WORK AND NOTIFY OWNER.
  - 10- DURING REMOVAL OF OVERHEAD ELEMENTS, PROVIDE PROPER PROTECTION FROM FALLING OBJECTS.
  - 11- COMPLETE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER. ENSURE THAT NO EXISTING CONSTRUCTION IS DISMANTLED, DEMOLISHED OR REMOVED WITHOUT KNOWING SPECIFICALLY WHAT IT IS, HOW IT SHOULD BE HANDLED, AND WHAT IMPACT ITS REMOVAL OR DEMOLITION MAY HAVE ON EXISTING CONSTRUCTION, STRUCTURE AND BUILDING SERVICES. IF THERE ARE ANY QUESTIONS CONCERNING THE DEPOSITION OF EXISTING CONSTRUCTION ENCOUNTERED, NOTIFY ARCHITECT IN WRITING BEFORE PROCEEDING. ASSUME ALL RESPONSIBILITY AND LIABILITY, INCLUDING RESPONSIBLE FOR MAINTAINING STRUCTURAL INTEGRITY OF ALL WORK. CONSEQUENTIAL DAMAGES RESULTANT OF FAILURE TO PROCEED WITHOUT REASONABLE CAUTION.
  - 12- CEASE OPERATIONS AND NOTIFY OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS ENDANGERED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED AND ASSURED.
  - 13- STATE HEALTH & SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER-SUPPLY PIPING.
  - 14- PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET.
  - 15- FINISH GRADE AROUND THE NEW STRUCTURE/ ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
  - 16- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL, PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER, GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
  - 17- SEPARATE PERMIT(S) IS/ARE REQUIRED FOR ACCESSORY BUILDING, PATIO COVERS, FENCES, SWIMMING POOL, RETAINING WALL, DEMOLITION, ETC.

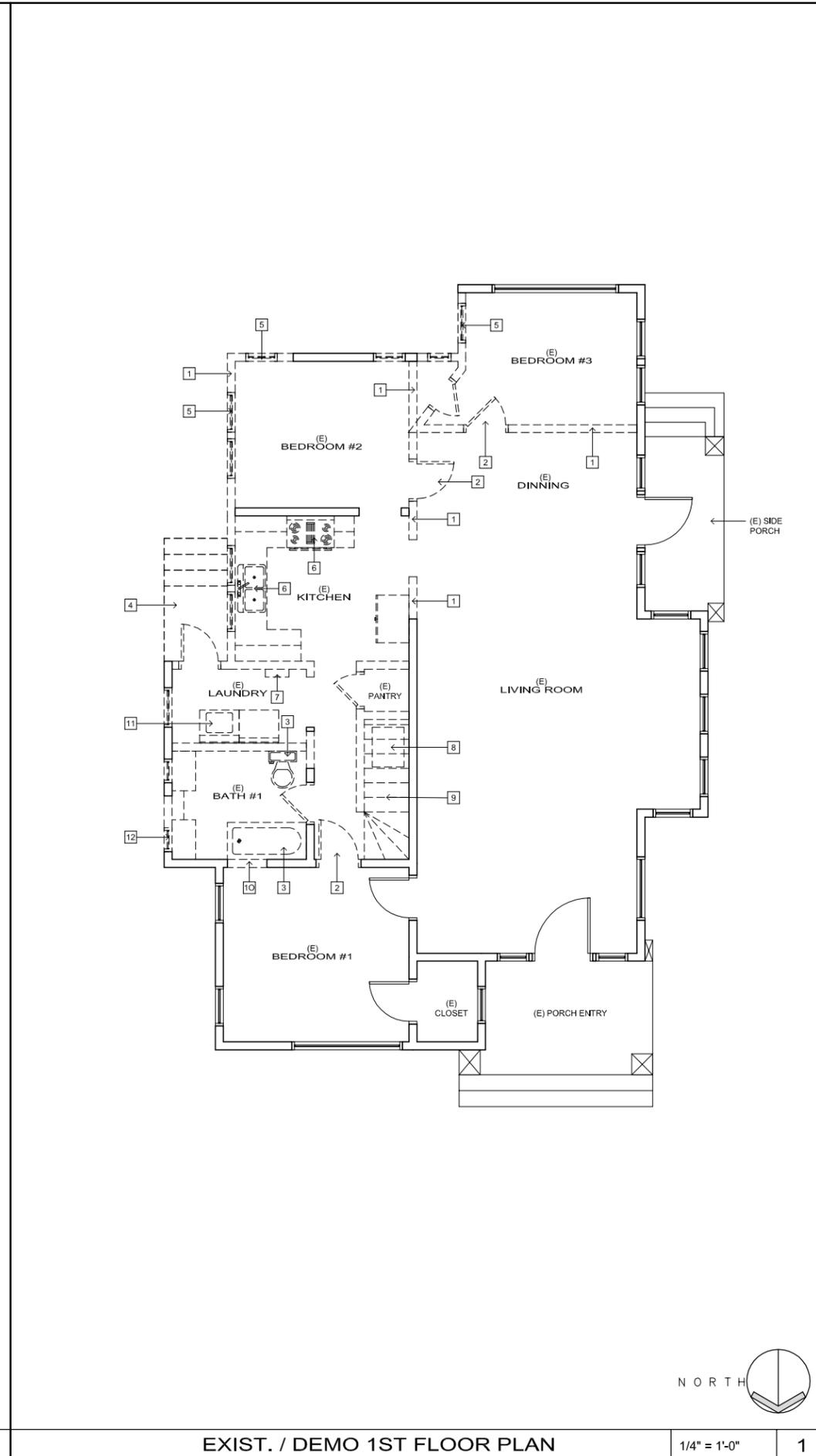
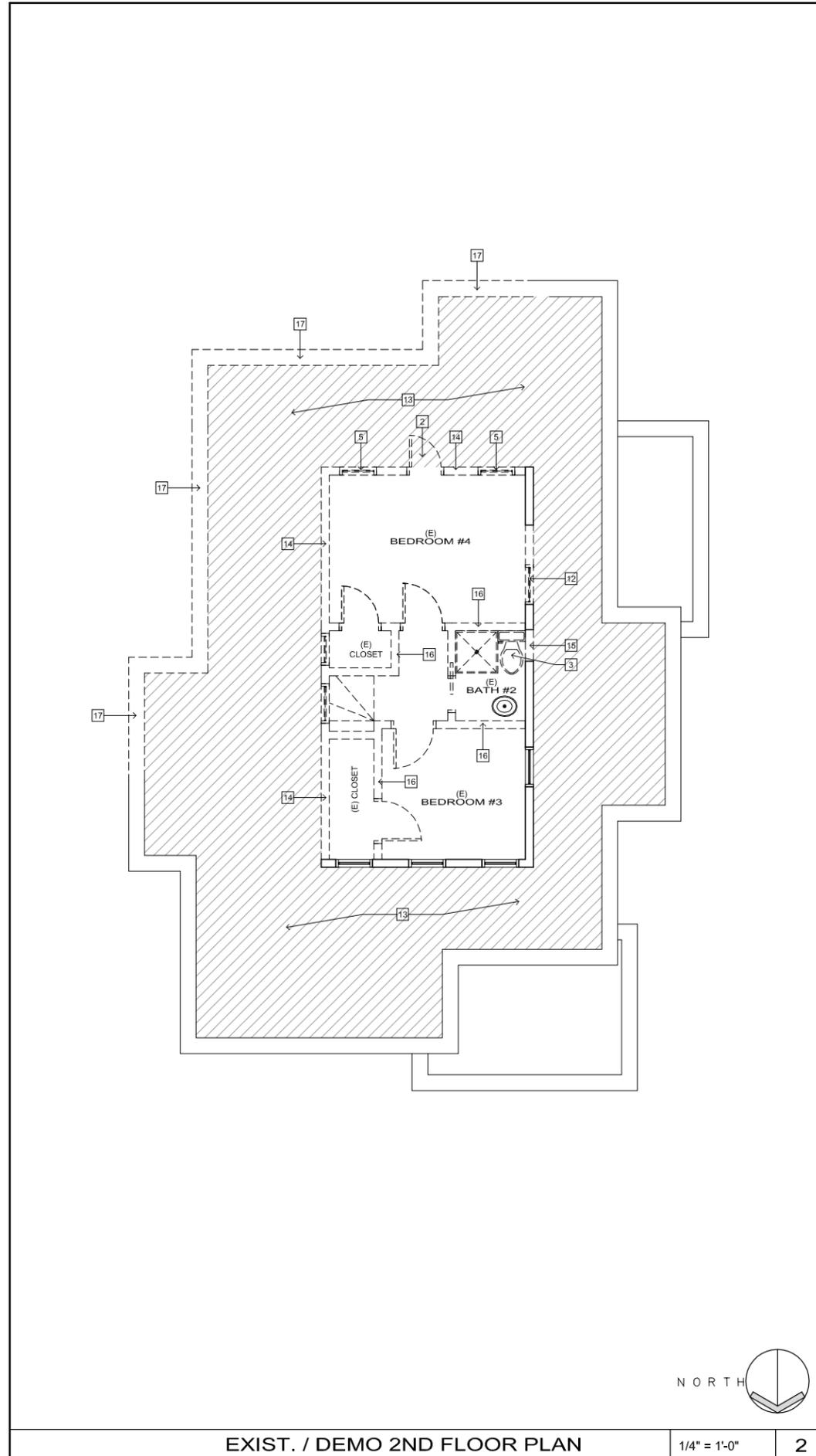
- LEGEND**
- EXISTING WALL TO REMAIN
  - EXISTING WALL TO BE REMOVED
  - CROSS SHADING INDICATES ALL 2nd FLOOR FLOOR JOICES TO BE REMOVED

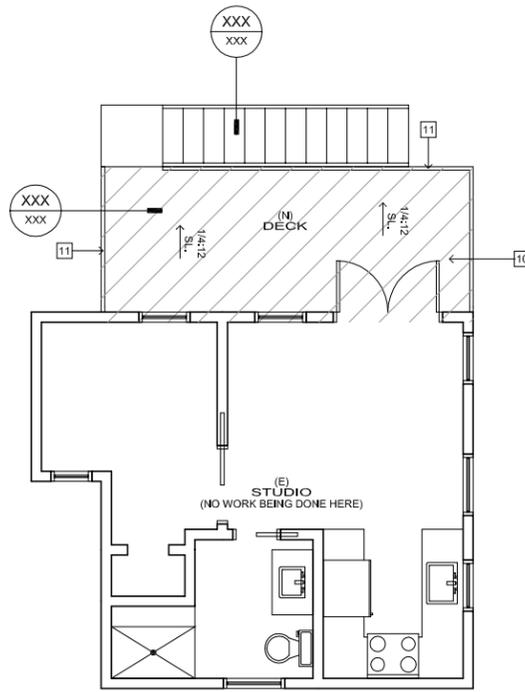
**UNDERGROUND SERVICE ALERT**

call: TOLL FREE  
 1-800-422-4133

**CALL BEFORE YOU DIG**

TWO WORKING DAYS BEFORE YOU DIG  
 Section 4216/4217 of the Government Code requires a Dig Alert Identification Number to be issued before a Permit to Excavate will be valid. For your Dig Alert Identification Number call

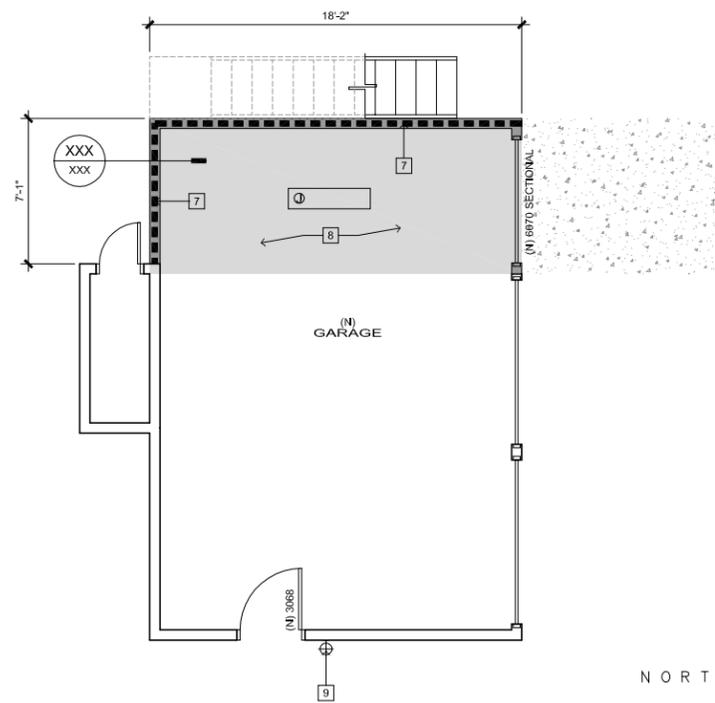




PROPOSED DECK AT 2nd FLOOR PLAN

1/4" = 1'-0"

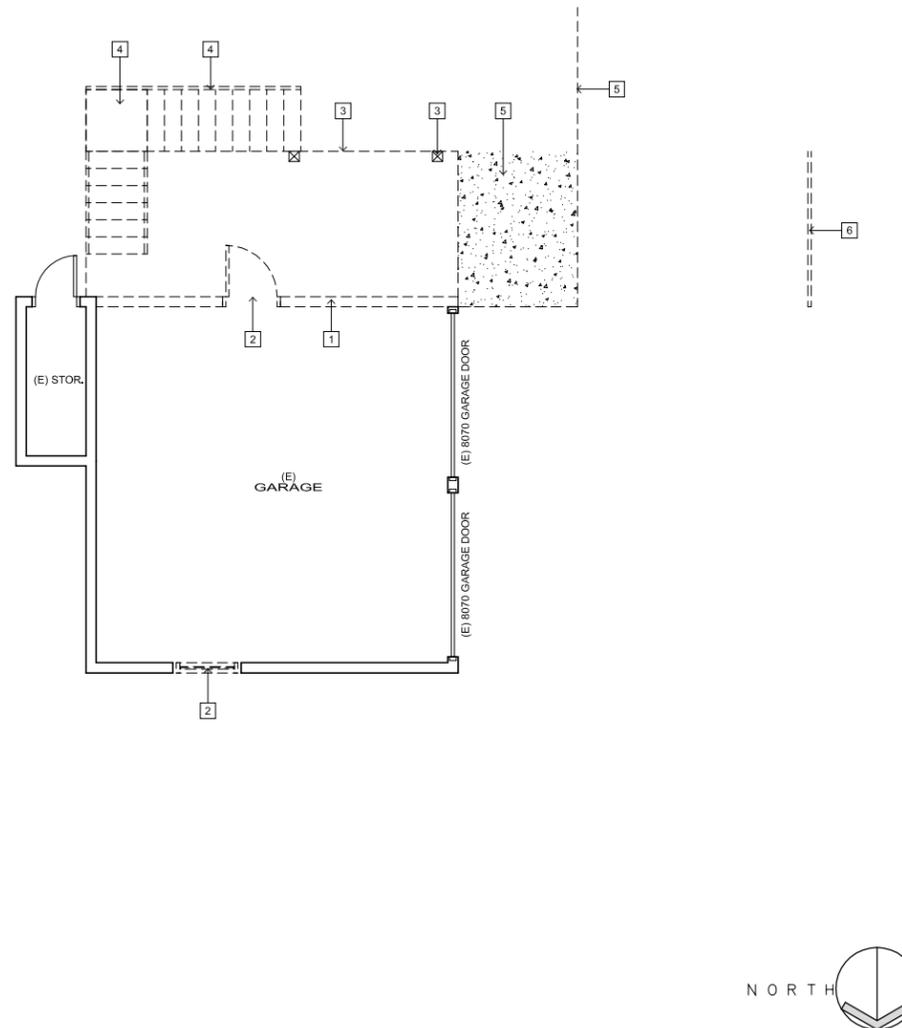
3



PROPOSED GARAGE 1st FIRST FLOOR PLAN

1/4" = 1'-0"

2



EXISTING / DEMO GARAGE FLOOR PLAN

1/4" = 1'-0"

1

KEY NOTES

- 1 REMOVE (E) BARRING WALL, SUPPORT CEILING AS NEEDED
  - 2 REMOVE (E) WINDOW / DOOR
  - 3 REMOVE (E) POSTS AND WOODEN STRUCTURE, SUPPORT AS NEEDED
  - 4 REMOVE (E) STAIRS AND LANDING
  - 5 REMOVE (E) HARDSCAPE AS NEEDED
  - 6 REMOVE (E) WOODEN FENCE UP TO NEW DRIVEWAY LOCATION
  - 7 (N) 1-HR. FIRE RATED WALL
  - 8 1-HR. FIRE RATE ENTIRE GARAGE UNDERSIDE
  - 9 LIGHT TO BE HIGH EFFICACY & CONTROLLED BY PHOTO CONTROL / MOTION SENSOR
  - 10 (N) 2nd FLOOR DECK
- DECK WATERPROOFING**
- MATERIAL: PACIFIC POLYMERS  
ICC: ESR-2697
- 11 (N) DECK RAILING

DEMOLITION NOTES

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4. ANY ITEMS SALVAGED BY THE CONTRACTOR SHALL BE DISPOSED OF PROPERLY OFF-SITE AND IN AN EXPEDITIOUS MANNER. DO NOT BURN ANY DEMOLISHED MATERIALS ON SITE.
5. IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY STOP WORK AND NOTIFY OWNER.
6. DURING REMOVAL OF OVERHEAD ELEMENTS, PROVIDE PROPER PROTECTION FROM FALLING OBJECTS.
7. COMPLETE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER. ENSURE THAT NO EXISTING CONSTRUCTION IS DISMANTLED, DEMOLISHED OR REMOVED WITHOUT KNOWING SPECIFICALLY WHAT IT IS, HOW IT SHOULD BE HANDLED, AND WHAT IMPACT ITS REMOVAL OR DEMOLITION MAY HAVE ON EXISTING CONSTRUCTION, STRUCTURE AND BUILDING SERVICES. IF THERE ARE ANY QUESTIONS CONCERNING THE DEPOSITION OF EXISTING CONSTRUCTION ENCOUNTERED, NOTIFY ARCHITECT IN WRITING BEFORE PROCEEDING. ASSUME ALL RESPONSIBILITY AND LIABILITY INCLUDING RESPONSIBLE FOR MAINTAINING STRUCTURAL INTEGRITY OF ALL WORK. CONSEQUENTIAL DAMAGES RESULTANT OF FAILURE TO PROCEED WITHOUT REASONABLE CAUTION.

LEGENDS

WALL LEGEND

- EXISTING WALL TO REMAIN
- INDICATES 2X WOOD STUD WALL -SEE STRUCTURAL DRAWINGS U/L/O
- INDICATES NEW 1-HR. FIRE RATED WALL
- EXISTING WALL TO BE REMOVED
- DOOR / WINDOW HEIGHT IN FEET AND INCHES
- DOOR / WINDOW WIDTH IN FEET AND INCHES

HATCH LEGEND

- SOLID SHADING INDICATES NEW ADDITION - 1st FLOOR
- CROSS SHADING INDICATES NEW ADDITION - 2nd FLOOR

ELECTRICAL LEGEND / NOTES

- WALL SCONCE
- DUPLEX CONVENIENCE OUTLET, 120V, WATERPROOF TYPE
- DUPLEX CONVENIENCE OUTLET, 120V, GROUND FAULT CIRCUIT INTERRUPTER
- LED GARAGE LIGHT FIXTURE

FLOOR PLAN SHEET NOTES

1. THIS PROJECT SHALL COMPLY WITH TITLE 24 AND THE LATEST EDITION OF THE C.R.C., C.M.C., C.P.C. & C.E.C.
2. A SEPARATE PERMIT IS REQUIRED FOR ALL FENCES, WALLS, ETC.
3. PROJECTIONS, INCLUDING EAVES MAY NOT EXTEND BEYOND CLOSER THAN 24" TO PROPERTY LINES.
4. EAVES OVER REQUIRED WINDOWS SHALL BE NOT LESS THAN 30" FROM THE SIDE & REAR PROPERTY LINES.
5. PROVIDE MECHANICAL VENTILATION OF 50 CFM IN BATHROOMS WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS IF REQUIRED OPENABLE WINDOWS ARE NOT PROVIDED.
6. DISCHARGE POINT FOR EXHAUST AIR SHALL BE 5' MIN. FROM ANY MECHANICAL VENTILATING INTAKES.
7. MINIMUM CEILING HEIGHT FOR HABITABLE ROOMS SHALL BE PER CROSS-SECTIONS BUT SHALL NOT UNDER ANY CIRCUMSTANCE AVERAGE LESS THAN 7'-6".
8. PROVIDE 30" CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 24" CLEARANCE IN FRONT OF WATER CLOSET.
9. TEMPERED OR OTHER APPROVED SAFETY GLASS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
  - A.- GLAZING IN ALL DOORS
  - B.- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24" OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE
  - C.- ANY OTHER GLAZING THAT MEETS ALL FOUR OF THE FOLLOWING CONDITIONS
    - a.- EXPOSED AREA OF GLAZING EXCEEDS 9 SQUARE FEET
    - b.- EXPOSED BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE THE FINISH FLOOR
    - c.- EXPOSED TOP EDGE OF THE OF THE GLAZING IS GREATER THAN 36" ABOVE THE FINISH FLOOR
    - d.- GLAZING IS LOCATED WITHIN 36" OF A WALKING SURFACE
10. GLAZING IN SHOWER AND TUB ENCLOSURES SHALL BE TEMPERED, LAMINATED OR APPROVED PLASTIC (INCLUDING WINDOWS WITHIN 5 FEET OF TUB OR SHOWER FLOOR)
11. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY EXIT. SILL HEIGHT SHALL NOT EXCEED 44 INCHES ABOVE THE FLOOR. THE WINDOW MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH OF 20 INCHES AND THE MINIMUM OPEN HEIGHT OF 24". THIS SPECIFICATION TAKES PRECEDENCE OVER THE INFORMATION CONTAINED IN THE DRAWINGS
12. PROVIDE MINIMUM 1 3/4" SOLID CORE DOOR WITH SELF CLOSER AT ALL DOORS LOCATED IN WALLS THAT ARE COMMON TO BOTH GARAGE AND LIVING AREAS.
13. PROVIDE AN 18" RAISED PLATFORM FOR ANY FAU, WATER HEATER, OR OTHER DEVICE IN THE GARAGE WHICH MAY GENERATE A FLAME OR SPARK (NOT REQUIRED AT GAS CLOTHES DRYERS).
14. PROVIDE A MINIMUM 22" x 30" ATTIC ACCESS (30' SQ. IF FAU IN ATTIC)
15. GAS VENTS AND NON-COMBUSTIBLE PIPING, IN WALLS, SHALL BE EFFECTIVELY DRAFT STOPPED AT EACH FLOOR OR CEILING.
16. CONVENIENCE OUTLETS IN BATHROOMS, KITCHEN COUNTER TOP(S) WITHIN 6 FEET OF KITCHEN SINKS, OUTDOORS, AND IN GARAGES (OTHER THAN LAUNDRY AND SIMILAR EQUIPMENT) SHALL BE GFI PROTECTED PROVIDE FLUORESCENT GENERAL LIGHTING IN KITCHEN PER CAC, TITLE 24
17. HOSE BIBBS AND LAWN SPRINKLERS SHALL HAVE APPROVED BACKFLOW PREVENTION DEVICES.
18. PROVIDE MIXING VALVES AT SHOWERS PER CPC
19. PROVIDE VENT FOR CLOTHES DRYER VENT. MAXIMUM HORIZONTAL AND VERTICAL LENGTH EQUALS 14 FEET WITH 2 OFFSETS (REDUCE LENGTH 2' FOR EACH ADDITIONAL BEND).
20. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD ON THE GARAGE SIDE OF COMMON WALLS BETWEEN THE GARAGE & LIVING AREAS (INCLUDING ALL SOFFITS, ETC.). IN MULTISTORY BUILDINGS, 5/8" TYPE 'X' GYPSUM BOARD IS ALSO REQUIRED ON THE CEILING PLUS ALL POSTS AND/OR BEAMS SUPPORTING UPPER FLOORS.
21. FRAMING MEMBERS EXCEED 16" O/C, PROVIDE RESILIENT CHANNELS AT 16" O/C, PLACED PERPENDICULAR TO FRAMING MEMBERS.

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EXISTING / DEMO  
AND PROPOSED GARAGE  
PLANS

REVISIONS


SHEET NO:  
**A-2.1**

- ### KEY NOTES
- TEMPERED GLASS SHOWER ENCLOSURE
  - PROVIDE FULL HEIGHT NON ABSORBENT SURFACE 72" ABOVE DRAIN
  - BATHROOM VANITY/ COUNTERTOP
  - WATER CLOSET PROVIDE 30" WIDE AND 24" IN FRONT OF BOWL A/A-2.0
  - PROVIDE THERMOSTATIC MIXING VALVES, CONTROL LOCATION
  - DEPRESS FLOOR FOR ZERO CURB SHOWER
  - HOSE BIB
  - PROVIDE A MIN. 36" X WIDTH OF DOOR LANDINGS, MAX 1 1/2" BELOW THRESHOLD.
  - LIGHT TO BE HIGH EFFICACY OR CONTROLLED BY PHOTO CONTROL / MOTION SENSOR
  - TANK LESS WATER HEATER LOCATION
  - EXHAUST FAN 50 CFM MIN TO EXTERIOR W/ HUMIDISTAT RECESSED LIGHT FIXTURE
  - 22 X 30 ATTIC ACCESS
  - NOT USED
  - INFILL (E) OPENING
  - BARN DOOR
  - POST
  - NEW CONC. LANDING
  - RAISED WOOD DECK
  - RETAINING WALL SEE STRUCT.
  - SPIRAL STAIRCASE
  - 
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### FLOW RATE STANDARDS

1. WATER CLOSETS:	1.28 GALLON / FLUSH
2. SHOWERHEADS:	2 GPM @ 80PSI
3. LAVATORY FAUCETS:	1.5 GPM @ 60PSI
4. KITCHEN FAUCETS:	1.8 GPM @ 60PSI
5. URINAL	0.5 GALLON / FLUSH

AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS SHALL BE WEATHER BASED

- ### LEGENDS
- #### WALL LEGEND
- EXISTING WALL TO REMAIN
  - NEW 2X WOOD STUD WALL -SEE STRUCTURAL DRAWINGS U/L#0
  - DOOR / WINDOW HEIGHT IN FEET AND INCHES
  - DOOR / WINDOW WIDTH IN FEET AND INCHES

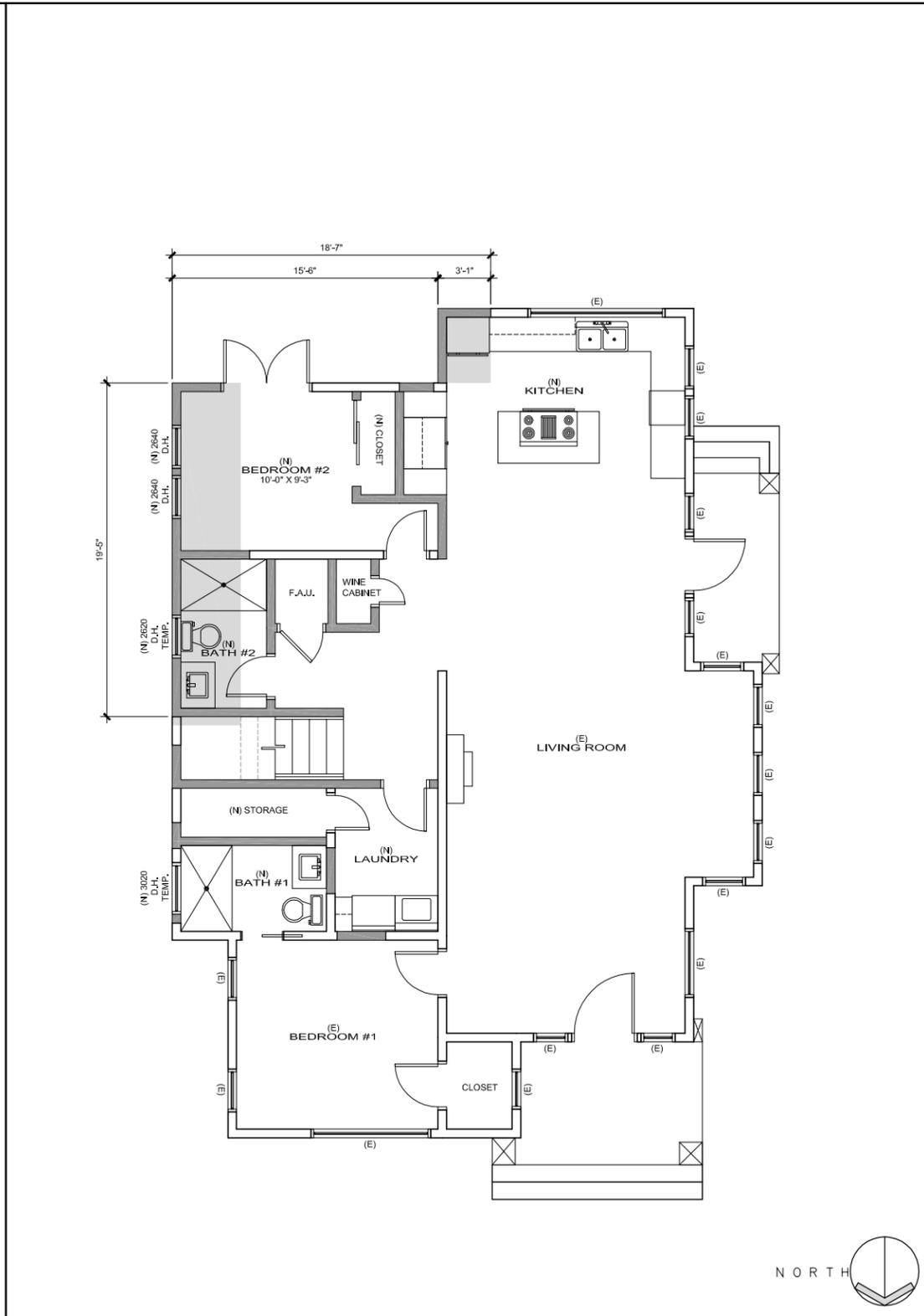
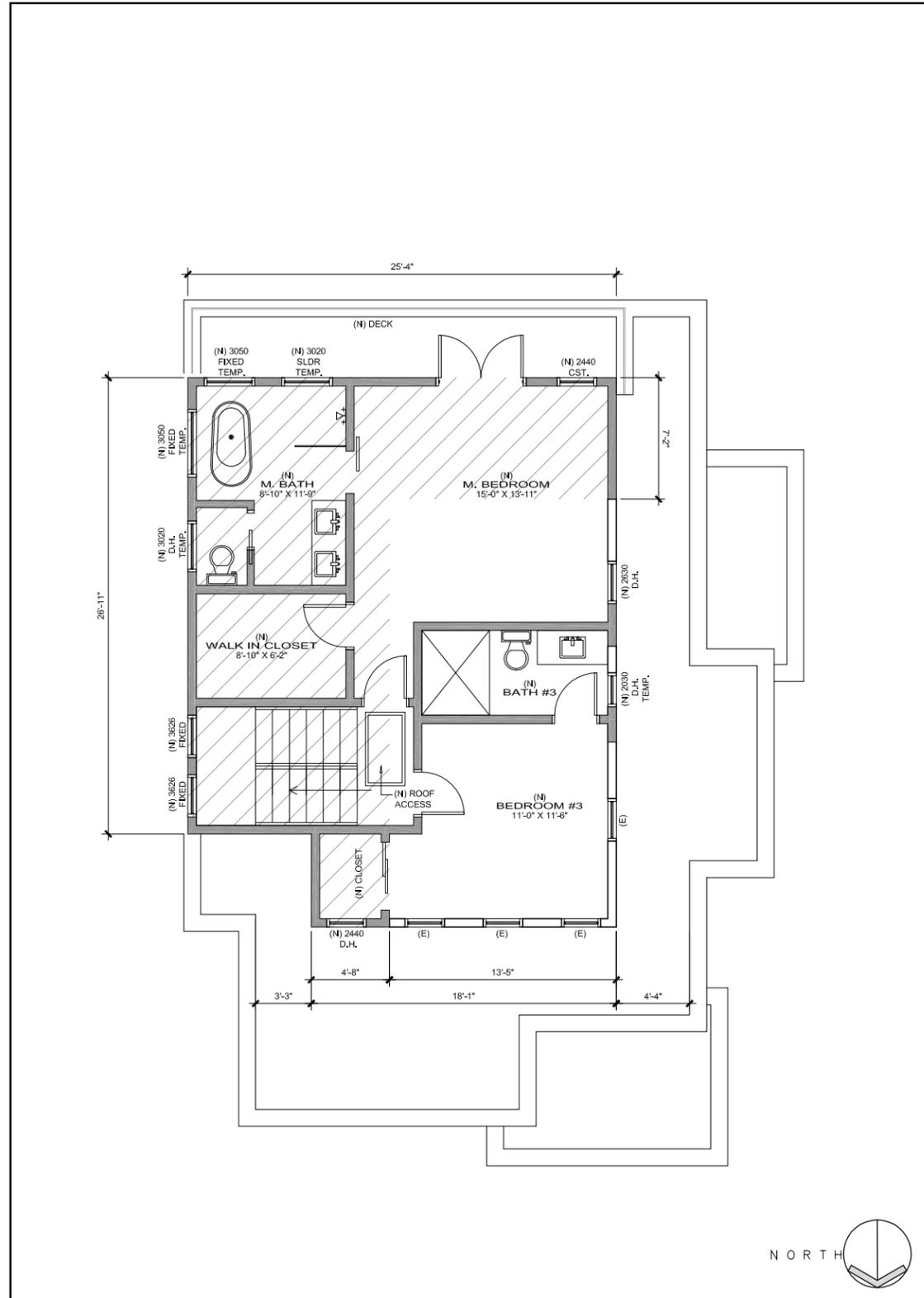
- #### ELECTRICAL LEGEND / NOTES
- RECESSED LED LIGHT FIXTURE -(IC RATED & AIR TIGHT)
  - LED RECESSED LIGHT FIXTURE -(IC RATED & AIR TIGHT) WITH FAN NuTone
  - #744 FLNT (70 CFM)
  - CARBON MONOXIDE DETECTOR HARDWIRED W/ BATTERY BACK-UP & INTERCONNECTED TO SOUND AT ONCE UL 217 LISTED & UL2034/2075
  - SMOKE DETECTOR HARDWIRED W/ BATTERY BACK-UP & INTERCONNECTED SOUND AT ONCE UL 217 LISTED & UL2034/2075 WALL SCONCE
  - DUPLEX CONVENIENCE OUTLET, 120V, WATERPROOF TYPE
  - DUPLEX CONVENIENCE OUTLET, 120V, GROUND FAULT CIRCUIT INTERRUPTER
  - DUPLEX CONVENIENCE OUTLET, 120V, ARC FAULT CIRCUIT INTERRUPTER

TITLE 24		ZONE 6
INSULATION	CEILING	R30
	WALL	WOOD-FRAME WALL R13
	FLOOR	RAISED FLOOR R19
RADIANT BARRIER		XXX
FENESTRATION	MAX. U-FACTOR	XX
	MAX. SHGC	XX
	MAX. TOTAL AREA	XX
	MAX. WEST FACING AREA	XX

### REVISIONS

NO.	DESCRIPTION

SHEET NO:  
**A-3.0**

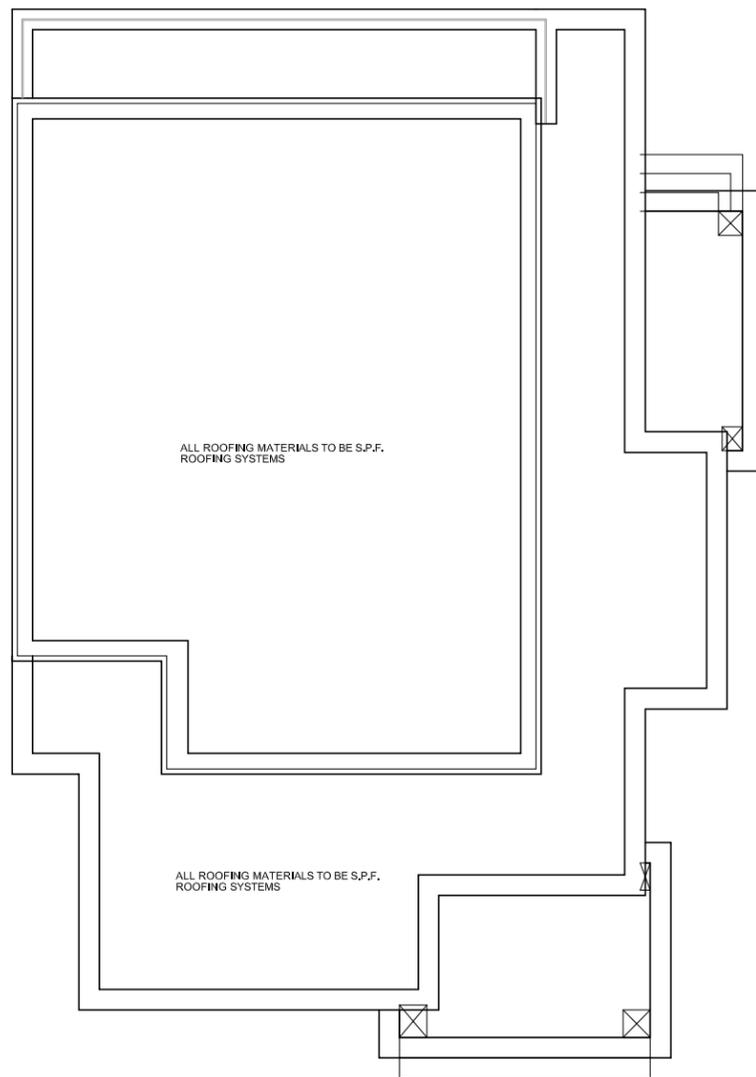


**PROPOSED 2ND FLOOR PLAN** | 1/4" = 1'-0" | **2**

**PROPOSED 1ST FLOOR PLAN** | 1/4" = 1'-0" | **1**

- ### FLOOR PLAN SHEET NOTES
- THIS PROJECT SHALL COMPLY WITH TITLE 24 AND THE LATEST EDITION OF THE C.R.C., C.M.C., C.P.C. & C.E.C.
  - A SEPARATE PERMIT IS REQUIRED FOR ALL FENCES, WALLS, ETC.
  - PROJECTIONS, INCLUDING EAVES MAY NOT EXTEND BEYOND CLOSER THAN 24" TO PROPERTY LINES.
  - EAVES OVER REQUIRED WINDOWS SHALL BE NOT LESS THAN 30" FROM THE SIDE & REAR PROPERTY LINES.
  - PROVIDE MECHANICAL VENTILATION OF 50 CFM IN BATHROOMS WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS IF REQUIRED OPENABLE WINDOWS ARE NOT PROVIDED.
  - DISCHARGE POINT FOR EXHAUST AIR SHALL BE 5' MIN. FROM ANY MECHANICAL VENTILATING INTAKES.
  - MINIMUM CEILING HEIGHT FOR HABITABLE ROOMS SHALL BE PER CROSS-SECTIONS BUT SHALL NOT UNDER ANY CIRCUMSTANCE AVERAGE LESS THAN 7'-6".
  - PROVIDE 30" CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 24" CLEARANCE IN FRONT OF WATER CLOSET.
  - TEMPERED OR OTHER APPROVED SAFETY GLASS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
    - A.- GLAZING IN ALL DOORS
    - B.- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24" OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE
    - C.- ANY OTHER GLAZING THAT MEETS ALL FOUR OF THE FOLLOWING CONDITIONS:
      - a.- EXPOSED AREA OF GLAZING EXCEEDS 9 SQUARE FEET
      - b.- EXPOSED BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE THE FINISH FLOOR
      - c.- EXPOSED TOP EDGE OF THE OF THE GLAZING IS GREATER THAN 36" ABOVE THE FINISH FLOOR
      - d.- GLAZING IS LOCATED WITHIN 36" OF A WALKING SURFACE

- GLAZING IN SHOWER AND TUB ENCLOSURES SHALL BE TEMPERED, LAMINATED OR APPROVED PLASTIC (INCLUDING WINDOWS WITHIN 5 FEET OF TUB OR SHOWER FLOOR)
- SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY EXIT. SILL HEIGHT SHALL NOT EXCEED 44 INCHES ABOVE THE FLOOR. THE WINDOW MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH OF 20 INCHES AND THE MINIMUM OPEN HEIGHT OF 24". THIS SPECIFICATION TAKES PRECEDENCE OVER THE INFORMATION CONTAINED IN THE DRAWINGS
- PROVIDE MINIMUM 1 3/4" SOLID CORE DOOR WITH SELF CLOSER AT ALL DOORS LOCATED IN WALLS THAT ARE COMMON TO BOTH GARAGE AND LIVING AREAS.
- PROVIDE AN 18" RAISED PLATFORM FOR ANY FAU, WATER HEATER, OR OTHER DEVICE IN THE GARAGE WHICH MAY GENERATE A FLAME OR SPARK (NOT REQUIRED AT GAS CLOTHES DRYERS).
- PROVIDE A MINIMUM 22" x 30" ATTIC ACCESS (30" SQ. IF FAU IN ATTIC)
- GAS VENTS AND NON-COMBUSTIBLE PIPING, IN WALLS, SHALL BE EFFECTIVELY DRAFT STOPPED AT EACH FLOOR OR CEILING.
- CONVENIENCE OUTLETS IN BATHROOMS, KITCHEN COUNTER TOP(S) WITHIN 6 FEET OF KITCHEN SINKS, OUTDOORS, AND IN GARAGES (OTHER THAN LAUNDRY AND SIMILAR EQUIPMENT) SHALL BE GFI PROTECTED PROVIDE FLUORESCENT GENERAL LIGHTING IN KITCHEN PER CAC, TITLE 24
- HOSE BIBBS AND LAWN SPRINKLERS SHALL HAVE APPROVED BACKFLOW PREVENTION DEVICES.
- PROVIDE MIXING VALVES AT SHOWERS PER CPC
- PROVIDE VENT FOR CLOTHES DRYER VENT. MAXIMUM HORIZONTAL AND VERTICAL LENGTH EQUALS 14 FEET WITH 2 OFFSETS (REDUCE LENGTH 2' FOR EACH ADDITIONAL BEND).
- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD ON THE GARAGE SIDE OF COMMON WALLS BETWEEN THE GARAGE & LIVING AREAS (INCLUDING ALL SOFFITS, ETC.). IN MULTISTORY BUILDINGS, 5/8" TYPE 'X' GYPSUM BOARD IS ALSO REQUIRED ON THE CEILING PLUS ALL POSTS AND/OR BEAMS SUPPORTING UPPER FLOORS.
- FRAMING MEMBERS EXCEED 16" O/C. PROVIDE RESILIENT CHANNELS AT 16" O/C, PLACED PERPENDICULAR TO FRAMING MEMBERS.



ALL ROOFING MATERIALS TO BE S.P.F.  
ROOFING SYSTEMS

ALL ROOFING MATERIALS TO BE S.P.F.  
ROOFING SYSTEMS



PROPOSED ROOF PLAN

1/4" = 1'-0"

1

REVISIONS

- △
- △
- △
- △
- △

SHEET NO:

**A-4.0**

PROPOSED ROOF PLAN

ADDITION AND REMODEL FOR THE:

**BULLO RESIDENCE**

2800 E. 1st. St.  
LONG BEACH, CA. 90803

Innovative Design Studio



3735 Cherry Ave.  
Long Beach, CA. 90807  
(562) 277-6806



PROPOSED IDEA FOR BALCONY RAILING

NEW BUILDING SHOWN SHADED

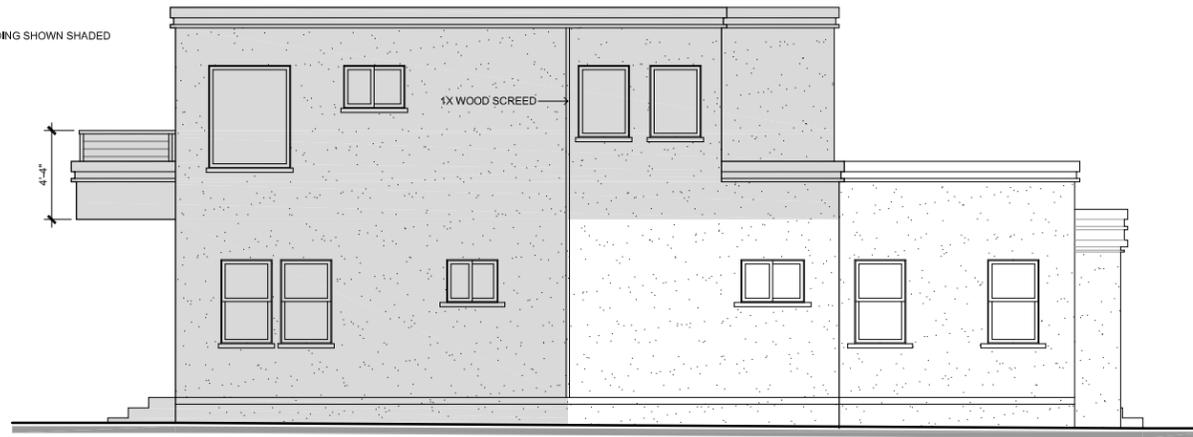


NORTH ELEVATION

1/4" = 1'-0"

1

NEW BUILDING SHOWN SHADED



EAST ELEVATION

1/4" = 1'-0"

2

NEW BUILDING SHOWN SHADED

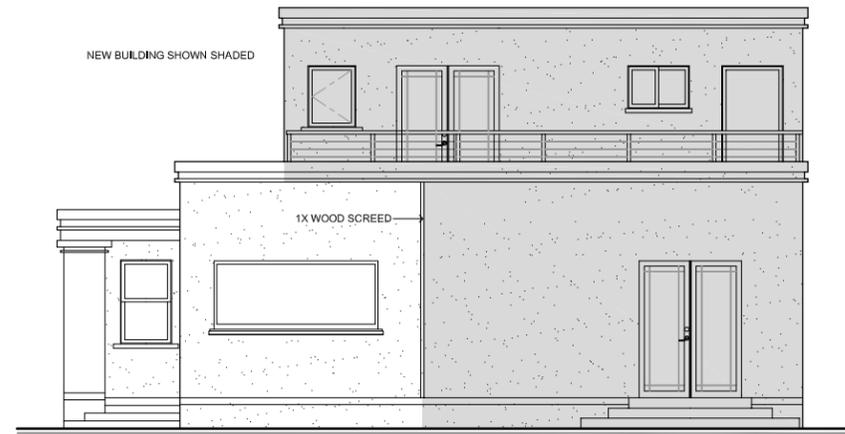


WEST ELEVATION

1/4" = 1'-0"

4

NEW BUILDING SHOWN SHADED



SOUTH ELEVATION

1/4" = 1'-0"

3

ADDITION AND REMODEL FOR THE:

# BULLO RESIDENCE

2800 E. 1st. St.  
LONG BEACH, CA. 90803

EXTERIOR ELEVATIONS

REVISIONS

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- △
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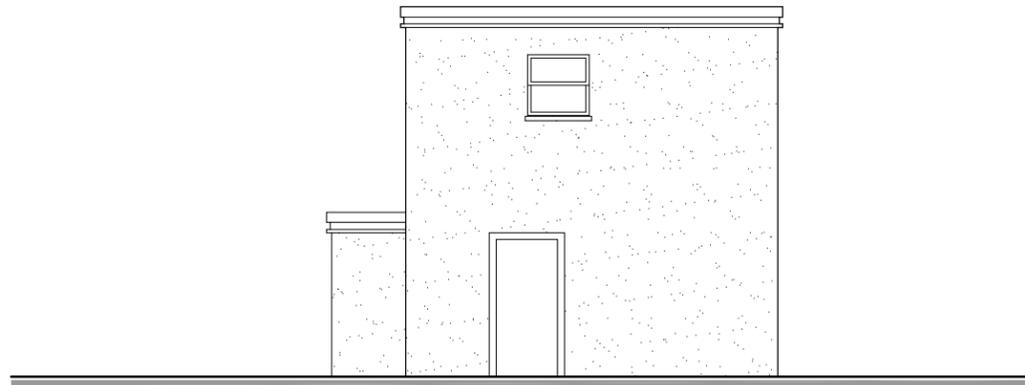
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**A-5.0**

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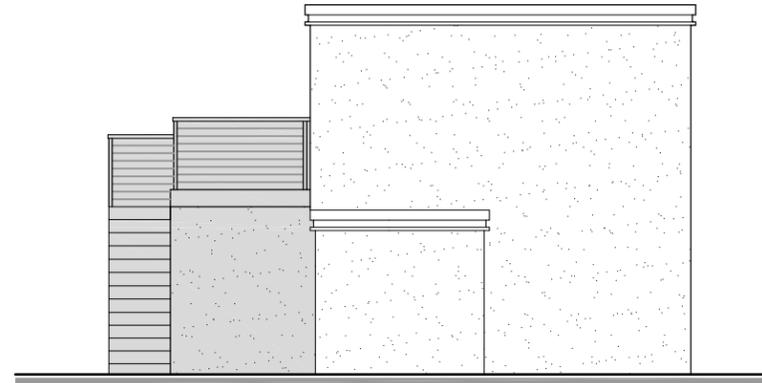
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NORTH ELEVATION

1/4" = 1'-0" 1

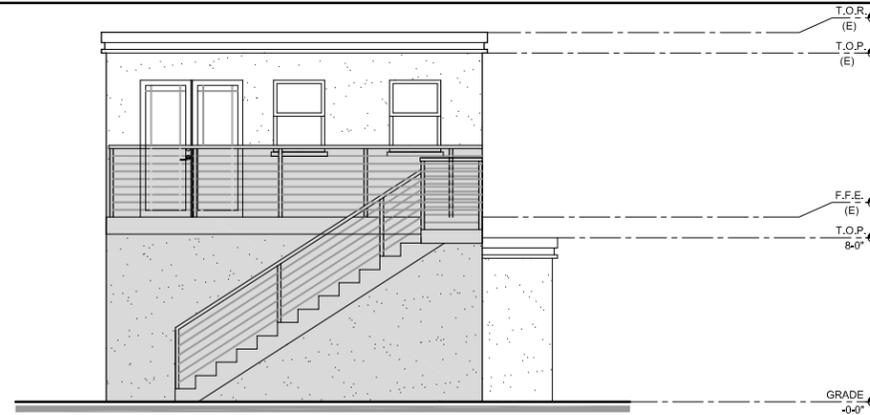
NEW BUILDING SHOWN SHADED



EAST ELEVATION

1/4" = 1'-0" 2

NEW BUILDING SHOWN SHADED



SOUTH ELEVATION

1/4" = 1'-0" 3

NEW BUILDING SHOWN SHADED



WEST ELEVATION

1/4" = 1'-0" 4

REVISIONS


SHEET NO: