

433 PINE AVENUE EXHIBIT E

433 PINE AVENUE
LONG BEACH CA 90802

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architecture • design



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BU-051 NOTE:

A 1-HOUR FIRE BARRIER WILL BE MAINTAINED BETWEEN CANNABIS FACILITY AND ADJACENT TENANTS.

NO GASES:

NO GASES WILL BE USED FOR THE OPERATION OF THIS BUSINESS

DISPENSARY SITE SECURITY

DISPENSARY SITE SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:

A MARIJUANA DISPENSARY PERMITTEE SHALL COMPLY WITH THE SECURITY PLAN THAT IS APPROVED BY THE CITY MANAGER, WHICH PLAN MAY INCLUDE BUILDING SPECIFICATIONS, LIGHTING, ALARMS, AND STATE-LICENSED SECURITY PERSONNEL.

EACH SECURITY PLAN APPROVED BY THE CITY MANAGER MUST INCLUDE THE FOLLOWING: 1. SECURITY SURVEILLANCE CAMERAS. SECURITY SURVEILLANCE CAMERAS AND A VIDEO RECORDING SYSTEM MUST BE INSTALLED TO MONITOR ALL DOORS INTO THE BUILDINGS ON THE DISPENSARY SITE, THE PARKING LOT, LOADING AREAS, AND ALL EXTERIOR SIDES OF THE PROPERTY ADJACENT TO THE PUBLIC RIGHT OF WAY. THE CAMERAS AND RECORDING SYSTEM MUST BE OF ADEQUATE QUALITY, COLOR RENDITION, AND RESOLUTION TO ALLOW THE IDENTIFICATION OF ANY INDIVIDUAL PRESENT ON THE DISPENSARY SITE. THE RECORDING SYSTEM MUST BE CAPABLE OF EXPORTING THE RECORDED VIDEO IN STANDARD MPEG FORMATS TO ANOTHER COMMON MEDIUM, SUCH AS DVD OR USB DRIVE. 2. SECURITY VIDEO RECORDING AND RETENTION, VIDEO FROM THE SECURITY SURVEILLANCE CAMERAS MUST BE RECORDING AT ALL TIMES (24 HOURS A DAY, SEVEN DAYS A WEEK) AND THE RECORDING SHALL BE MAINTAINED FOR AT LEAST 30 DAYS. THE VIDEO RECORDINGS SHALL BE MADE AVAILABLE TO THE CITY UPON REQUEST. 3. ALARM SYSTEM. PROFESSIONALLY AND CENTRALLY-MONITORED FIRE, ROBBERY, AND BURGLAR ALARM SYSTEMS MUST BE INSTALLED AND MAINTAINED IN GOOD WORKING CONDITION. THE ALARM SYSTEM MUST INCLUDE A PRIVATE SECURITY COMPANY THAT IS REQUIRED TO RESPOND TO EVERY ALARM.

A MARIJUANA DISPENSARY PERMITTEE SHALL REPORT TO THE CITY POLICE DEPARTMENT ALL CRIMINAL ACTIVITY OCCURRING ON THE DISPENSARY SITE.

DISPENSARY PERMIT DISPLAY

DISPLAY OF MARIJUANA DISPENSARY PERMIT:

THE MARIJUANA DISPENSARY PERMITTEE SHALL DISPLAY ITS CURRENT VALID MARIJUANA DISPENSARY PERMIT ISSUED IN ACCORDANCE WITH THIS ARTICLE INSIDE THE LOBBY OR WAITING AREA OF THE MAIN ENTRANCE TO THE DISPENSARY SITE. THE PERMIT SHALL BE DISPLAYED AT ALL TIMES IN A CONSPICUOUS PLACE SO THAT IT MAY BE READILY SEEN BY ALL PERSONS ENTERING THE DISPENSARY SITE.

DISPENSARY ODOR CONTROL

DISPENSARY SITE SHALL COMPLY WITH THE FOLLOWING ODOR CONTROL REQUIREMENTS:

A MARIJUANA DISPENSARY PERMITTEE SHALL PREVENT ALL ODORS GENERATED FROM THE DISPENSARY AND STORAGE OR MARIJUANA FROM ESCAPING FROM THE BUILDINGS ON THE DISPENSARY SITE, SUCH THAT THE ODOR CANNOT BE DETECTED BY A REASONABLE PERSON OF NORMAL SENSITIVITY OUTSIDE THE BUILDINGS.

ADA RESPONSIBILITY NOTE

I CERTIFY THAT THE PRIMARY PATH OF TRAVEL TO THE SPECIFIC AREA OF ALTERATION, STRUCTURAL REPAIR, OR ADDITION FROM THE PUBLIC WAY OR ACCESSIBLE PARKING SPACE AS INDICATED ON THE PLANS DOES NOT INCLUDE STEPS OR A SLOPE EXCEEDING 1:20 EXCEPT WHERE ACCESS IS PROVIDED BY A RAMP WITH 1:12 MAXIMUM SLOPE, ACCESSIBLE ELEVATOR OR OTHERWISE GRANTED BY AN UNREASONABLE HARDSHIP EXEMPTION. I UNDERSTAND THAT IF THE PRIMARY PATH OF TRAVEL IS FOUND NOT TO BE AS INDICATED, SIGNIFICANT DELAYS MAY RESULT.

FURTHERMORE, I CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND THAT THE AREA OF SPECIFIC ALTERATION, STRUCTURAL REPAIR OR ADDITION, INCLUDING A PRIMARY ENTRANCE TO THE EXISTING BUILDING AND, WHEN APPLICABLE, SANITATION FACILITIES, DRINKING FOUNTAIN, SIGNS AND PUBLIC TELEPHONES SERVING THE AREA COMPLIES WITH CURRENT CA TITLE 24 ACCESSIBILITY REQUIREMENTS.

SCOPE OF WORK: TENANT IMPROVEMENT(4639 SQ FT-per LA Assessor, no change)
MARIJUANA DISPENSARY (#MJ21909773) – SALE OF CANNABIS INCLUDING PRE-PACKAGED FLOWER, PRE-ROLLS, VAPORIZERS, BAKED GOODS, EDIBLES ,CONCENTRATES AND DRINKABLE THC BEVERAGES.
FULL DESCRIPTION OF ACTIVITIES ON OP1 SHEET – CULTIVATION AND MANUFACTURING NOT ALLOWED

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APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA GREEN BUILDING & SAFETY CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
CITY OF LONG BEACH AMENDMENTS

DIRECTORY

CLIENT:
Emerald Beach Care
433 Pine Avenue
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ARCHITECT:
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CSLB 495226
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SEPARATE PLAN-CHECK SUBMITTALS

MECHANICAL
PLUMBING
ELECTRICAL

DEFERRED SUBMITTAL

FIRE SPRINKLERS
FIRE MONITORING

PROJECT DATA

TRACT	71130
LOT	1
ASSESSOR'S PARCEL #	7280-009-165
ZONING:	COMMERCIAL
ZONE DISTRICT	PD-30
FIRE SPRINKLED	YES
FIRE MONITORED	YES (DEFERRED SUBMITTAL)
CONSTRUCTION TYPE	TYPE II-A
LOT/PARCEL AREA	16,910 Sq. Ft.
(E) BUILDING	5,880 Sq. Ft.
(N) PROPOSED IMPROVEMENT	4,639 Sq. Ft.
OCCUPANCY TYPE	M / B / S-1

LEGAL DESCRIPTION

TR=71130 LOTS 1,A COMMERCIAL UNIT 500 (AIRSPACE AND 1/29 INT IN COMMON AREA)

BUILDING INFORMATION

4 – Story Residential / Commercial / Parking

BASEMENT	-	PARKING (37 STALLS)
1ST FLOOR	-	PROPOSED PREMISES (4,639 SF) RESIDENCES (3 UNITS)
2ND FLOOR	-	RESIDENCES (5 UNITS)
3RD FLOOR	-	RESIDENCES (10 UNITS)
4TH FLOOR	-	RESIDENCES (10 UNITS)

OCCUPANT LOAD BREAKDOWN

ROOM	OCC.	SQ. FT.	LOAD FACTOR	OCC. LOAD
RM101-MECH/SECURITY EQ.	(S-1)	87 S.F.	1:300	1
RM102- STORAGE	(S-1)	94 S.F.	1:300	1
RM103-BREAK RM	(B)	137 S.F.	1:15	10
RM104-OFFICE	(B)	211 S.F.	1:150	2
RM105-ENTRY 1	(B)	220 S.F.	1:150	2
RM106-INTAKE PROCESSING	(B)	147 S.F.	1:150	1
RM107-SAFE RM	(B)	270 S.F.	1:150	2
RM108-SALES	(M)	1994 S.F.	1:60	34
RM109-ENTRY 2	(M)	670 S.F.	1:60	12
RM110-BATH 1	(B)	66 S.F.		
RM111-BATH 2	(B)	66 S.F.		
TOTAL OCC:				=65

PLUMBING FIXTURE CALCULATIONS

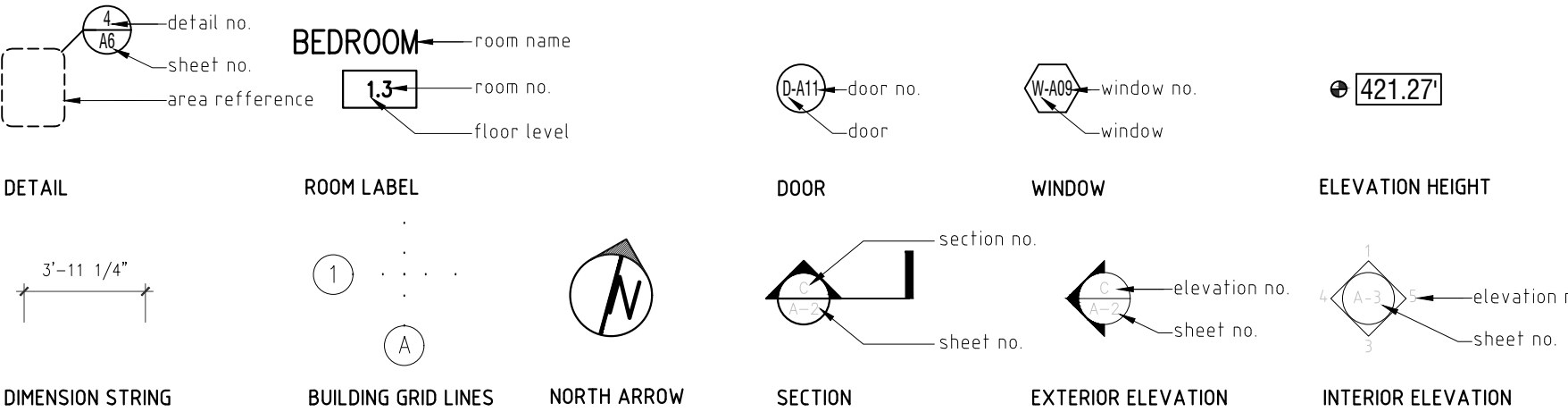
OCCUPANCY TYPE	TOTAL SF	OCCUPANCY
(1/200 SF) B – BUISNESS	985/200 SF	= 5 occ.
(1/200 SF) M – MERCANTILE	2664/200 SF	= 14 occ.
TOTAL OCC:		= 19 occ.

RESTROOM PROVIDED = 2 BATHROOMS

PARKING BREAKDOWN CALCULATIONS

(N) PARKING PROVIDED: 0 STALLS

PROJECT EXEMPT (<6,000sf) per Table 3-6, Long Beach Zoning Code: PD-30



abbreviations

&	AND	CAB	Cabinet
<	Angle	CARP	Carpet
@	AT	CEM	Cement
(E)	Existing	CLG	Ceiling
A/C	Air Conditioning	CLO	Closet
ADJ	Adjustable	CLR	Clear
A.F.F	Above Finish Floor	CNTR	Counter
ALUM	Aluminum	COL	Column
APPROX	Approximate	CONC	Concrete
ARCH	Architectural	C.W.	Cold water
BD	Board	DET	Detail
BLDG	Building	D.F.	Drinking Water
BLK	Blocking	DIA	Diameter
BM	Beam	DN	Down
BOT	Bottom	D.O.	Door Opening
BR	Bedroom	DS	Door
BSMT	Basement	DWG	Drawing
B.U.R.	Built Up Roofing	DWR	Drawer

E	East	F.A.A.	Face of Concrete
EA	Each	F.O.F.	Face of Finish
EJ	Expansion Joint	F.O.M	Face of Masonry
EL	Elevation	FPRF	Fireproof
ELEC	Electrical	FR	Frame
ELEV	Elevation	FS	Full Size
EMER	Emergency	FTG	Footing
E.O.S	Edge of Slab	FUT	Furniture
E.O.	Equal	GA	Gauge
EQUIP	Equipment	GALV	Galvanized
E.W.	Each way	G.B.	Galvanized bar
EXP	Electric Water Cooler	G.I.	Galvanized iron
(E)	Existing	GND	Ground
EXP	Expansion	GR	Grade
EXPO	Exposed	GYP	Gypsum
EXT	Exterior	H	High
F.A.	Fire Alarm	H.B	Hose Bib
A.D.	Floor Drain	H.C.	Hollow core
FDN	Foundation	HCP	Handicapped
F.E.	Fire Extinguisher	HDWR	Hardware
F.G.	Finish Grade	HDWD	Hardwood
FLASH	Flashing	HORIZ	Horizontal
FLR	Floor	HR	Hour
FLUOR	Fluorescent	HT	Height
		HVAC	Heating, Ventilation, and Air Conditioning
		H.W.	Hot Water

433 Pine

433 PINE AVENUE
LONG BEACH CA 90802

Project	433 Pine	Drawn	JC
Scale	NTS	Plot Date	2/26/20

Sheet Title

COVER SHEET

Sheet Number

G0.0 of Sheets

SIGNATURE	TITLE
PRINT NAME	DATE

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 PROPOSED PREMISES (4,639 SF)

BUILDING INFORMATION

4-Story Residential / Commercial / Parking

BASEMENT - (E) PARKING (37 STALLS)

1ST FLOOR - PROPOSED PREMISES (4,639 SF)
RESIDENCES (3 UNITS)

2ND FLOOR - RESIDENCES (5 UNITS)
3RD FLOOR - RESIDENCES (10 UNITS)
4TH FLOOR - RESIDENCES (10 UNITS)

KEYNOTES

- 1 (e) roof access to remain
2 (e) planter box to remain
3 perimeter of work on 1st floor
4 (e) skylight to remain
5 (e) opening to floor below – to remain
6 (e) guardrail to remain
7 (e) a/c unit to remain (typ.)
8 (e) balcony – unit below
9 (e) awning below to remain

Revisions		
No.	Date	Description

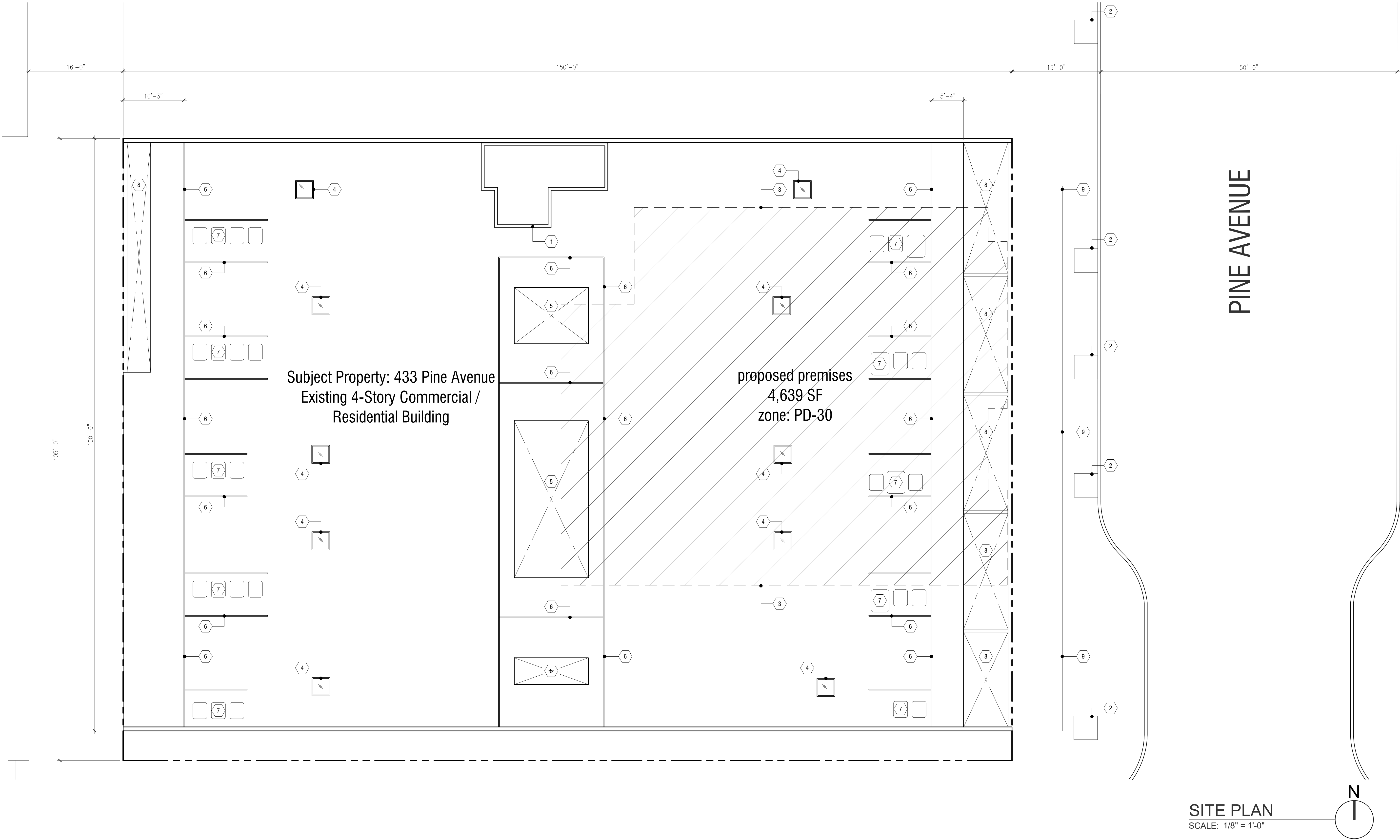
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LONG BEACH CA 90802

Project	433 Pine	Drawn	JC
Scale	1/8" = 1'-0"	Plot Date	2/26/20
Sheet Title			

SITE PLAN

Sheet Number

A1.0 of Sheets



SITE PLAN

SCALE: 1/8" = 1'-0"

SITE INFO

TRACT	71130
LOT	1
ASSESSOR'S PARCEL #	7280-009-165
ZONING:	COMMERCIAL
ZONE DISTRICT	PD-30
FIRE SPRINKLED	YES
CONSTRUCTION TYPE	TYPE II
LOT/PARCEL AREA	16,910 Sq. Ft.
(E) BUILDING	5,880 Sq. Ft.
(N) PROPOSED IMPROVEMENT	4,639 Sq. Ft.
OCCUPANCY TYPE	M / B / S-1

PARKING BREAKDOWN

Total Parking On-Site:	0
PROJECT EXEMPT (<6,000sf) per Table 3-6, Long Beach Zoning Code: PD-30	

SITE NOTES

DISPENSARY SITE SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS

ENTRANCES. ALL ENTRANCES INTO THE BUILDINGS ON THE DISPENSARY SITE SHALL BE LOCKED AT ALL TIMES WITH ENTRY CONTROLLED BY THE MARIJUANA DISPENSARY PERMITEE'S MANAGERS AND STAFF.

MAIN ENTRANCE AND LOBBY. THE DISPENSARY SITE SHALL HAVE A BUILDING WITH A MAIN ENTRANCE THAT IS CLEARLY VISIBLE FROM THE PUBLIC STREET OR SIDEWALK. THE MAIN ENTRANCE SHALL BE MAINTAINED CLEAR OF BARRIERS, LANDSCAPING, AND OTHER OBSTRUCTIONS. INSIDE OF THE MAIN ENTRANCE, THERE SHALL BE A LOBBY TO RECEIVE PERSONS INTO THE SITE AND TO VERIFY WHETHER THEY ARE ALLOWED IN THE DISPENSARY AREAS.

DISPENSARY AREA. ALL DISPENSARY AREAS IN ANY BUILDING ON THE DISPENSARY SITE SHALL BE SEPARATED FROM THE MAIN ENTRANCE AND LOBBY, AND SHALL BE SECURED BY A LOCK ACCESSIBLE ONLY TO MANAGERS AND STAFF OF THE MARIJUANA DISPENSARY PERMITEE.

TRANSPORT AREA. EACH BUILDING WITH A DISPENSARY AREA SHALL HAVE AN AREA DESIGNED FOR THE SECURE TRANSFER OF MARIJUANA FROM THE DISPENSARY AREA TO A VEHICLE FOR TRANSPORTATION.

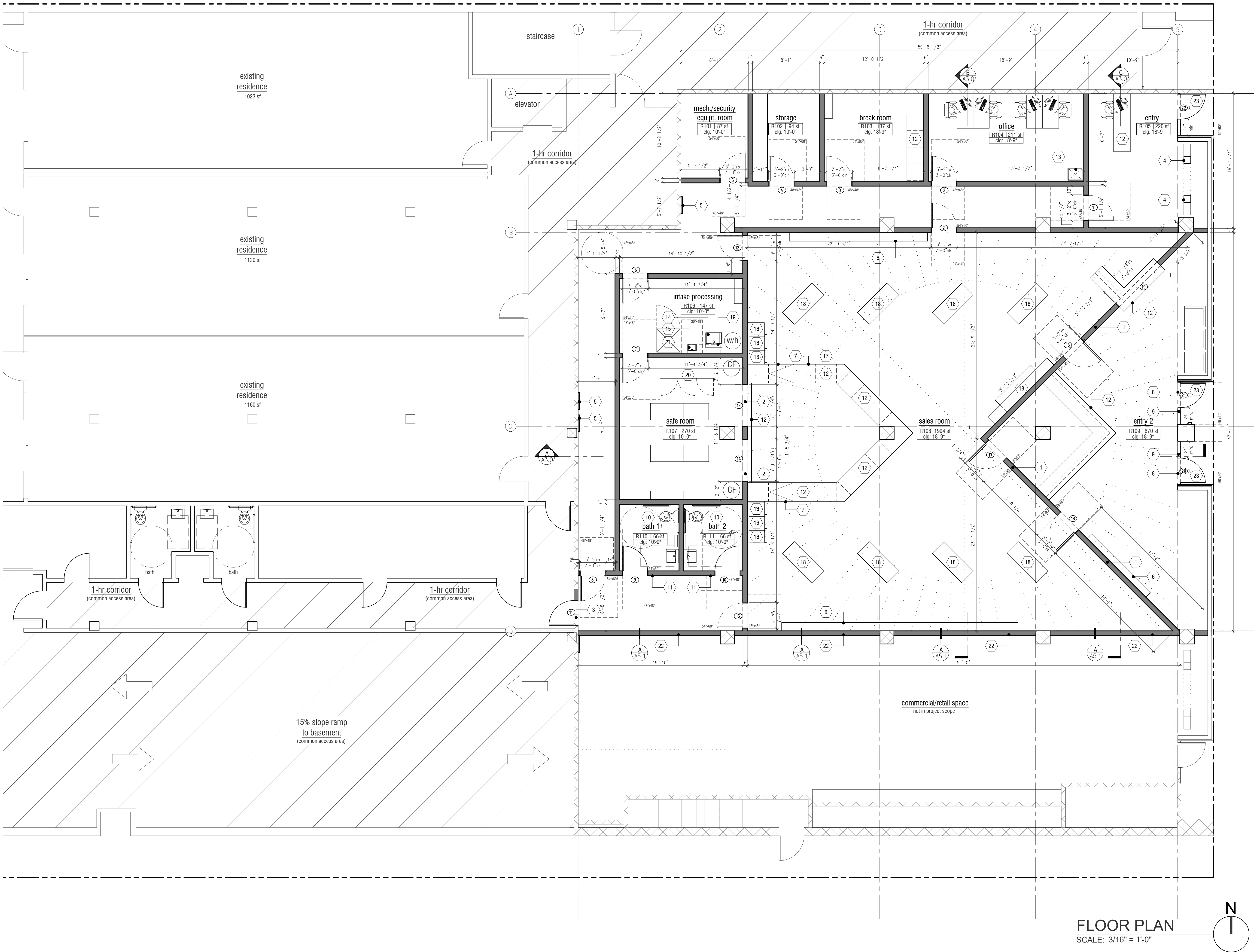


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Project	433 Pine	Drawn	JC
Scale	3/16" = 1'-0"	Plot Date	2/26/20
Sheet Title			

Sheet Number

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LEGEND

- (n) A/C supply – refer to Mechanical Plans
- (n) return register – refer to Mechanical Plans
- (n) lighting – Lithonia LDN4
- (n) emergency sign – refer to Electrical Plans
- energy star exhaust fan – refer to Mechanical Plans

Revisions		
No.	Date	Description

433 Pine

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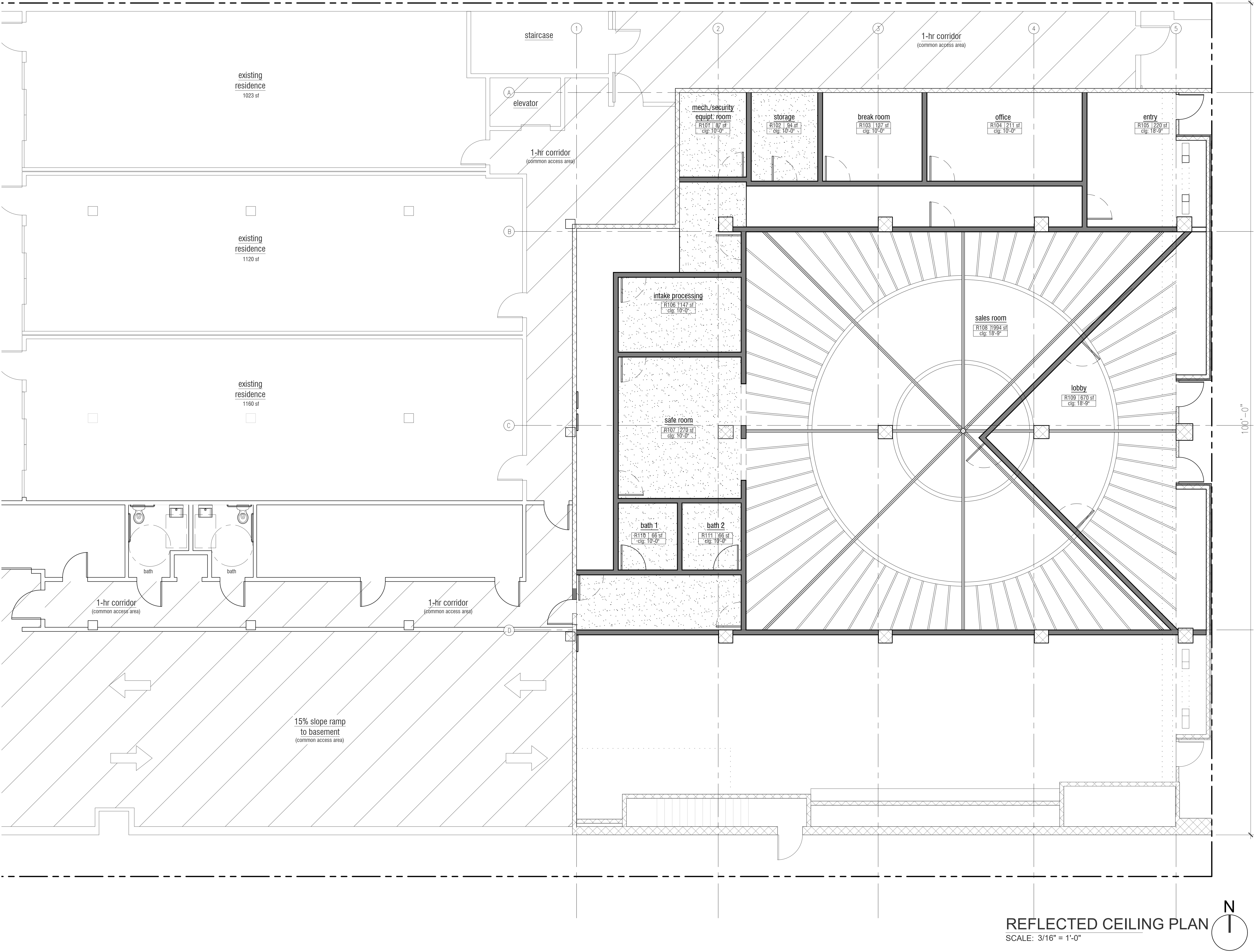
Project	433 Pine	Drawn	JC
Scale	3/16" = 1'-0"	Plot Date	2/26/20

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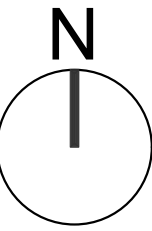
REFLECTED CEILING PLAN

Sheet Number

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REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"



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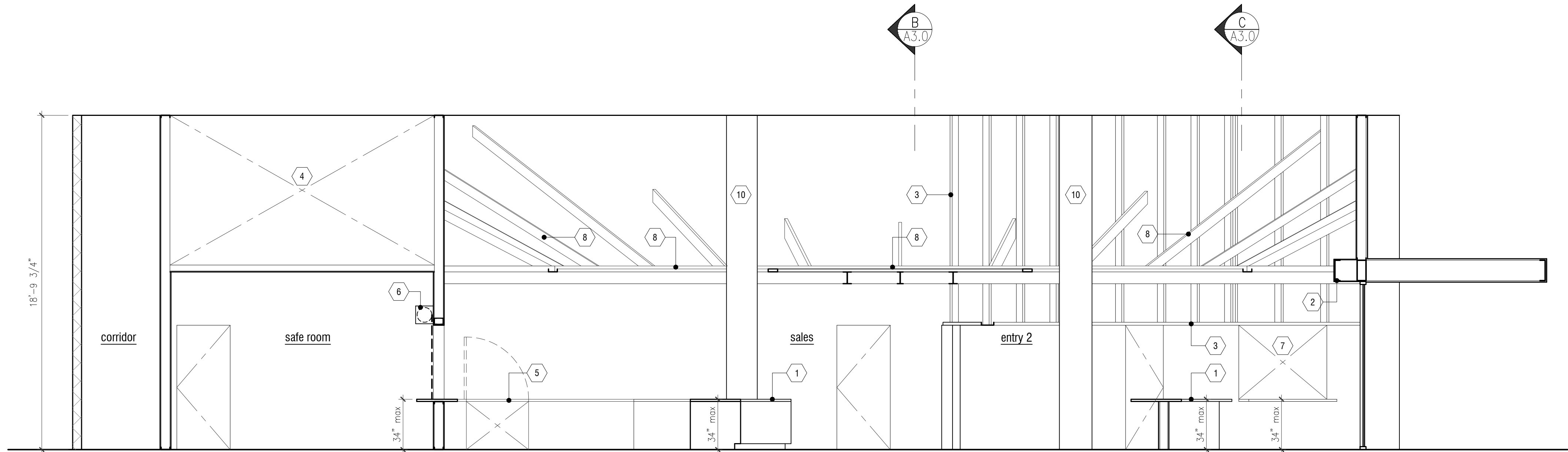


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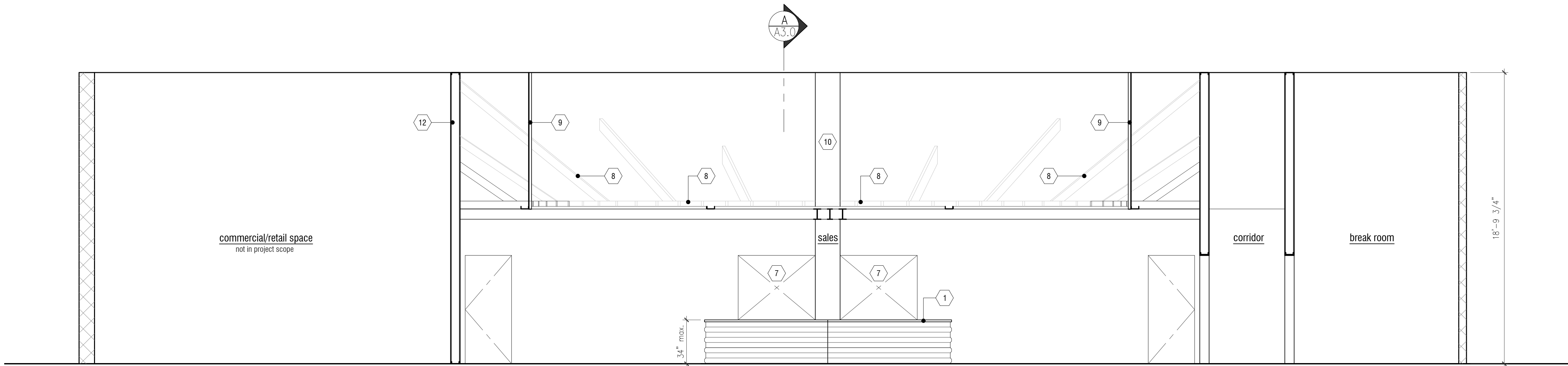
(e) 1-hour wall to remain

- 1 (n) 34" high ADA counter to comply with ADA counter height per detail 5/A5.1
- 2 (e) soffit to remain
- 3 (n) wall - drywall up to 7'-0" and expose every other stud to ceiling (typ.)
- 4 attic space
- 5 flip up access door
- 6 security perforated metal roll-up door - Dynamic Closure EX59-P
- 7 60"(w) x 50"(h) opening w/ security perforated metal roll-up door:Dynamic Closure EX59-P
- 8 (n) exposed metal stud ceiling structure (refer to structural)
- 9 (n) corrugated perforated metal panel
- 10 (e) concrete column to remain
- 11 (n) 36" high transparent Exolite Acrylic Panel - reveal studs behind
- 12 (n) 1-hr fire rated wall



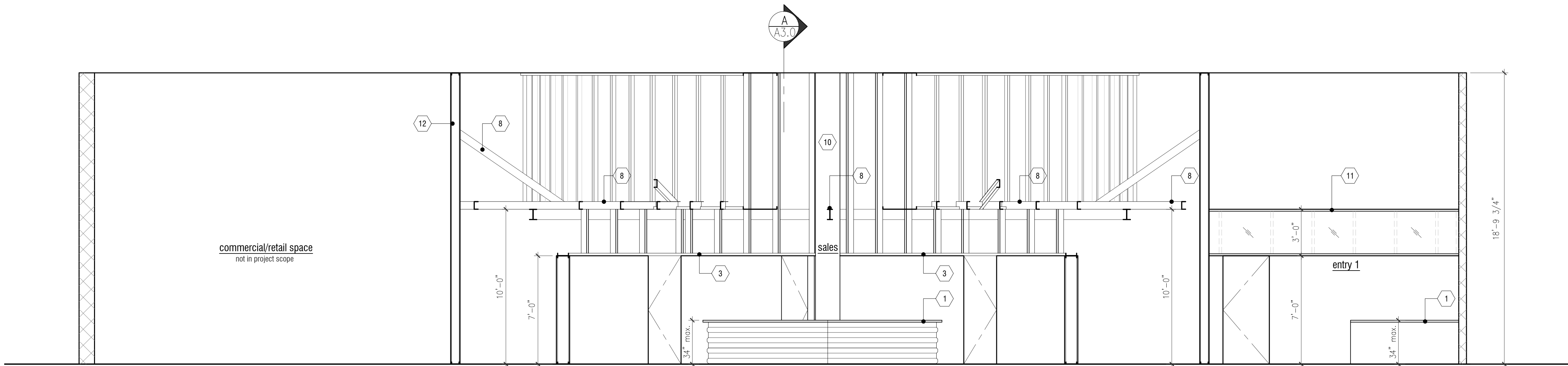
SECTION A-A

SCALE: 1/4" = 1'-0"



SECTION B-B

SCALE: 1/4" = 1'-0"



SECTION C-C

SCALE: 1/4" = 1'-0"

Revisions		
No.	Date	Description

433 Pine

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Project	433 Pine	Drawn	JC
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SECTIONS

Sheet Number

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- 1 (e) stucco to remain
2 (e) siding to remain
3 (e) glazing to remain (typ.)



ELEVATION
SCALE: 1/4" = 1'-0"

Revisions		
No.	Date	Description

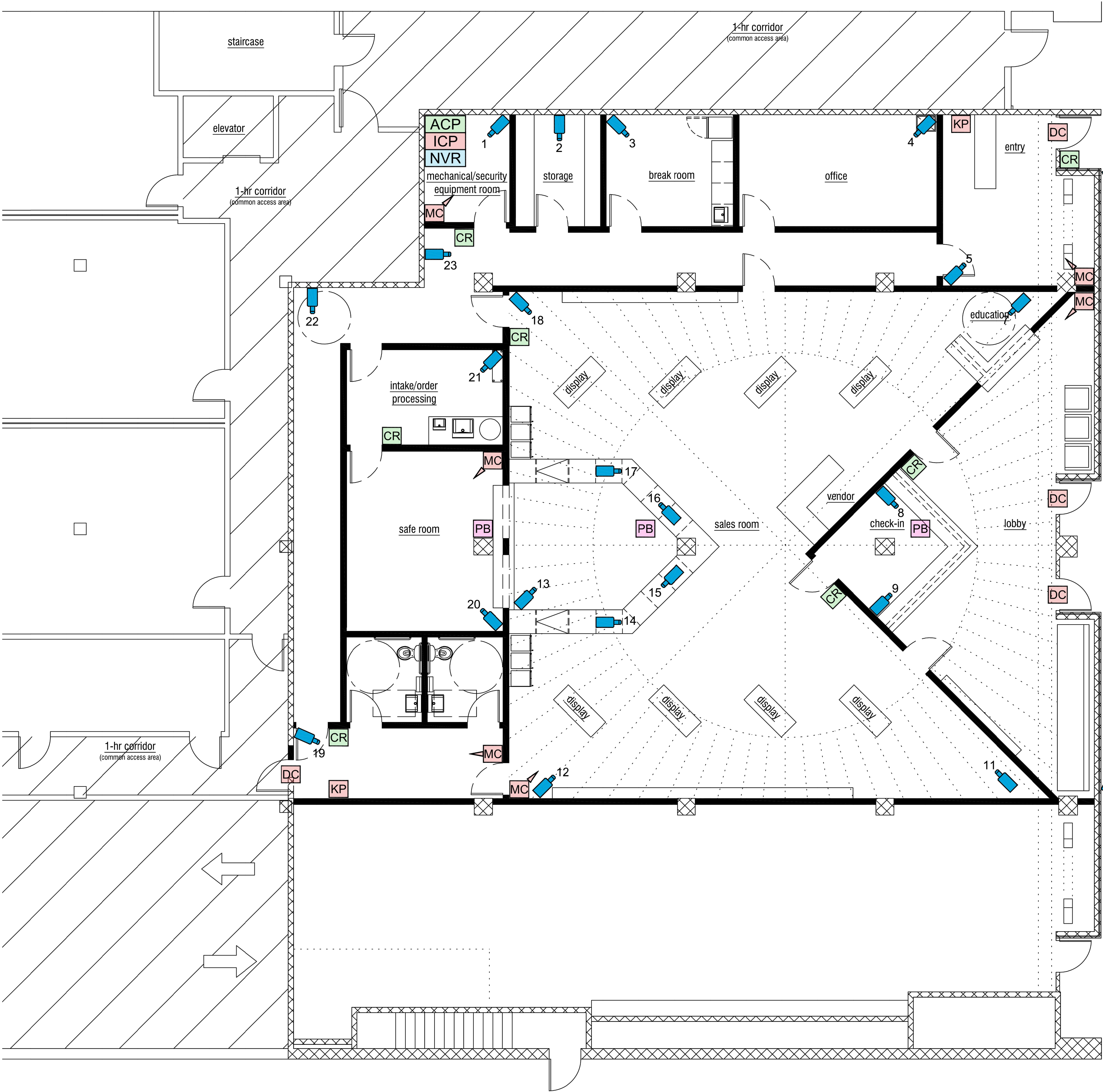
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Project	433 Pine	Drawn	JC
Scale	1/4" = 1'-0"	Plot Date	2/26/20
Sheet Title			
ELEVATION			

Sheet Number

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SYMBOL LEGEND	
ACP	ACCESS CONTROL PANEL
ICP	INTRUSION CONTROL PANEL
NVR	NETWORK VIDEO RECORDER
CR	CARD READER
KP	KEYPAD
DC	DOOR CONTACT
MC	MOTION DETECTOR
	FIXED IP CAMERA
PB	PANIC BUTTON

NO.	REMARKS	DATE
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23	-	-

DRAWN BY: FLFAE
DATE: 1/18/20
SCALE: 1/8" = 1' - 0"
SHEET: