



# CITY OF LONG BEACH

**C-8**

DEPARTMENT OF COMMUNITY DEVELOPMENT

333 WEST OCEAN BOULEVARD • LONG BEACH, CALIFORNIA 90802

March 13, 2007

HONORABLE MAYOR AND CITY COUNCIL  
City of Long Beach  
California

## RECOMMENDATION:

Adopt the attached Resolution authorizing the acquisition of tax-defaulted properties, consisting of Assessor Parcel Numbers 7070-017-004, 7130-026-005, 7186-006-005, 7235-018-020, and 7241-012-117, in the City of Long Beach from the County of Los Angeles; authorize the City Manager to execute a Chapter 8 Agreement with any and all documents necessary for the acquisition of these tax-defaulted properties; and authorize the City Manager to execute all documents necessary for the conveyance of Assessor Parcel Numbers 7070-017-004, 7130-026-005, 7186-006-005, 7235-018-020, and 7241-012-117 to the Long Beach Housing Development Company. (District 4, 5 and 8)

## DISCUSSION

In December 2006, the Los Angeles County Treasurer and Tax Collector (County) released a list of properties to be included in the 2007A Public Tax Auction (Auction). These properties have been tax-defaulted for non-payment of property taxes and deemed Subject to Power to Sell by the County. Prior to conducting the Auction, the County grants local governmental agencies an opportunity to request acquisition of these properties via a Chapter 8 Agreement (Agreement), if a public need can be determined. An Agreement is provided under the California Revenue and Taxation Code, Division 1, Part 6, Chapter 8, which outlines the provisions for the acquisition of properties by a public agency.

City staff has reviewed the list of properties and identified five parcels for City acquisition. All five parcels have been requested by The Long Beach Housing Development Company (LBHDC) for the development of affordable housing. Upon acquisition by the City, these five parcels will be conveyed to LBHDC. A list of the parcels and acquisition costs is attached as Attachment "A" with corresponding maps as Attachment "B." Additional fees of approximately 15 percent will be charged for each parcel for administrative and processing costs.

The Department of Community Development, on behalf of the City, submitted a written request to the County for an Agreement for the purchase of these properties. In order to proceed, the County requires that the City Council adopt a resolution authorizing the acquisition of tax-defaulted property and authorize the City Manager to enter into an Agreement with the County (Attachment "C"). Once the City's Agreement is approved by the Los Angeles County Board of Supervisors and the State of California Controller's Office, the County is required to notify the property owners of the pending Agreement

HONORABLE MAYOR AND CITY COUNCIL

March 13, 2007

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with the City. In the event that the property owners pay the delinquent tax amount prior to the effective date of the Agreement, the owners would retain the property and the City could no longer proceed with the purchase. However, should the property owners fail to pay the delinquent amount by the effective date of the Agreement, the City may proceed with the acquisition.

This letter was reviewed by Assistant City Attorney Heather A. Mahood on February 22, 2007 and Budget and Performance Management Bureau Manager David Wodynski on March 5, 2007.

#### TIMING CONSIDERATIONS

City Council action is requested on March 13, 2007, in order to facilitate acquisition of the properties.

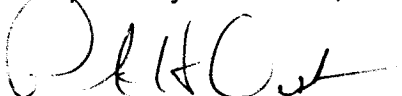
#### FISCAL IMPACT

The estimated cost to acquire the five parcels requested by LBHDC for use as affordable housing is \$119,913, including administrative and processing costs. Sufficient funds are currently budgeted in the Housing Development Fund (SR 135) in the Department of Community Development (CD). The proposed acquisition of the five parcels will have no impact on the General Fund.

#### SUGGESTED ACTION:

Approve recommendation.

Respectfully submitted,



PATRICK H. WEST  
DIRECTOR OF  
COMMUNITY DEVELOPMENT

PHW:MT:lej  
Attachment - "A" Los Angeles County Tax Defaulted Properties  
Attachment - "B" Site Maps  
Attachment - "C" Resolution

APPROVED:



GERALD R. MILLER  
CITY MANAGER

**ATTACHMENT "A"**  
**CHAPTER 8 LOS ANGELES COUNTY TAX DEFAULTED PROPERTIES 2007A**

<b>District</b>	<b>Assessor Parcel Number</b>	<b>Address</b>	<b>Purchase Price</b>	<b>Approximate Administrative Costs</b>	<b>Total Acquisition Cost</b>	<b>Use of Property</b>
5	7070-017-004	3642 N. Studebaker Road	\$7,278	\$1,092	\$8,370	Affordable Housing
8	7130-026-005	5370 Lime Avenue	\$55,857	\$8,379	\$64,236	Affordable Housing
5	7186-006-005	6218 E. Conant Street	\$7,268	\$1,090	\$8,358	Affordable Housing
5	7235-018-020	2155 Kallin Avenue	\$20,040	\$3,006	\$23,046	Affordable Housing
4	7241-012-117	4316 E. 11th Street	\$13,829	\$2,074	\$15,903	Affordable Housing
<b>Subtotal:</b>			<b>\$104,272</b>	<b>\$15,641</b>	<b>\$119,913</b>	

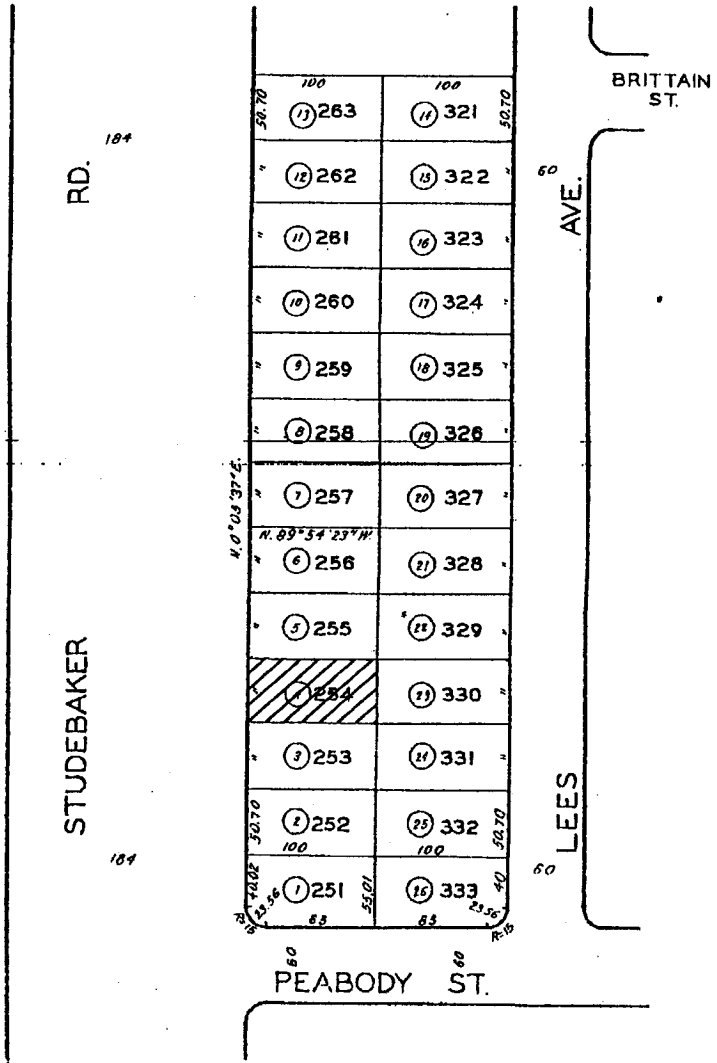
**Total Housing Acquisition Costs: \$119,913**

ATTACHMENT "B"  
1 of 5

7070	17
SCALE 1" = 80'	



TRACT NO. 16619  
M. B. 477-8-14



APN 7070-017-004 – 3642 N. Studebaker Road  
Use: Affordable Housing

ATTACHMENT "B"  
2 of 5

7130 | 26  
SCALE 1" = 80'

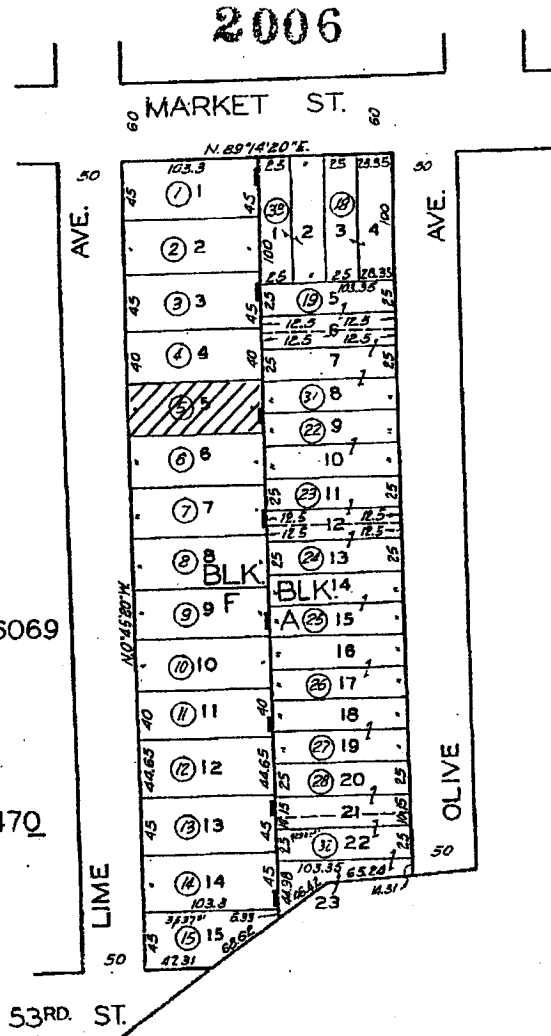


TRACT NO. 6069  
M.B. 64-14

TRACT NO. 5470  
M.B. 56-30

CODE  
4992

FOR PREY. ASSMT. SEE: 457-2

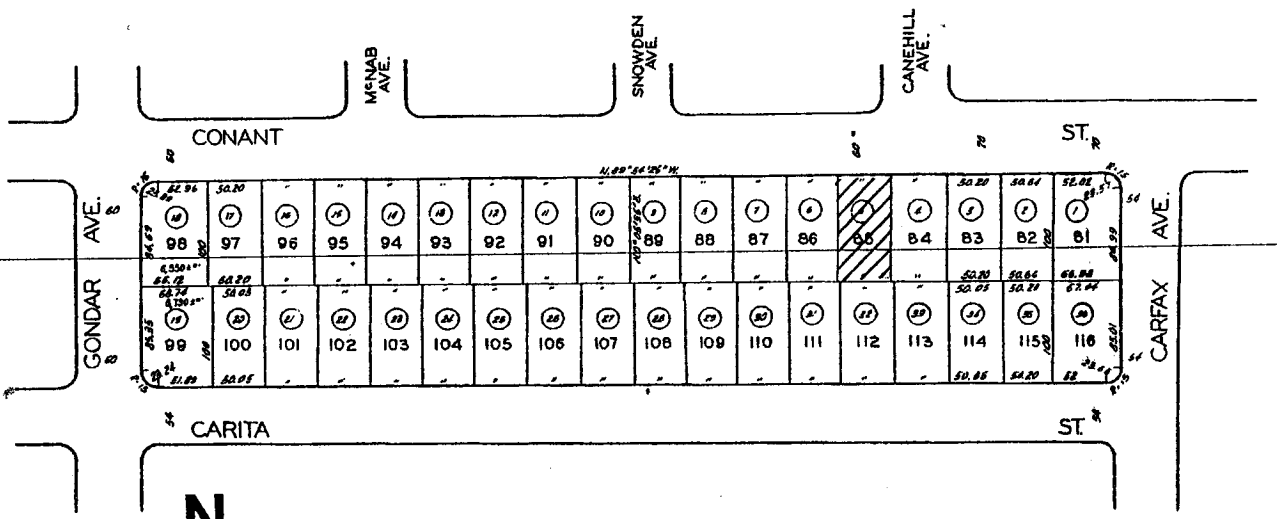


APN 7130-026-005 – 5370 Lime Avenue  
Use: Affordable Housing

# ATTACHMENT "B"

3 of 5

7186 6  
SCALE 1" = 80'



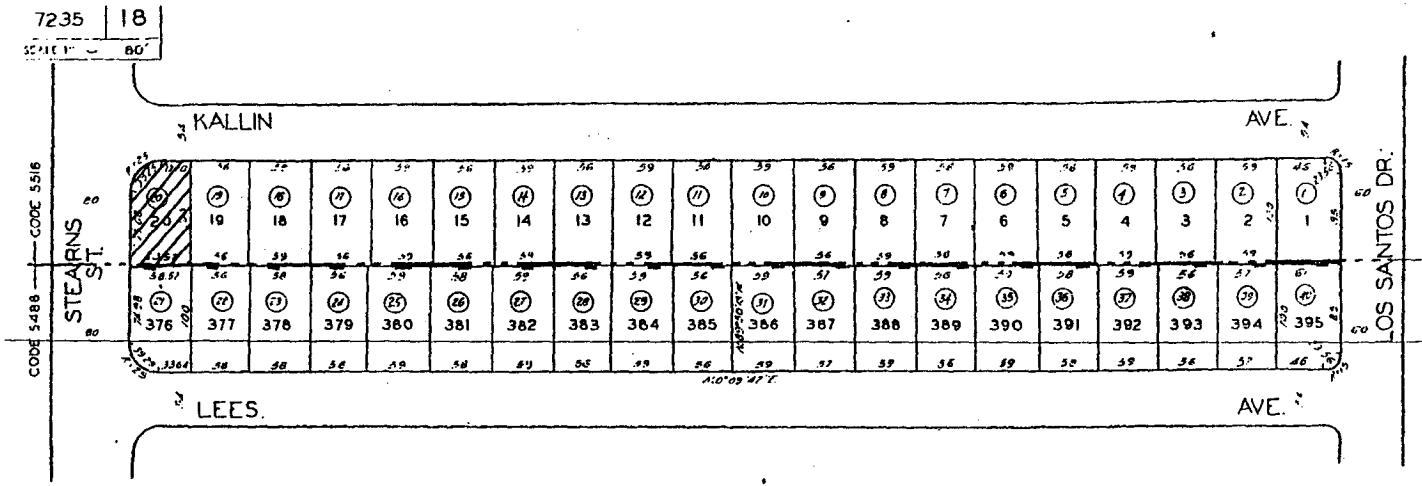
TRACT NO. 14261  
M.B. 363-16-22




APN 7186-006-005 – 6218 E. Conant Street  
Use: Affordable Housing

# ATTACHMENT "B"

4 of 5



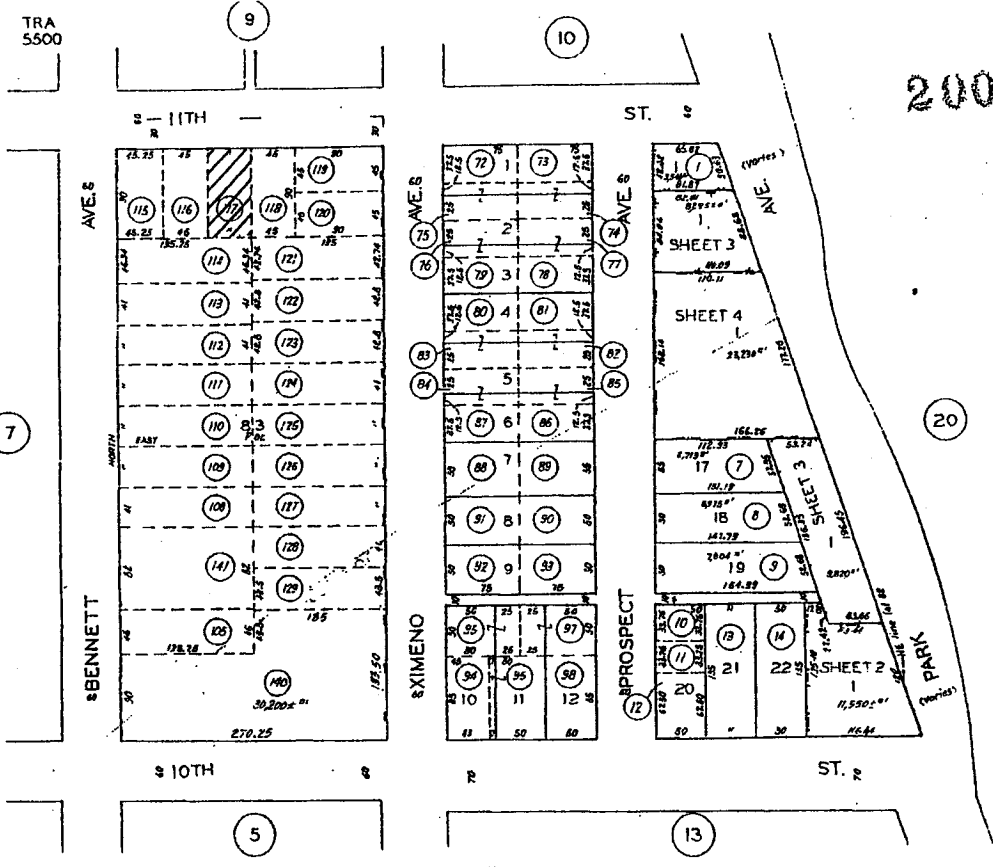
 APN 7235-018-020 – 2155 Kallin Avenue  
Use: Affordable Housing

**ATTACHMENT "B"**  
5 of 5

7241 12  
SHEET 1  
100'

TRA  
5500

2006



APN 7241-012-117: 4316 E. 11<sup>th</sup> Street  
Use: Affordable Housing



1 RESOLUTION NO.

2  
3 A RESOLUTION OF THE CITY COUNCIL OF THE  
4 CITY OF LONG BEACH TO EXECUTE A CHAPTER 8  
5 AGREEMENT WITH THE COUNTY OF LOS ANGELES TO  
6 ACQUIRE TAX-DEFAULTED PROPERTY  
7

8 WHEREAS, the City has been notified by the County of Los Angeles that  
9 certain property described in Exhibit "A" hereto (the "Property") was deemed "Subject to  
10 Power to Sell" for default of property taxes and is scheduled to be sold at public  
11 auction; and

12 WHEREAS, Division 1, Part 6, Chapter 8 of the Revenue and Taxation  
13 Code permits the City to acquire such Property, prior to a public auction, for an amount  
14 equal to the defaulted property taxes; and

15 WHEREAS, the City has considered acquiring the Property pursuant to a  
16 "Chapter 8 Agreement" with the County of Los Angeles and reviewed and evaluated the  
17 proposed acquisition in relation to open space and affordable housing objectives; the  
18 staff report prepared on this matter; and all of the information and evidence presented  
19 at the meeting; and

20 WHEREAS, the City has determined that the acquisition of the Property is  
21 in the best interest of the City of Long Beach and its residents;

22 NOW, THEREFORE, the City Council of the City of Long Beach resolves  
23 as follows:

24 Section 1. The City finds and determines, based upon substantial  
25 evidence provided in the record before it, that the acquisition of the Property will support  
26 the City's efforts to acquire and construct affordable housing.

27 Sec. 2. Pursuant to provisions of the Revenue and Taxation Code,  
28 the City shall enter a Chapter 8 Agreement with the County of Los Angeles, in order to

1 complete the acquisition of the Property for the open space and affordable housing  
2 purposes.

3           Sec. 3.        The City Manager is hereby designated to take all action  
4 necessary to acquire the Property.

5           Sec. 4.        This resolution shall take effect immediately upon its  
6 adoption by the City Council, and the City Clerk shall certify the vote adopting this  
7 resolution.

8                        I hereby certify that the foregoing resolution was adopted by the City  
9 Council of the City of Long Beach at its meeting of \_\_\_\_\_, 2007, by  
10 the following vote:

11                    Ayes:            Councilmembers: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

15                    Noes:            Councilmembers: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

17                    Absent:          Councilmembers: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

City Clerk

**EXHIBIT "A"**

**DESCRIPTION OF THE PUBLIC IMPROVEMENTS**

7070-017-004	–	3642 N. Studebaker Road
7130-026-005	–	5370 Lime Avenue
7186-006-005	–	6218 E. Conant Street
7235-018-020	–	2155 Kallin Avenue
7241-012-117	–	4316 E. 11 <sup>th</sup> Street