

GENERAL NOTES:

- These plans and specifications are the property of J.F. CARLSON ARCHITECTS, INC. and shall not be used for any work other than the project shown herein.
- All work and all construction methods and materials shall comply with all provisions of the Building Codes and other rules, regulations and ordinances governing the place of the Building. Building Code requirements in all cases take precedence over the Drawings. It shall be the responsibility of anyone supplying labor or materials or both to bring to the attention of the Architect any discrepancies or conflicts between the requirements of the Code and the Drawings.
- The Contract Drawings and Specifications represent the finished structure. Unless otherwise shown they do not indicate method of construction. Contractor shall supervise and direct the Work and shall be solely responsible for all construction means, methods, techniques and procedures. Observation visits to the Site by field representatives of the Architect and his Engineers shall not include inspections of the protective measures or the construction procedures required for same, which are the sole responsibility of the Contractor. Any support services performed by the Architect and his engineers, whether of material or work and whether performed prior to, during or after completion of construction are performed solely for the purpose of assisting in quality control and in achieving conformance with Contract Drawings and Specifications. Therefore, they do not guarantee Contractor's performance and shall not be construed as supervision of the construction.
- Contractor hereby guarantees to the Owner and the Architect that all materials, fixtures and equipment furnished to the Project are new unless otherwise specified. Contractor also warrants that all work will be of good quality and free from any faults and defects.
- Temporary barriers and/or a protective construction fence shall be provided where required by the Building Department and shall be constructed in accordance with the rules, regulations and ordinances governing the place of the Building.
- Sanitary facilities shall be provided and maintained by Contractor during construction per applicable regulations.
- Contractor shall arrange and pay for all temporary utility services and connections during construction.
- Contractor must verify all dimensions, elevations and site conditions and shall notify Architect of any discrepancies before starting work.
- All omissions or conflict between the various elements of the Working Drawings and/or General Notes shall be brought to the attention of the Architect before proceeding with any work so involved.
- General Notes, notes and typical details apply to all drawings unless noted otherwise.
- All A.S.T.M. designations shall be amended to date unless otherwise noted.
- Structural Drawings shall be used in conjunction with Architectural, Mechanical, and Electrical Drawings.
- Framing conditions not specifically shown shall be framed similar to the details shown for the respective materials.
- Provide openings and support for mechanical equipment, ducts, piping, vents, etc. as required. Refer to Architectural, and Mechanical Drawings for additional openings and equipment not shown on Structural Drawings. All suspended equipment to be provided with approved lateral bracing.
- DO NOT SCALE DRAWINGS.
- All dimensions are to face of studs, concrete or masonry unless noted otherwise.
- Provide 6" or 8" studs, or furring full length of room wall where required to accommodate structural, plumbing and electrical installations.
- If existing facilities are related to the Work, the Contractor shall not disrupt the existing services or utilities without obtaining the Owner's prior approval and instructions in each case.
- Verify sizes and locations of all mechanical equipment before construction of any bases or pads to support each other.
- Verify all plumbing and equipment sizes before beginning construction of cabinets.
- Contractor is responsible for all coordination between all subcontractors and trades.
- Unless noted otherwise, all vestibules, closets, columns, projections, recesses, or other adjacent areas within scheduled areas shall have finishes as scheduled for the respective spaces in which they occur.
- Anyone supplying labor and/or materials to the Project shall carefully examine all sub-surfaces to receive work. Any conditions detrimental to work shall be reported in writing to Contractor prior to beginning. Commencement of work shall imply acceptance of all sub-surfaces.
- Temporary bracing shall not be removed from any elements until the elements is capable of supporting its design load.
- Refer to Architectural, Mechanical and Electrical Drawings for depressed slabs, curbs, finishes, textures, clips, grounds, etc. not shown on Structural Drawings.
- Any material stored at the Site shall be completed supported free from the ground, covered and otherwise protected to avoid damage from the elements.
- Contractor to prepare & submit separate plans to fire authority for separate fire sprinkler & alarm permits. Provide approval from Struct. Engr. for roof system, approving support locations.
- Prior to the issuance of any building permits for combustible construction, evidence that a water supply for fire protection is available shall be submitted to and approved by the Fire Chief. Fire hydrants shall be in place and operational to meet required fire-flow prior to commencing construction with combustible materials.
- The General Contractor shall provide certification to the necessary agencies by a licensed surveyor that setbacks and height limits are in accordance with the approved design and construction documents. Certification shall include foundation setbacks and top of roof sheathing to prove compliance with the approved staking plan, exterior elevations, roof plan and site plan. A certification memo shall be submitted to the City with a copy retained on the jobsite for inspection purposes.
- Notwithstanding that roof height certification is taken from roof sheathing, the finish roofing material may not exceed the approved elevations. In order to assure that the approved roof elevations are obtained at top out, a certification of the lowest floor elevation by the surveyor is recommended prior to foundation inspections.
- The Insulation Contractor shall post in conspicuous place in the building, A state insulation certificate signed by the Insulation Contractor stating that the insulation is consistent with the plans and conforms to state regulations.
- The Builder shall provide the owner with a list of features, materials, components and mechanical devices installed in the building; instructions on how to use them efficiently; and maintenance information on those items requiring routine maintenance for efficient operation.

No Building Permits will be issued till plans are approved for permit.

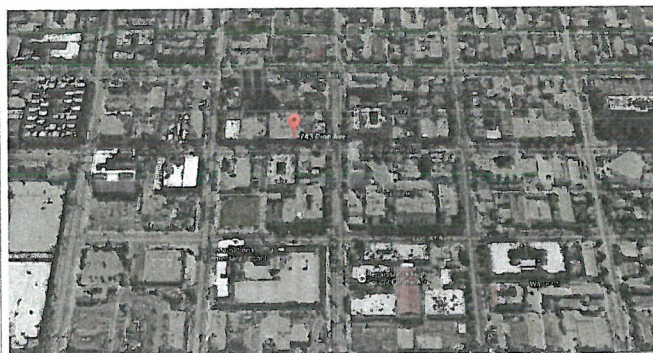
ABBREVIATIONS

AB ANCHOR BOLT	GA GAGE GAUGE	ROW RIGHT OF WAY
ABV ABOVE	GI GALVANIZED	S SOUTH
AC ASPHALT CONCRETE	GL GLASS GLAZING	SC SOLID CORE
A/C AIR CONDITIONING	GLB GLUE LAMINATED BEAM	SF SQUARE FOOT
ACOUS ACUSTICAL	GR GRADE	SHT SHEET
ADJ ADJUSTABLE	GYP GYPSUM	SIM SIMILAR
AFF ABOVE FINISH FLOOR	H HIGH	SPEC SPECIFICATION
ALUM ALUMINUM	HB HOSE BIB	SQ SQUARE
ALT ALTERNATE	HC HOLD/IN CORE	SS STAINLESS STEEL
ANOD ANODIZED	HC HANDICAP	STC SOUND TRANSMISSION COEFFICIENT
ARCH ARCHITECTURAL	HDR HEADER	STD STANDARD
@ AT	HDW HARDWARE	STOR STORAGE
B BOARD	HM HOLLOW METAL	STRUCT STRUCTURE
BEL BELOW	HR HORIZONTAL	SYM SYMBOL
BET BETWEEN	HR HOUR	T TREAD
BLDG BUILDING	HRDWD HARDWOOD	TEL TELEPHONE
BLK BLOCK	HT HEIGHT	T&G TONGUE AND GROOVE
BLKG BLOCKING	HVAC HEATING/VENTILATING AIR CONDITIONING	THK THICK
BM BENCHMARK	ID INSIDE DIAMETER	TOP TOP OF BEAM
BOTT BOTTOM	INCL INCLUDING	TOB TOP OF CURB
BRG BEARING	INT INTERIOR	TOC TOP OF CONCRETE
BSMT BASEMENT	KNOCK DOWN	TOP TOP OF PLATE
CB CATCH BASIN	L LONG (LENGTH)	TOP TOP OF SHEATHING
CEM CEMENT	LAM LAMINATED	TOP TOP OF STEEL
CLG CEILING JOIST	LAV LAVATORY	TOP TOP OF SLAB
CLR CLEARANCE	LH LEFT HAND	TOP TOP OF WALL
CLR CENTERLINE	LT LIGHT	TYP TYPICAL
COL COLUMN	LTWT LIGHTWEIGHT	UNO UNLESS NOTED OTHERWISE
COMB COMBINATION	MAS MASONRY	VCT VERTICAL COMPOSITION TILE
CONC CONCRETE	MTL MATERIAL	VERT VERTICAL
CONST CONSTRUCTION	MAX MAXIMUM	W WITH
CONT CONTINUOUS	MB MACHINE BOLT	W/ WITH
CONTR CONTRACTOR	MECH MECHANICAL	W/O WITHOUT
D DEEP (DEPTH)	MET METAL	WC WATER CLOSET
d DETAIL	MFR MANUFACTURER	WD WOOD
DET DETAIL	MIN MINIMUM	WI WROUGHT IRON
DF DRINKING FOUNTAIN	MISC MISCELLANEOUS	WP WATER PROOFING
DIAG DIAGONAL	MO MASONRY OPENING	WR WATER RESISTANT
DIA DIAMETER	MTL METAL	WWW WELDED WIRE MESH
DIM DIMENSION	N NORTH	(N) NEW
DN DOWN	NAT NATURAL	(E) EXISTING
DR DOOR	NOT IN CONTRACT	(R) REPLACEMENT
DTL DETAIL	NIC NOMINAL	
DWG DRAWING	NCISE NCISE REDUC'N	
E EAST	NTS NOT TO SCALE	
EA EACH	OC ON CENTER	
ELEV ELEVATION	OD OUTSIDE DIAMETER	
ELEC ELECTRICAL	OPNG OPENING	
EMER EMERGENCY	OPP OPPOSITE	
EQ EQUAL	PH PANIC HARDWARE	
EW EACH WAY	PLASTER	
EWC ELEC. WATER COOLER	PLYWD PLYWOOD	
EXH EXHAUST	PL PROPERTY LINE	
EXIST EXISTING	PSF POUNDS PER SQ FOOT	
EXP EXPOSED	PSI POUNDS PER SQ INCH	
EXT EXTERIOR	RTDF PRESS. TREATED DOUG. FIR.	
FD FLOOR DRAIN	PVC POLYVINYL CHLORIDE	
FEC FIRE	RA RISER, RADIUS	
EXTINGUISHER	REF REFERENCE	
CABINET	REFL REFLECTED	
FINISH FLOOR	REINF REINFORCING	
FINISH	REQ REQUIRED	
FJ FLOOR JOIST	REV REVISION(S), REVISED	
FLR FLOOR	RH RIGHT HAND	
FOC FACE OF CONCRETE	RM ROOM	
FOF FACE OF FINISH	RO ROUGH OPENING	
FOM FACE OF MASONRY		
FOS FACE OF STUD		
FTG FOOTING		
FUR FURRED(ING)		

DEFERRED SUBMITTALS

- NONE

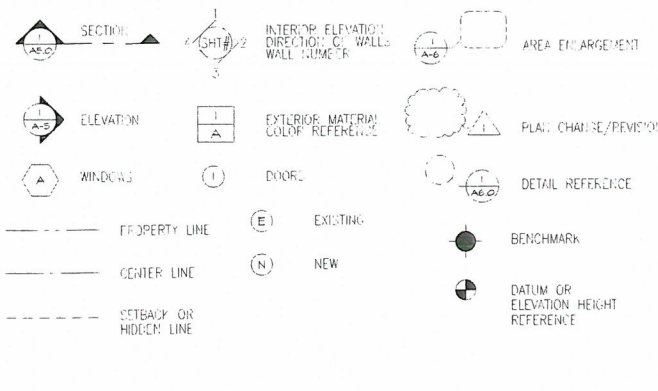
VICINITY MAP - PICTORIAL



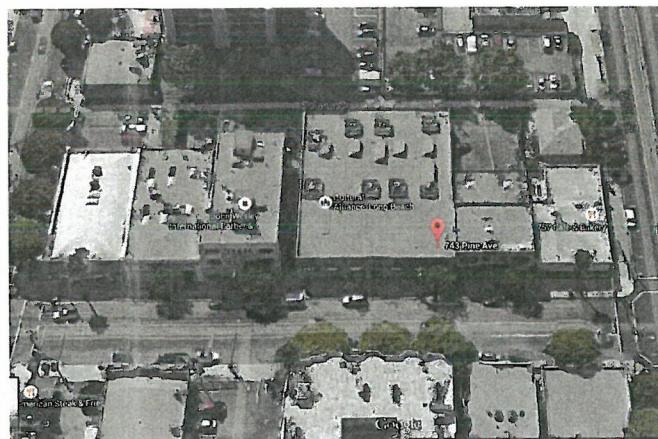
APPLICABLE CODES

- ALL CONSTRUCTION TO COMPLY WITH:
- 2013 CALIF. BUILDING CODE,
 - 2013 CALIFORNIA MECHANICAL CODE
 - 2013 CALIF. T-24-B
 - 2013 CALIFORNIA PLUMBING CODE
 - 2013 CALIFORNIA ELECTRICAL CODE
 - 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE

LEGEND



ASSESSORS PARCEL MAP



PICTORIAL SITE PLAN

ACE OF HEARTS TATTOO TATTOO SHOP / RETAIL TENANT IMPROVEMENTS LONG BEACH, CALIFORNIA 90813



SCOPE OF WORK

- ADD NEW ADA ACCESSIBLE MEN'S & WOMEN'S REST ROOMS
- NEW BUILT IN CABINET & SINKS

PROJECT DATA

SHEET INDEX

- T-S-1 TITLE SHEET & GENERAL NOTES
- A-2 EXISTING & PROPOSED FLOOR PLAN

DIRECTORY

OWNER:
CITY OF LONG BEACH PLANNING DEPT.
CITY OF LONG BEACH PUBLIC WORKS DEPT.
CITY OF LONG BEACH BUILDING DEPT.

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949-836-0085
LIC. 927093

ELECTRICAL ENGINEER:

PLUMBING ENGINEER:

HVAC ENGINEER:

APPROVAL'S

CITY OF LONG BEACH PLANNING DEPT.
CITY OF LONG BEACH PUBLIC WORKS DEPT.
CITY OF LONG BEACH BUILDING DEPT.



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CALIFORNIA LICENSE NO. C-13773

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PROJECT: ACE OF HEARTS TATTOO TATTOO SHOP/RETAIL TENANT IMPROVEMENTS LONG BEACH, CALIFORNIA 90813

SHEET TITLE: TITLE SHEET GENERAL NOTES

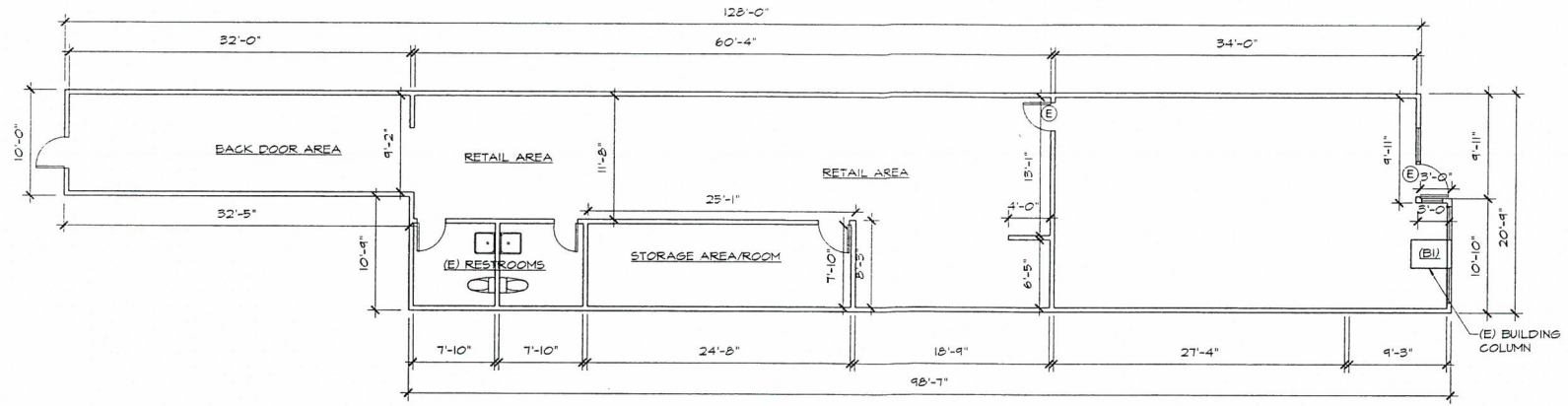
STAMP:

REV.	DESCRIPTION

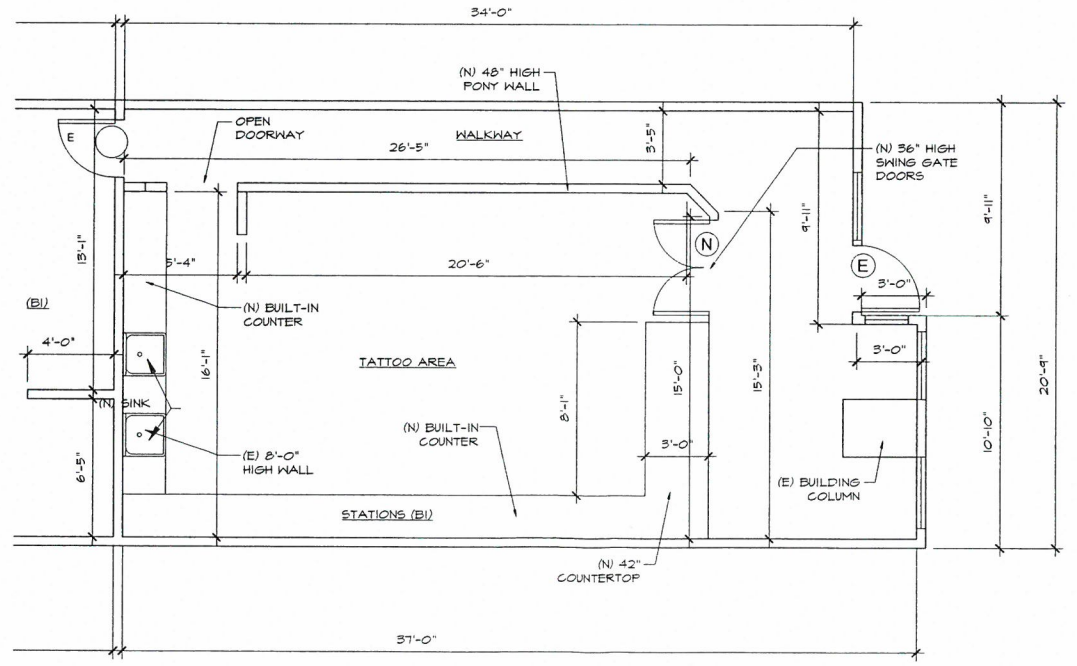
ARCHITECT: J.F. CARLSON
CHECKED: J.F. CARLSON
DRAWN: CADLINKS
DATE: 05-26-2015
SCALE:
JOB NO: 15-011
SHEET

T-S-1

OF SHEETS



1 EXISTING FLOOR PLAN
SCALE: 1/8"=1'-0"



2 PROPOSED FLOOR PLAN CHANGES
SCALE: 1/4"=1'-0"

PROJECT:
ACE OF HEARTS TATTOO
TATTOO SHOP/RETAIL
TENANT IMPROVEMENTS
LONG BEACH, CALIFORNIA 90813

SHEET TITLE:
EXISTING FLOOR PLAN

STAMP:

REV.	DESCRIPTION

ARCHITECT: J.F. CARLSON

CHECKED: J.F. CARLSON

DRAWN: CADLINKS

DATE: 05-24-2015

SCALE:

JOB NO: 15-011

SHEET

A-2

OF SHEETS



BUILDING

LONG BEACH
VINTAGE ETC

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