



_G000	COVER SHEET	A099	B1 LEVEL PLAN	A201	NORTH ELEVATION	A501	ENLARGED UNIT PLANS	A522	ENLARGED UNIT PLANS
_G001	PROJECT SUMMARY	A101	LEVEL 1 PLAN	A202	WEST ELEVATION	A511	ENLARGED UNIT PLANS	A523	ENLARGED UNIT PLANS
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A002	AXON					A518	ENLARGED UNIT PLANS	A531	ENLARGED UNIT PLANS
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A004	PLANNING EXHIBITS					A521	ENLARGED UNIT PLANS	A534	ENLARGED UNIT PLANS

PROJECT DESCRIPTION:
6 STORY MIXED-USE STRUCTURE OVER A SINGLE LEVEL
BASEMENT FEATURING 281 RESIDENTIAL UNITS, AMENITY
AREAS, RETAIL AND PARKING.

THE NEW RESIDENTIAL UNITS WILL FEATURE A COMBINATION
OF STUDIOS, 1 BEDROOM, 2 BEDROOM AND 3 BEDROOM
UNITS.
5% OF THE UNITS WILL BE VERY LOW INCOME.

BUILDING TYPE:
4 STORIES OF TYPE V-A RESIDENTIAL LEVELS OVER
3 LEVELS OF TYPE I-A RESIDENTIAL AND PARKING LEVELS
SEPARATED BY A 3 HOUR HORIZONTAL SEPARATION PER 510.2

APPLICABLE CODES: LEED CERTIFICATION - SILVER
2020 CBC
2020 LBMC

THE PROJECT INCLUDES APPROXIMATELY 507 PARKING
STALLS LOCATED IN THE INTERIOR OF THE BUILDING.

ZONING INFORMATION

ADDRESS:
6700 PACIFIC COAST HWY , LONG BEACH, CA 90803

APN's: 724-201-20-06 & 07

LEGAL DESCRIPTION: TR=PARCEL MAP AS PER BK 147 P 94-95
OF PM*(EX OF BICYCLE TRAIL) LOT 1.
SEE SURVEY

HEIGHT	
BASE HEIGHT per SEASP 2060, Exhibit A, Table 6-4	5 STORIES
ADDITIONAL STORY INCREASE per SB1818, Density Bonus Law Incentive:	1 STORY
TOTAL ALLOWED HEIGHT	6 STORIES
PROPOSED HEIGHT	73' - 0"

SETBACKS			
REQUIRED/ PROPOSED PER SEASP TABLE 6-2			
FRONT (PCH)	REQUIRED:	10'	PROPOSED: 25'
SIDE (STUDEBAKER) *LANDSCAPED	REQUIRED:	4'	PROPOSED: 4'
REAR (MARINA DRIVE)	REQUIRED:	0' TO 10'	PROPOSED: 10'

DENSITY	ALLOWED	PROPOSED
BASE DENSITY per SEASP's baseline trip allocation methodology:	252	
ADDITIONAL 20% INCREASE per SB1818, Density Bonus Law	51	
TOTAL UNITS	303	281 Units
VLI household Units (5% of base)	(13 units)	(13 units)

UNIT MIX	
TYPE	COUNT
STUDIO	17
1B Urban	36
1B	125
2B	85
3B	18
TOTAL	281

PARKING PROVIDED		See next sheet for parking information
ADA (9'-0" x 18') - Residential		7
ADA (9'-0" x 18') - Retail		1
ADA - VAN (9'-0" x 18') - COMMERCIAL		1
ADA - VAN (9'-0" x 18') - Residential		2
ADA EV (9'-0" x 18') - Residential		1
COMPACT (8'-6" x 15') - Residential		5
COMPACT(8'-0" x 15') - Residential 2		14
EV (9'-0" x 18') - Residential		113
EVCS (9'-0" x 18') - Residential		18
STANDARD (8'-6" x 18') - Commercial		11
STANDARD (8'-6" x 18') - Residential		184
TANDEM (8'-6" x 15') - Residential		159
TOTAL STALLS: 516		

BIKE PARKING REQUIRED		
PER SEASP TABLE 6-10		
Multi Family Requirements:	1 bicycle space per 2 units	
Units proposed:	281	
Bicycle spaces required/ provided: 142 required/ 155 provided		
Retail Requirements:	1 space per 5,000 sf	
Retail Proposed:	3,100 sf	
Bicycle Spaces required/ provided: 1 required/ 1 provided		

OPEN SPACE REQUIRED		SEE SHEET G006
Per SEASP Table 6-9		
Minimum Open Space Required Project Area: 20%	20% of Project Area 99,816 SF 19,963 SF	
Maximum Private OS Allowed (25%: 4,990 SF)		
OPEN SPACE PROVIDED (COMMON)		
Open Space (Exterior)		
Level-B1		1,257 SF
Level-3		16,874 SF
Level-3		4,444 SF
Level-3		1,106 SF
Roof		3,820 SF
		27,501 SF
Open Space (Interior)		
Level-B1		3,688 SF
Level-2		1,263 SF
Level-3		1,775 SF
		6,726 SF
Common Open Space Provided		34,227 SF

LOT AREA	
APN	BASE LOT
724-201-20-06	110,484 SF
724-201-20-07	3,390 SF
COMBINED PARCELS: 113,874 SF	

SUMMARY OF INCENTIVES		SEE SHEET G003
GFA 2.0 PER	Southeast Area Specific Plan 2060, Exhibit A SECTION 6.2.c (See A003)	
40% Increase in FAR per SB 1818 State Density Bonus Waiver		

G.F.A. ALLOWABLE (F.A.R.)		SEE SHEET G003
BASE GFA		
ZONE	SITE AREA	GFA FLOOR AREA
	113,874 SF	2.0 227,748 SF
GFA INCREASE		
	BASE AREA	% TOTAL
	227,748	40% 318,847 SF

FAR CALCULATION		SEE SHEET G003
FAR - Non Residential		3,100 SF
Level B1		3,100 SF
FAR - Residential Area		
Level B1		3,936 SF
Level B1		4,286 SF
Level 1		22,992 SF
Level 2		38,991 SF
Level 3		27,102 SF
Level 3		34,430 SF
Level 4		27,833 SF
Level 4		34,488 SF
Level 5		27,820 SF
Level 5		34,488 SF
Level 6		26,019 SF
Level 6		33,328 SF
		315,714 SF
Total FAR Provided		318,813 SF

RESIDENTIAL PARKING STALLS REQUIRED per SB 1818 (Density Bonus Incentive)			
UNIT TYPE	PARKING RATIO	NO. OF UNITS	STALLS REQUIRED
STUDIO	1/UNIT	17	17
1 BED	1/UNIT	161	161
1 BED + DEN	1/UNIT	0	
2 BED	1.5/UNIT	85	128
3 BED	1.5/UNIT	18	27
TOTAL STALLS REQUIRED		281	333

NON-RESIDENTIAL STALLS REQUIRED			
USE	4 SPACE PER 1000 SF	3100 SF	STALLS REQUIRED
RETAIL			12

BICYCLE PARKING REQUIRED per SEASP TABLE 6-10			
MULTIFAMILY RESIDENTIAL	1/2 UNITS	281	141
RETAIL	1/5,000 SF	3,100 SF	1

10% REDUCTION - BICYCLE PARKING*	
TOTAL STALLS PROVIDED	

NOTE:

RESIDENTIAL REQUIRED:	333
NON-RESIDENTIAL REQUIRED:	12
TOTAL PARKING REQUIRED:	345

LONG BEACH ELECTRIC VEHICLE (EV) STALL REQUIREMENTS per IB-050			
USE	PARKING RATIO	TOTAL PARKING	STALLS REQUIRED
MULTIFAMILY DWELLINGS	25% OF RES. PARKING	333	84
TOTAL STALLS REQUIRED			84
TOTAL STALLS PROVIDED			116

LONG BEACH GREEN ELECTRIC VEHICLE CHARGING STATION (EVCS) STALL REQUIREMENTS			
USE	PARKING RATIO	TOTAL PARKING	STALLS REQUIRED
MULTIFAMILY DWELLINGS	5% OF RES. PARKING	333	17
TOTAL STALLS REQUIRED			17
TOTAL STALLS PROVIDED			18

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ACCESSIBLE STALLS PARKING			
USE	PARKING RATIO	TOTAL STALLS	REQUIRED
RESIDENTIAL ACCESSIBLE STALLS (PER CBC 1109A.4)	2% OF ASSIGNED STALLS	333	7
RESIDENTIAL ACCESSIBLE STALLS TO BE VAN STALLS (PER CBC 1109A.8.6)	1:8 (MIN 1)		1
COMMERCIAL ACCESSIBLE STALLS (PER 11B-208.2)	1 to 25	12	1
COMMERCIAL VAN STALLS (PER CBC 11B-208.2.4)	1:6 (MIN 1)		1
(EV) RESIDENTIAL VAN STALLS	1:25 (MIN 1)*	116	4

PARKING SUMMARY		
USE	PARKING REQUIRED	PARKING PROVIDED
RESIDENTIAL STALLS	333	503
NON RESIDENTIAL STALLS	12	13
TOTALS	345	516

RESIDENTIAL PARKING PROVIDED:											
COMPACT STALLS			STANDARD STALLS								
LEVEL	PRIME	TANDEM	STANDARD	ADA	EV (VAN)	EV	EVCS	TOTALS:			
LEVEL B1	5	47	64	7	2	43	9	177			
LEVEL 1	3	66	64	0	0	35	6	174			
LEVEL 2	3	54	56	0	0	36	3	152			
TOTAL:	11	167	184	7	2	114	18	503			
TOTAL COMPACTS:											
178											
PERCENTAGE: 35.39%											
PRIME RESIDENTIAL STALLS PROVIDED= 503 - 167 = 336											
RETAIL PARKING PROVIDED:											
LEVEL			STANDARD	ADA	EV (VAN)	EVCS		TOTAL:			
LEVEL B1			11	1	1	0		13			
LEVEL 1								0			
LEVEL 2								0			
TOTAL:			11		1	0		13			
GRAND TOTAL:								516			

UNIT COUNT (PER TYPE)	
SUB-TYPE	COUNT
S1	2
S11	12
S12	2
S13	1
STUDIO-UNIT: 17	AVG SF: 553 SF

UNIT COUNT (PER TYPE)	
SUB-TYPE	COUNT
A1	9
A2	9
A3	9
A4	1
A5	1
A11	35
A12	35
A12.1	1
A13	16
A13.1	3
A15	3
A16	4
A17	4
A18	1
A19	1
A20	1
A21	8
A22	8
A23	8
A24	4
1B-UNIT: 161	AVG SF: 758 SF

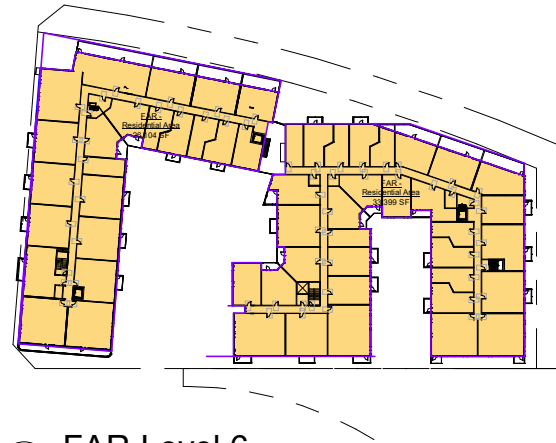
UNIT COUNT (PER TYPE)	
SUB-TYPE	COUNT
B1	8
B2	5
B3	2
B4	1
B6	1
B6.1	1
B8	1
B9	1
B21	8
B21.1	4
B22	20
B23	12
B24	4
B25	3
B26	3
B27	3
B28	4
B29	1
B30	3
2B-UNIT: 85	AVG SF: 1,252 SF

UNIT COUNT (PER TYPE)	
SUB-TYPE	COUNT
C31	6
C32	4
C33	7
C34	1
3B-UNIT: 18	AVG SF: 1,529 SF

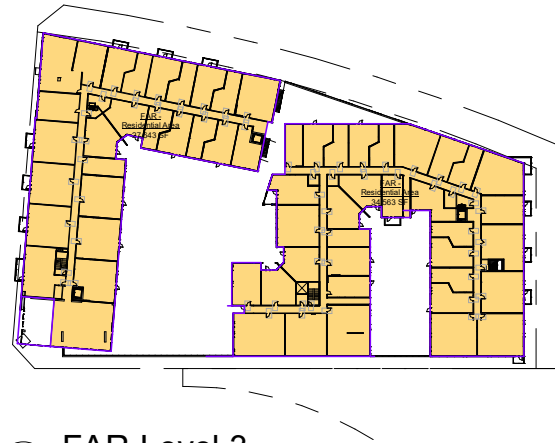
UNIT COUNT (PER TYPE)	
SUB-TYPE	COUNT
Total units: 281	AVG SF: 944 SF

SUB-TYPE	COUNT
AFFORDABLE UNITS	13
S1	1
A1	1
A3	1
A11	2
A12	1
A13	1
A21	1
A22	1
B1	1
B4	1
B21.1	1
C32	1
TOTAL	13

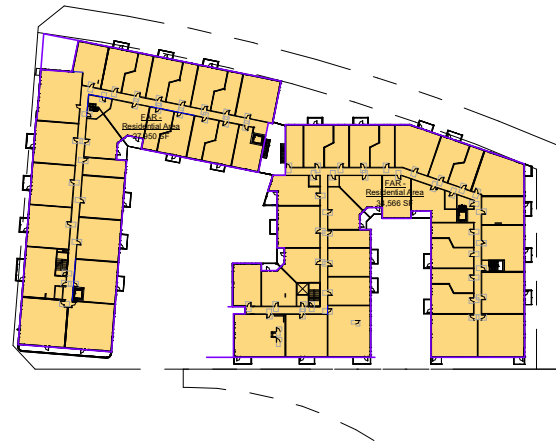
*13 units set aside for Very Low Income households for a period of 55 years. Units shall be distributed throughout the development



6 FAR-Level 6
1" = 160'-0"



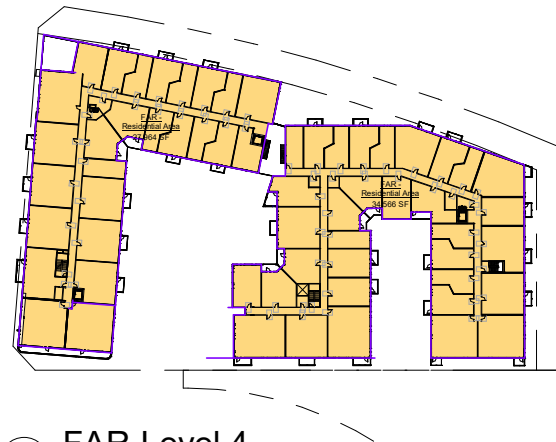
3 FAR-Level 3
1" = 160'-0"



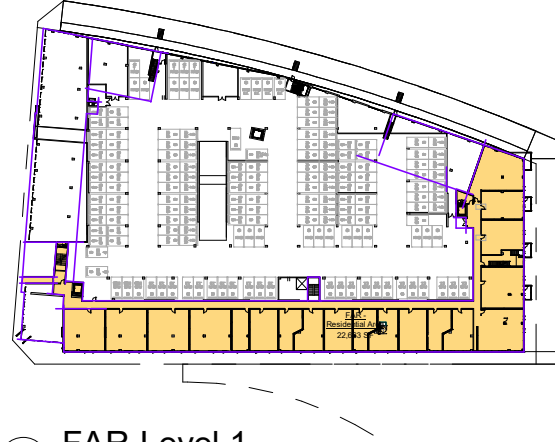
5 FAR-Level 5
1" = 160'-0"



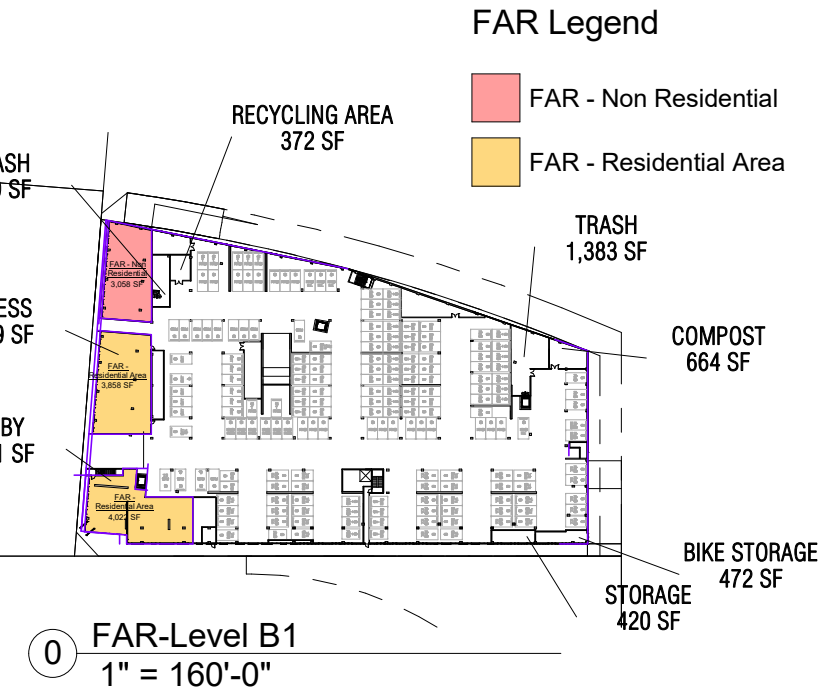
2 FAR-Level 2
1" = 160'-0"



4 FAR-Level 4
1" = 160'-0"



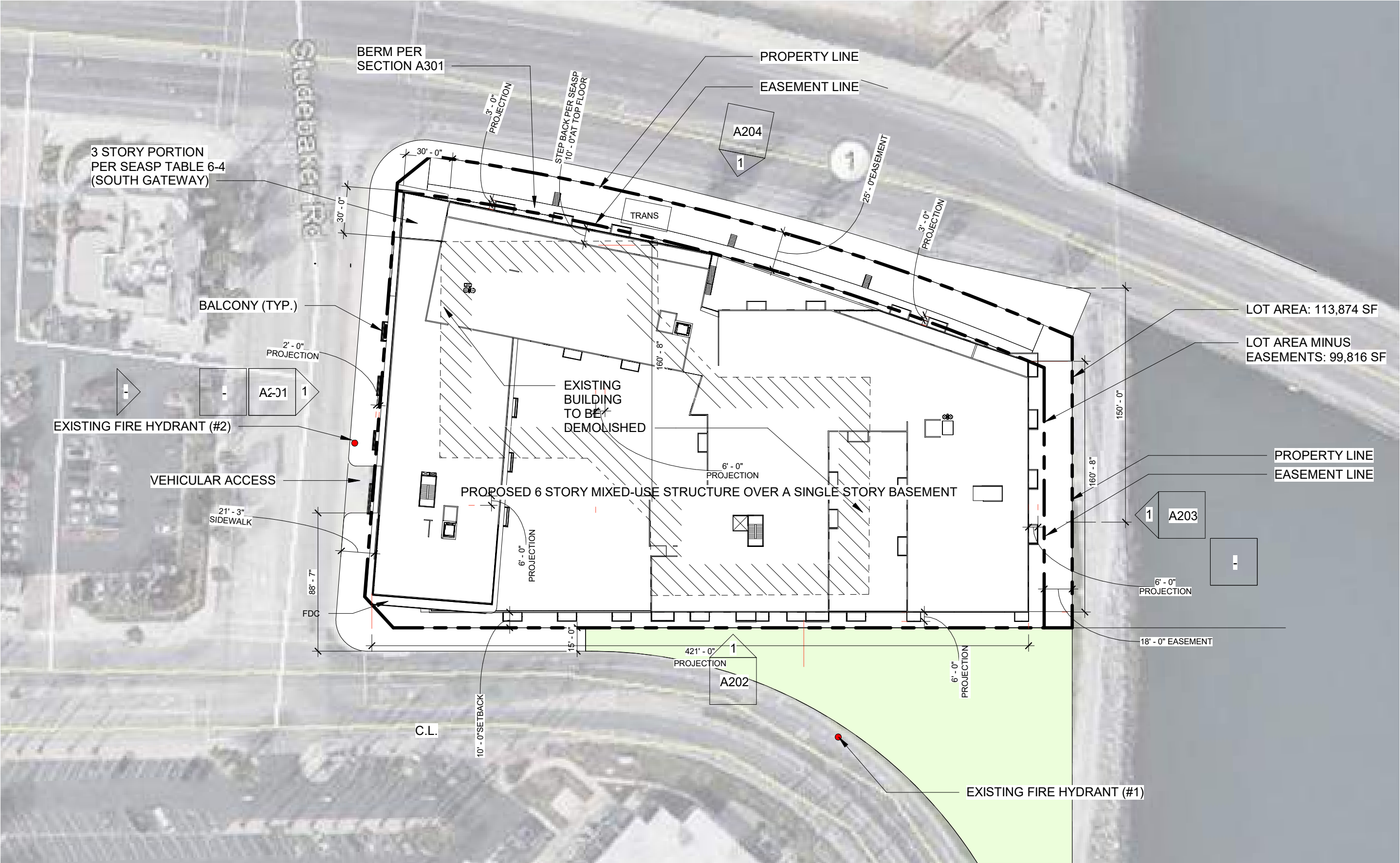
1 FAR-Level 1
1" = 160'-0"

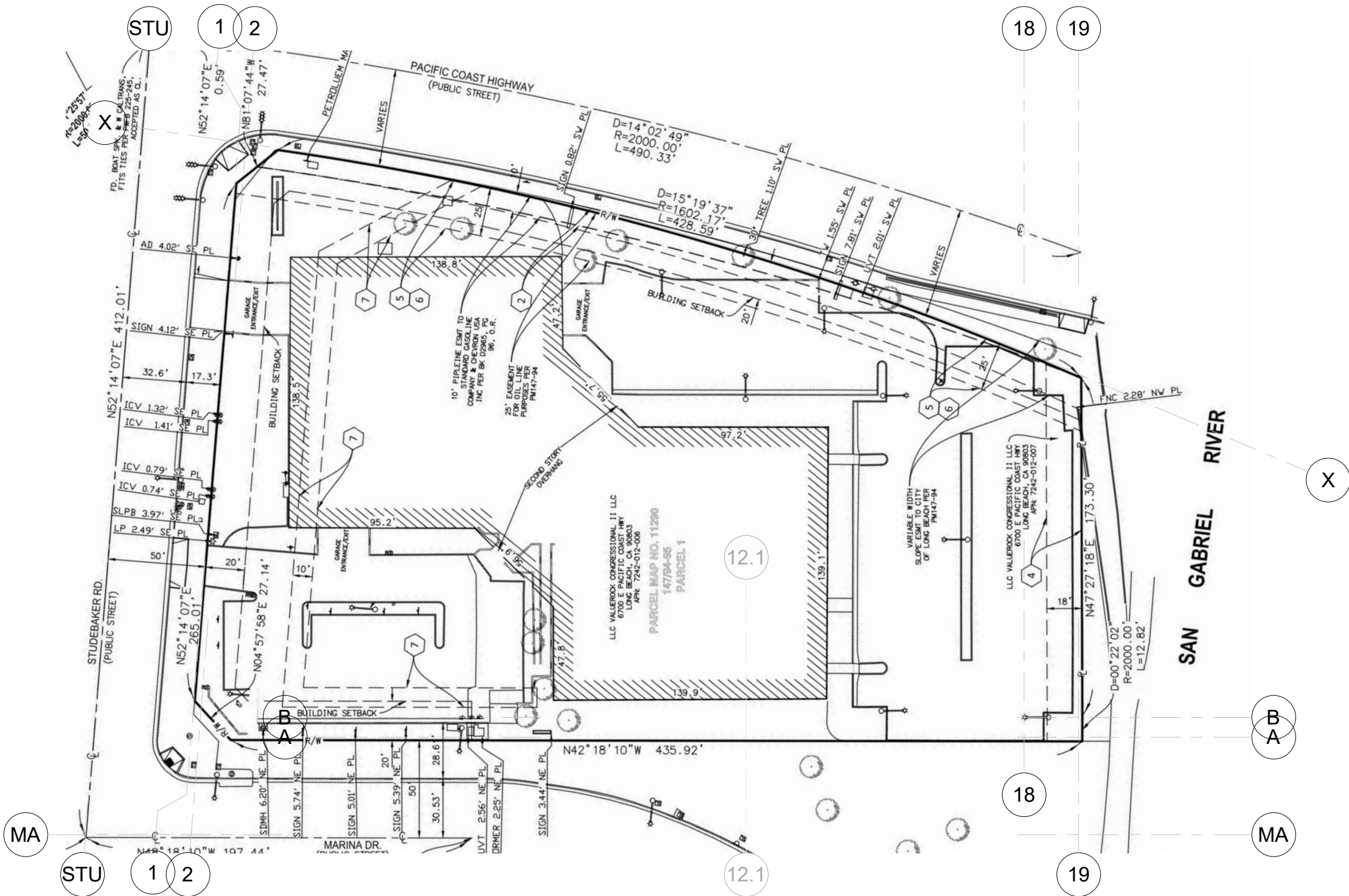


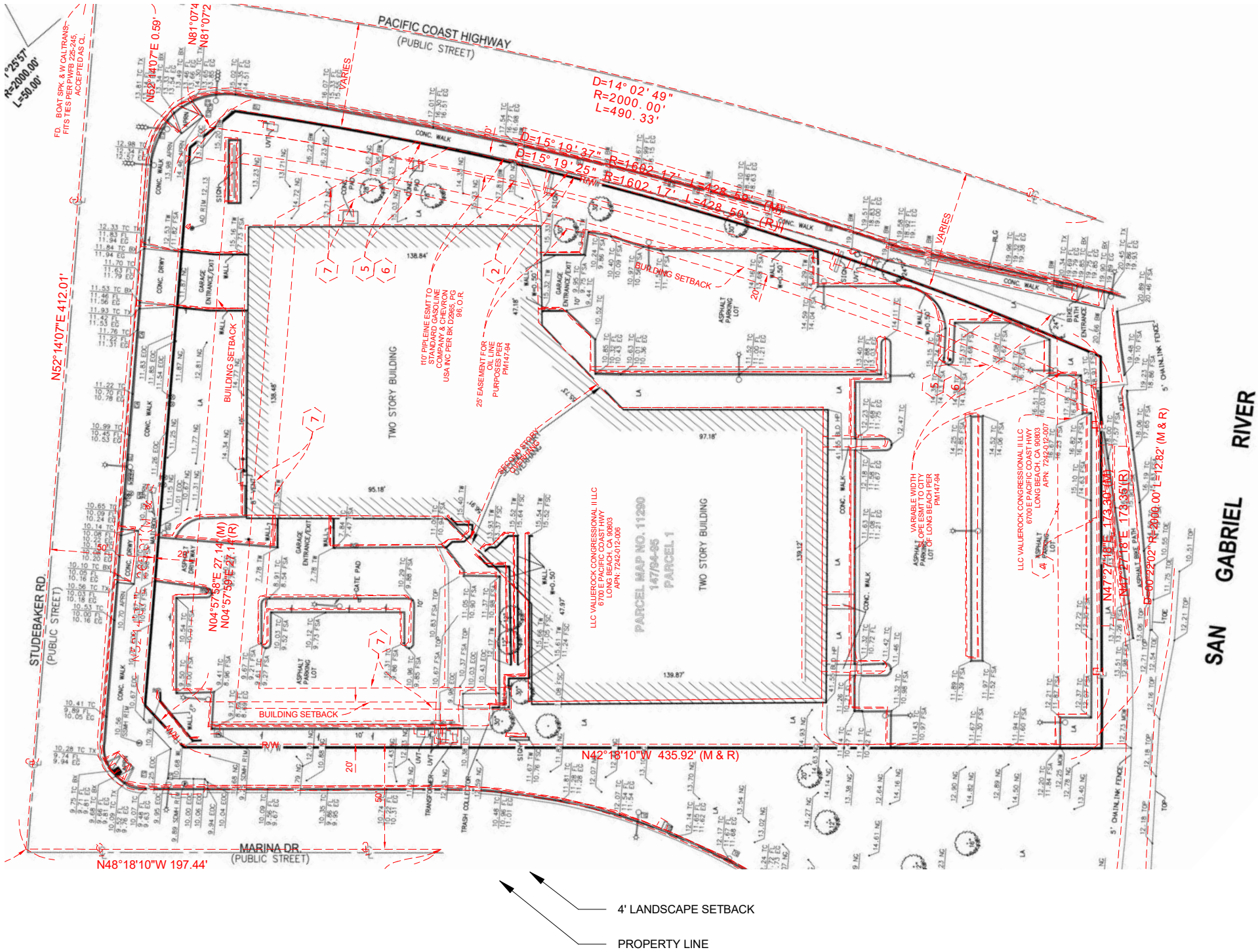
0 FAR-Level B1
1" = 160'-0"

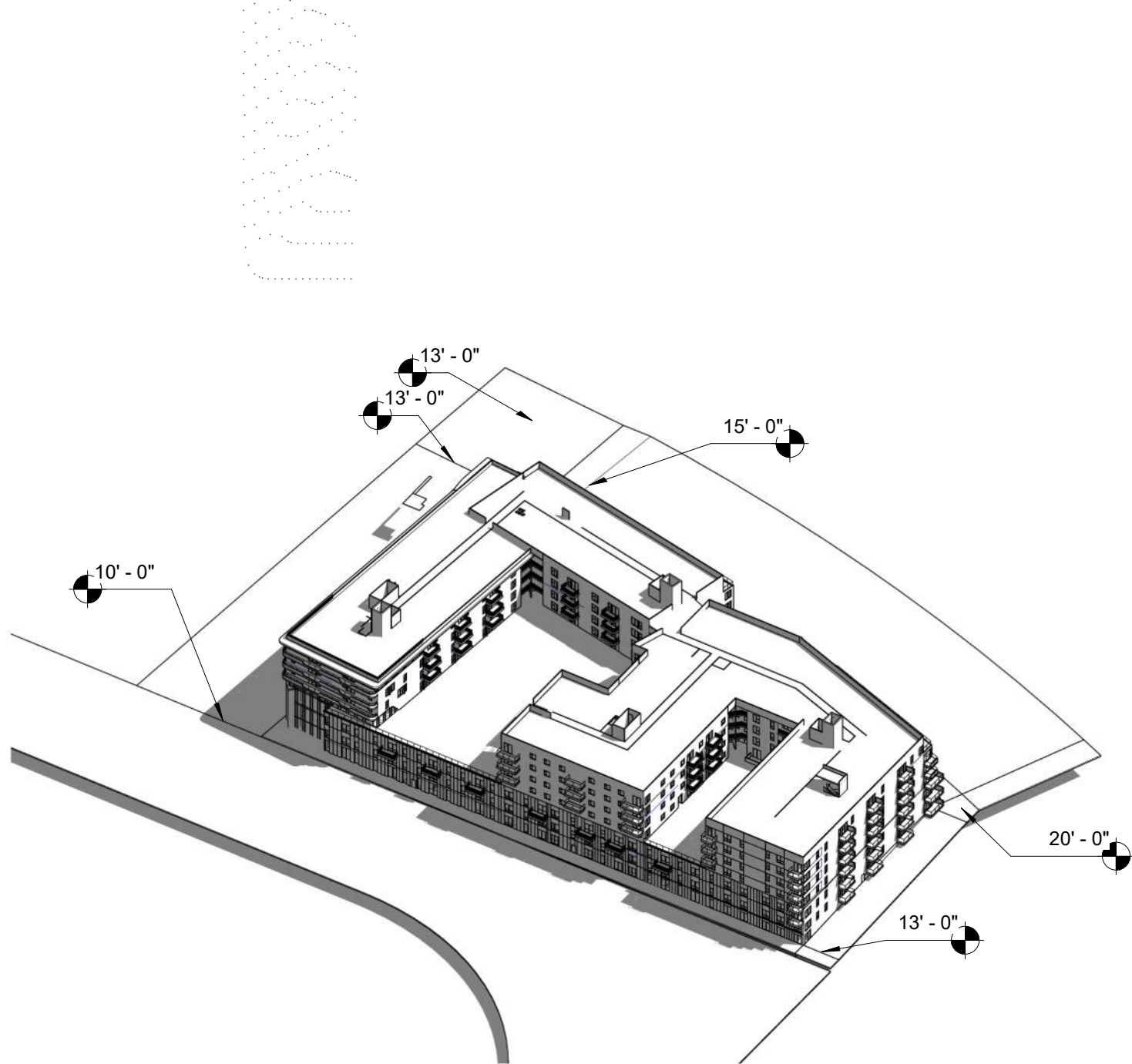
FAR AREA CALCULATION-SD	
FAR -Residential	
Level-B1	8,223 SF
Level-1	22,992 SF
Level-2	38,991 SF
Level-3	61,532 SF
Level-4	62,322 SF
Level-5	62,308 SF
Level-6	59,346 SF
	315,714 SF
FAR- Non-Residential	
Level-B1	3,100 SF
	3,100 SF
Total FAR Provided	318,813 SF

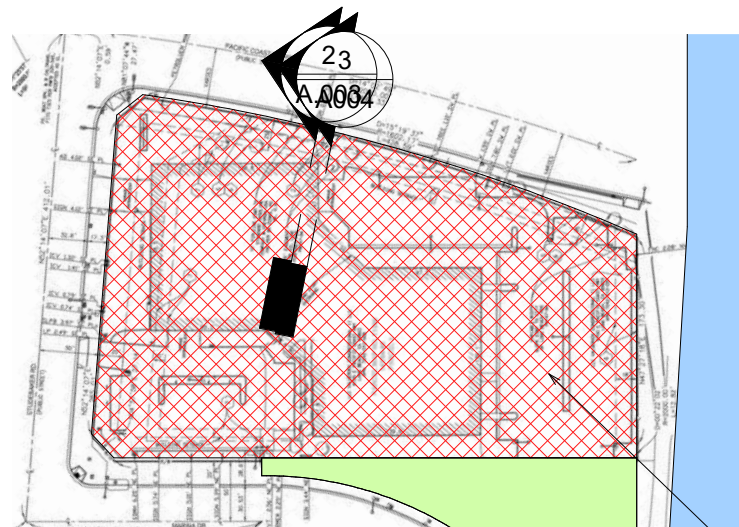
ALLOWED FAR= 318,813











LOT AREA= 113,862 SQ. FT.

BASE FAR= 2 x 113,862 SQ. FT.
= 227,724 SQ. FT.

MAX FAR (BASE +40% BONUS)= 318,813 SQ. FT.



Figure 4-4 Land Use Plan

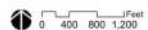
- Single-Family Residential
- Multifamily Residential
- Mobile Homes
- Commercial - Neighborhood
- Mixed-Use Community Core
- Mixed-Use Marina
- Industrial
- Coastal Habitat/Wetlands/Recreation*
- Open Space/Recreation
- Public
- Channel/Marina/Waterway
- Dedicated Right of Way (not built)**
- Right of Way/Caltrans Open Space
- Right of Way
- Specific Plan Boundary
- City Boundary

NOTES:

*Parcel boundaries within the Coastal Habitat/Wetlands/Recreation land use designation include owned parcels that may not have a delineated wetland pursuant to the requirements of (1) US Army Corps of Engineers (Corps) jurisdiction pursuant to Section 404 of the Clean Water Act and Section 10 of the Rivers and Harbors Act, (2) CDFW jurisdiction pursuant to Section 1602 of the Fish and Game Code, (3) RWQD jurisdiction pursuant to Section 401 of the Clean Water Act and Section 13260 of the Porter-Cologne Act, and (4) wetlands as defined under the California Coastal Act.

**Ultimate alignment of Shopkeeper Road shall be designed so that it will not impact a delineated wetland.

Source: City of Long Beach and PlaceWorks



Community Structure and Land Use Plan 51

21.15.1070 - Floor area, gross (GFA).



"Gross floor area (GFA)" means the total area of all floors of a building, as measured to the outside surfaces of exterior walls. Gross floor area includes halls, stairways, elevator shafts, on grade, semi-subterranean, and subterranean garages, lofts and mezzanines, basements, and finished or habitable attics, except as otherwise defined or exempted in a specific Section of this Title. For the purposes of calculating GFA for all residential dwelling units, outdoor roof deck or balcony areas open to the sky or covered by patio cover or similar structure, when enclosed on all sides by a parapet, solid railing or building wall greater than three feet six inches (3'6") in height, shall be included. However, open areas within the building above normal ceiling height shall not be calculated. See also definitions for floor area ratio and lot coverage.

(ORD-19-0028 § 2, 2019; Ord. C-7326 § 3, 1995; Ord. C-6684 § 13, 1990; Ord. C-6533 § 1 (part), 1988)

21.15.1090 - Floor area ratio.



"Floor area ratio" means the numerical value obtained by dividing the gross floor area of a building or buildings located on a lot or parcel of land by the total area of the lot or parcel of land (Figure 15-6). For purposes of calculating Floor Area Ratio:

- A. For single-family dwellings, up to seven hundred (700) square feet of garage GFA shall be exempted.
- B. For multi-family dwellings, the GFA of all garage areas and parking structures shall be exempted.
- C. For all residential dwelling units, outdoor roof deck or balcony areas open to the sky or covered by a patio cover or similar structure, when enclosed on all sides by a parapet, solid railing or building wall greater than three feet six inches (3'6") in height, shall be included. However, open areas within the building above normal ceiling height shall not be calculated.
- D. For nonresidential buildings, the GFA of all garage areas and parking structures, utility and elevator core stairwells, and restrooms shall be exempted.

(ORD-19-0028 § 3, 2019; Ord. C-6533 § 1 (part), 1988)

Chapter 6

6.2 Mixed-Use Community Core (MU-CC)

a. Development Capacity and Trip Allocation

The amount of development (square feet, units, or rooms) permitted on properties located in the MU-CC designation is determined by a maximum number of trips associated with each site, and is allocated on a trips per acre basis. To determine the number of trips allocated to a site or project, see Section 10.2.5, *Trip Allocation for Mixed-use Designations*.

b. Mix of Uses

- » For parcels over two acres in area, projects shall provide a mix of uses. The mix of uses can be achieved as vertical (on top of each other) or horizontal (neighboring buildings) mixed use.
- » No ground floor medical uses are permitted.
- » Overnight visitor-serving accommodations-/hospitality-oriented uses are a preferred use for MU-CC properties in the Coastal Zone.

c. Intensity

- » Maximum 2.0 Floor Area Ratio (FAR).
- » Maximum 2.25 FAR for overnight visitor-serving accommodations.
- » FAR is measured by dividing the gross floor area of all buildings located on a MU-CC block (each block described below) by the total gross area of the lots or parcels of land that comprise each MU-CC block.
- » MU-CC blocks are defined as:
 - The entirety of the mixed-use area bounded by the Los Cerritos Channel, PCH, 2nd Street, and waterway.
 - The entirety of the mixed-use area bounded by 2nd Street, PCH, Studebaker Road, and Marina Drive.
 - The entirety of the mixed-use area bounded by 2nd Street, PCH, Studebaker Road, and Shopkeeper Road.
 - The entirety of the mixed-use area bounded by Studebaker Road, PCH, and the San Gabriel River.

GRADE = 107'-6"
(LPMC 21.15.1190/
Average elevation at the
front top of curblin)
 $\frac{15'+20'}{2} = 17'-6"$

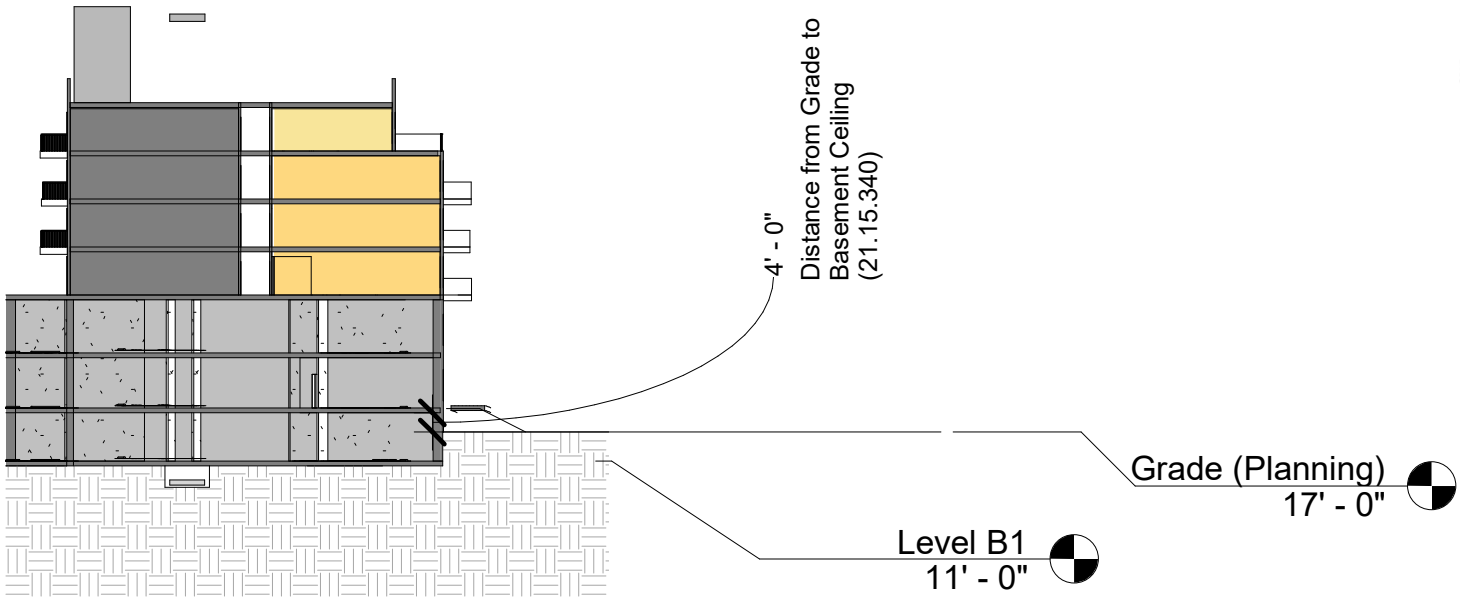
ELEVATION= 15'-0"

ELEVATION= 10'-0"

Assumed Front lot line based on:
1. Orientation to busiest traffic patterns.
2. Orientation to Community Context
3. Most visible frontage from Community Vantage Point.
(Zoning Administrator to confirm)

ELEVATION= 20'-0"

ELEVATION= 105'-0"



3 BASEMENT JUSTIFICATION AND HEIGHT
1" = 40'-0"

21.15.1150 - Front lot line.

"Front lot line" is defined as follows:

- A. **Corner Lot.** On a corner lot, the shortest line separating the lot from an abutting street. When two (2) or more recorded lots or fractional lots are developed together, the Zoning Administrator shall determine the front lot line as that most consistent with development patterns on surrounding lots.
- B. **Interior Lot.** On an interior lot, the lot line between the lot and the street.
- C. **Double Frontage.** On a lot fronting on two (2) streets (other than a corner lot), both lot lines abutting the streets shall be considered front lot lines.
- D. **Triangular or Gore-Shaped.** On triangular or gore-shaped lots, any lot line separating the lot from an abutting street, and which is essentially a continuation of the front lot lines of abutting lots.
- E. **Multiple Frontage.** On a lot fronting on three (3) or more streets, the Zoning Administrator shall determine the front lot line based on traffic patterns and the appropriateness of the site plan.
- F. **No Frontage.** On a lot with no street frontage, the front lot line shall be the shortest lot line abutting any public property other than an alley. Wherever no public property abuts the lot, the front lot line shall be the shortest line abutting an alley.

21.15.1190 - Grade.

"Grade" is defined as follows:

- A. The average elevation at the front top of curblin.
- B. If the average elevation of the rear property line differs from that of the front top of curb by five feet (5') or more, then grade shall be the plane connecting the average front elevation and the average rear elevation.
- C. In flood hazard areas, grade means the elevation at flood hazard level or grade as defined above, whichever is the highest point.

(Ord. C-6533 § 1 (part), 1988)

21.15.340 - Basement.

"Basement" means any area or room in a structure in which the ceiling is not more than four feet (4') above grade.

(Ord. C-6533 § 1 (part), 1988)

21.15.2940 - Story.

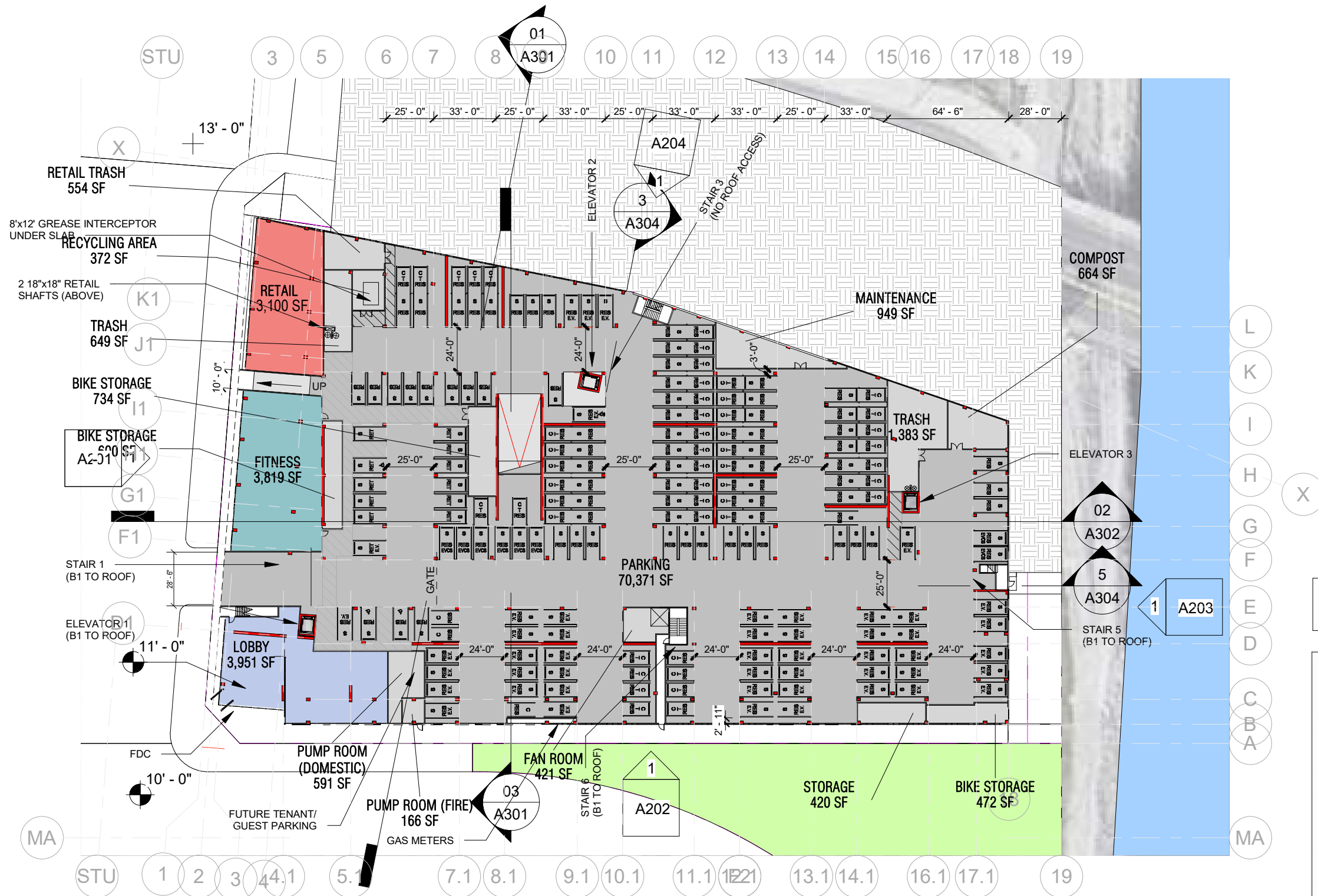
"Story" means that portion of a building included between the surface of any floor and the floor next above it, or if there is no floor above it, then the space between the floor and the ceiling (Figure 15-7). Basements and attics are not stories.

(Ord. C-6533 § 1 (part), 1988)

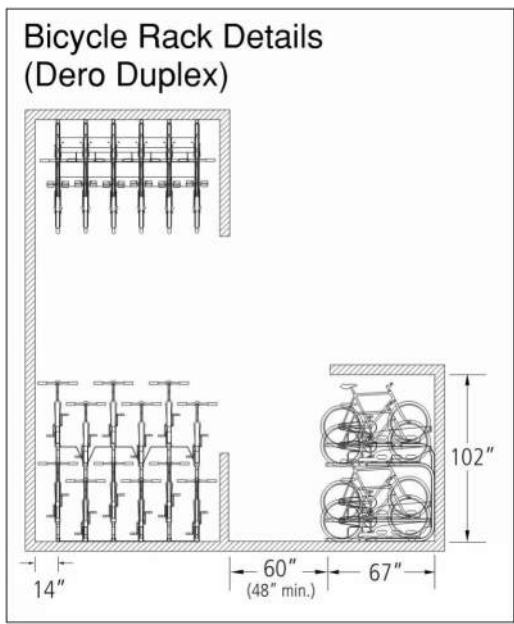
21.15.1330 - Height of building.

- A. The height of a building with a sloped roof is the vertical distance above "grade", as defined in [Section 21.15.1190](#), to the midpoint height of the highest sloped roof. A sloped roof may include, but is not limited to, a shed, hip, gable, gambrel, mansard or curved roof as shown on Figure 15-5 and is defined as a slanting surface covering the top of the structure. The measurement of this vertical distance is further described in [Section 21.15.1335](#).
- B. The height of a building with a flat roof is the vertical distance above "grade", as defined in [Section 21.15.1190](#), to the top of the railing, parapet or coping (whichever is higher). Examples of buildings with flat roofs are shown on Figure 15-5, and include a building with a mansard parapet. The height of a building with a mansard parapet is the vertical distance above "grade", as defined in [Section 21.15.1190](#), to the top of the railing, parapet or coping (whichever is higher).
- C. The height of a stepped or terraced building is the maximum height of any segment of the building. The height of any dormer shall be considered the height of a separate roof. The highest roof or roof segment shall be utilized in determining compliance with the height limit.
- D. A sloped roof that includes an open roof deck that does not exceed ten percent (10%) of the footprint of the principal building is considered a sloped roof for purposes of measuring height. If the roof deck exceeds ten percent (10%) of the footprint of the principal building, the roof deck shall be considered a flat roof and building height shall be measured to the top of the railing, parapet, or coping (whichever is higher).
- E. Elevator and mechanical equipment penthouses shall not be included in the measurement of height for commercial buildings.

(Ord. C-7776 § 1, 2001: Ord. C-7729 § 1, 2001: Ord. C-6933 § 3, 1991: Ord. C-6822 § 1, 1990: Ord. C-6533 § 1 (part), 1988)



Note: Show auto-closing gates with lock at all trash rooms

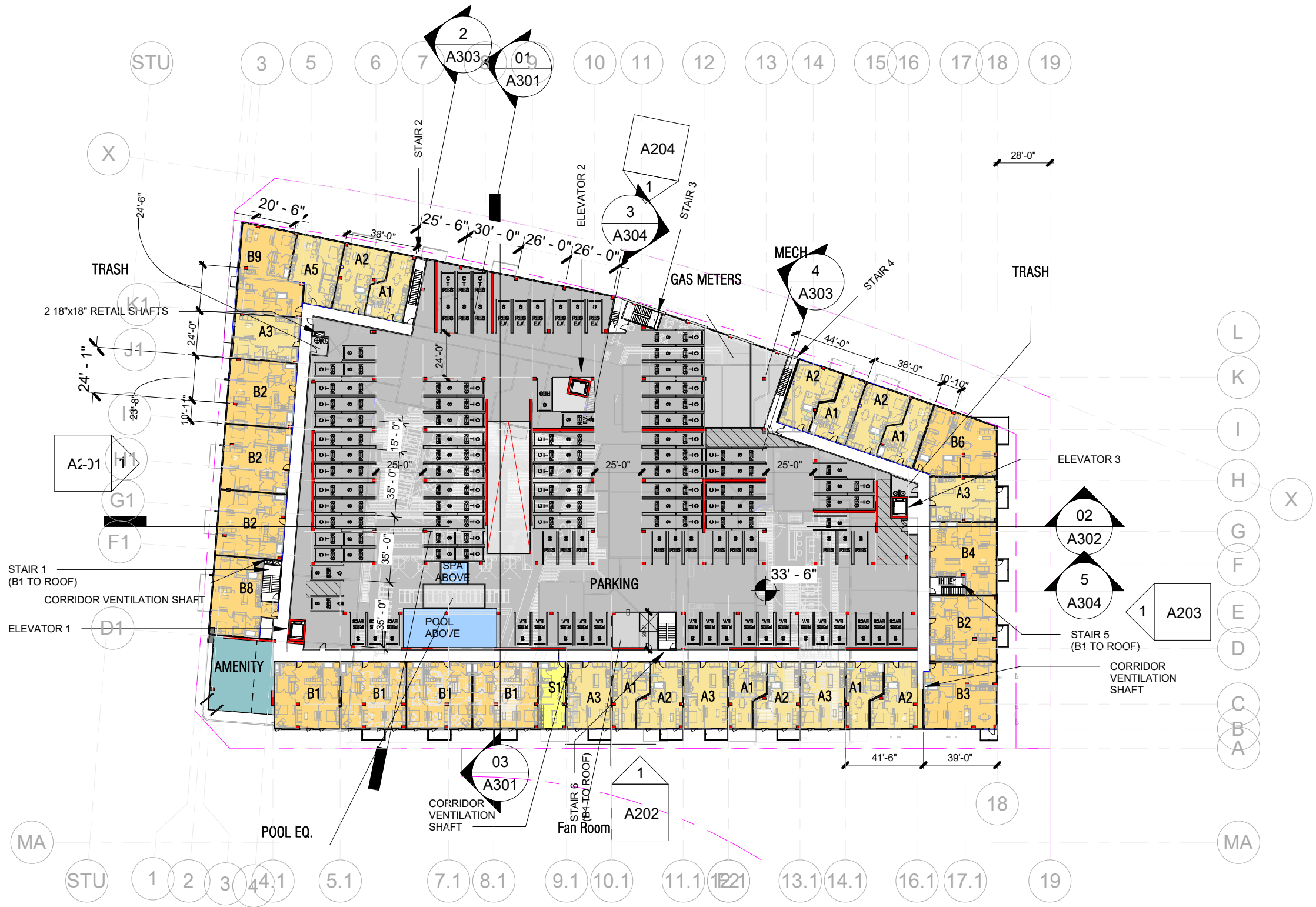




Program Legend

- STUDIO-UNIT
- 1B-UNIT
- 2B-UNIT
- PARKING
- Service

UNIT COUNT LEVEL 1	
1B-UNIT	11
2B-UNIT	7
STUDIO-UNIT	1
Level 1: 19	



Program Legend

- STUDIO-UNIT
- 1B-UNIT
- 2B-UNIT
- Amenity
- PARKING
- Service

UNIT COUNT LEVEL 2	
1B-UNIT	18
2B-UNIT	13
STUDIO-UNIT	1
Level 2: 32	



Program Legend

	STUDIO-UNIT
	1B-UNIT
	3B-UNIT
	2B-UNIT
	Amenity
	Service

UNIT COUNT LEVEL 3	
1B-UNIT	34
2B-UNIT	17
3B-UNIT	2
STUDIO-UNIT	5
Level 3: 58	



Program Legend

- STUDIO-UNIT
- 1B-UNIT
- 3B-UNIT
- 2B-UNIT
- Service

UNIT COUNT LEVEL 4	
1B-UNIT	35
2B-UNIT	16
3B-UNIT	5
STUDIO-UNIT	3
Level 4: 59	





Program Legend

- STUDIO-UNIT
- 1B-UNIT
- 3B-UNIT
- 2B-UNIT
- Service

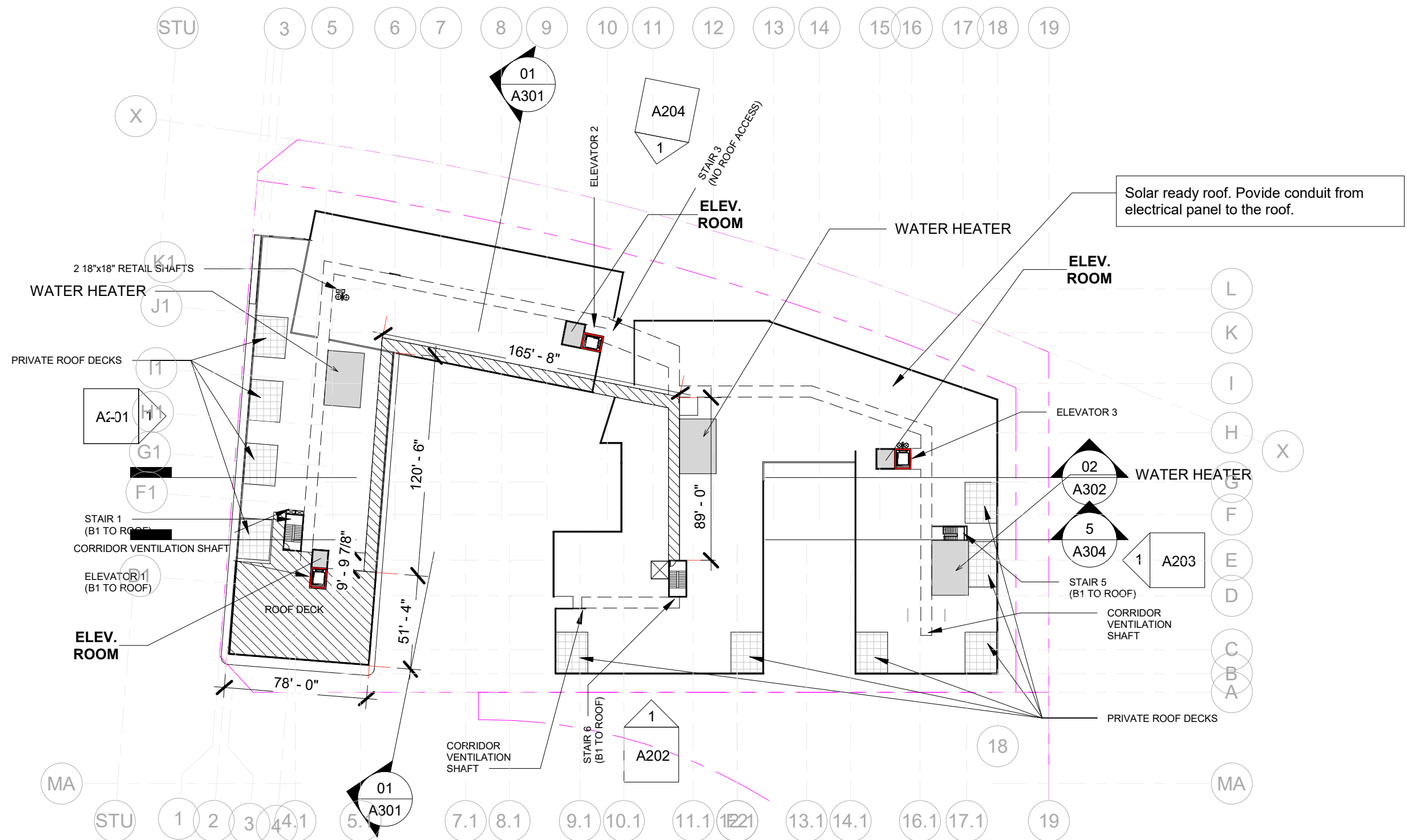
UNIT COUNT LEVEL 5	
1B-UNIT	35
2B-UNIT	16
3B-UNIT	5
STUDIO-UNIT	3
Level 5: 59	

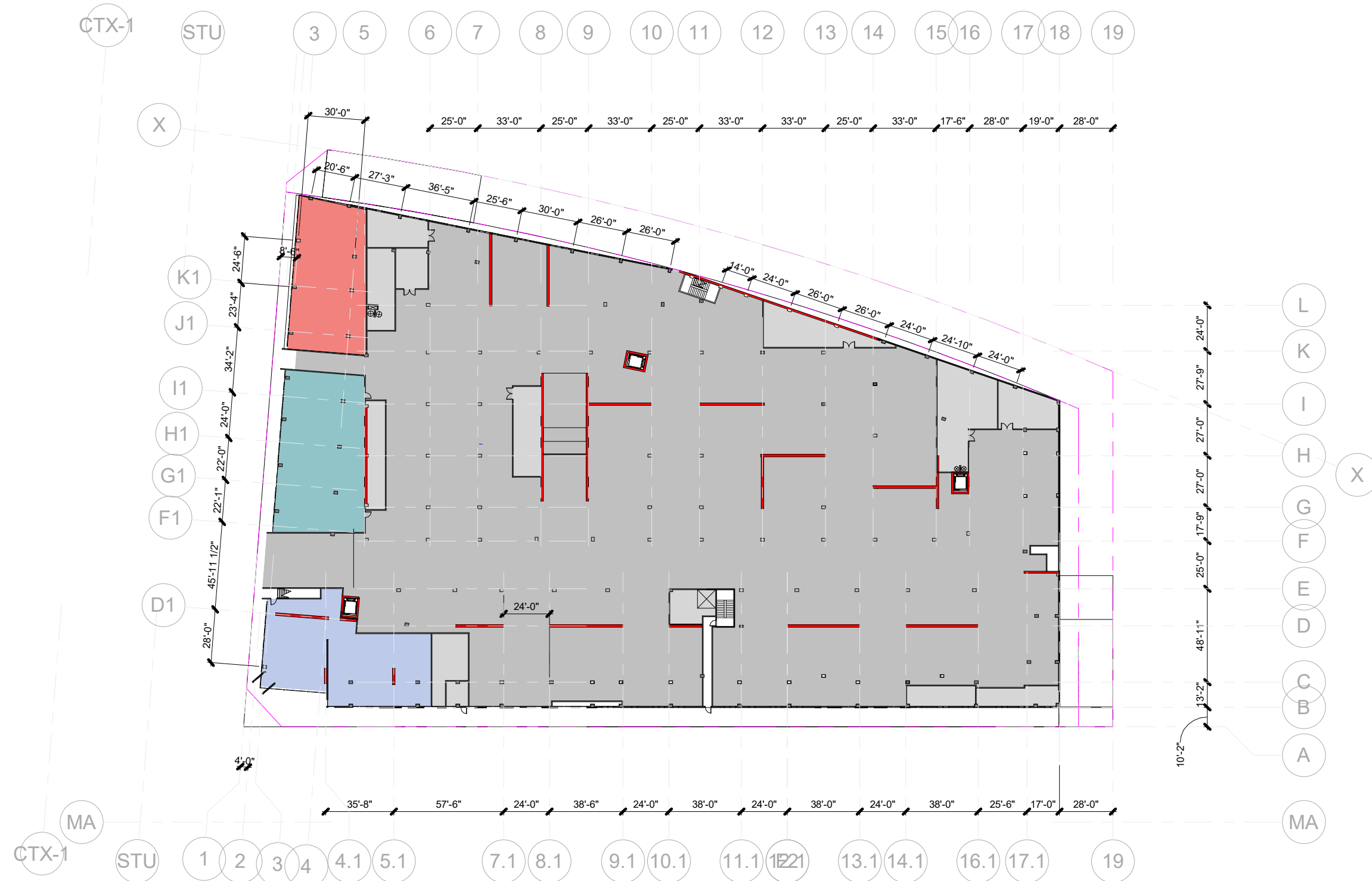


Program Legend

- STUDIO-UNIT
- 1B-UNIT
- 3B-UNIT
- 2B-UNIT
- Service

UNIT COUNT LEVEL 6	
1B-UNIT	28
2B-UNIT	16
3B-UNIT	6
STUDIO-UNIT	4
Level 6: 54	





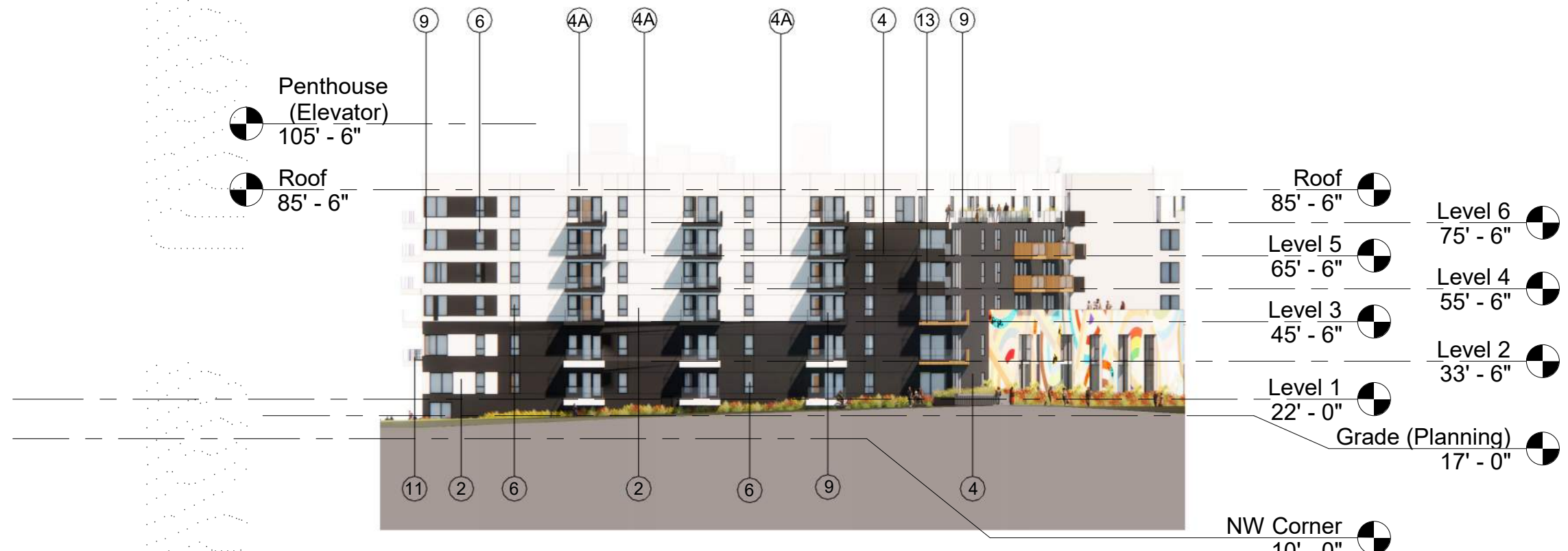


MATERIALS LEGEND

- | | | |
|--|--|----------------------------------|
| ① Smooth Plaster #1 - Charcoal Gray | ⑦ Storefront System | ⑭ Poured in Place Concrete |
| ② Smooth Plaster #2 - White | ⑧ Storefront System | ⑮ Colored Arcade by Local Artist |
| ③ Smooth Plaster #3 - Gray | ⑨ Perforated Metal Panel Guardrail System | ⑯ Glass Guardrail System |
| ④ Smooth Plaster #4 - Charcoal Gray II | ⑩ Galvanized Picket Guardrail System - Black Color | ⑰ Fresh Air Louvers |
| ④A Plaster #5 - White | ⑪ Cable Guardrail System | |
| ⑤ Plaster #6 - Brown | ⑫ Expanded Stainless Steel Mesh and Gate | |
| ⑥ Vinyl Windows -
Minimum recess= 3" (typ.) | ⑬ Wood like Cement Board System | |

*Building facade and openings will be designed to meet the requirements of SEASP 8.3.14 Bird-Safe Treatments.





MATERIALS LEGEND

- | | | |
|---|--|----------------------------------|
| ① Smooth Plaster #1 - Charcoal Gray | ⑦ Storefront System | ⑭ Poured in Place Concrete |
| ② Smooth Plaster #2 - White | ⑧ Storefront System | ⑮ Colored Arcade by Local Artist |
| ③ Smooth Plaster #3 - Gray | ⑨ Perforated Metal Panel Guardrail System | ⑯ Glass Guardrail System |
| ④ Smooth Plaster #4 - Charcoal Gray II | ⑩ Galvanized Picket Guardrail System - Black Color | ⑰ Fresh Air Louvers |
| ④A Plaster #5 - White | ⑪ Cable Guardrail System | |
| ⑤ Plaster #6 - Brown | ⑫ Expanded Stainless Steel Mesh and Gate | |
| ⑥ Vinyl Windows - Minimum recess= 3" (typ.) | ⑬ Wood like Cement Board System | |

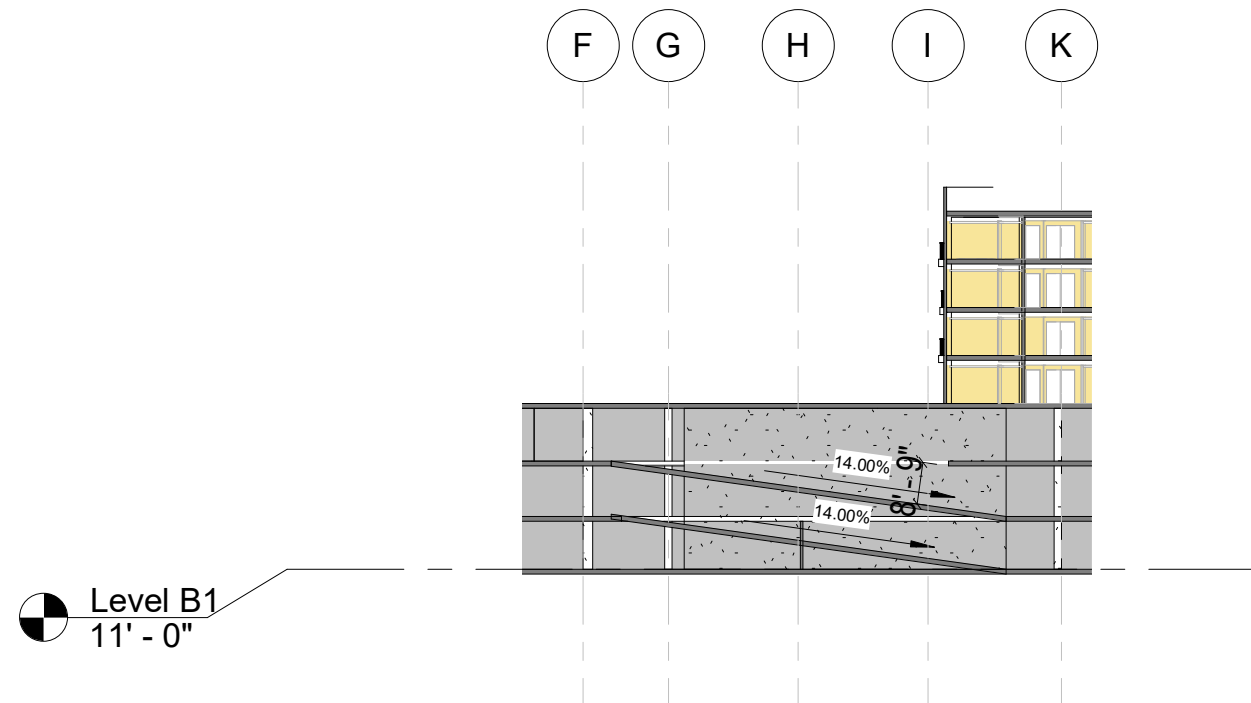
*Building facade and openings will be designed to meet the requirements of SEASP 8.3.14 Bird-Safe Treatments.



MATERIALS LEGEND

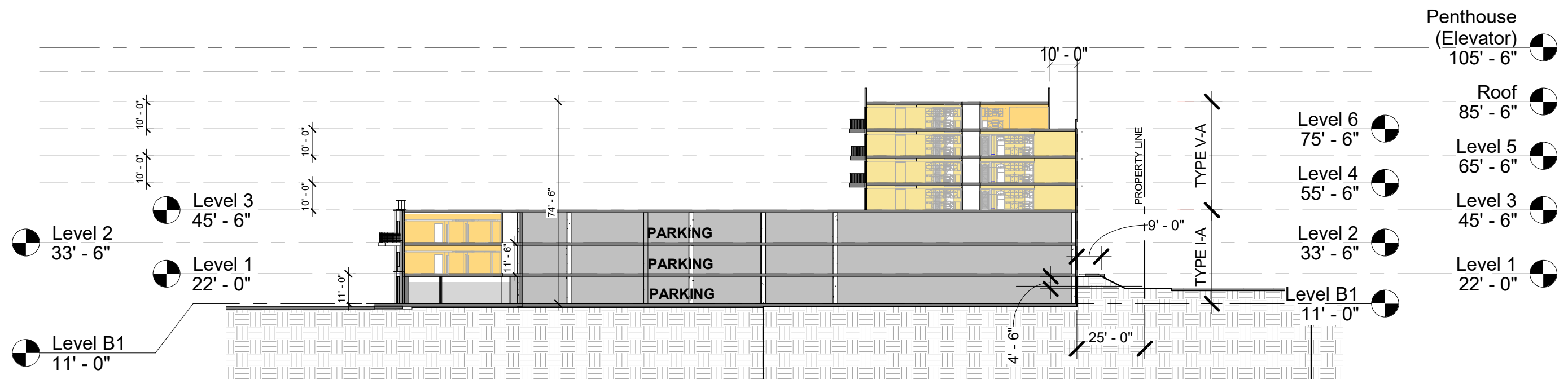
- | | | |
|--|--|----------------------------------|
| ① Smooth Plaster #1 - Charcoal Gray | ⑦ Storefront System | ⑭ Poured in Place Concrete |
| ② Smooth Plaster #2 - White | ⑧ Storefront System | ⑮ Colored Arcade by Local Artist |
| ③ Smooth Plaster #3 - Gray | ⑨ Perforated Metal Panel Guardrail System | ⑯ Glass Guardrail System |
| ④ Smooth Plaster #4 - Charcoal Gray II | ⑩ Galvanized Picket Guardrail System - Black Color | ⑰ Fresh Air Louvers |
| ④A Plaster #5 - White | ⑪ Cable Guardrail System | |
| ⑤ Plaster #6 - Brown | ⑫ Expanded Stainless Steel Mesh and Gate | |
| ⑥ Vinyl Windows -
Minimum recess= 3" (typ.) | ⑬ Wood like Cement Board System | |

*Building facade and openings will be designed to meet the requirements of SEASP 8.3.14 Bird-Safe Treatments.



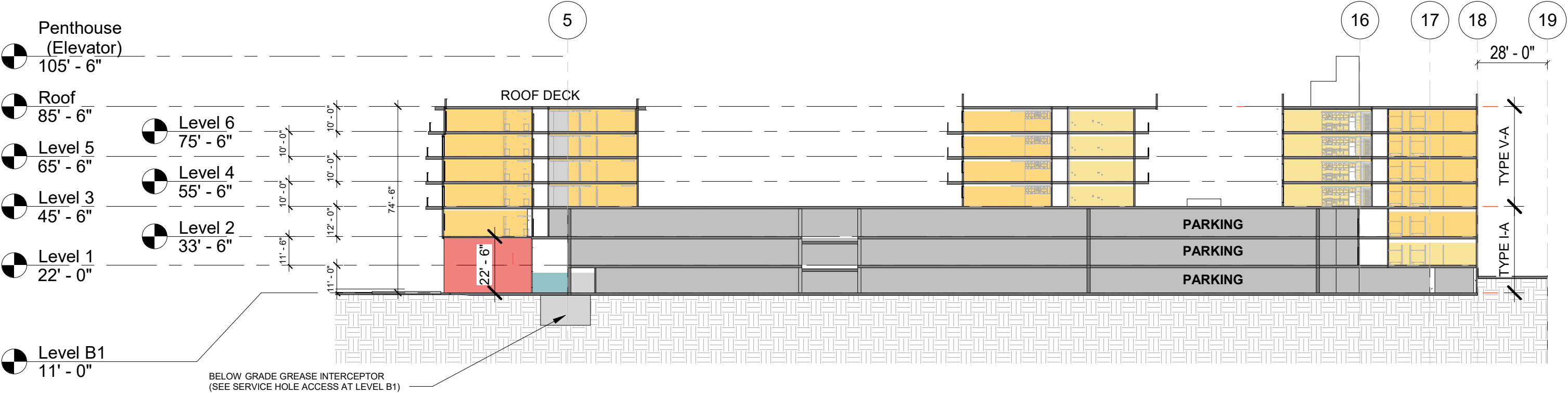
Section 3

SCALE: 1" = 40'-0"



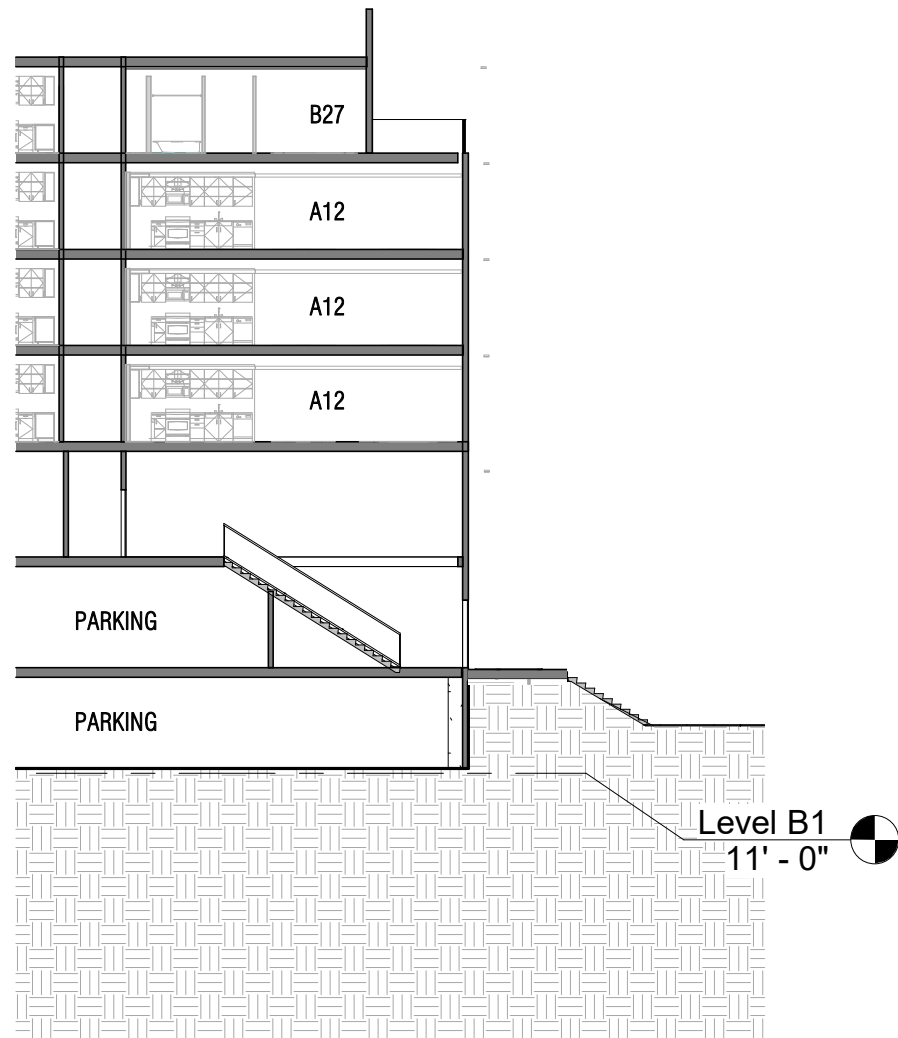
Section 1

SCALE: 1" = 40'-0"



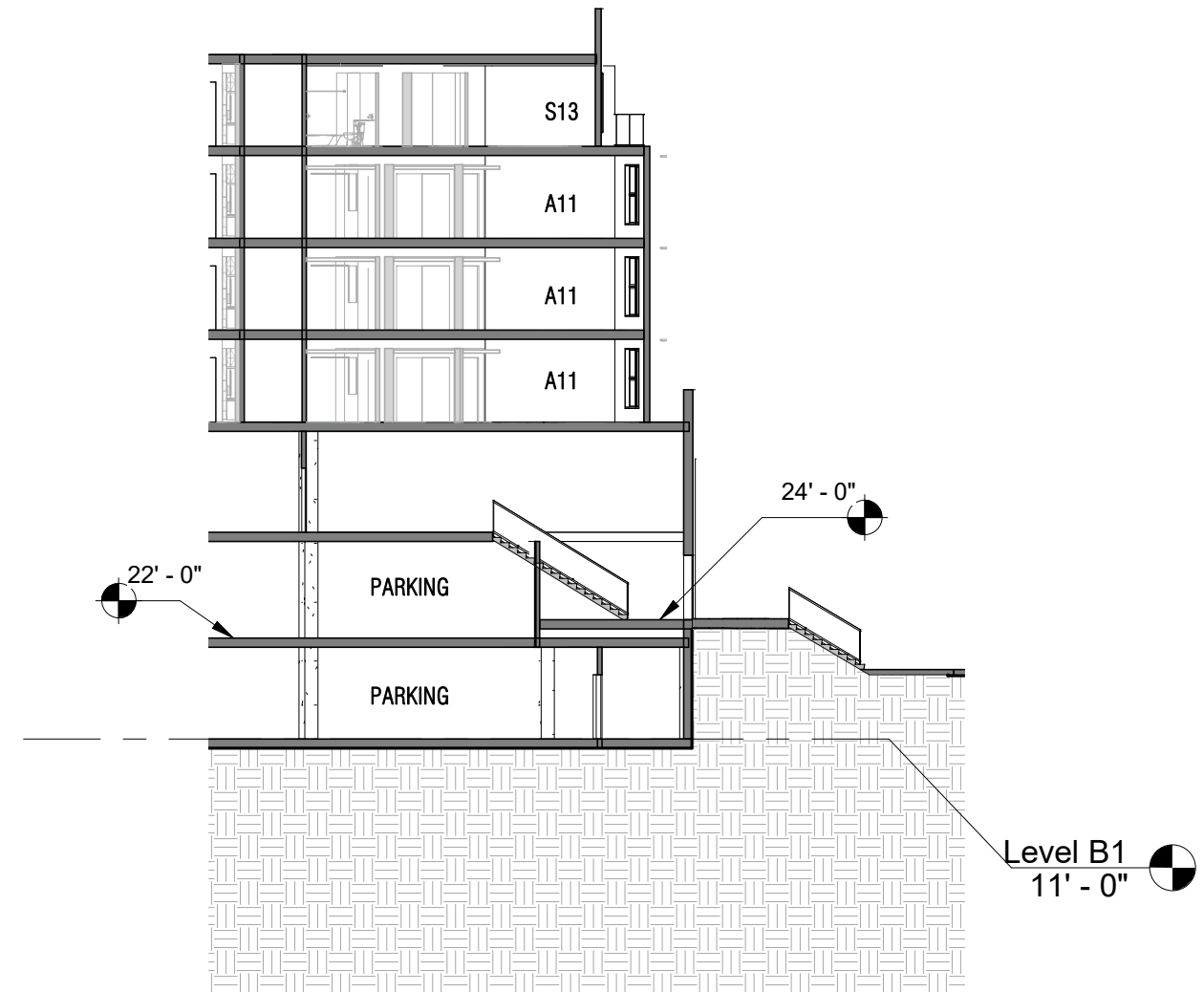
Section 2

SCALE: 1" = 40'-0"



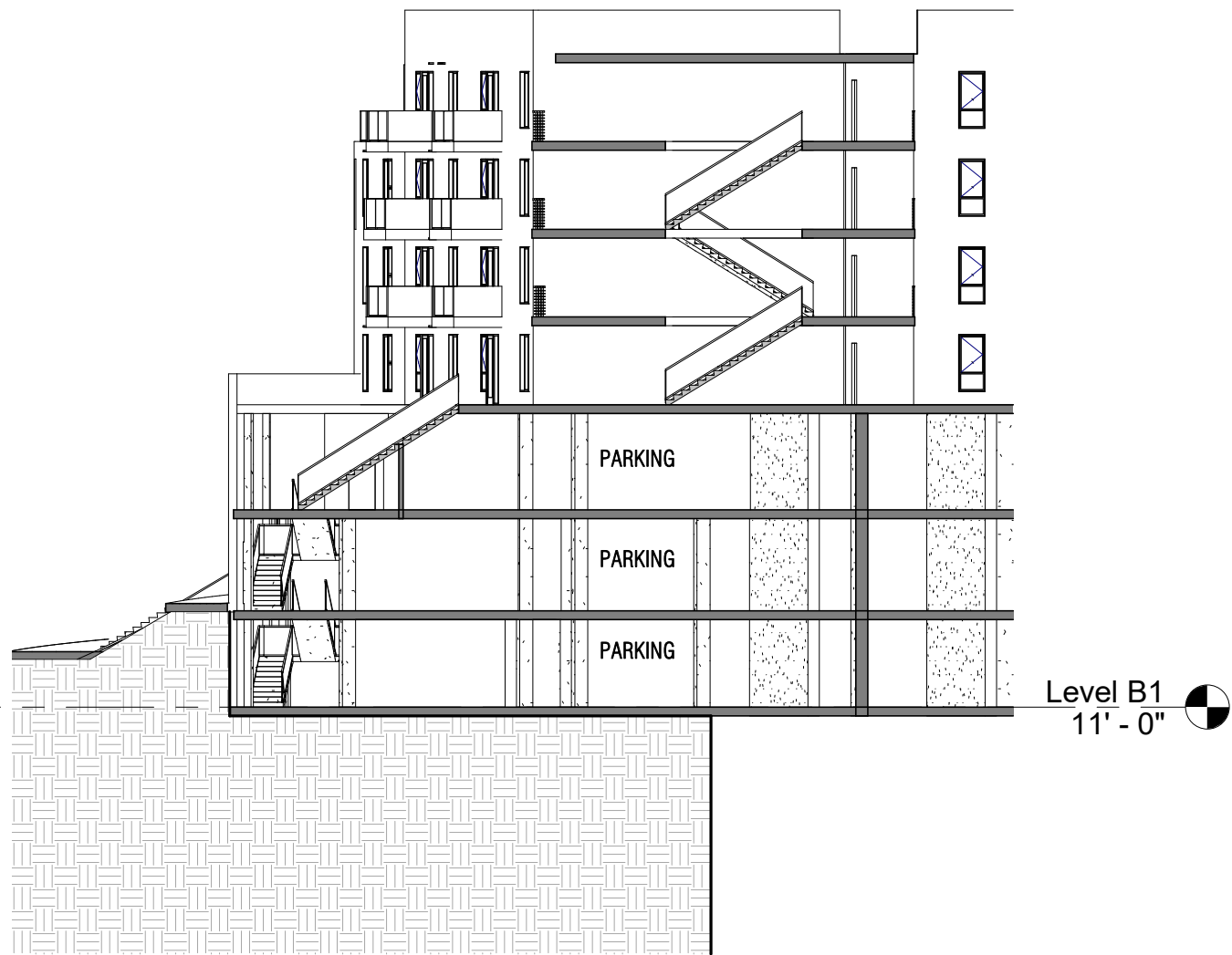
Section @ Stair 2

SCALE: 1" = 20'-0"



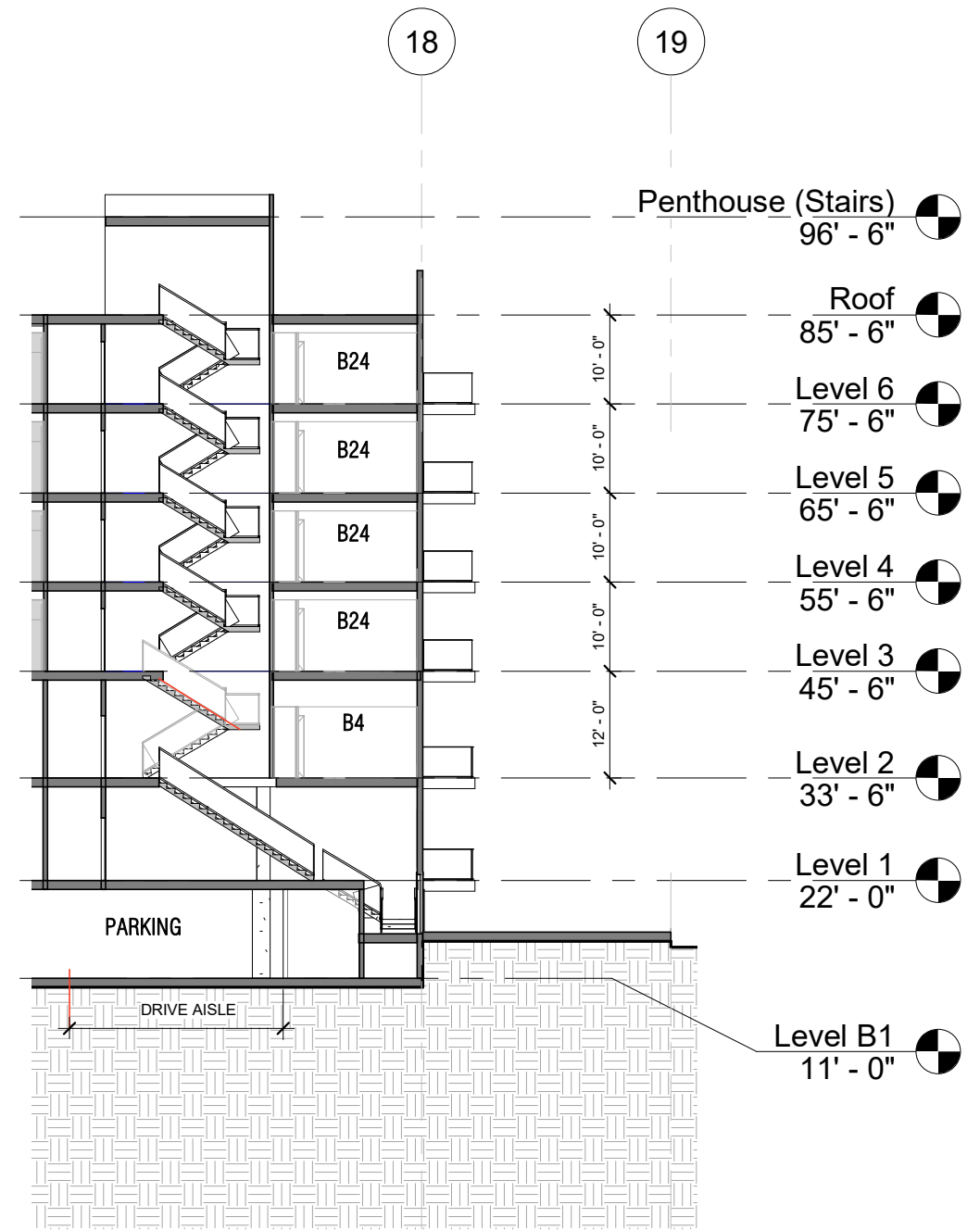
Section @ Stair 4

SCALE: 1" = 20'-0"



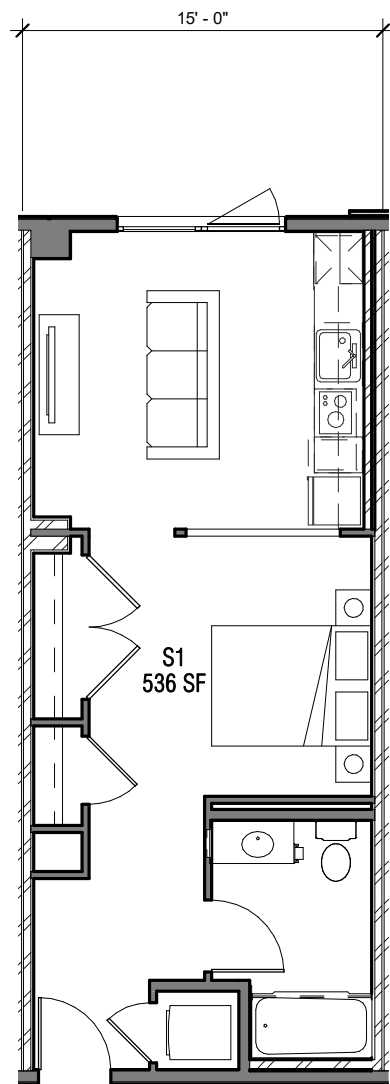
Section @ Stair 3

SCALE: 1" = 20'-0"



Section @ Stair 5

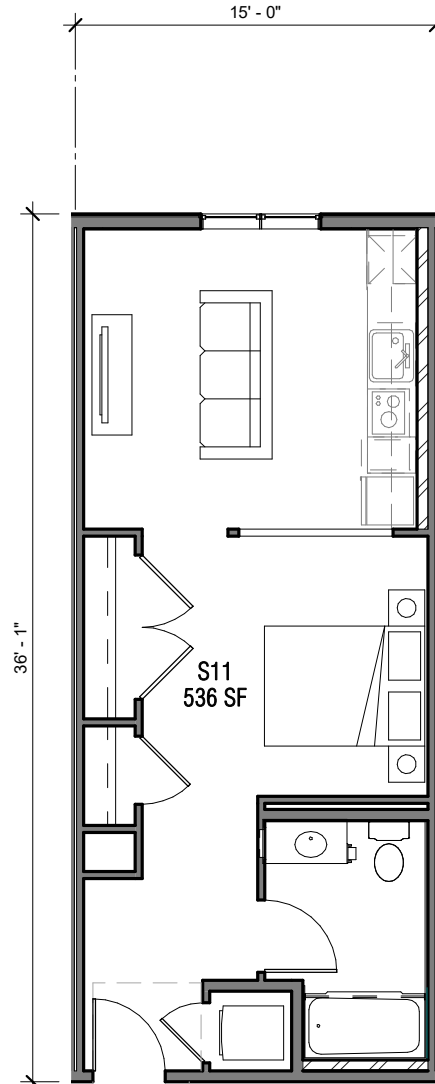
SCALE: 1" = 20'-0"



UNIT S1

SCALE: 1/8" = 1'-0"

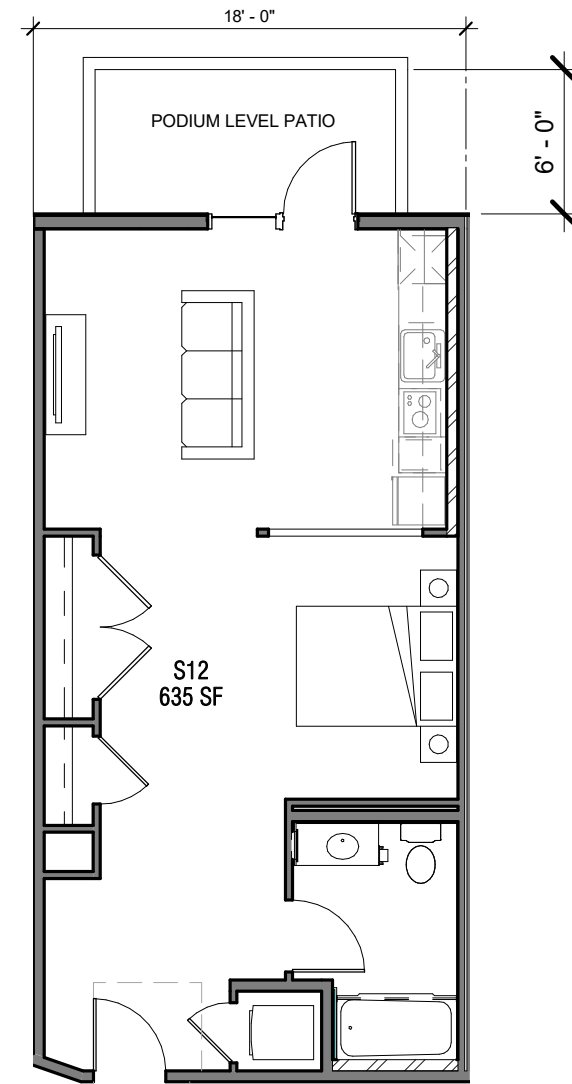
3



UNIT S11

SCALE: 1/8" = 1'-0"

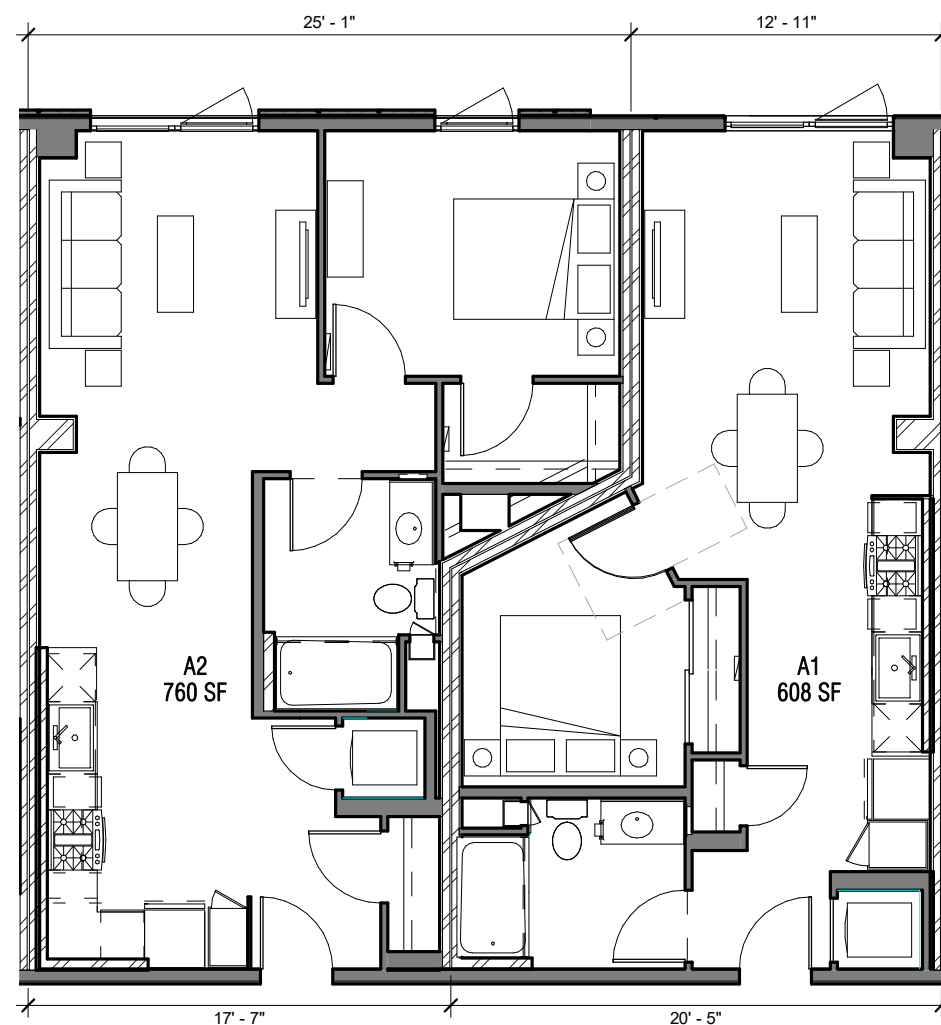
2



UNIT S12

SCALE: 1/8" = 1'-0"

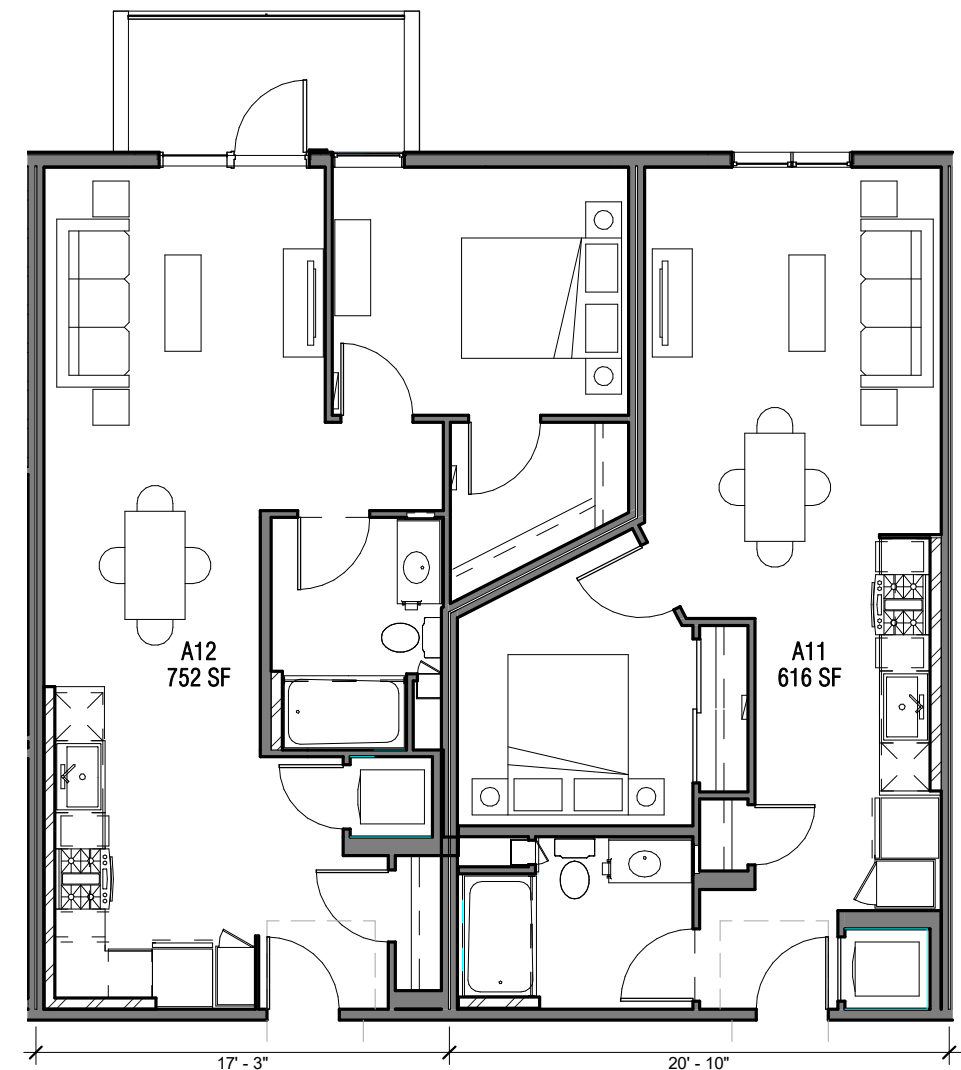
1



UNITS A1 & A2

SCALE: 1/8" = 1'-0"

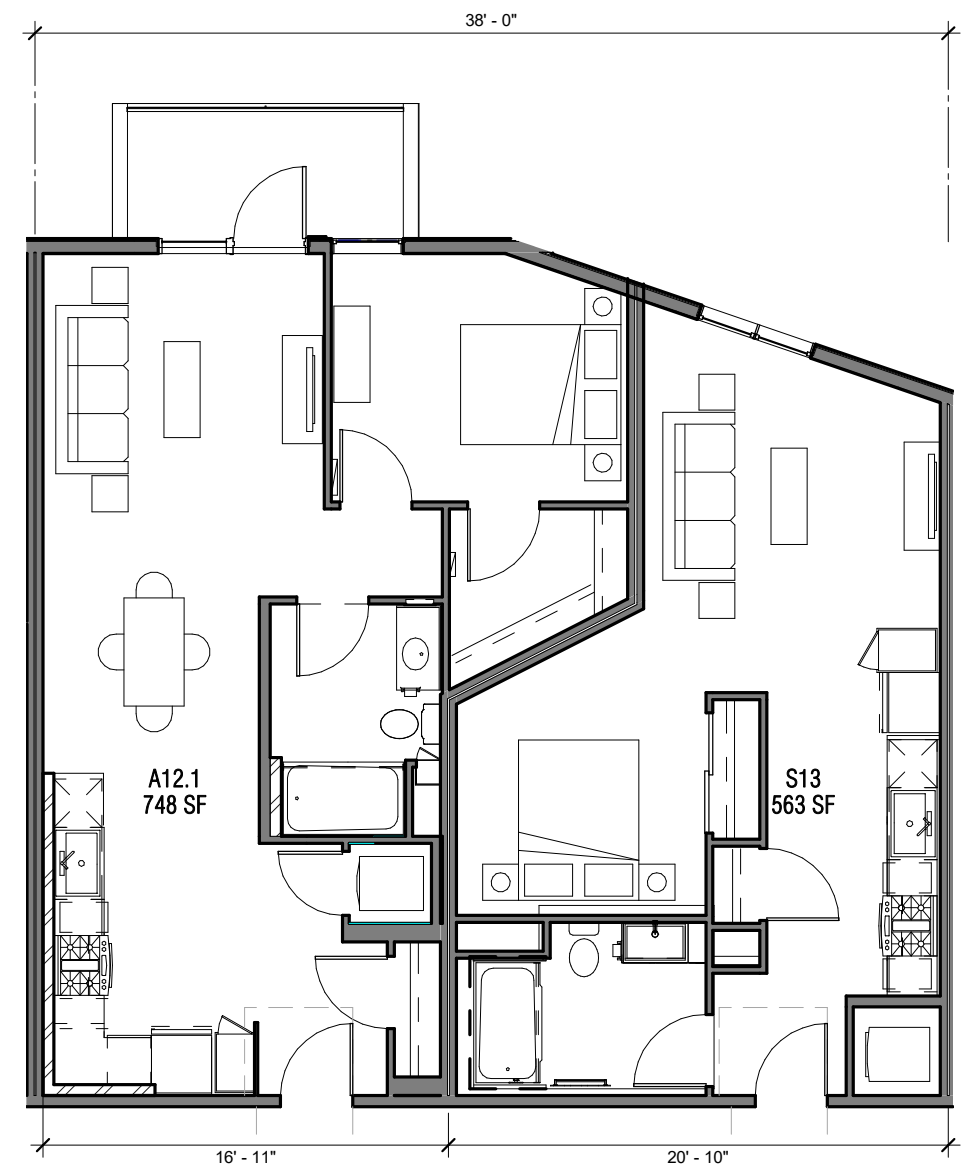
2



UNITS A11 & A12

SCALE: 1/8" = 1'-0"

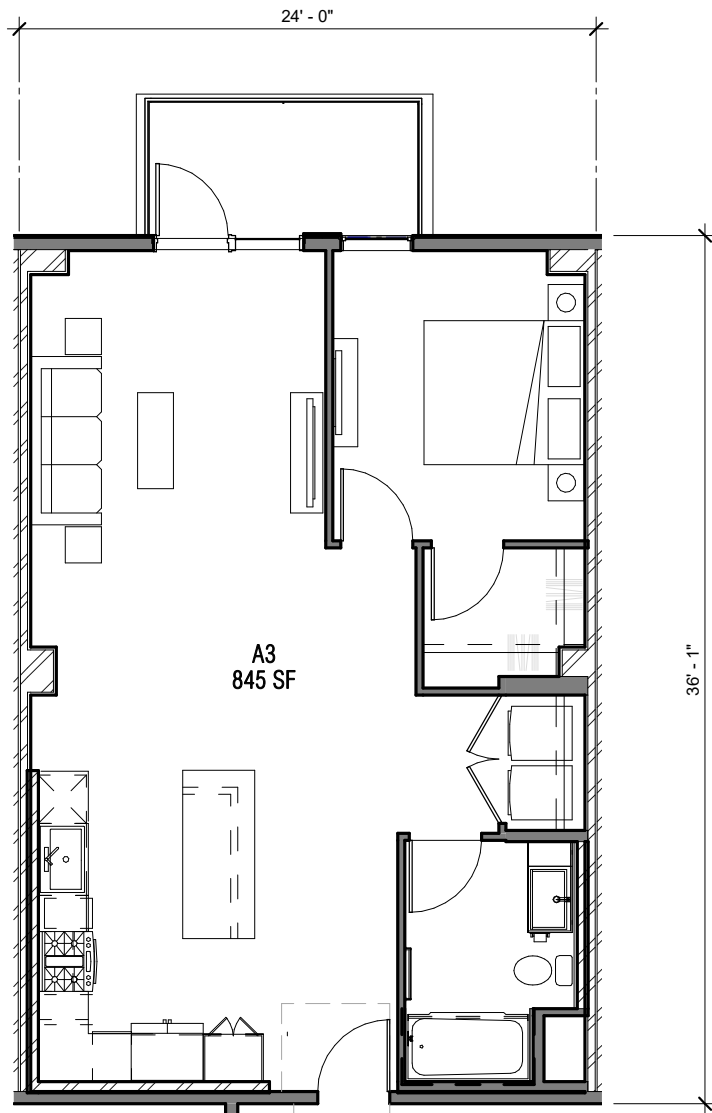
1



UNIT A12.1 & S13

SCALE: 1/8" = 1'-0"

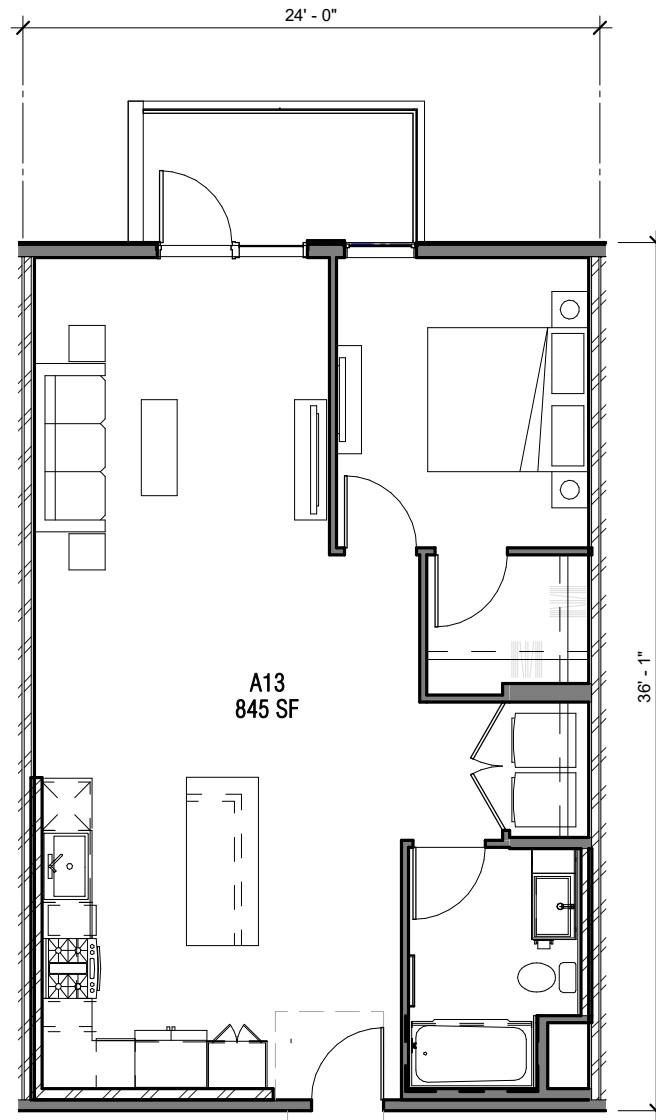
1



UNIT A3

SCALE: 1/8" = 1'-0"

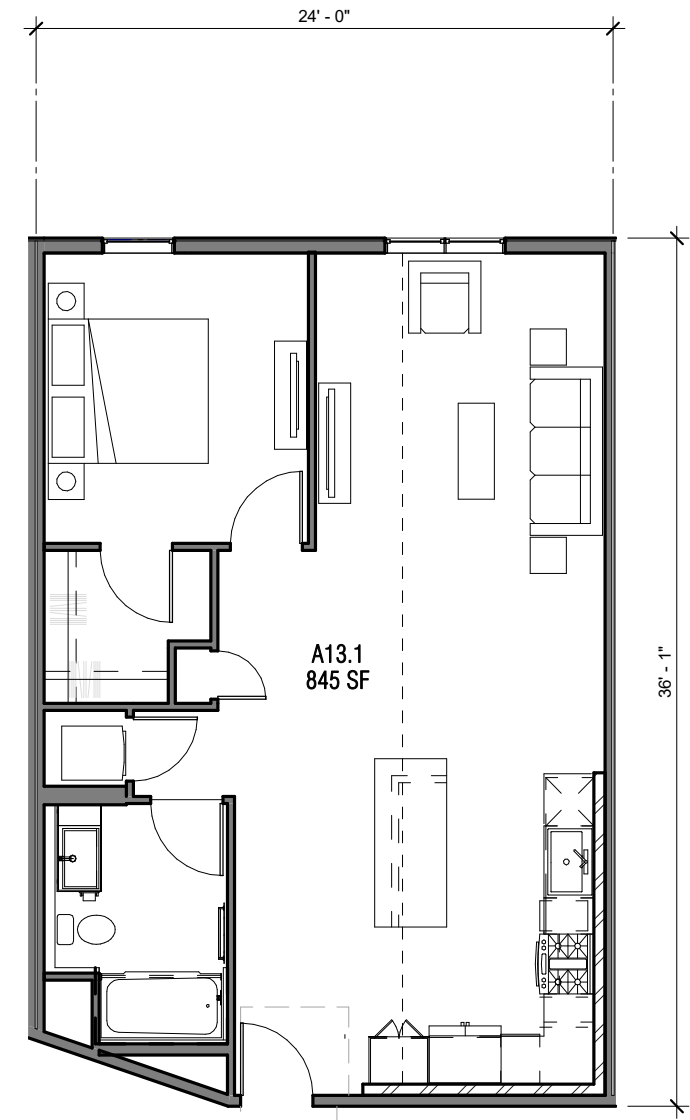
3



UNIT A13

SCALE: 1/8" = 1'-0"

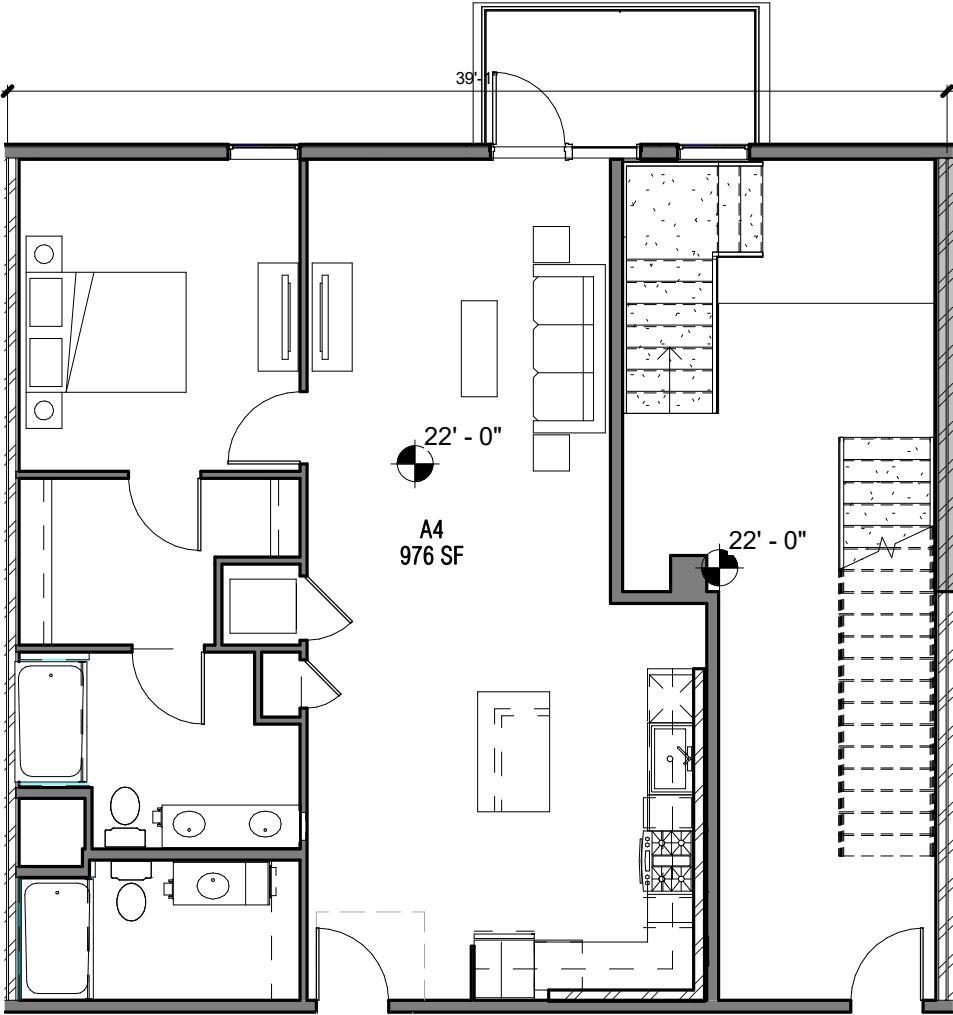
2



UNIT A13.1

SCALE: 1/8" = 1'-0"

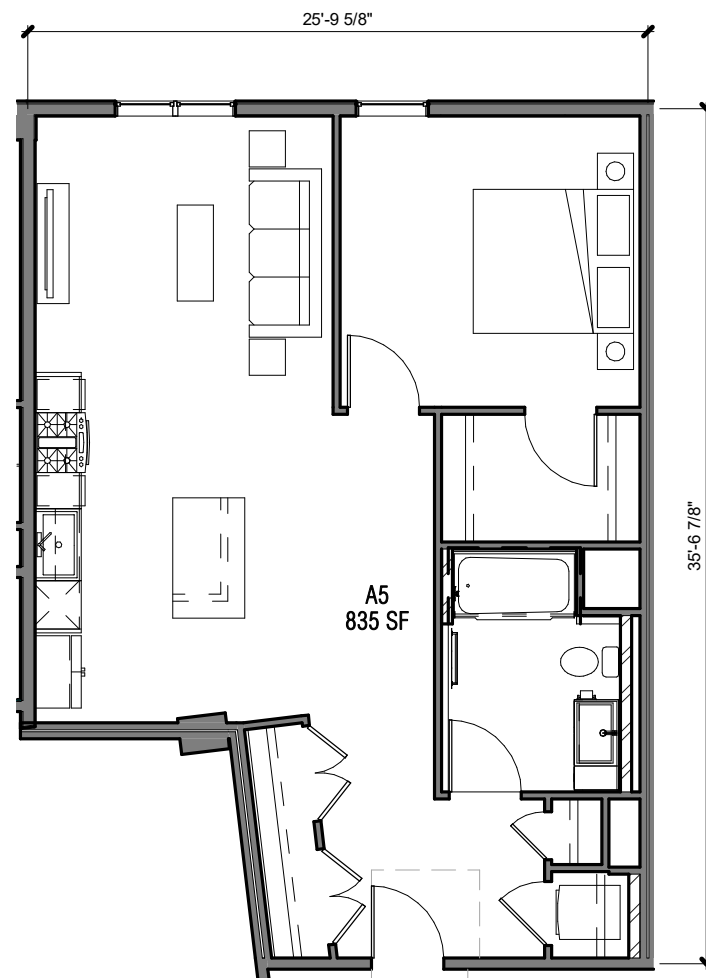
1



UNIT A4

SCALE: 1/8" = 1'-0"

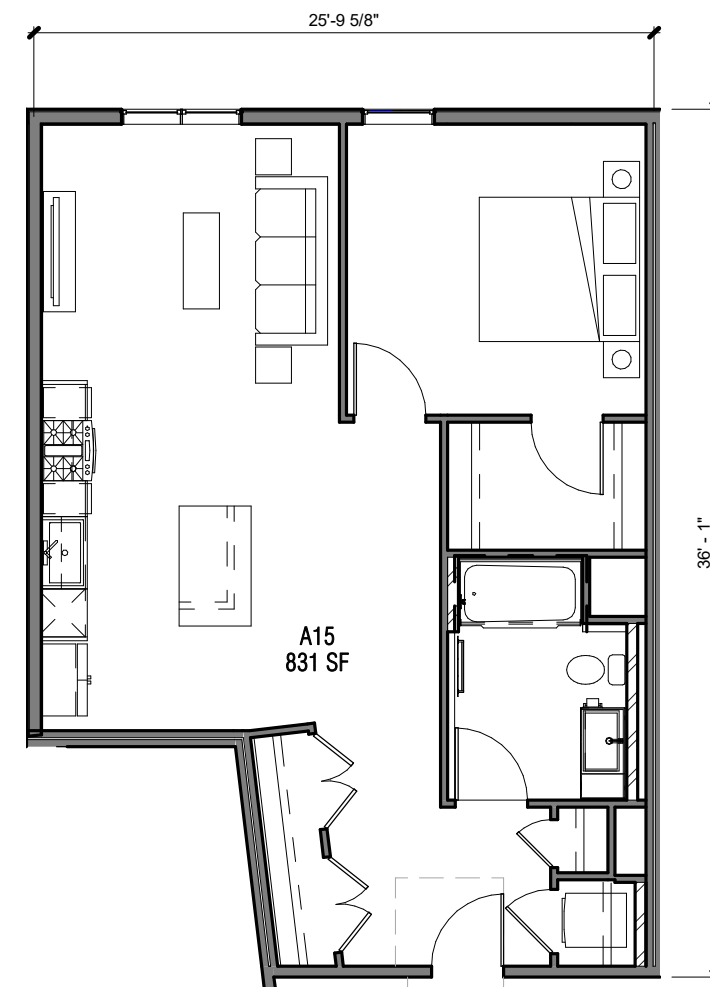
1



UNIT A5

SCALE: 1/8" = 1'-0"

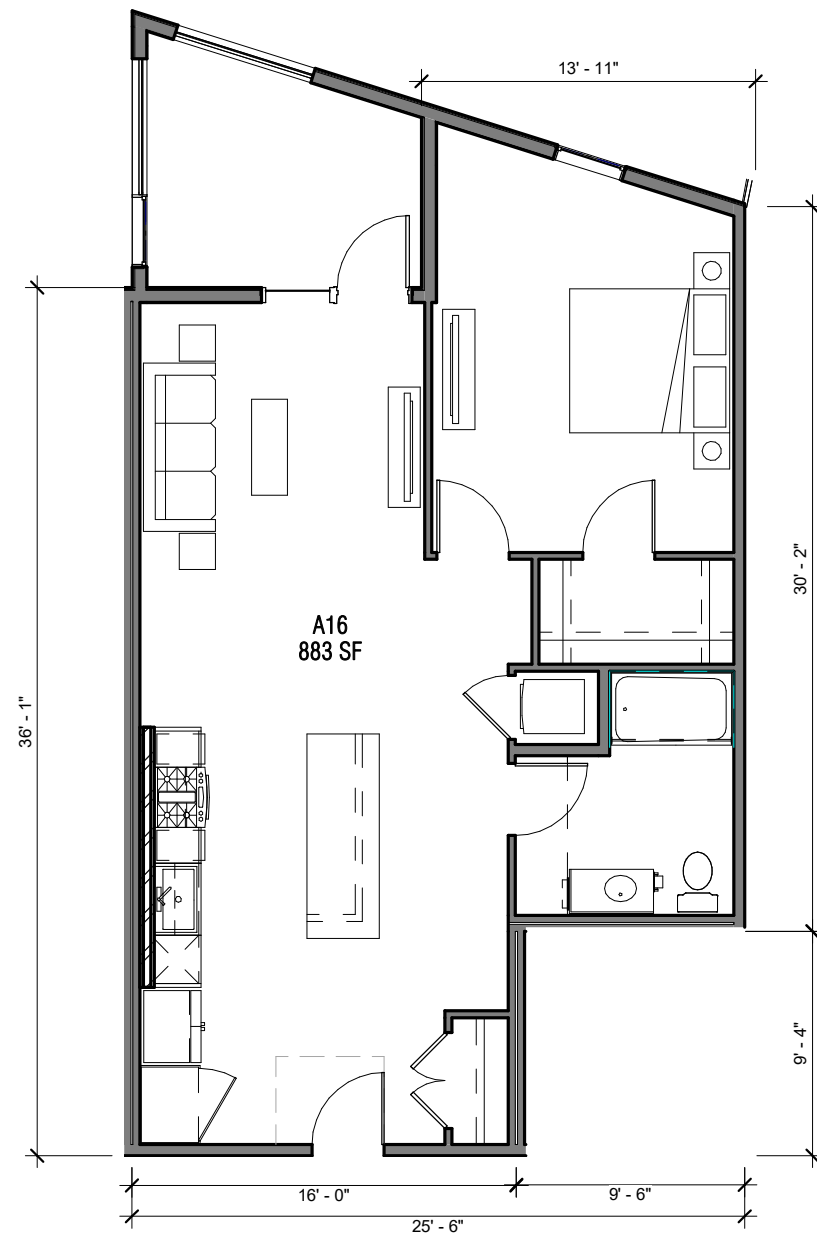
2



UNIT A15

SCALE: 1/8" = 1'-0"

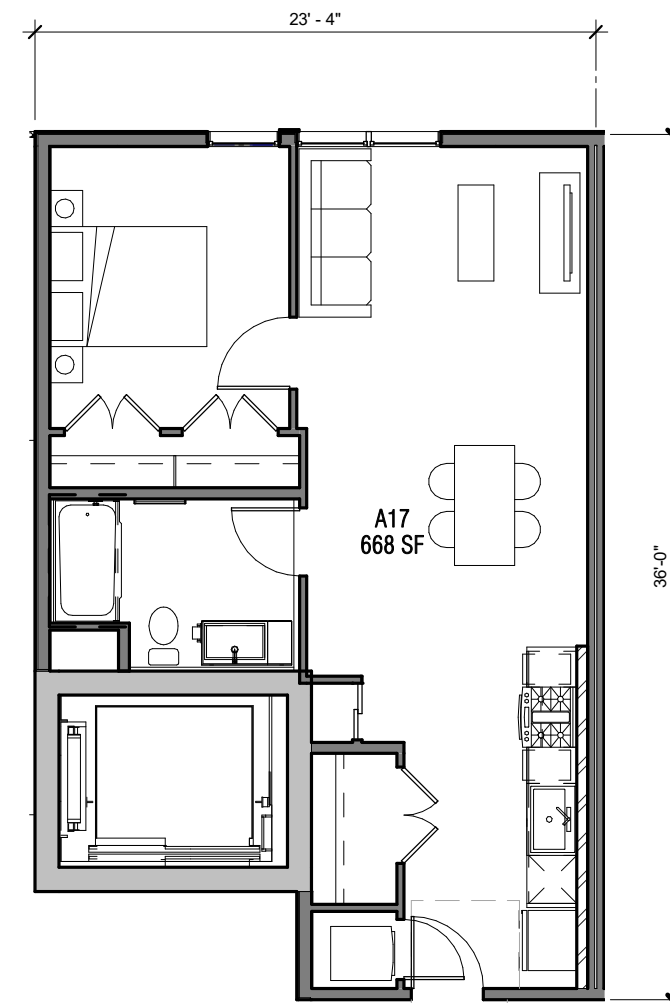
1



UNIT A16

SCALE: 1/8" = 1'-0"

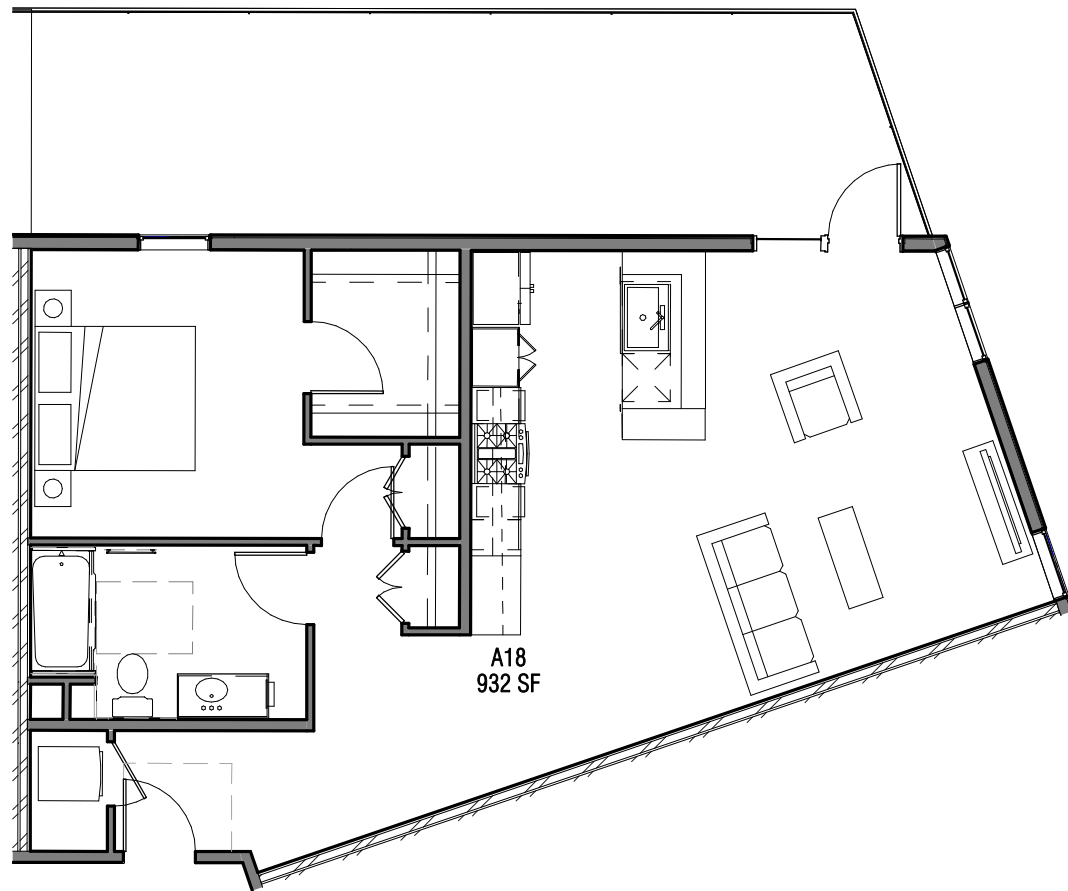
2



UNIT A17

SCALE: 1/8" = 1'-0"

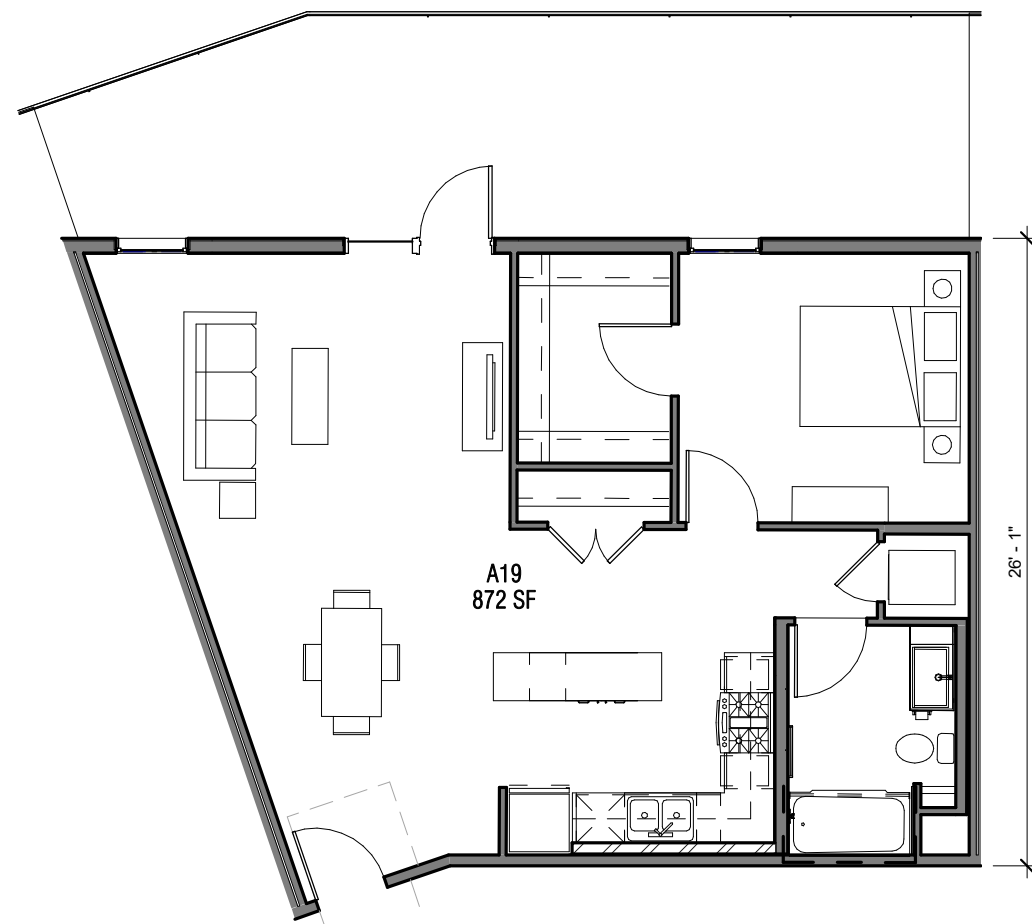
1



UNIT A18

SCALE: 1/8" = 1'-0"

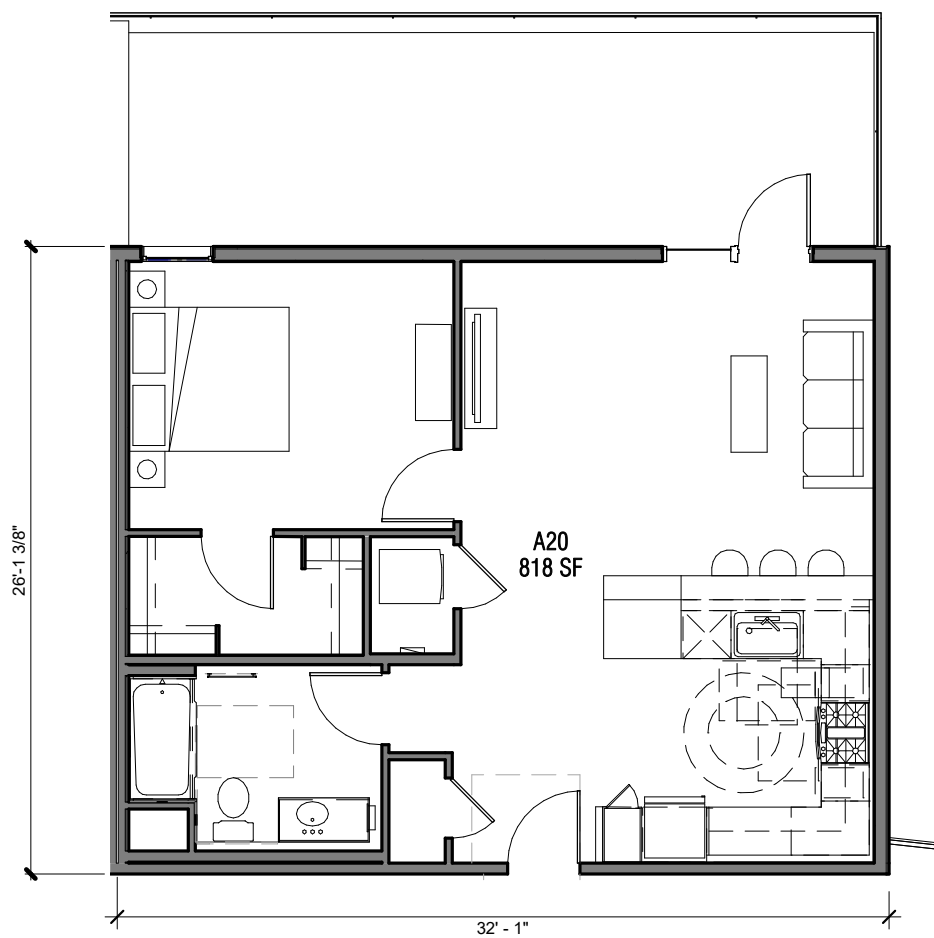
2



UNIT A19

SCALE: 1/8" = 1'-0"

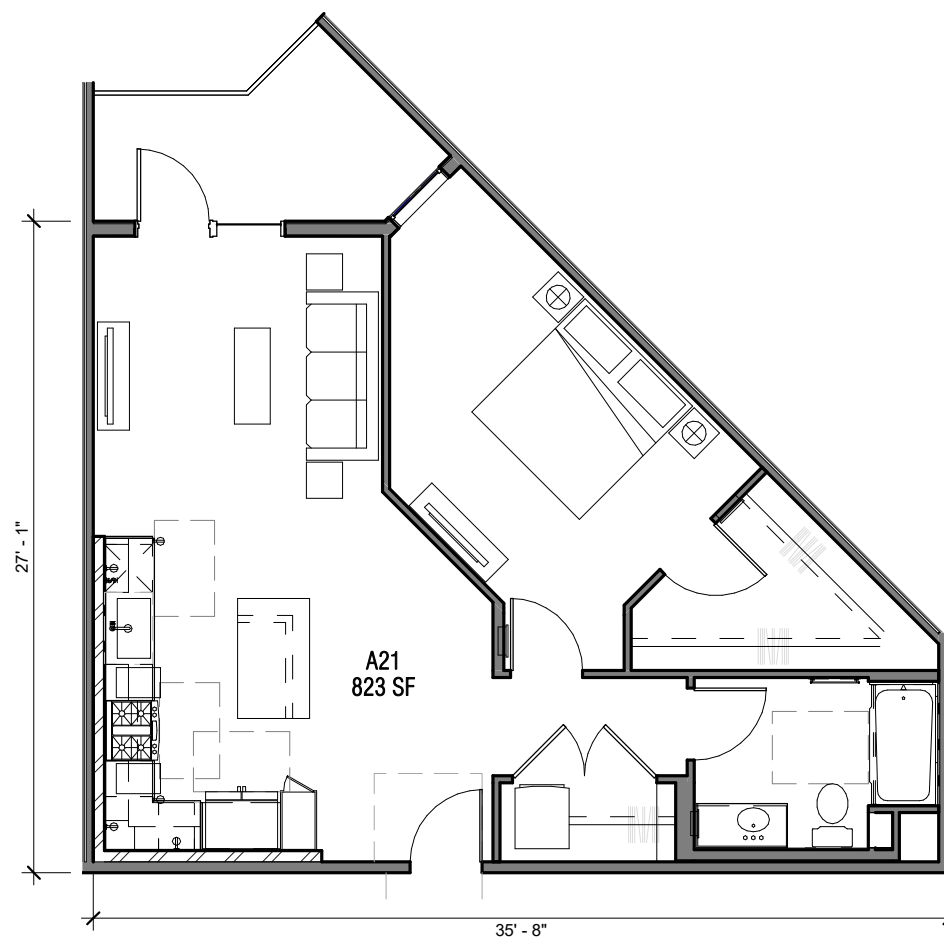
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UNIT A20

SCALE: 1/8" = 1'-0"

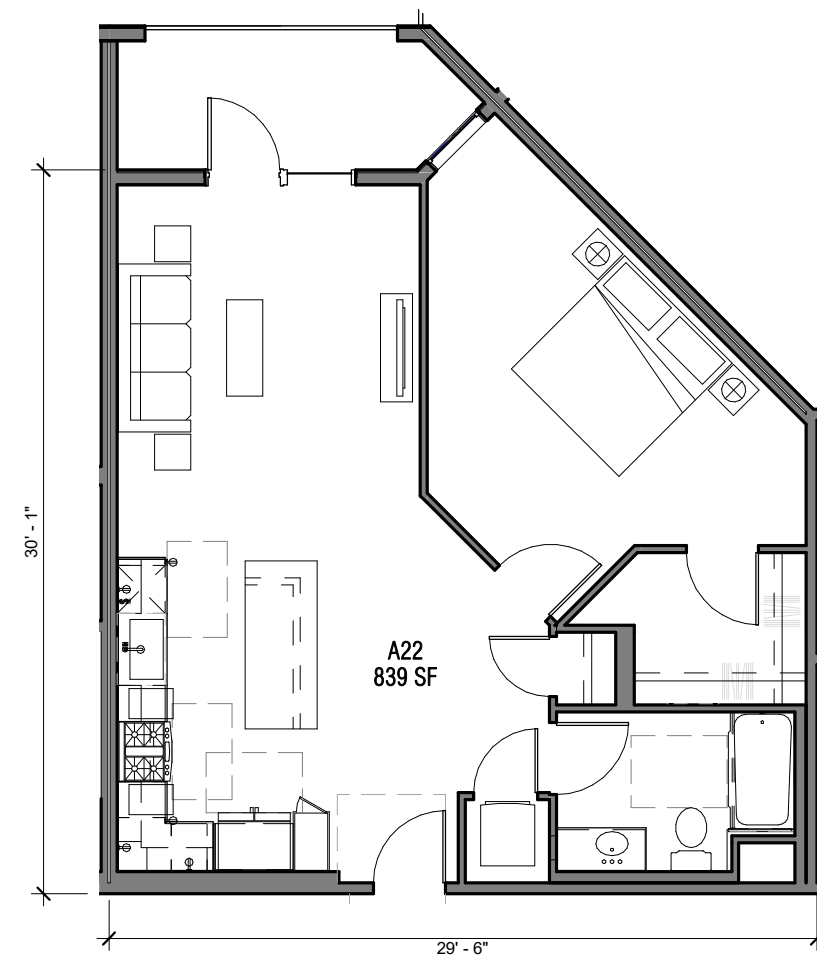
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UNIT A21

SCALE: 1/8" = 1'-0"

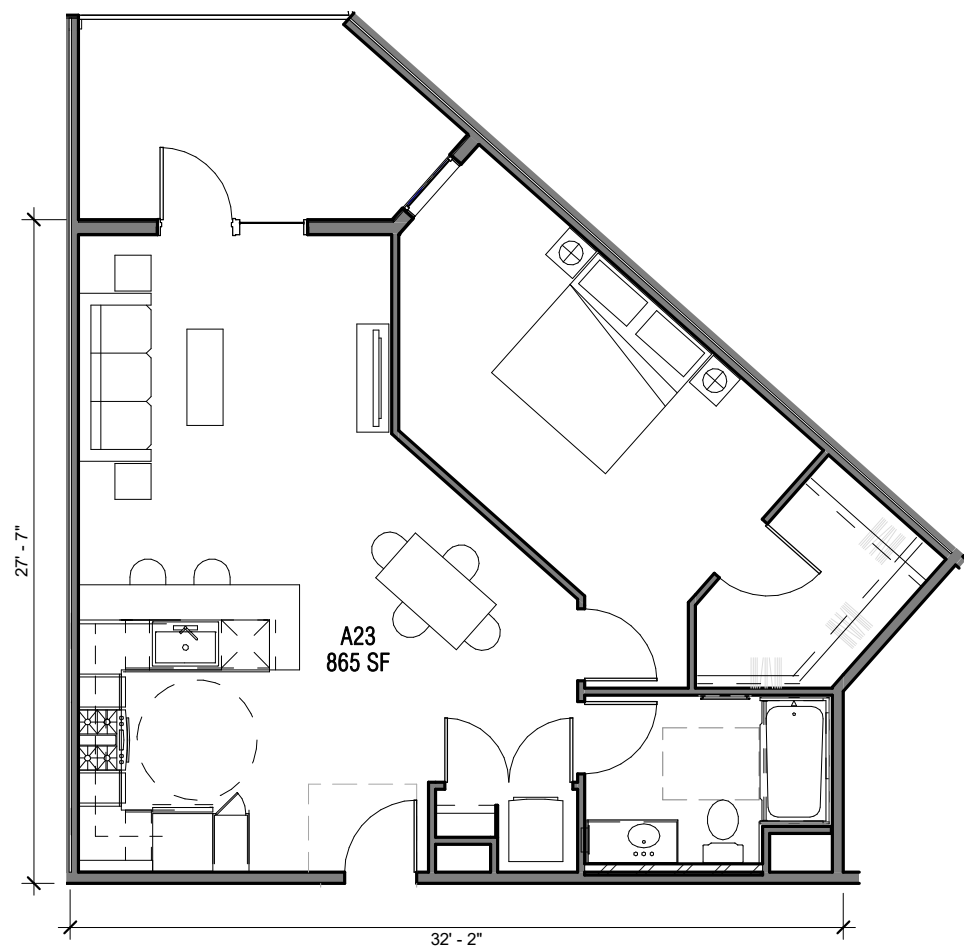
3



UNIT A22

SCALE: 1/8" = 1'-0"

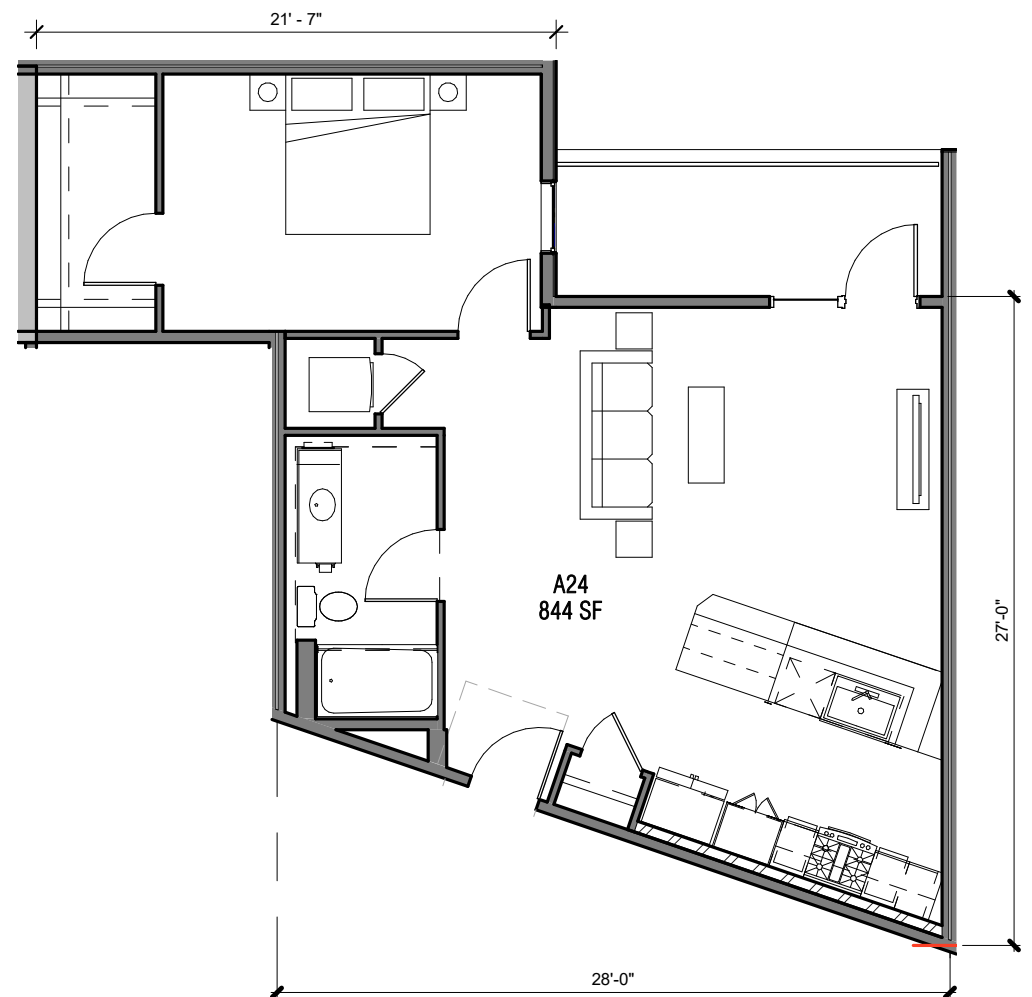
2



UNIT A23

SCALE: 1/8" = 1'-0"

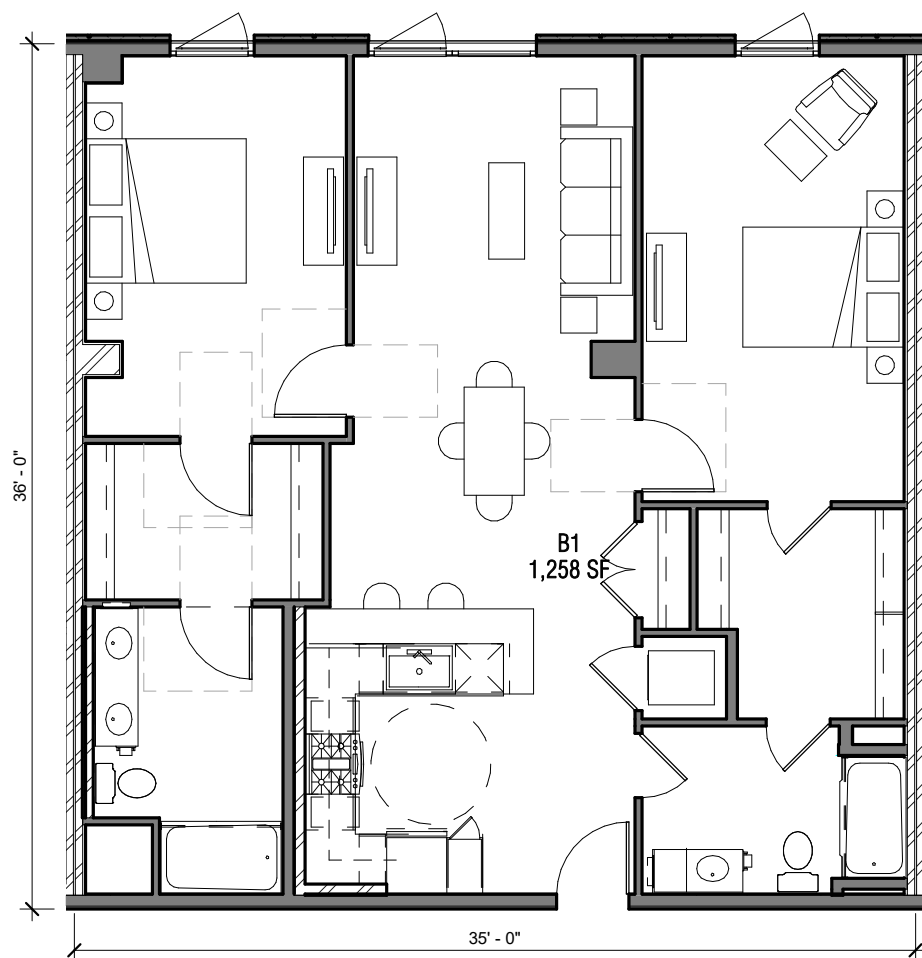
2



UNIT A24

SCALE: 1/8" = 1'-0"

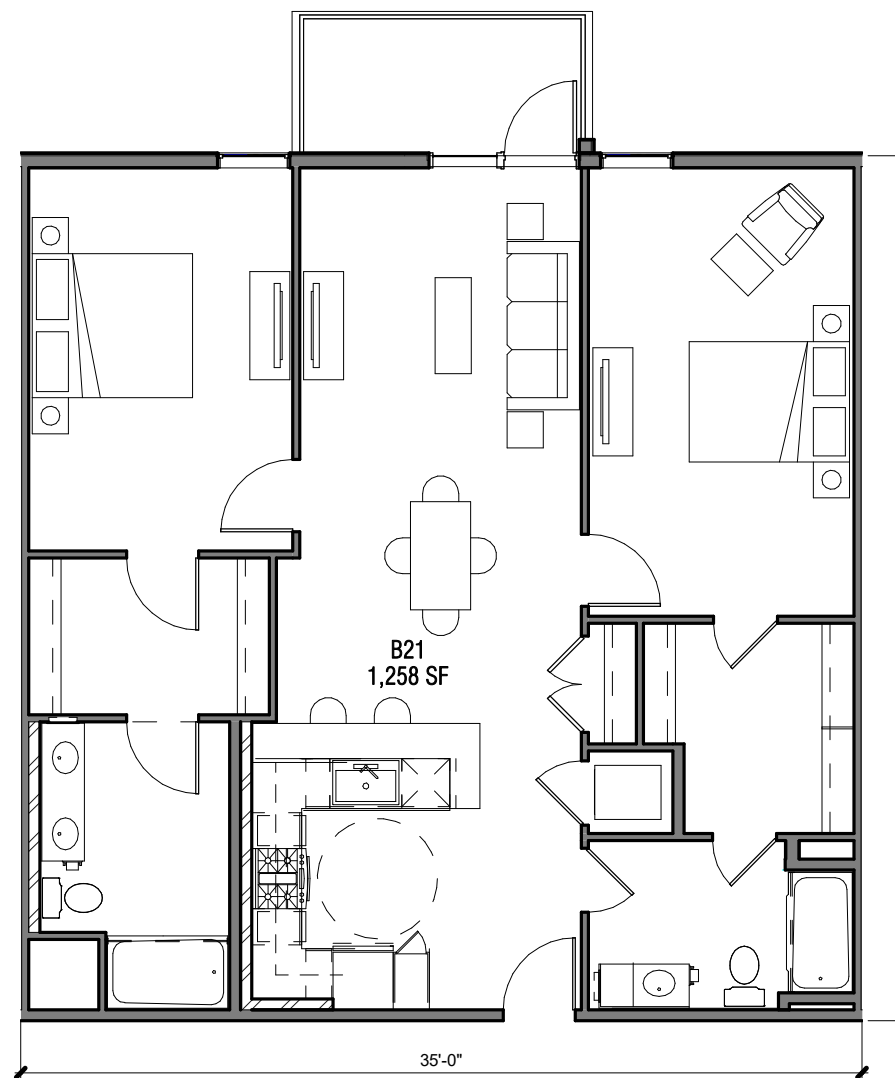
1



UNIT B1

SCALE: 1/8" = 1'-0"

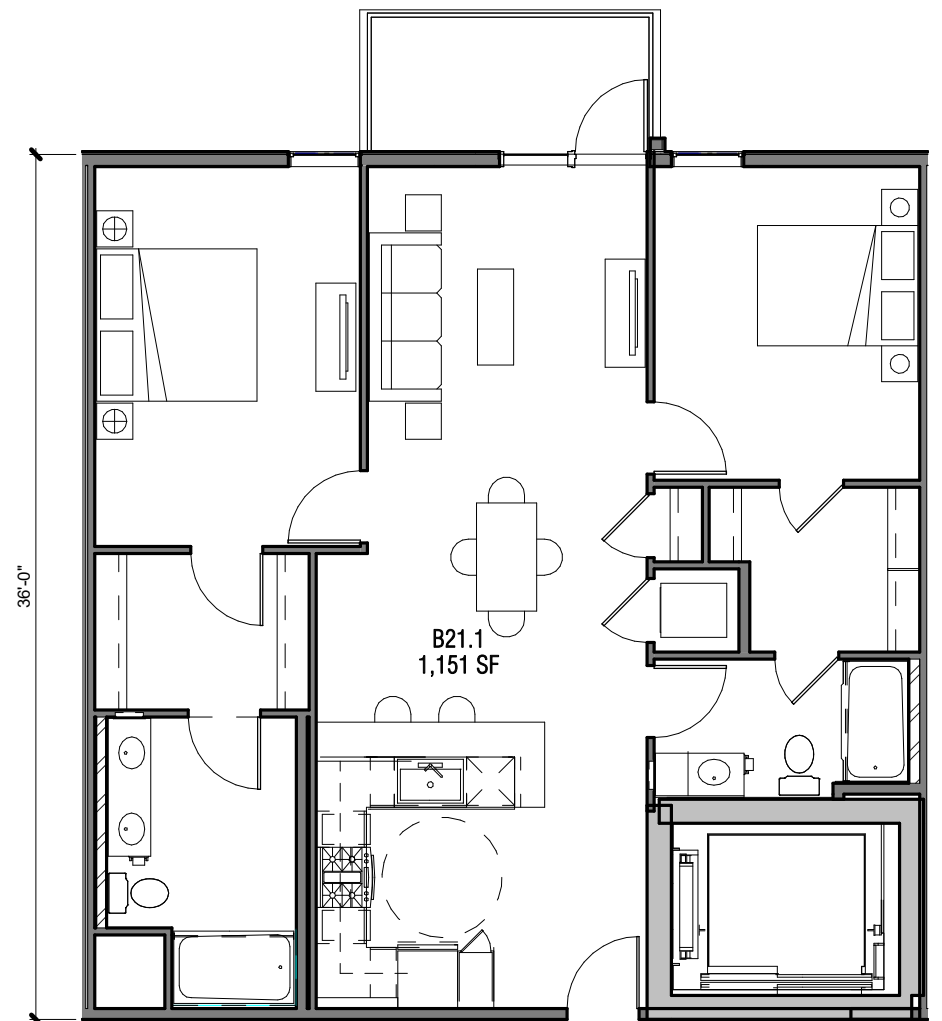
2



UNIT B21

SCALE: 1/8" = 1'-0"

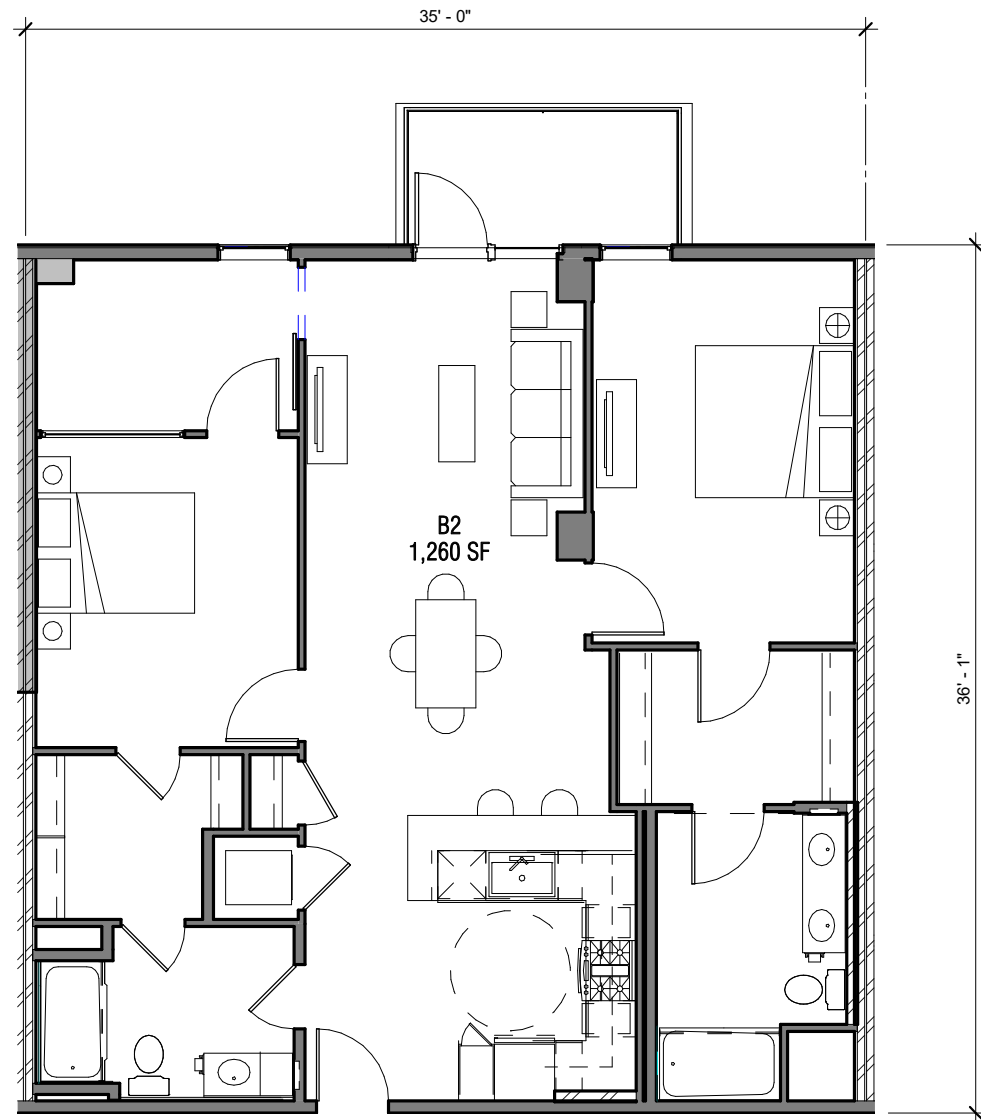
1



UNIT B21.1

SCALE: 1/8" = 1'-0"

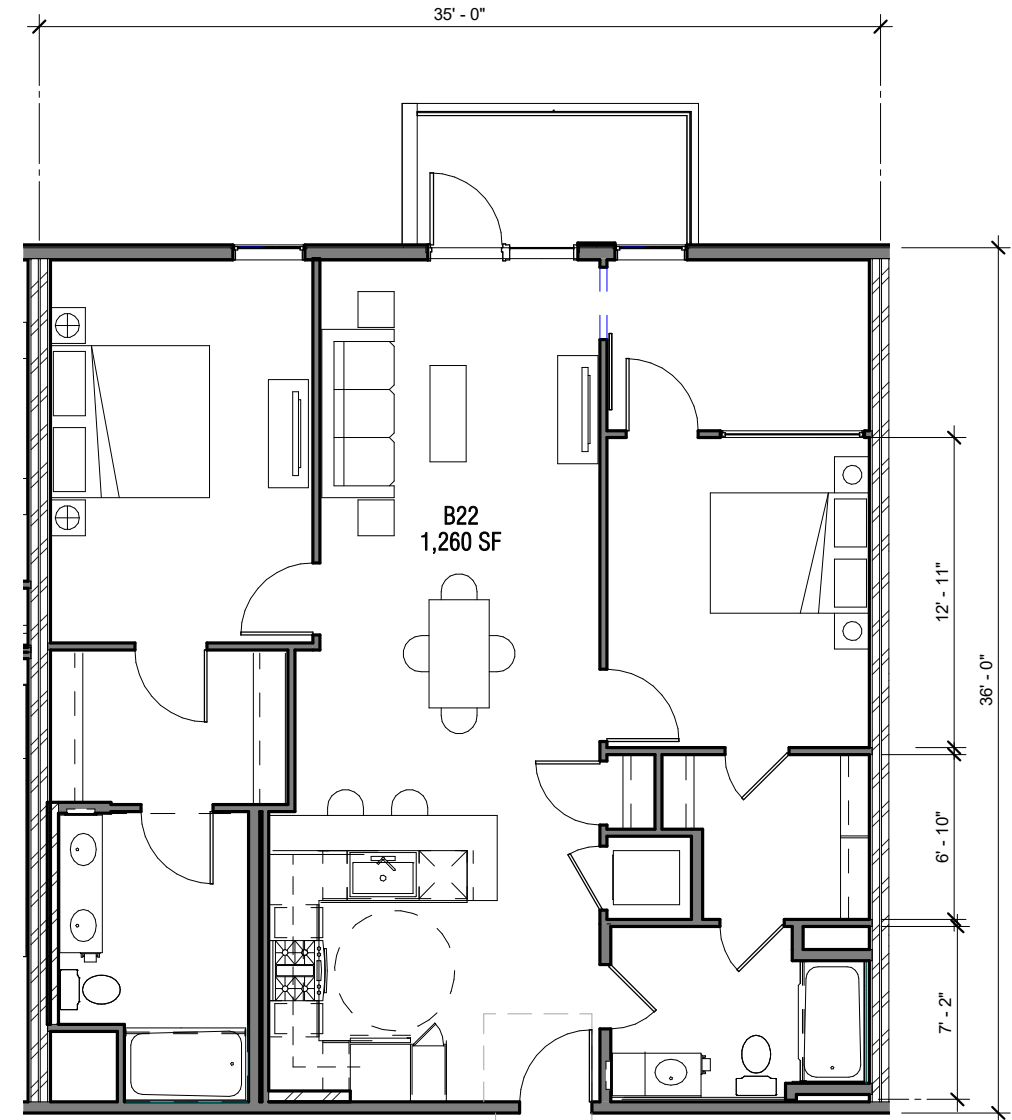
3



UNIT B2

SCALE: 1/8" = 1'-0"

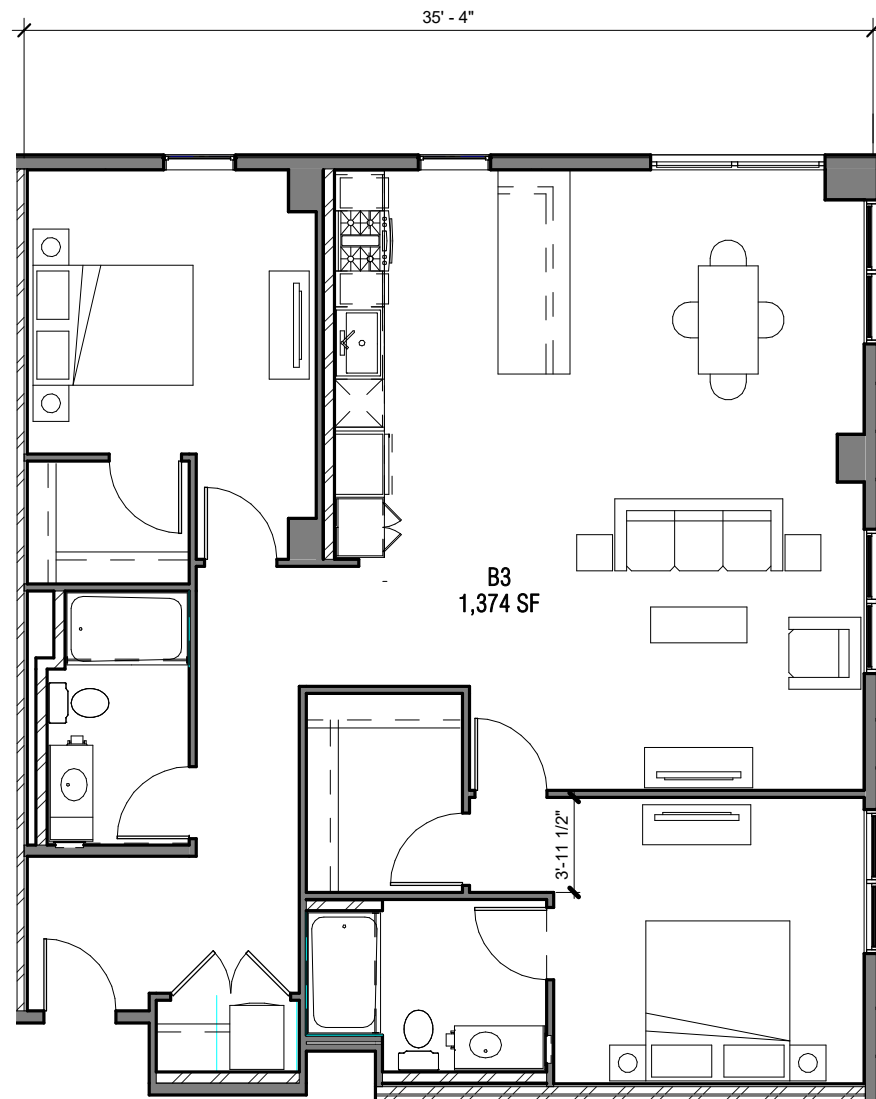
2



UNIT B22

SCALE: 1/8" = 1'-0"

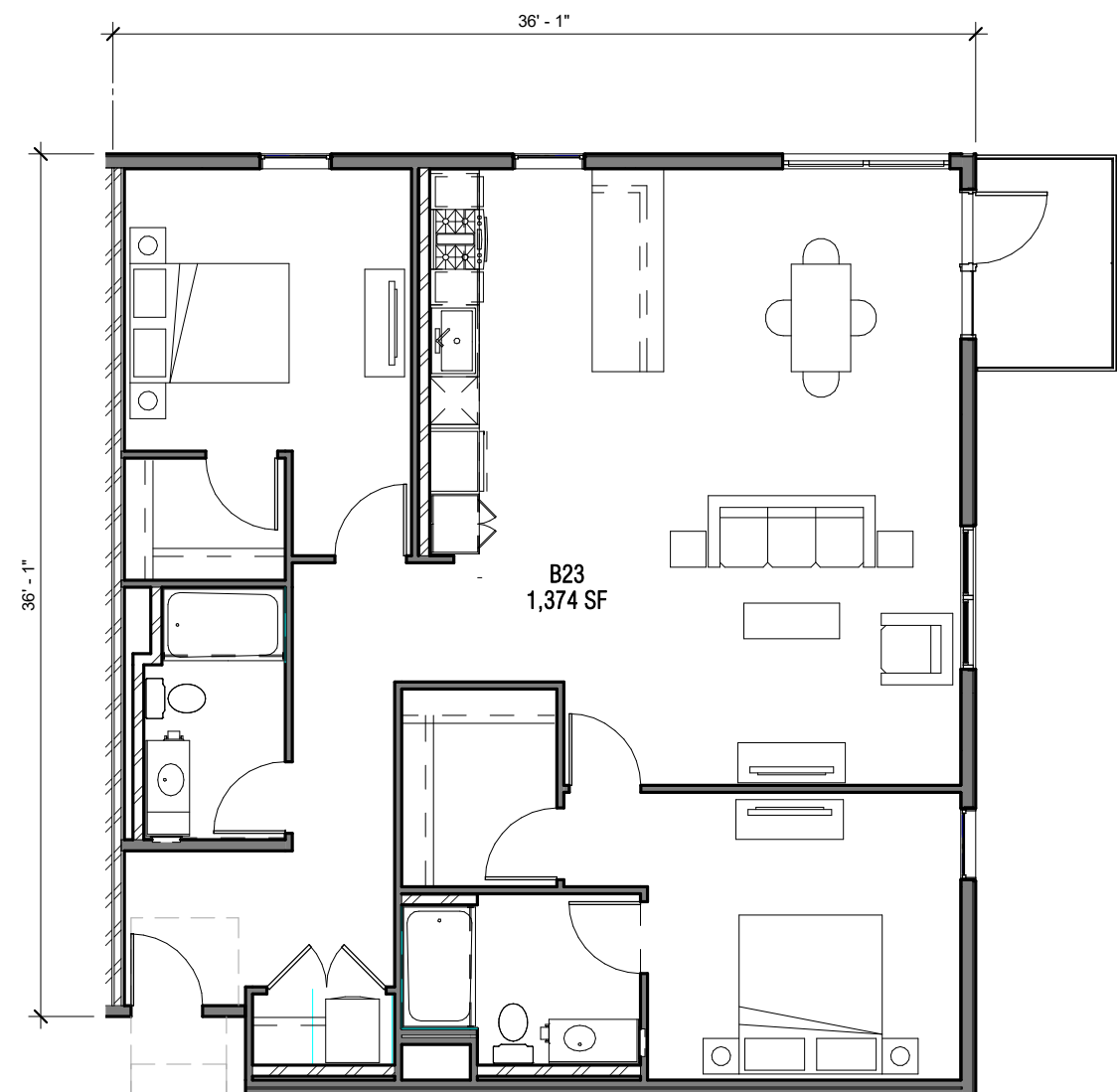
1



UNIT B3

SCALE: 1/8" = 1'-0"

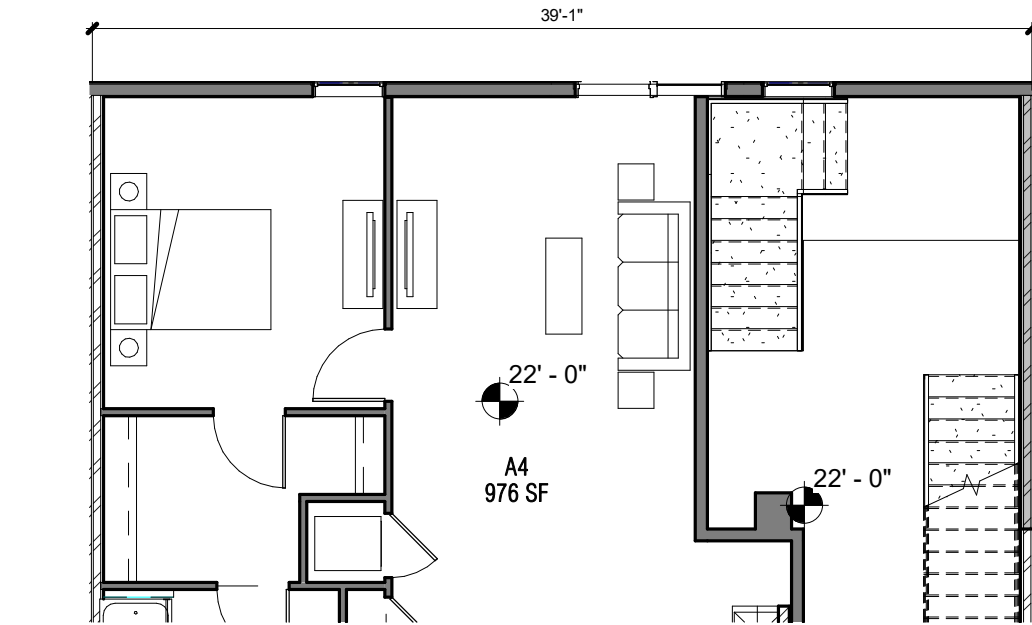
2



UNIT B23

SCALE: 1/8" = 1'-0"

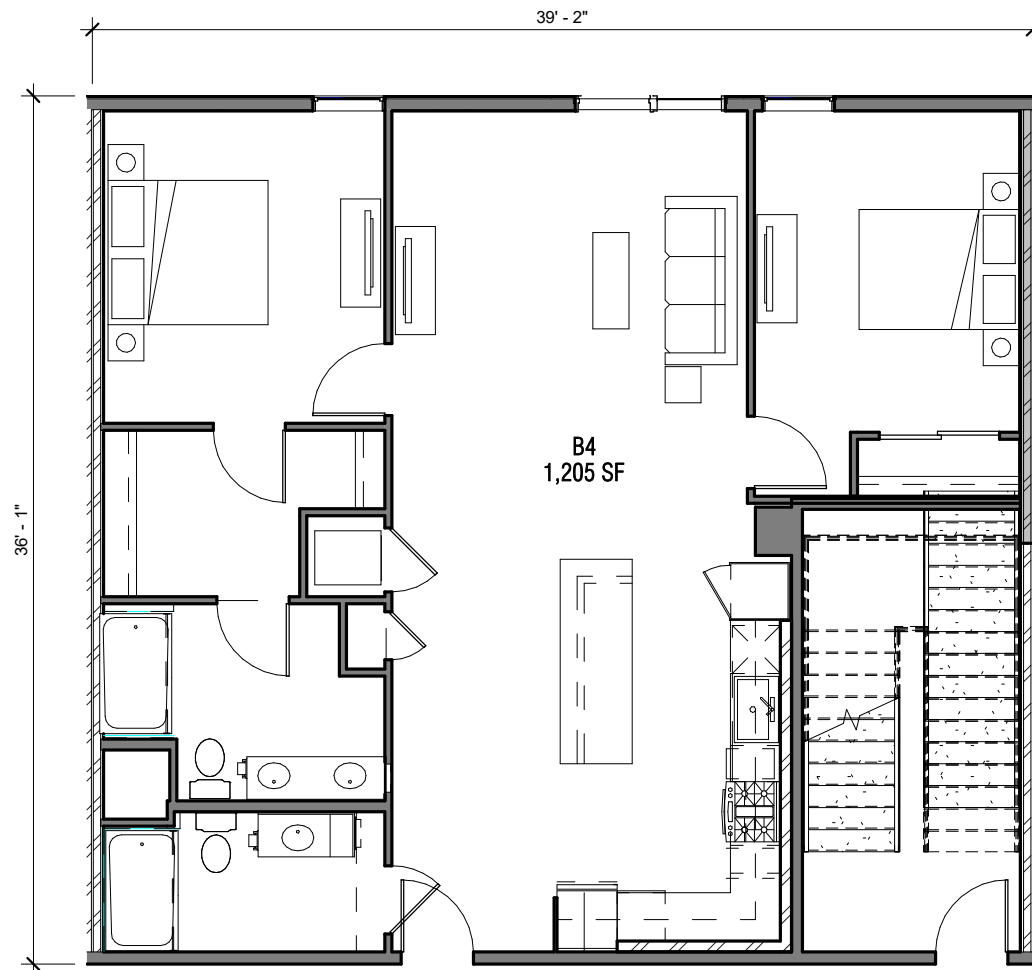
1



UNIT A4 (Temp)

SCALE: 1/8" = 1'-0"

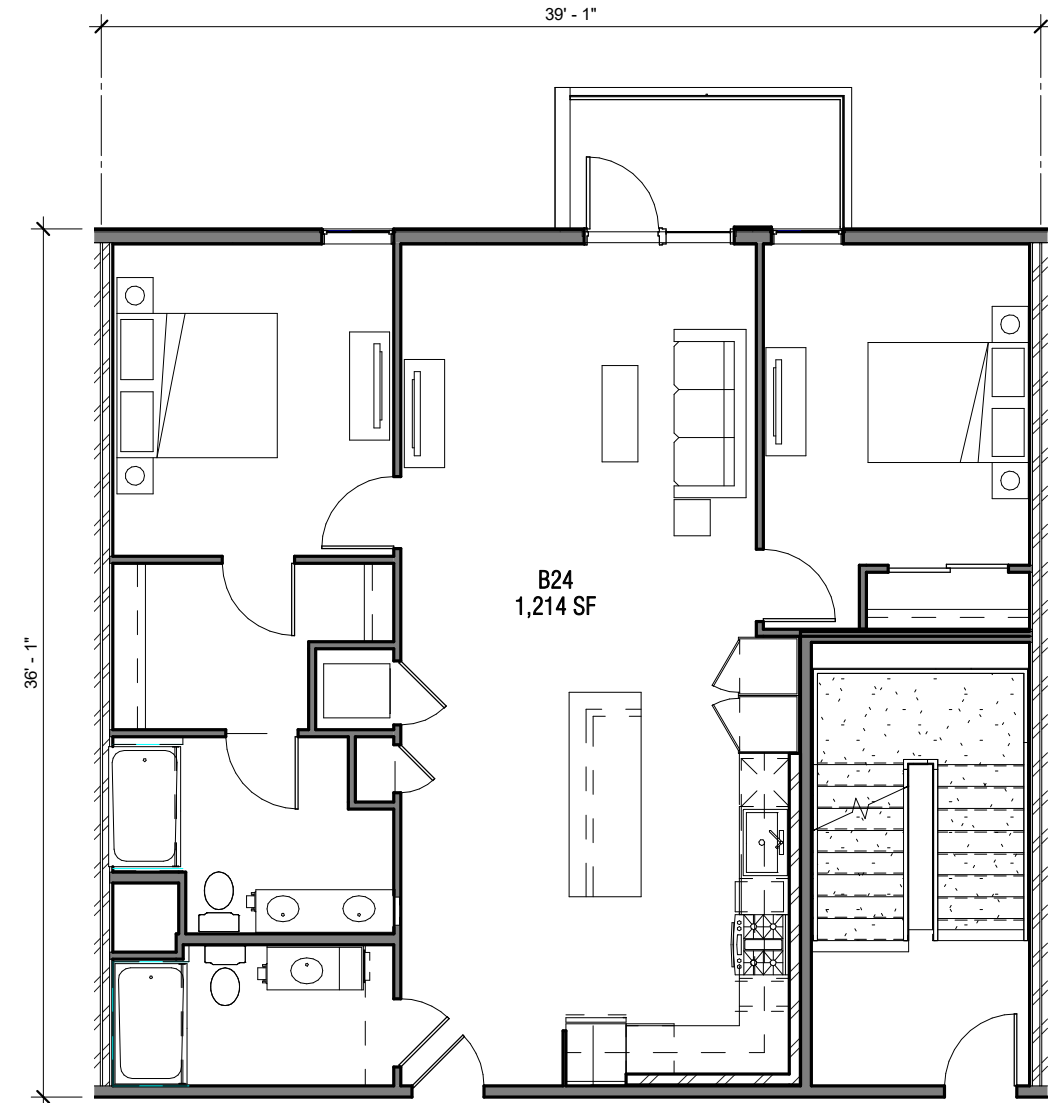
3



UNIT B4

SCALE: 1/8" = 1'-0"

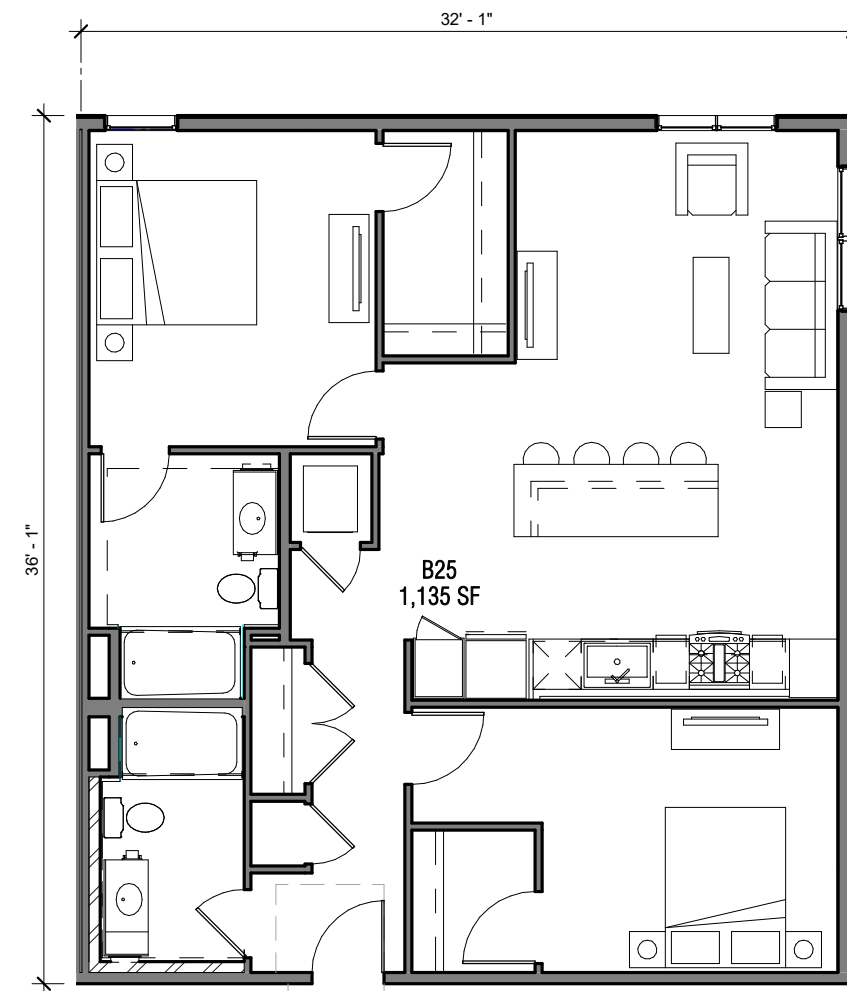
2



UNIT B24

SCALE: 1/8" = 1'-0"

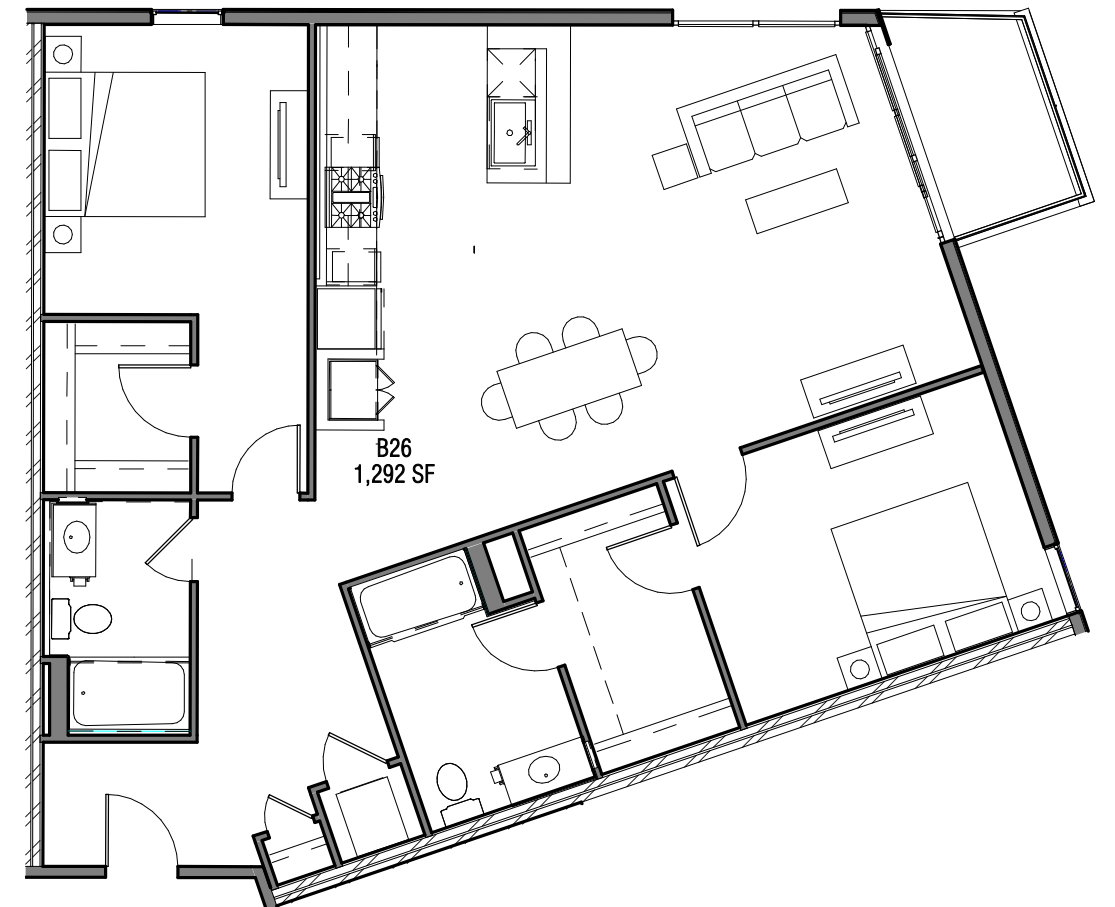
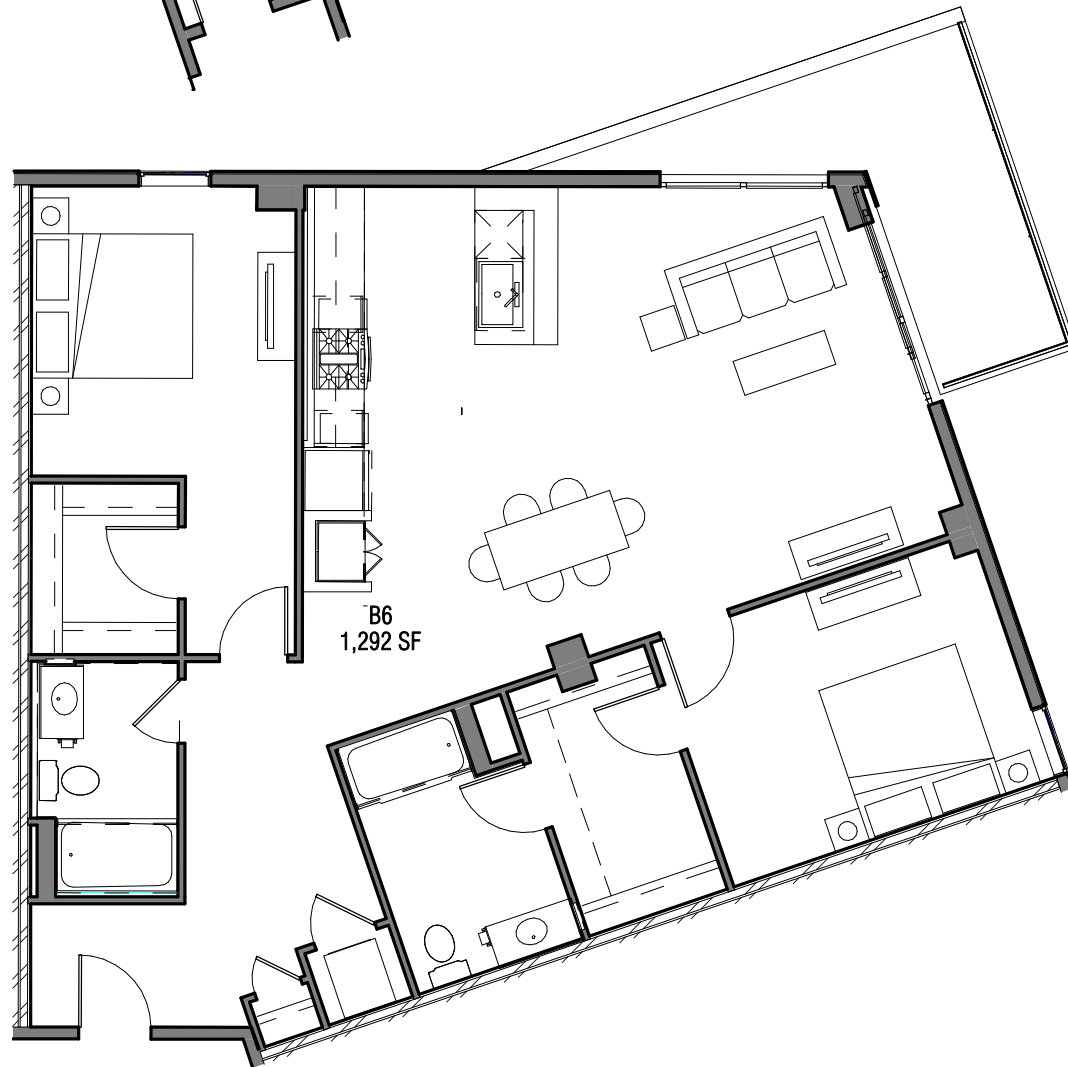
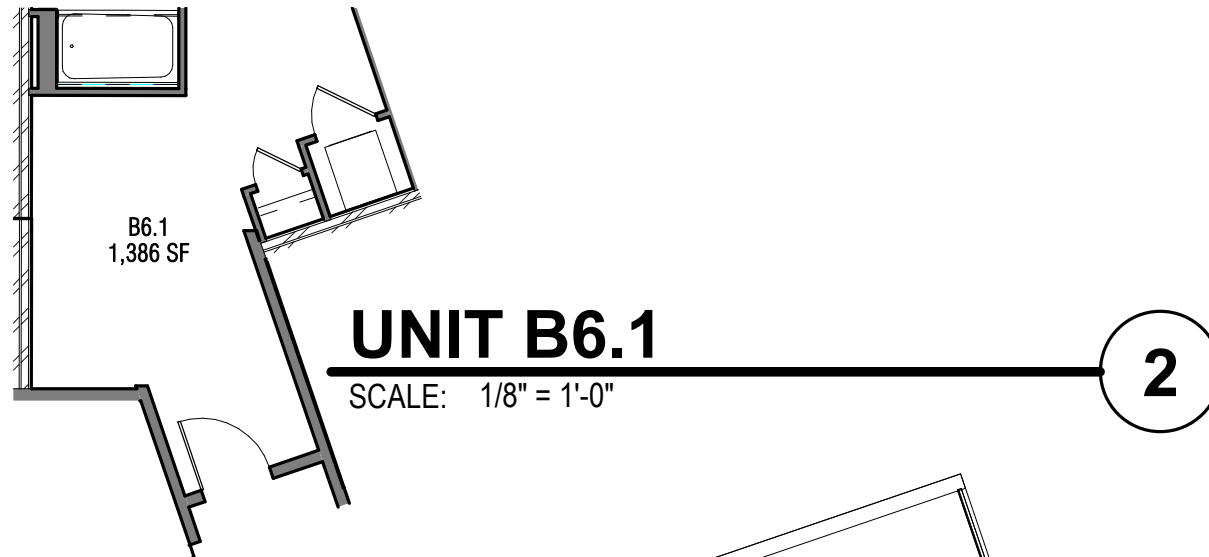
1



UNIT B25

SCALE: 1/8" = 1'-0"

1

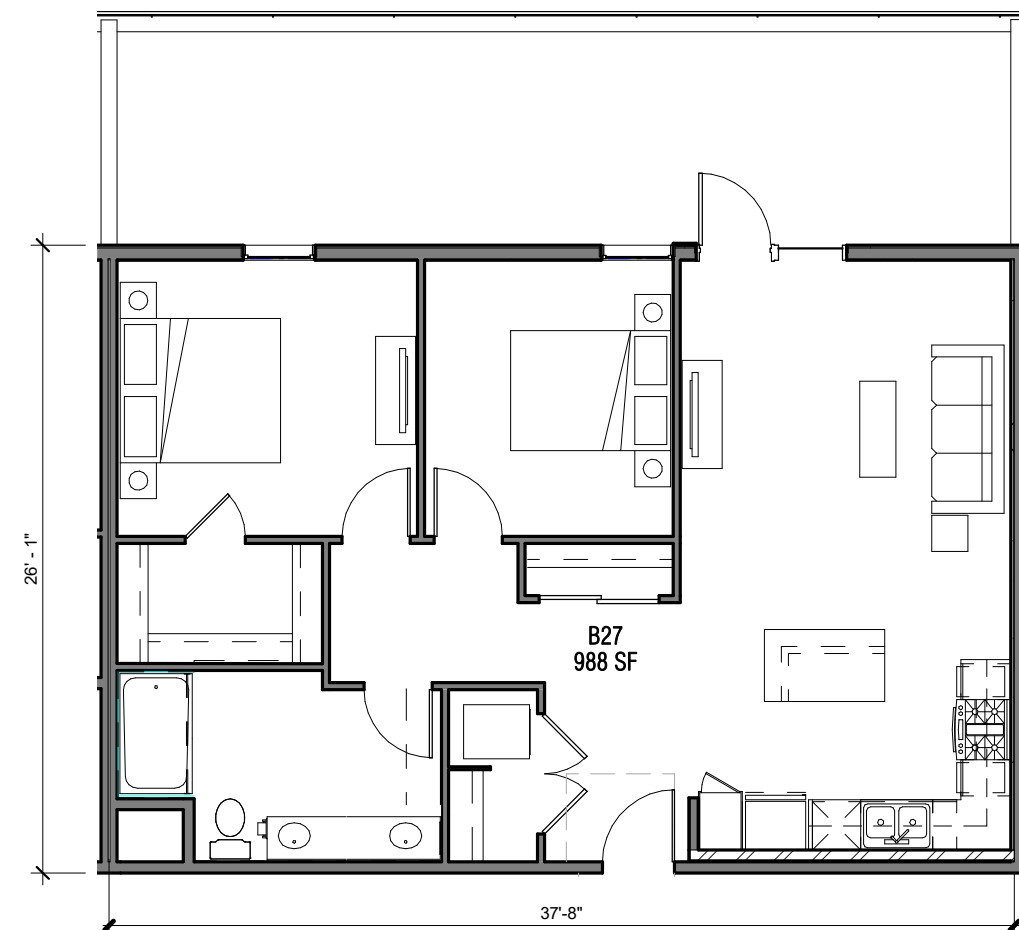




UNIT B30

SCALE: 1/8" = 1'-0"

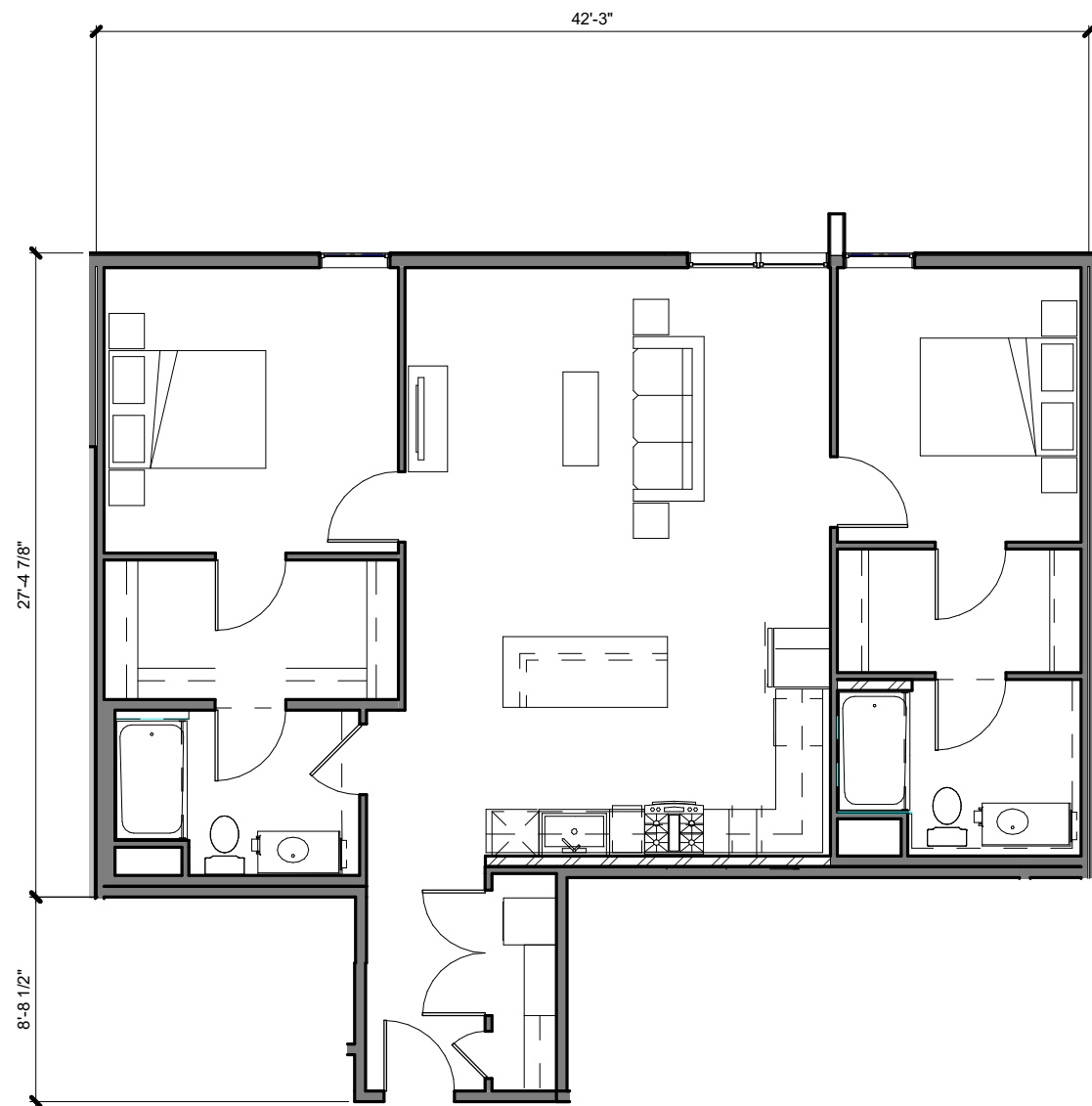
2



UNIT B27

SCALE: 1/8" = 1'-0"

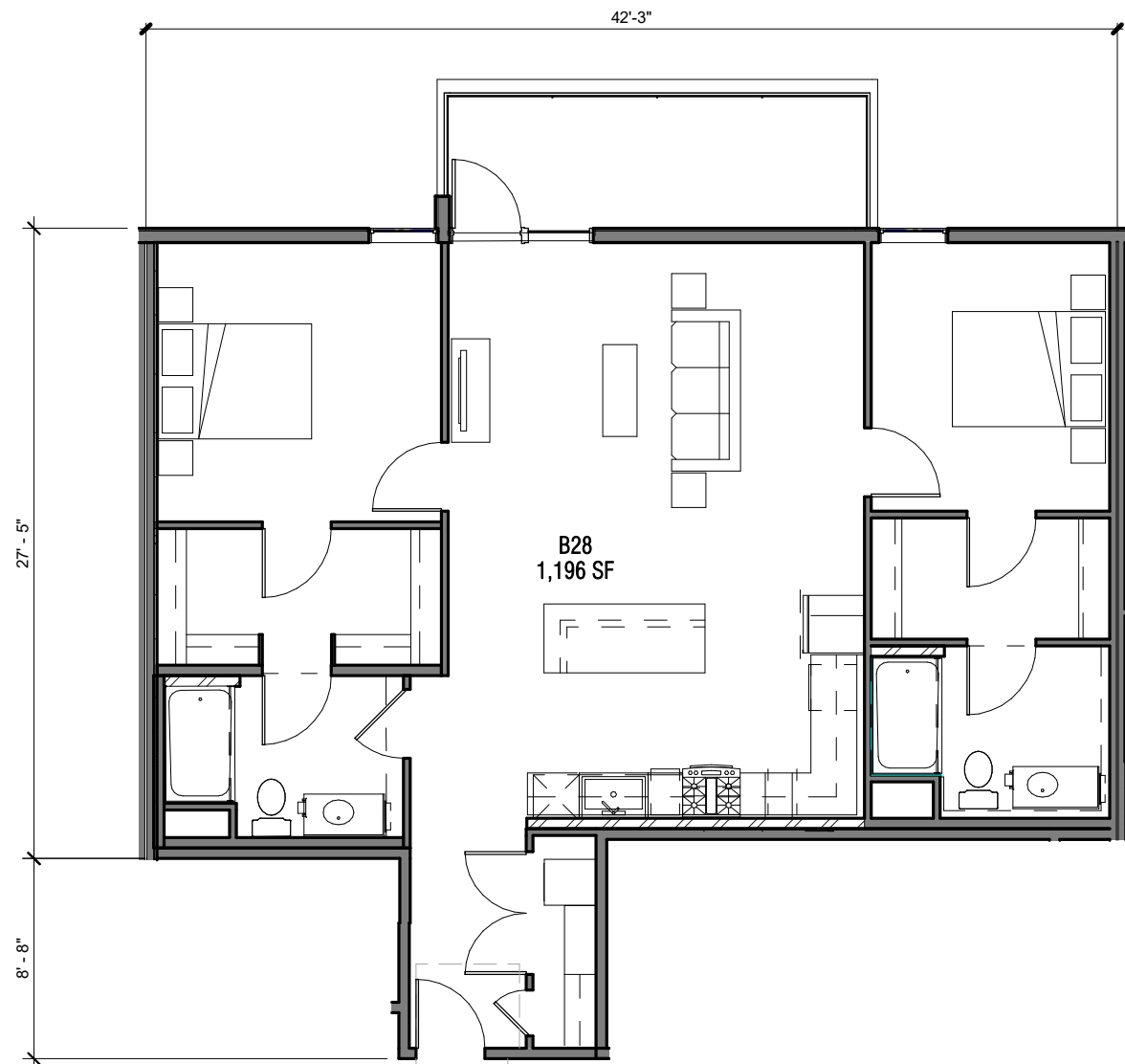
1



UNIT B8

SCALE: 1/8" = 1'-0"

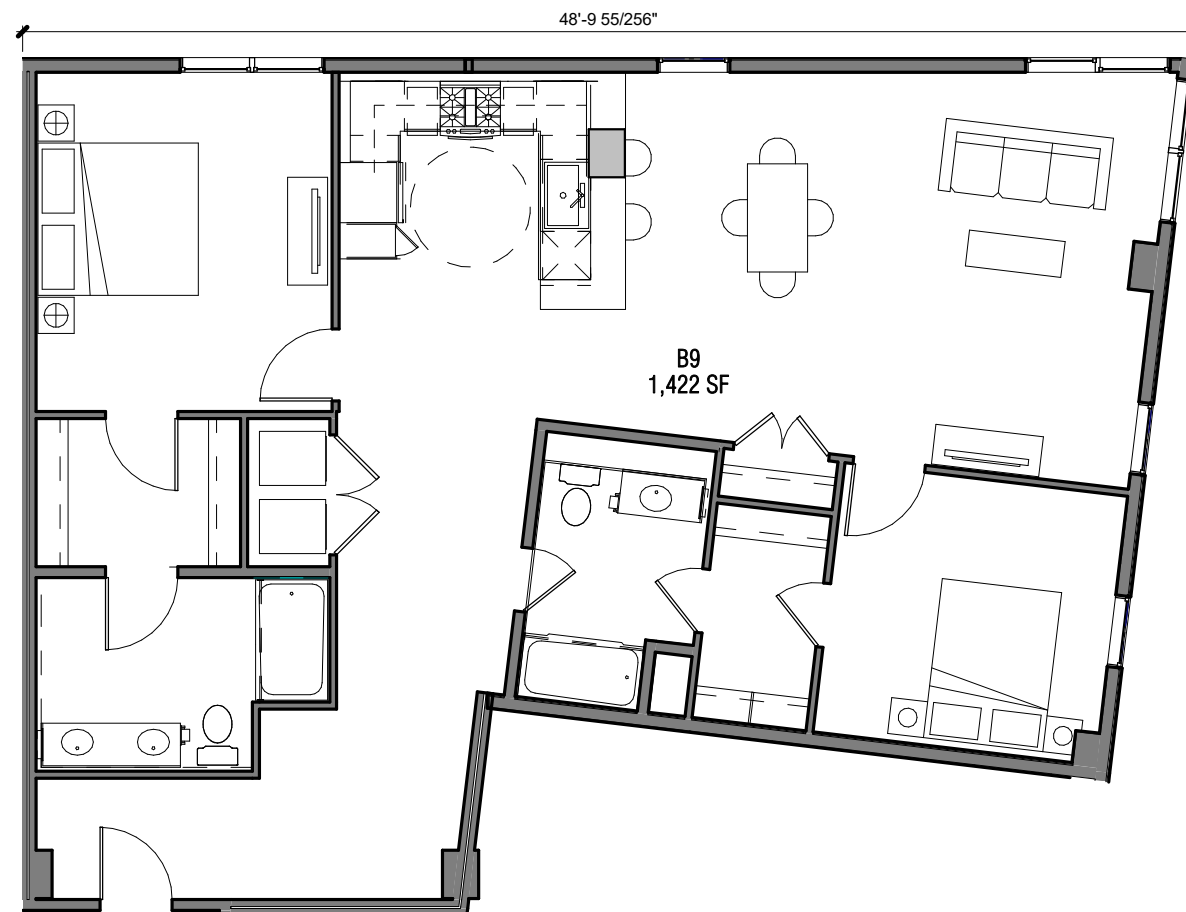
2



UNIT B28

SCALE: 1/8" = 1'-0"

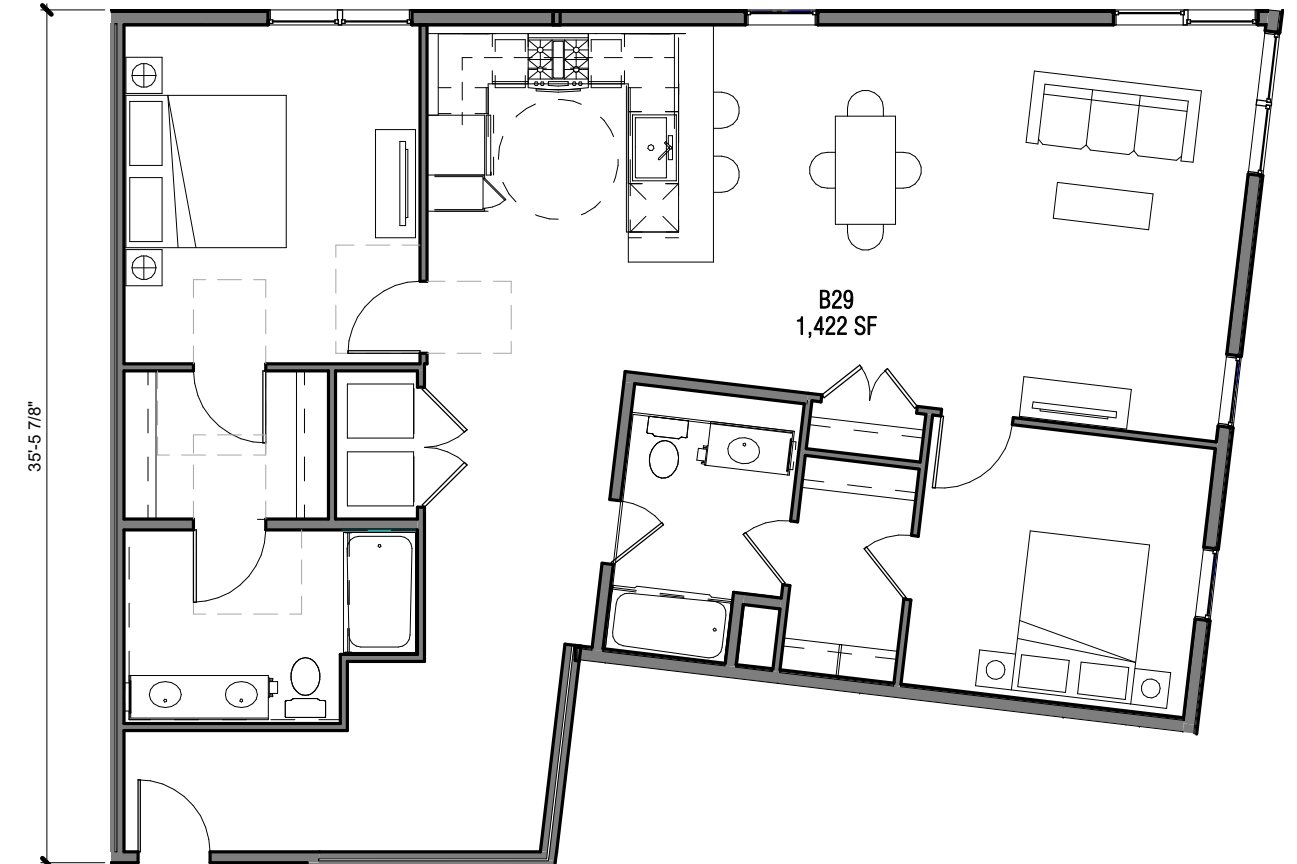
1



UNIT B9

SCALE: 1/8" = 1'-0"

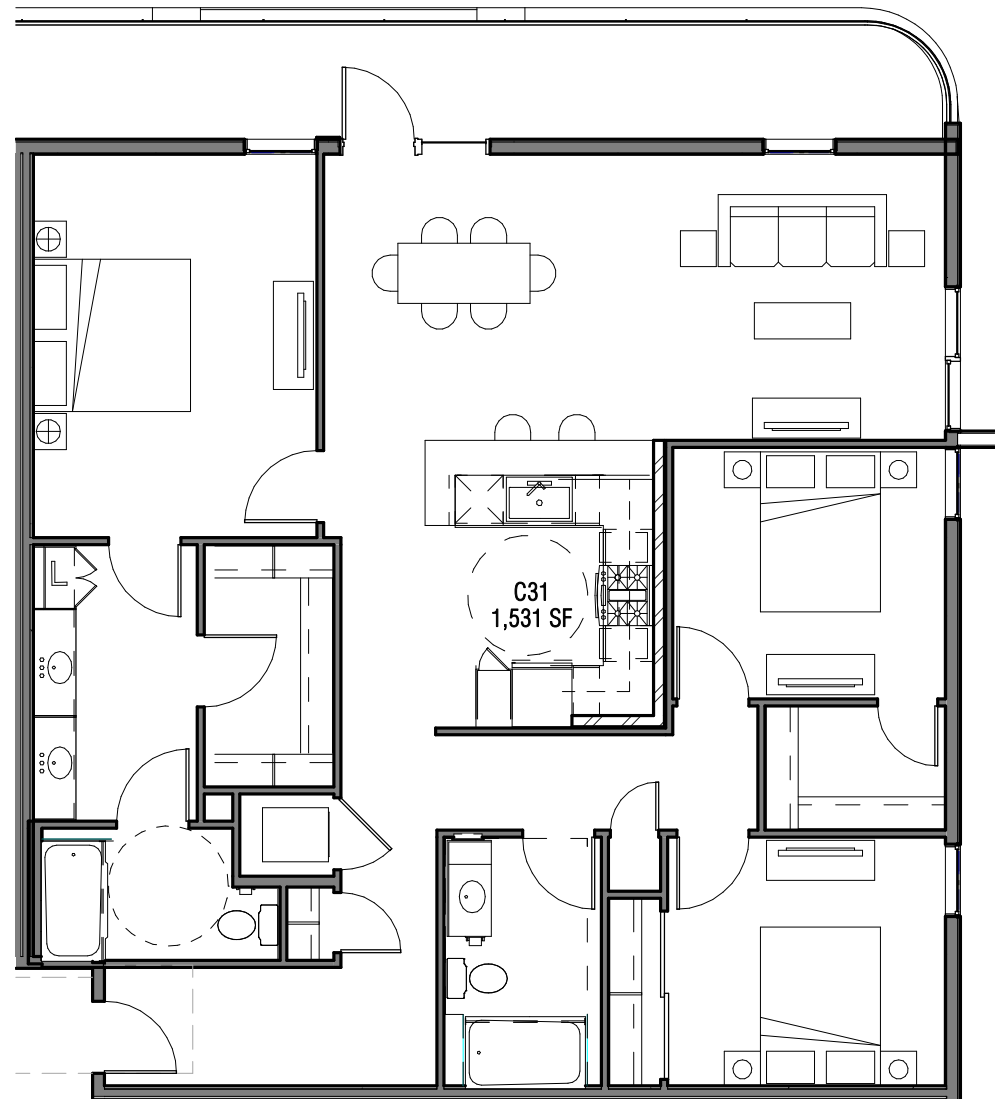
2



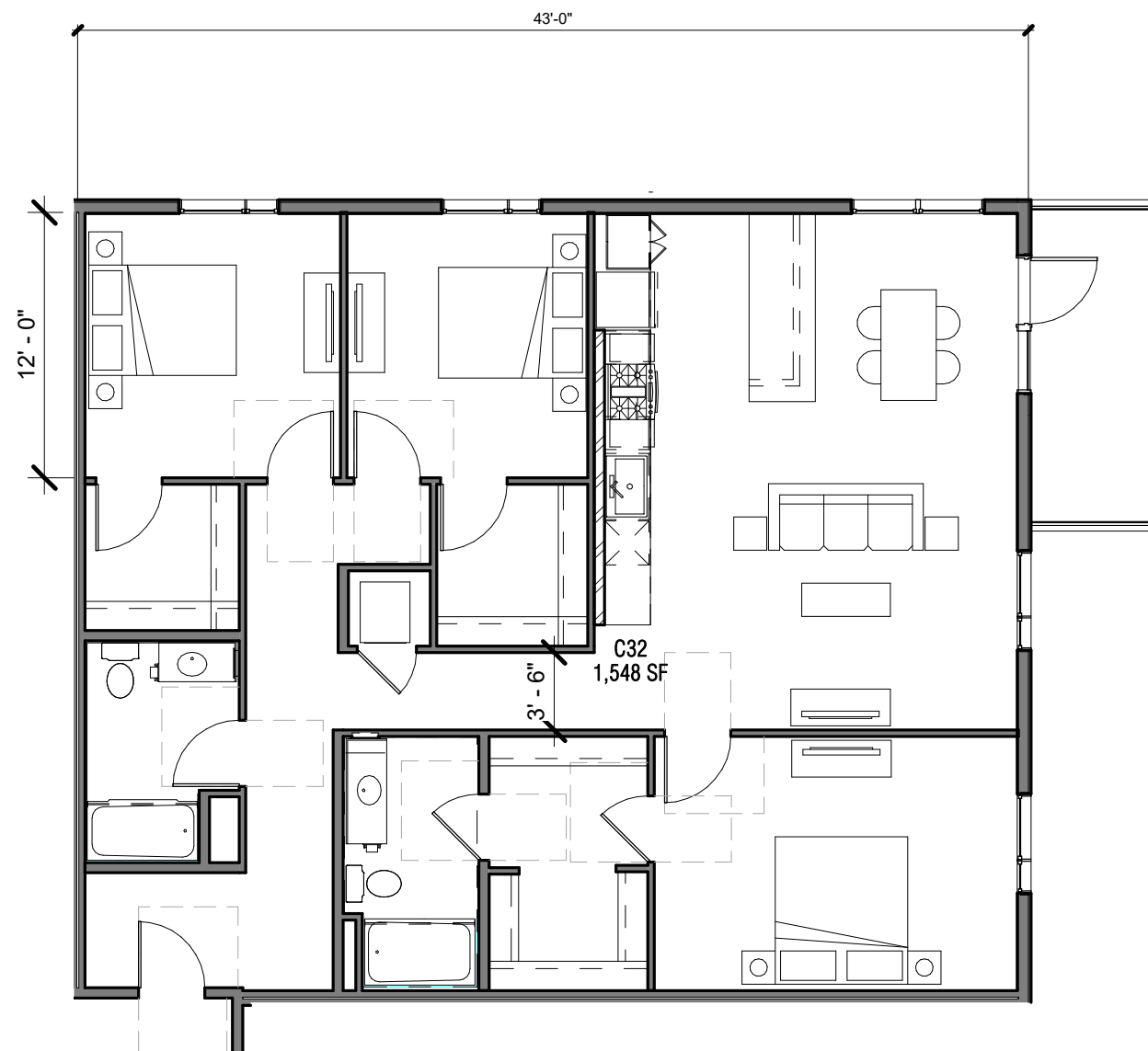
UNIT B29

SCALE: 1/8" = 1'-0"

1



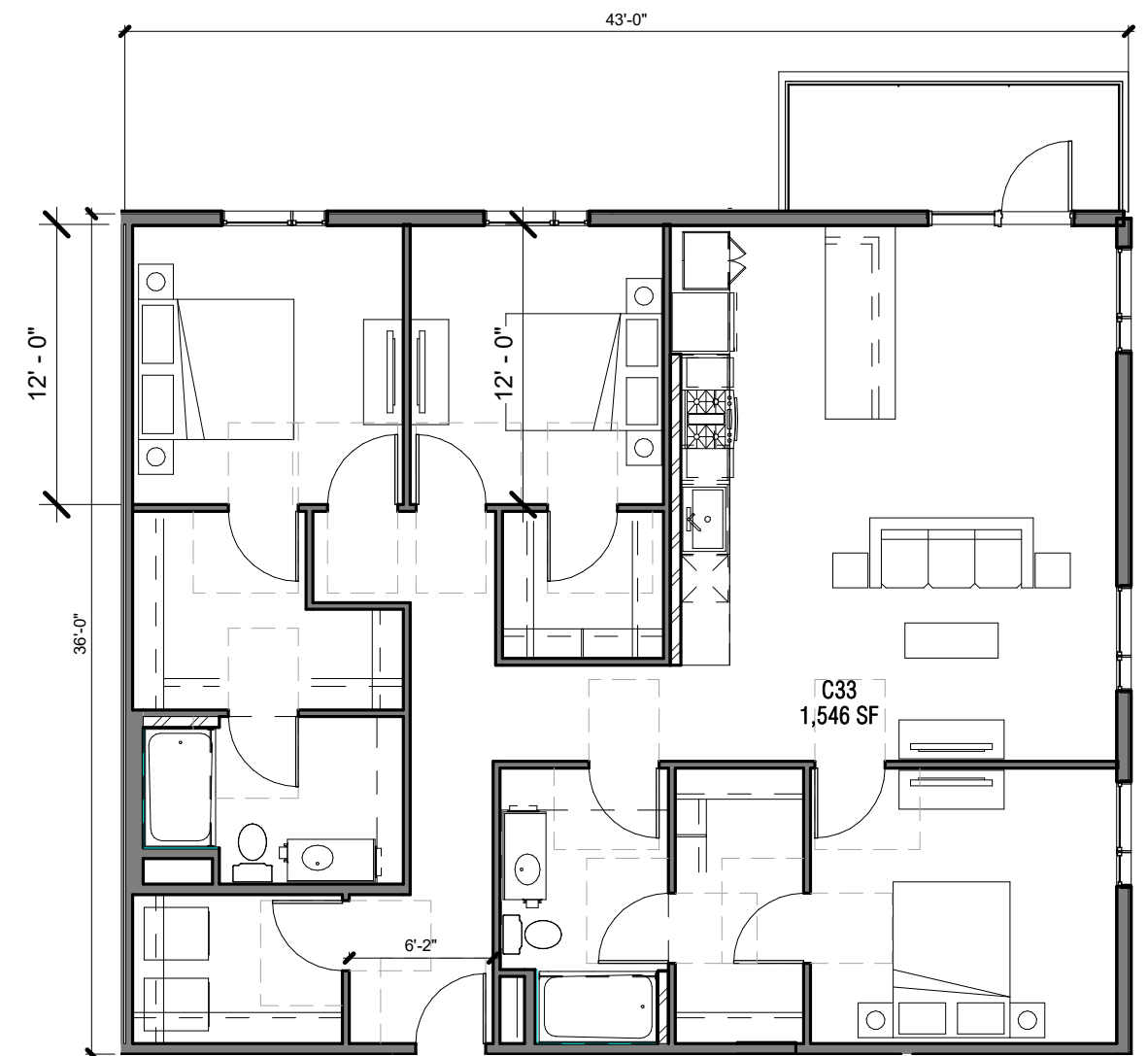
UNIT C31
SCALE: 1/8" = 1'-0" 1



UNIT C32

SCALE: 1/8" = 1'-0"

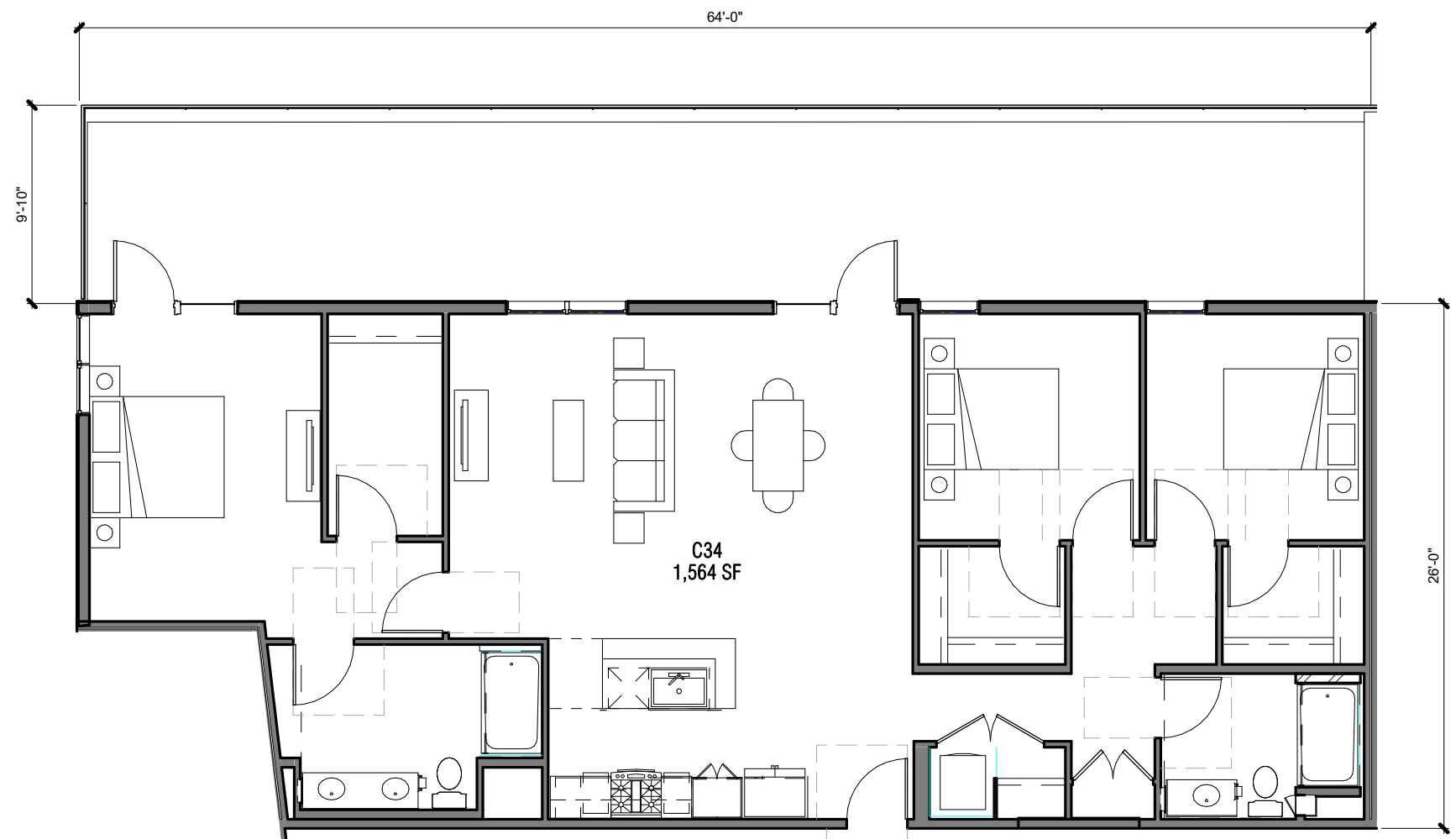
2



UNIT C33

SCALE: 1/8" = 1'-0"

1



UNIT C34

SCALE: 1/8" = 1'-0"

1