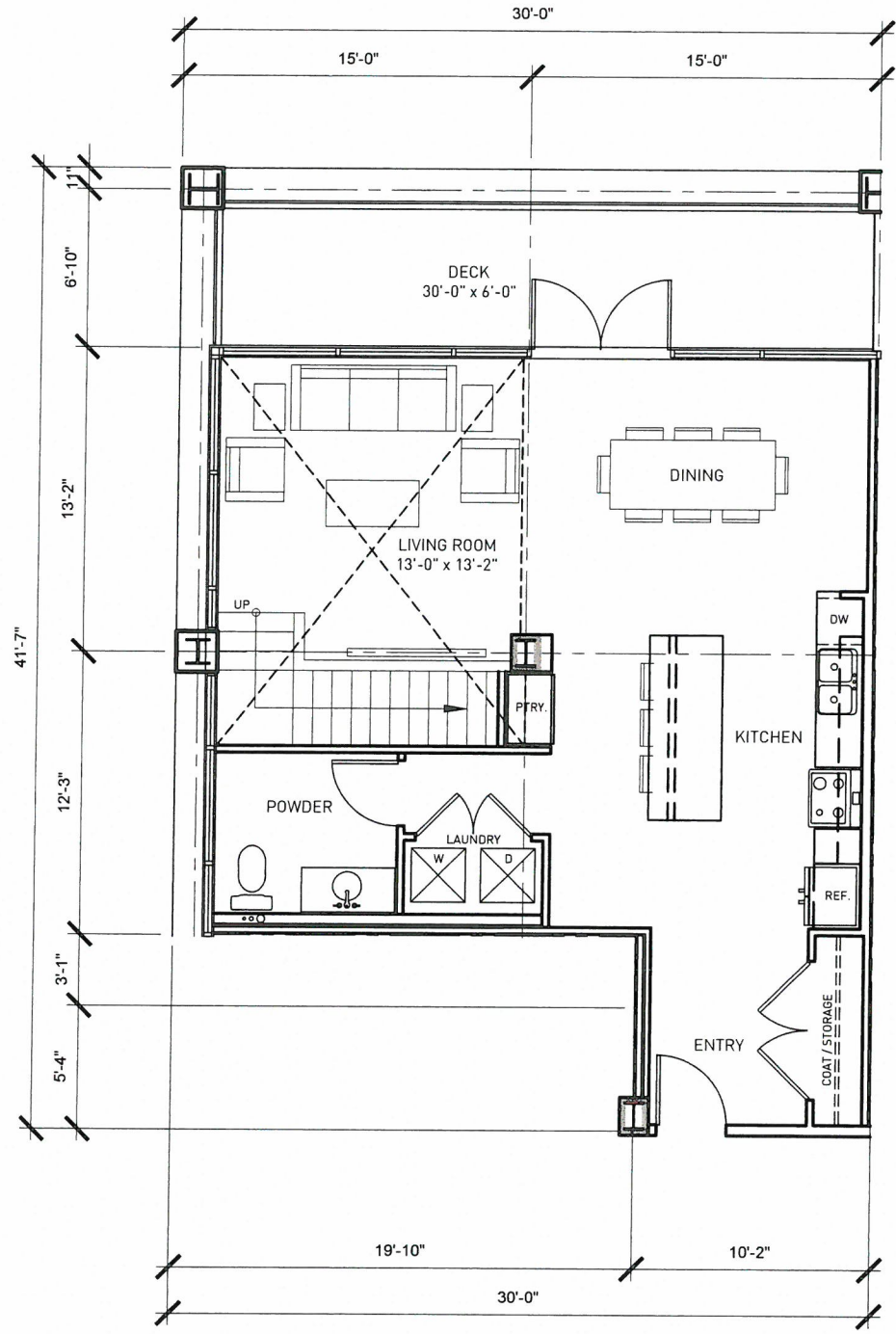
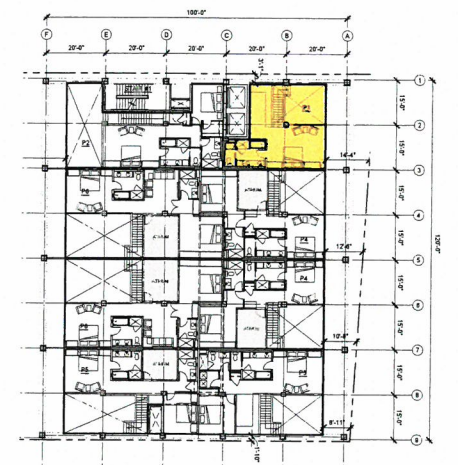


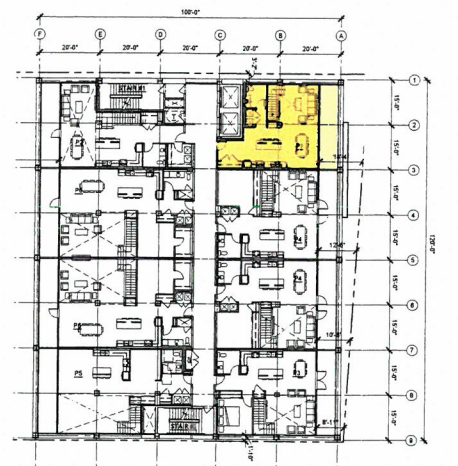
PENTHOUSE P1
LOFT SPACE



PENTHOUSE P1
FIRST FLOOR

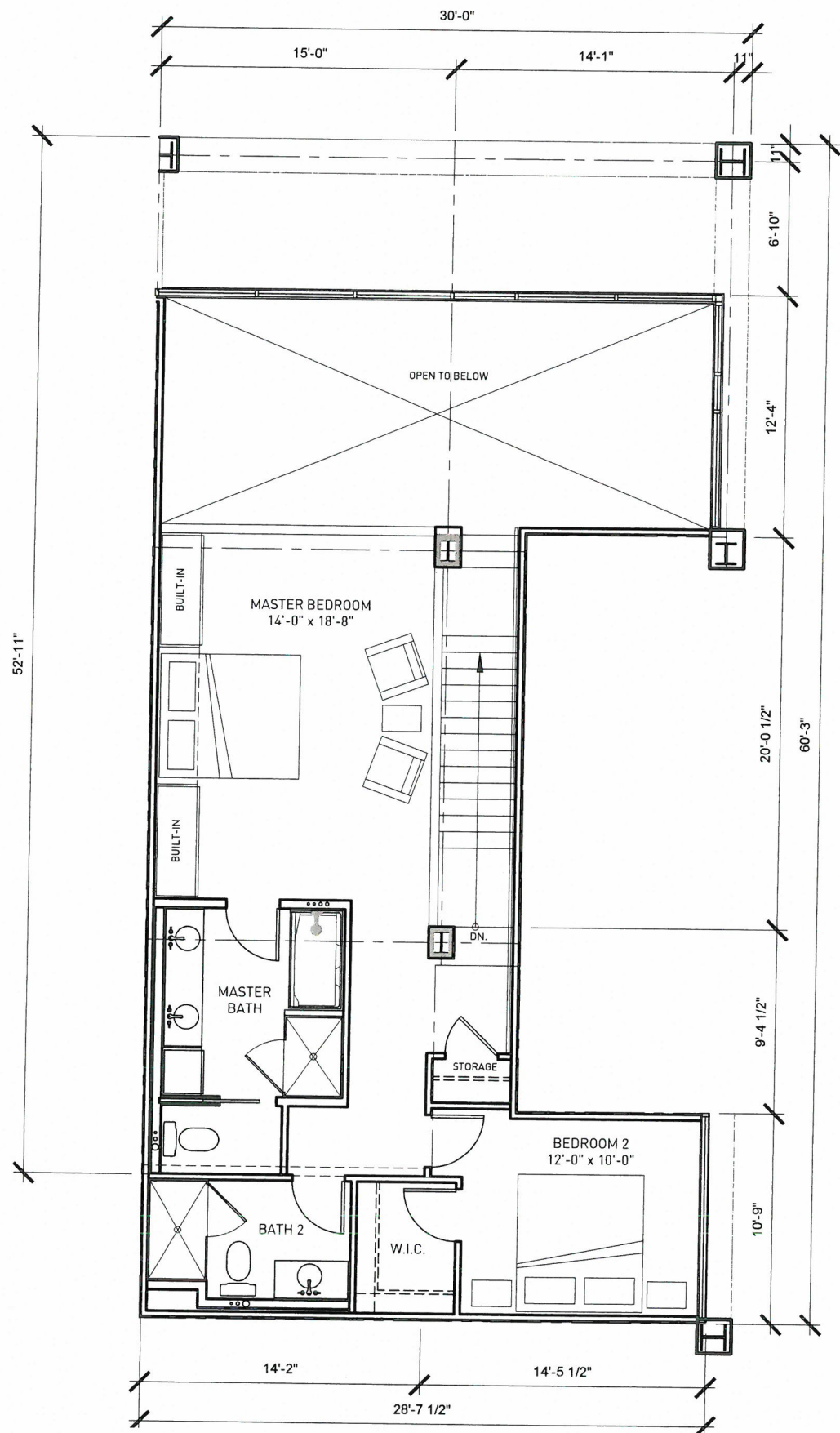


LEVEL 11

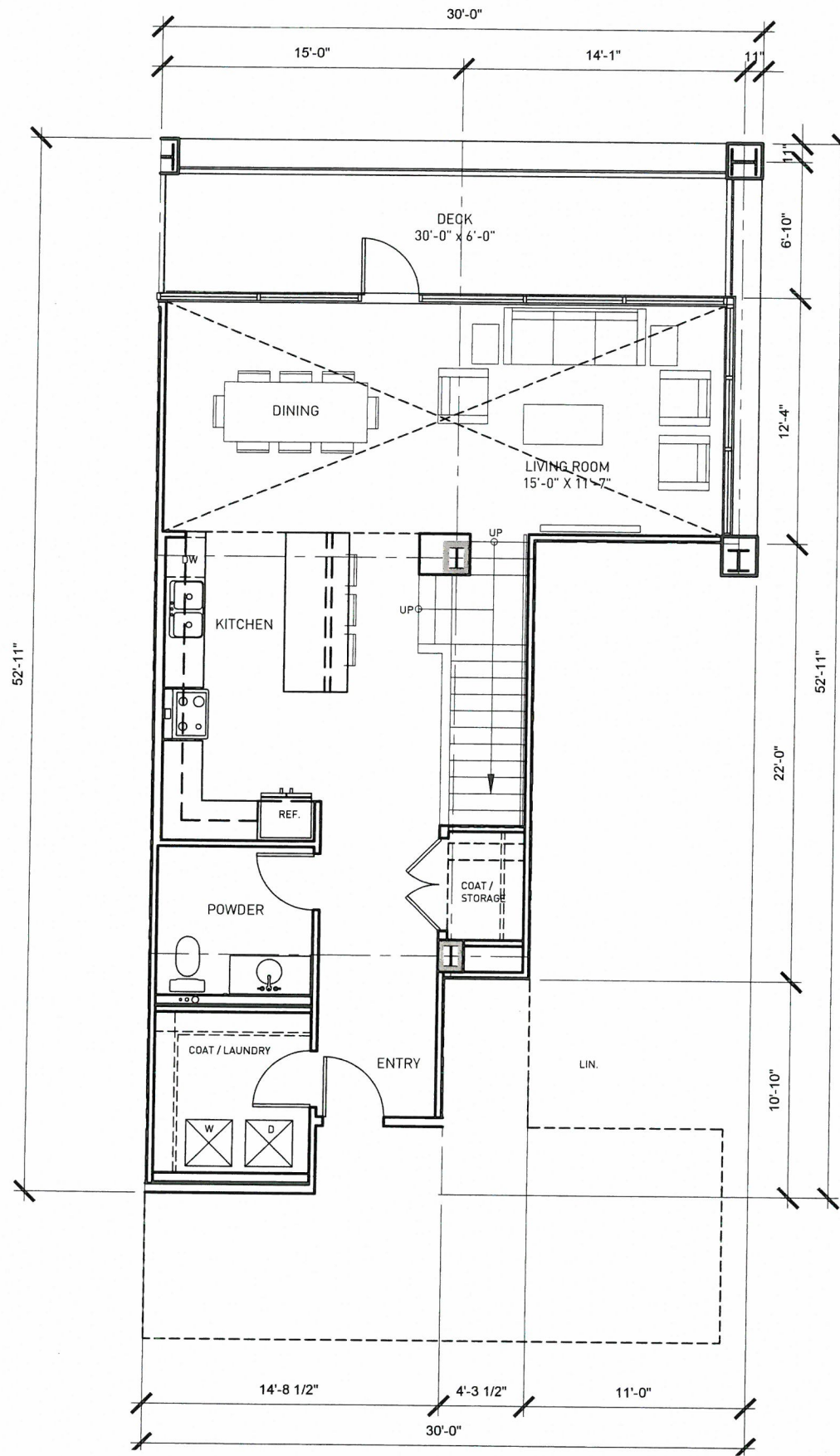


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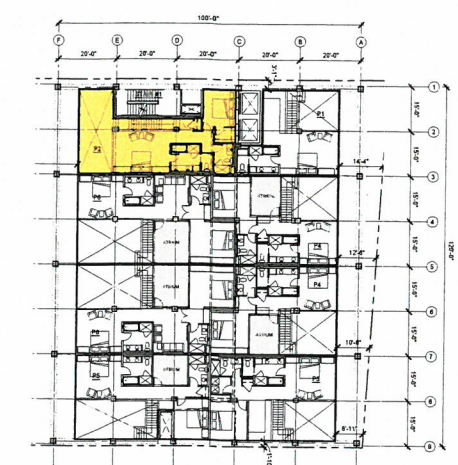




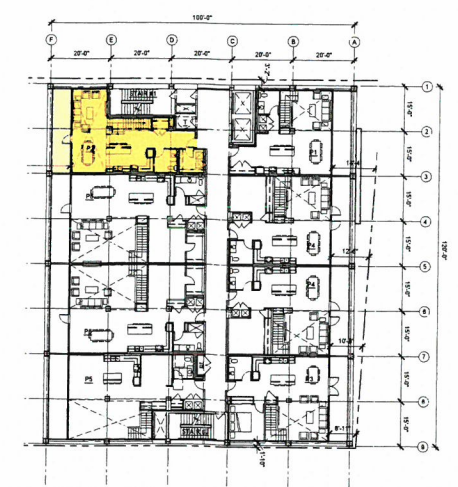
PENTHOUSE P2
LOFT SPACE



PENTHOUSE P2
FIRST FLOOR

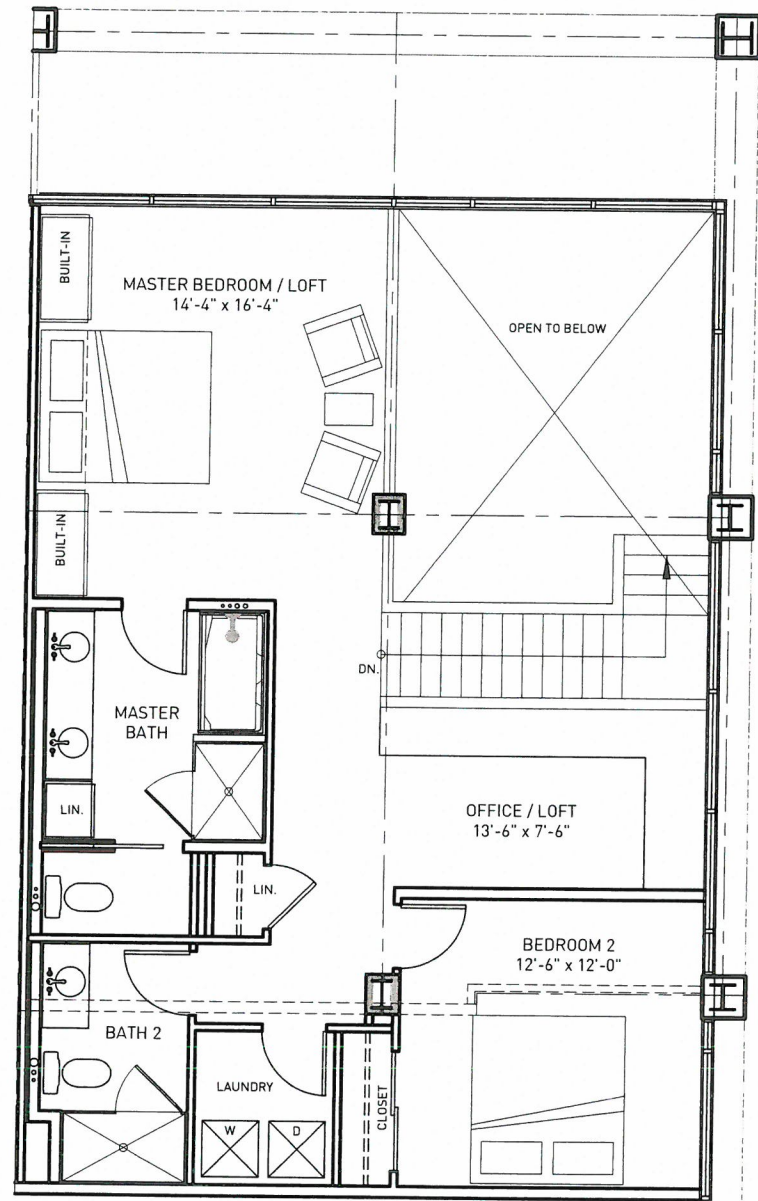


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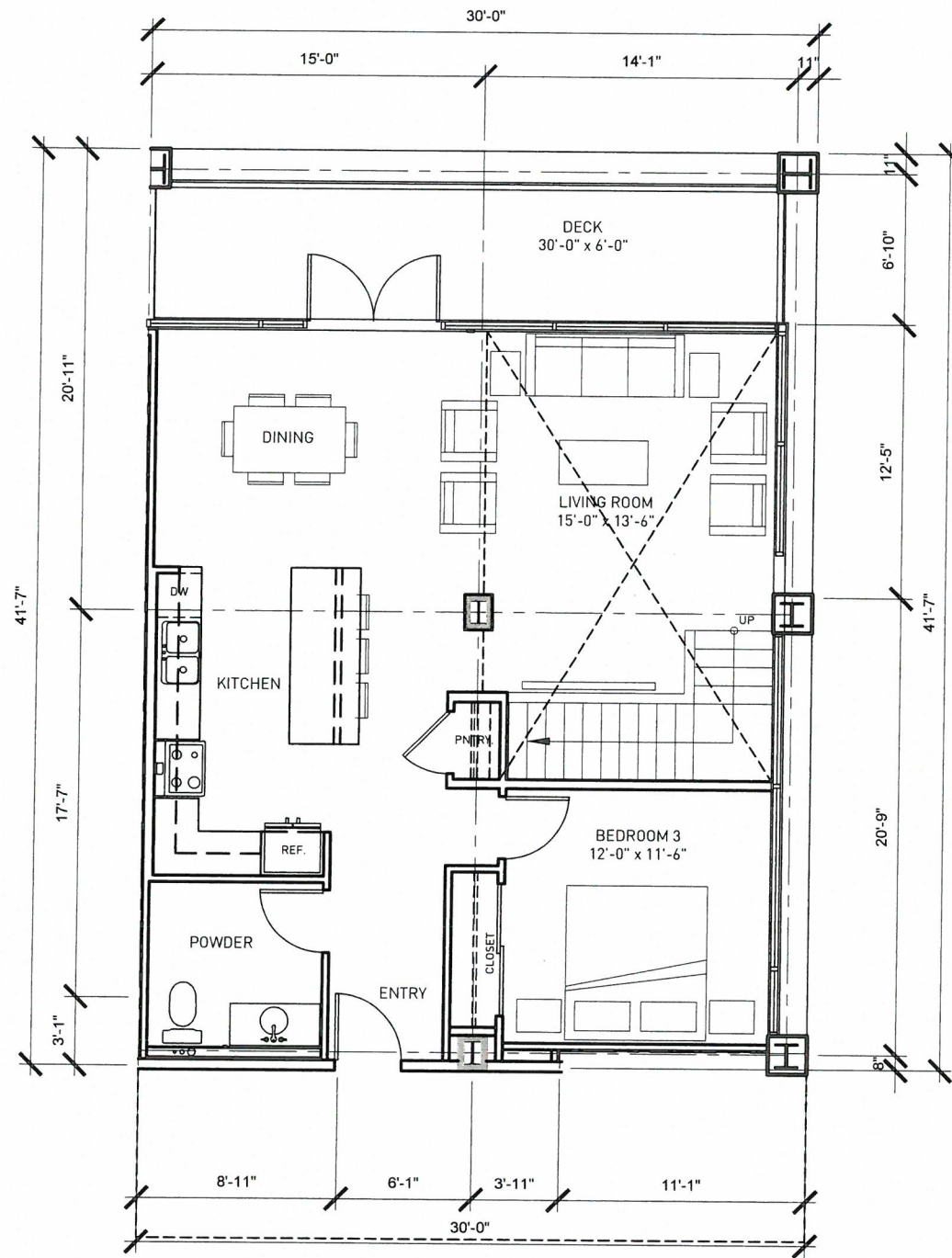


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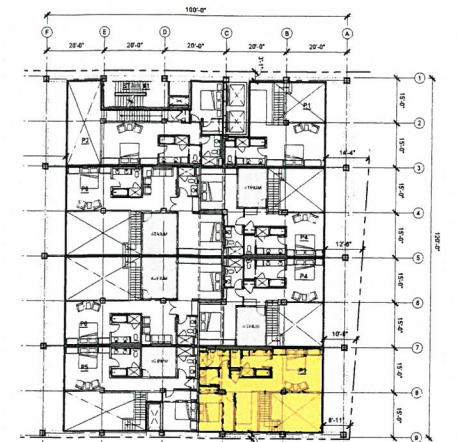




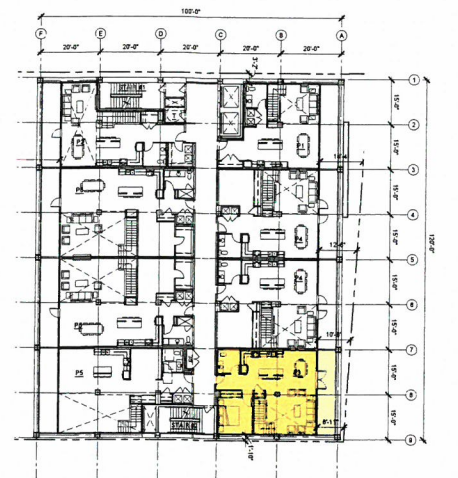
PENTHOUSE P3
LOFT SPACE



PENTHOUSE P3
FIRST FLOOR

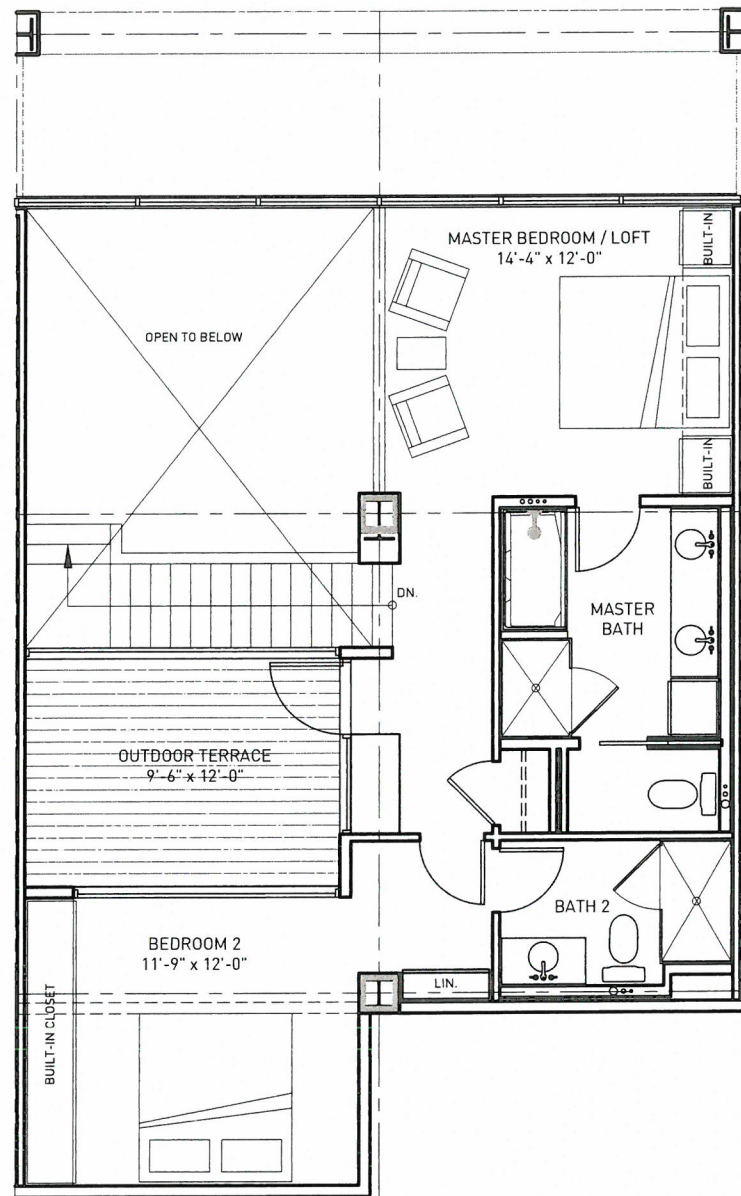


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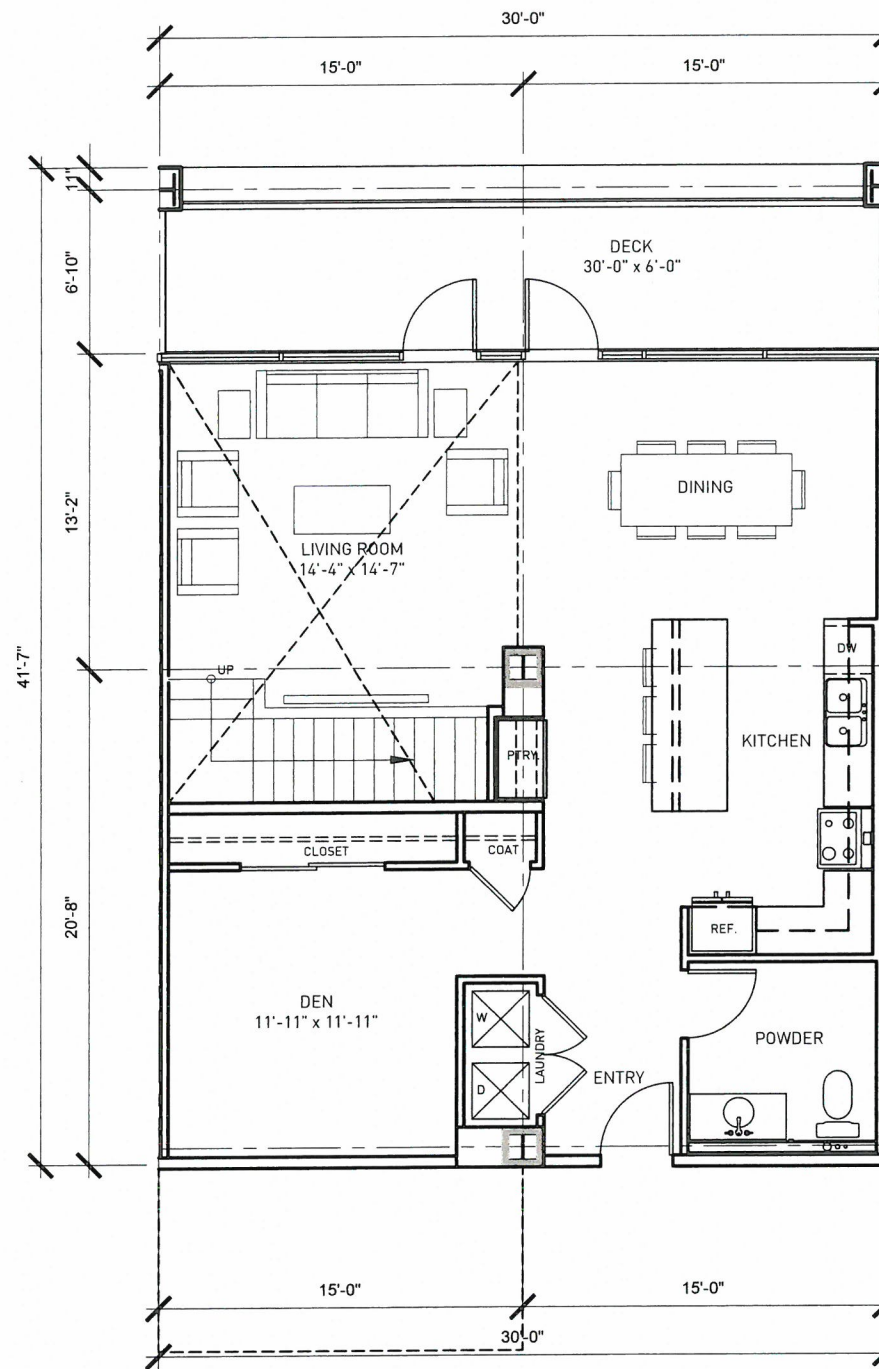


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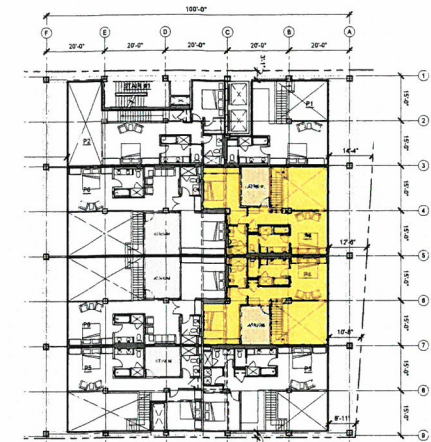




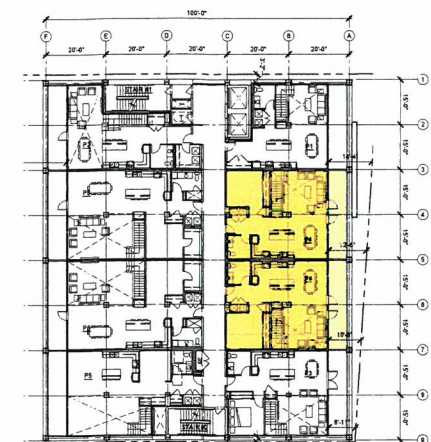
PENTHOUSE P4
LOFT SPACE



PENTHOUSE P4
FIRST FLOOR

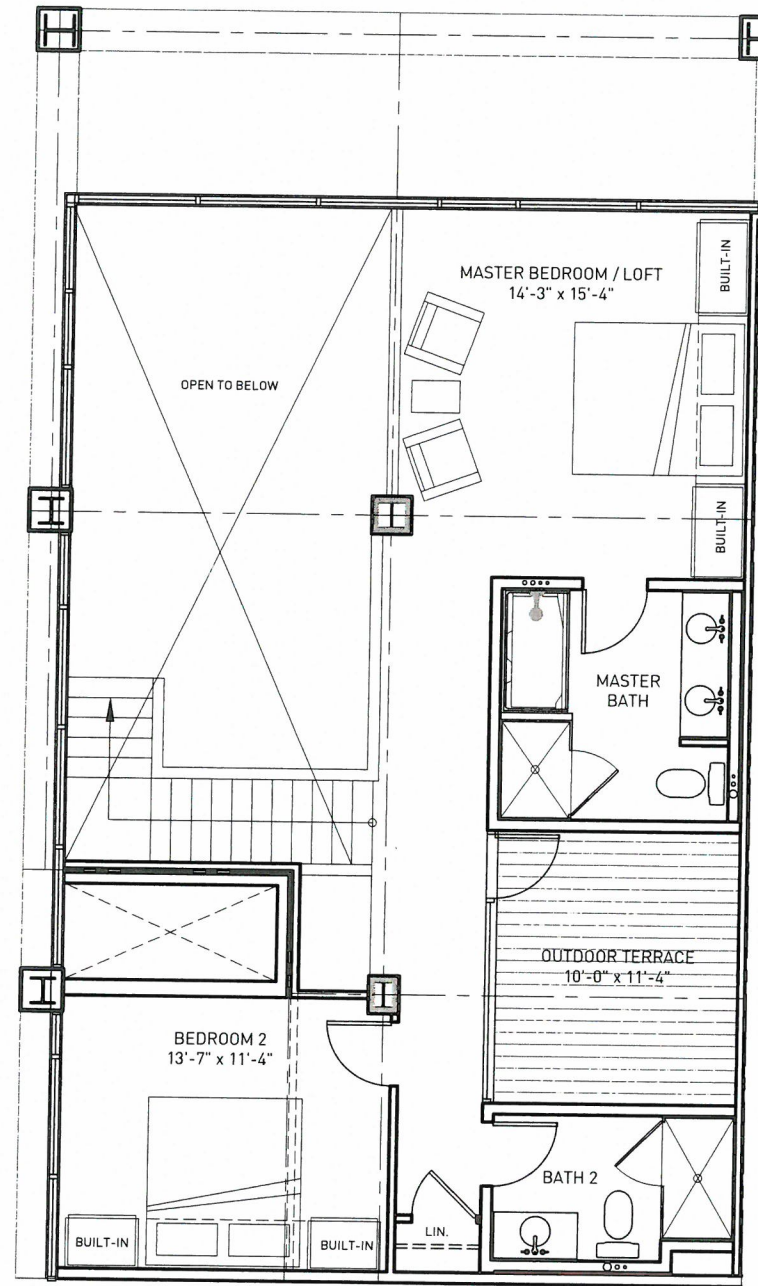


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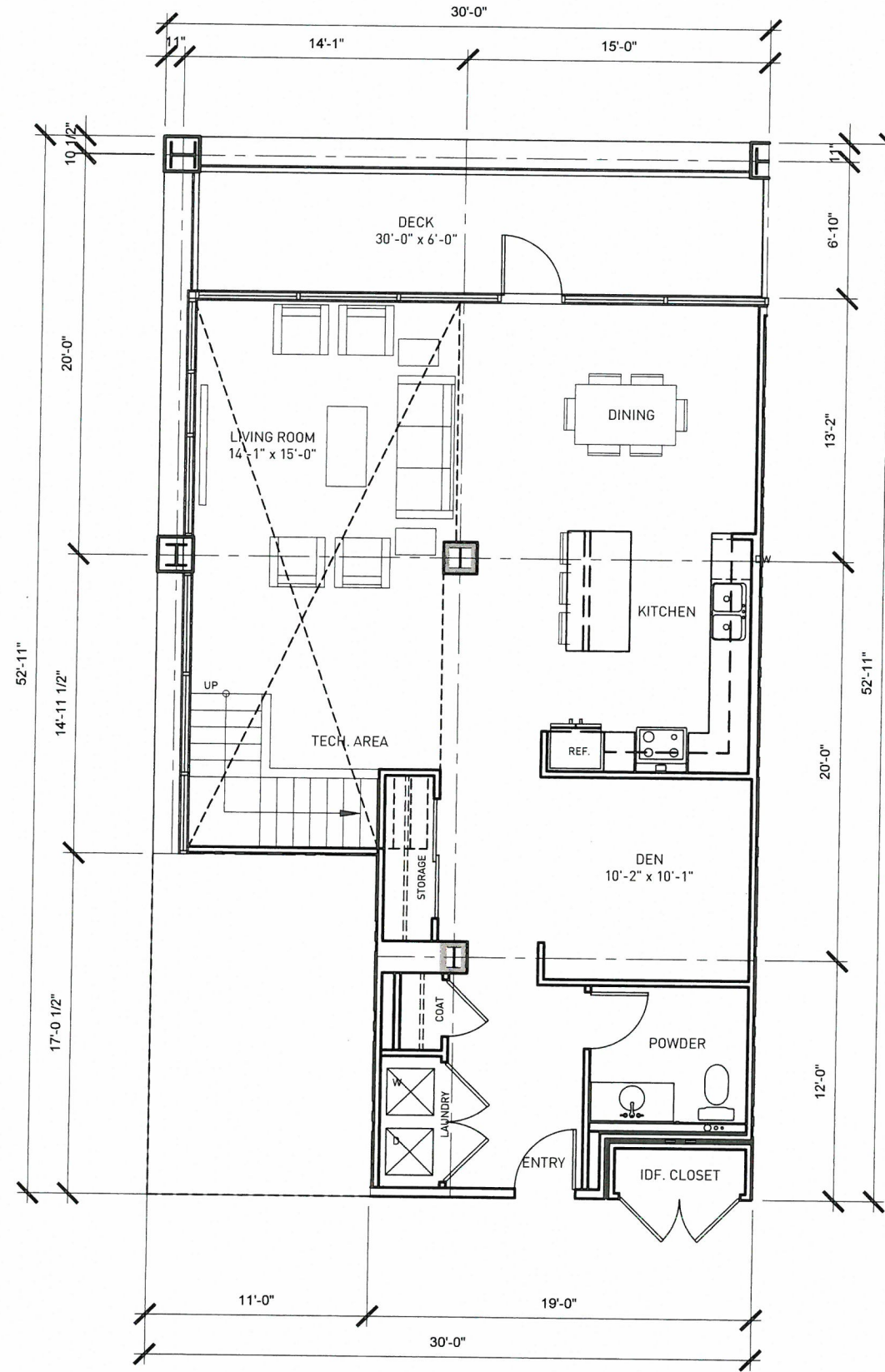


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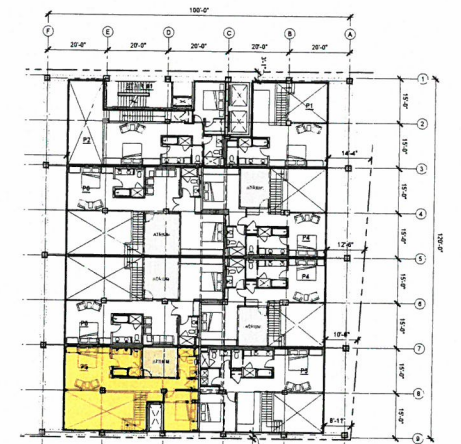




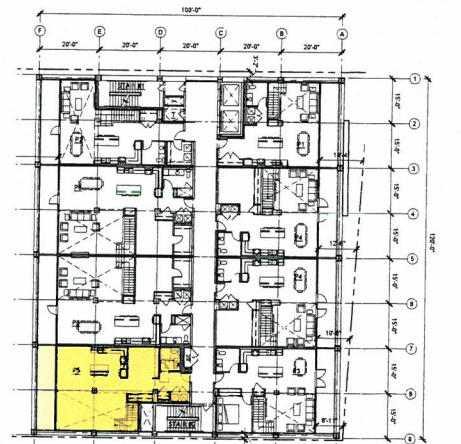
PENTHOUSE P5
LOFT SPACE



PENTHOUSE P5
FIRST FLOOR

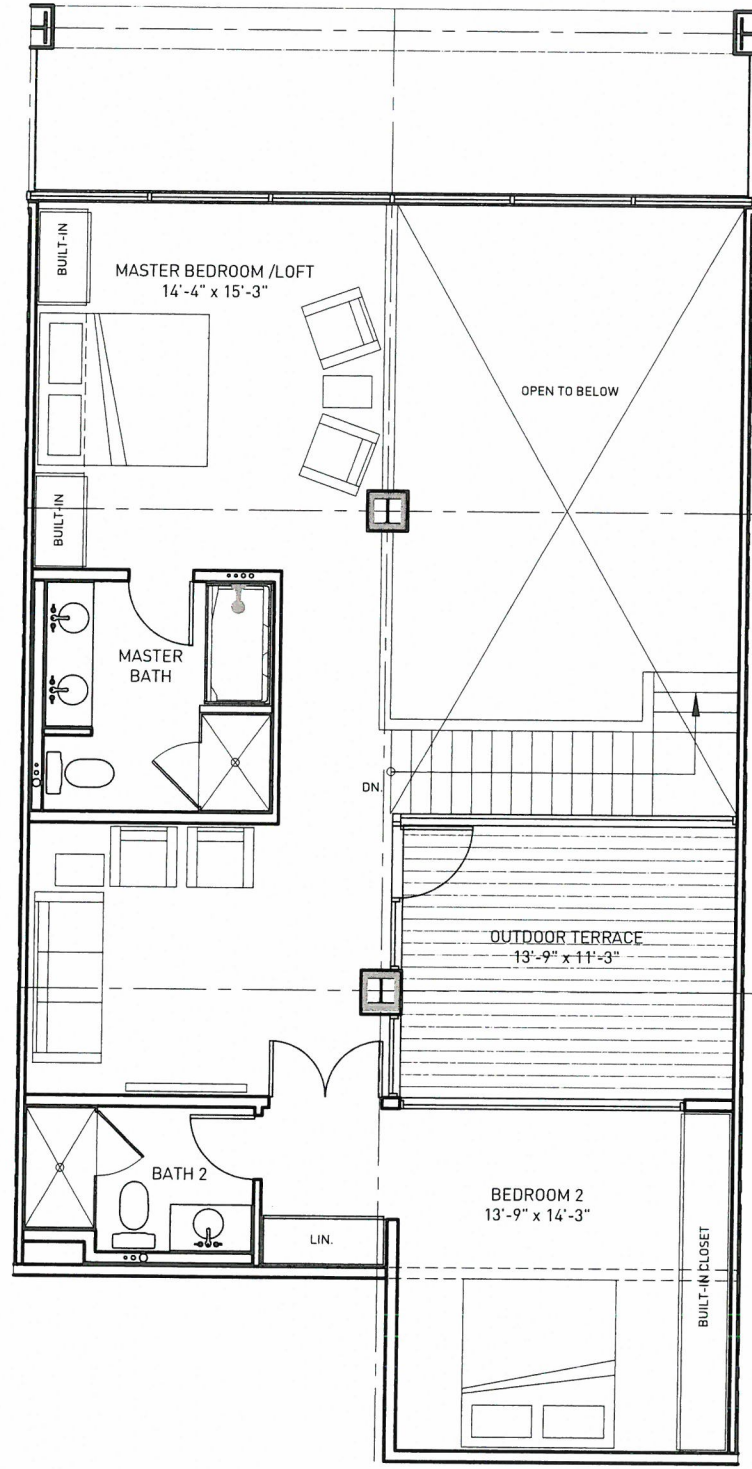


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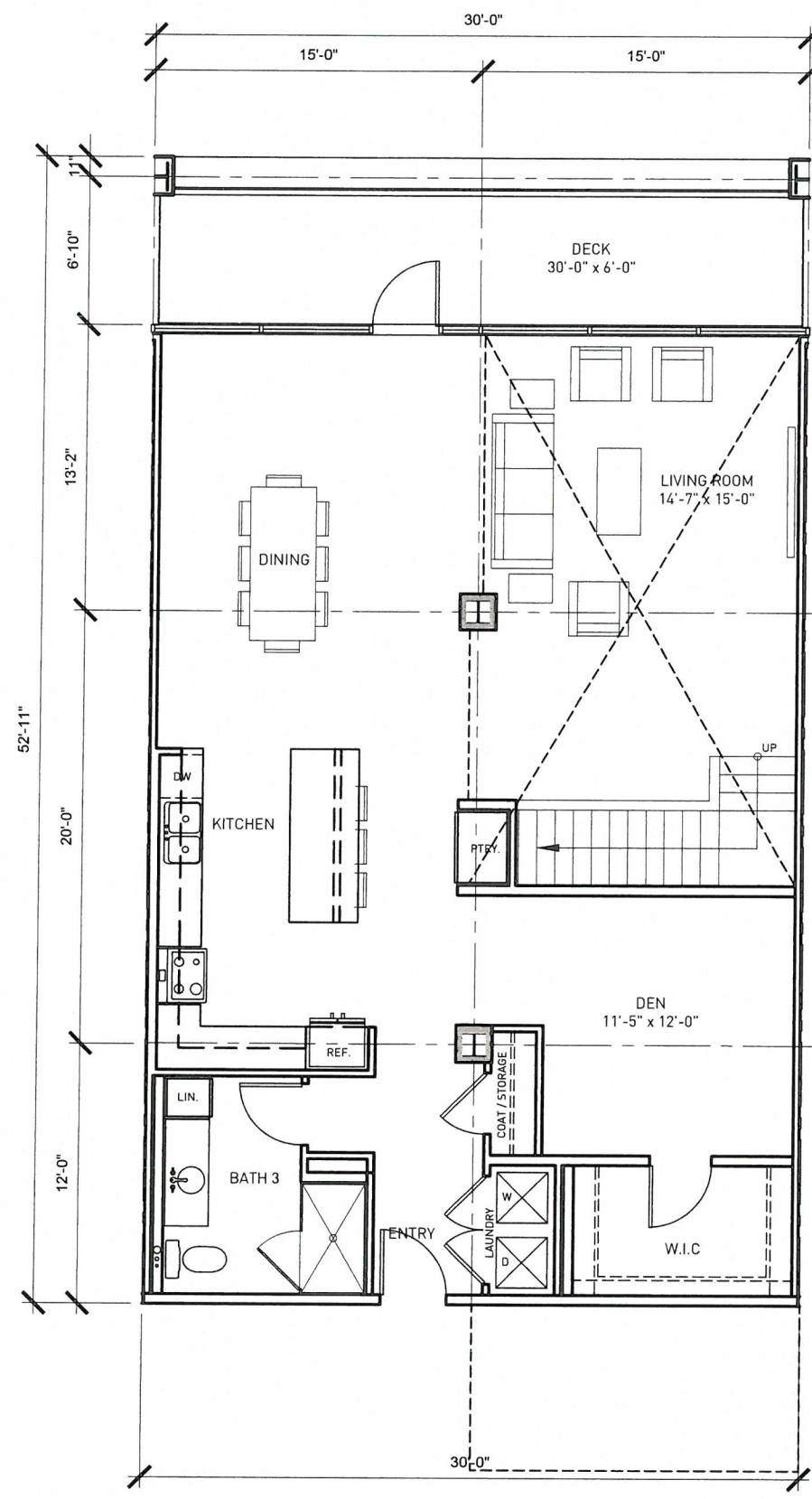


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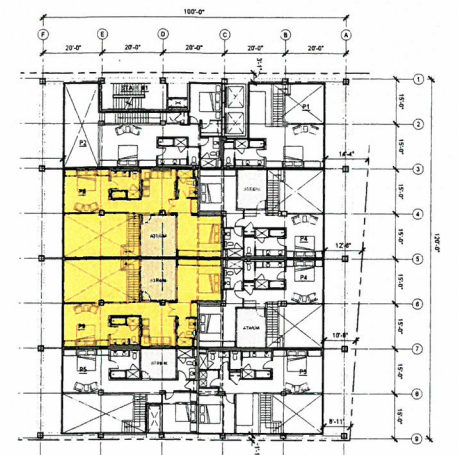




PENTHOUSE P6
LOFT SPACE



PENTHOUSE P6
FIRST FLOOR

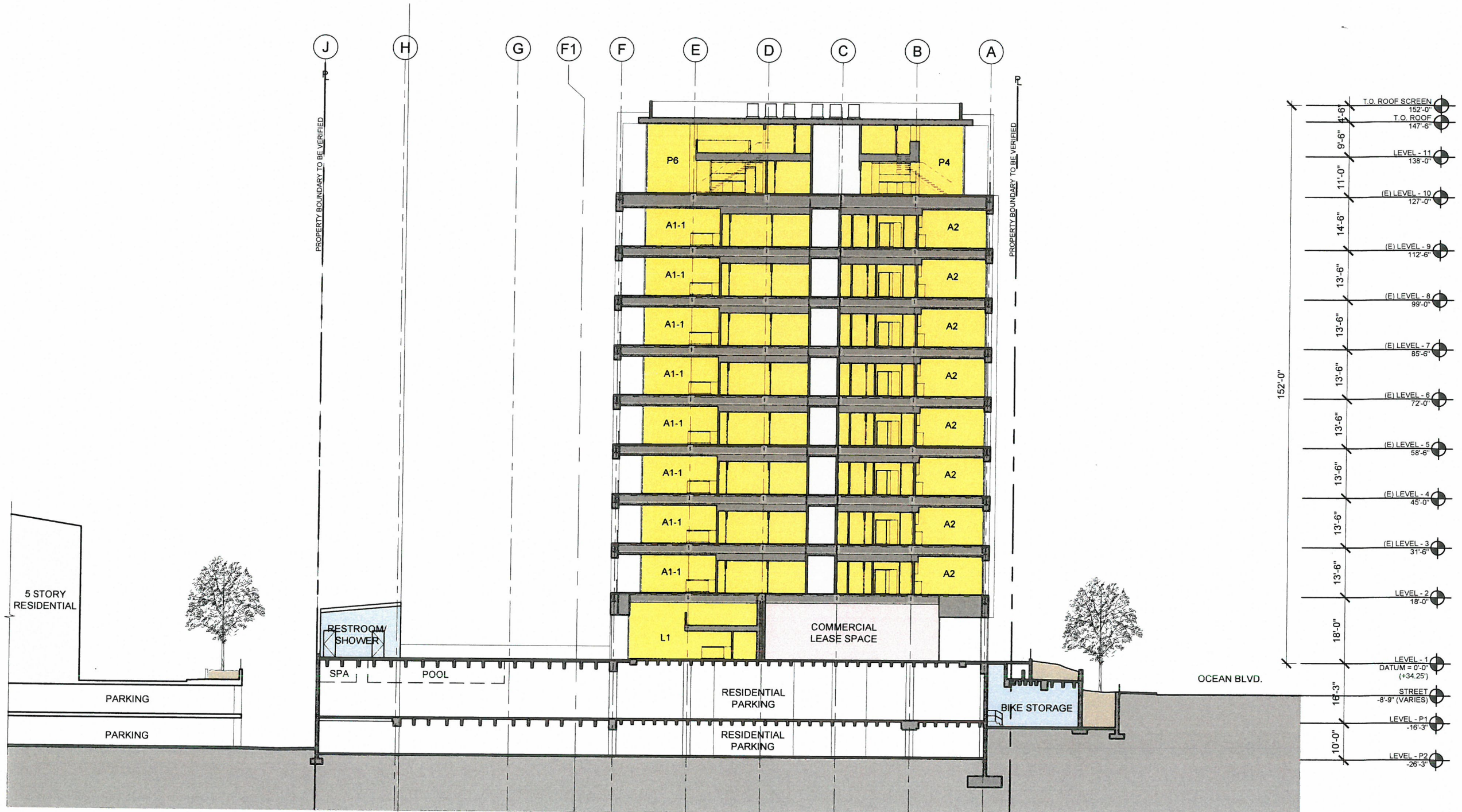


LEVEL 11



LEVEL 10







200 WEST OCEAN CONDOMINIUM CONVERSION

ZONING SUMMARY			
ZONE	PD 6	Downtown Shoreline Planned Development District SUBAREA 4	
LOT AREA	22,828 sf	0.52 acres	
EXISTING CONSTRUCTION TYPE	Type I-B		
PROPOSED STORIES	11 stories (9 existing stories with two new levels for penthouse units)		

SETBACKS	ALLOWED	PROPOSED	NOTES
Ocean Boulevard	None	Retain Existing	Existing Easement Areas
Property to the East (private road + open parking lot)	None	Retain Existing	Existing Easement Areas
Property to the South (Walk of 1,000 Lights + Residential)	None	Retain Existing	Existing Easement Areas
Property to the West (Residential)	None	Retain Existing	Existing Easement Areas
RESIDENTIAL UNITS		94 dwelling units	See Density notes
DENSITY	100 Du/acre	179.4 Du/acre	LB-PD-6 Ordinance No 11-0017 Page 28, Line 3 (a) Uses. High-density residential is permitted with as much as one hundred dwelling units per acre, but not to exceed one thousand five hundred (1,500) new residential units
BUILDING HEIGHT	420 ft.	160 ft.	LB-PD-6 Ordinance No 11-0017 Page 31, Line 27 (c) Building Design 2. Height. Buildings may be high-rise up to four hundred twenty feet (420') above Ocean Boulevard grade east of Chestnut Place, and up to six hundred feet (600') above Ocean boulevard grade west of Chestnut Place, providing that any high-rise buildings are not so uniform in design or height as to create a monotonous design or overly monumental scale.
FAR	N/A	5.3 (excludes parking garage area)	Total Building Area / Lot Area
LOT COVERAGE	N/A	66.0% (excludes parking garage area)	No change from existing.
TOTAL BUILDING AREA (EXISTING)	N/A	108,305 sf	
TOTAL BUILDING AREA (PROPOSED)	N/A	120,777 sf	See Program Summary

BUILDING CODE ANALYSIS (2013 CBC)

OCCUPANCY GROUP			
Parking Areas (P1 thru P-3)	S-2		
Ground Level	M, B or A-2 (Ground level, tenant TBD) + R2 (Loft Units)		
Levels 2 thru 11	R-2		
CONSTRUCTION TYPE			
I-B, Fully sprinklered			
HEIGHT AND AREA			
Allowable Height = 160'	Provided Height = 157'		
Allowable Stories = 11	Provided Stories = 11		
Allowable Area = Unlimited			
FIRE RESISTANCE RATINGS REQ'D (TYPE I-B CONSTRUCTION)			
Primary Structural Frame	2 HR		
Exterior Bearing Walls	2HR		
Non-Bearing Walls (Exterior)	RE: Table CBC 602		
Non-Bearing Walls (Interior)	0 HR		
Floor Construction	2 HR		
Roof Construction	1 HR		

PROGRAM SUMMARY

BUILDING SUMMARY	
GROUND FLOOR	
Lobby, Leasing, Elevator, Stair + Meeting room etc.	3,491 sf
Community Room	775 sf
Gym	915 sf
Commercial Space	4,597 sf
LEVEL 01 LOFTS	
Residential Units	4,788 sf
LEVEL 02-09 FLATS	
Residential Units	75,496 sf
Exit Stairs, Elevator Lobbies + Corridors	13,360 sf
PENTHOUSES	
Residential Units	15,690 sf
Exit Stairs, Elevator Lobbies + Corridors	1,665 sf
TOTAL BUILDING AREA	120,777 sf

UNIT SUMMARY BY TYPE	
studios	46 (48.9%)
1 Bdrm	16 (17.0%)
1Bdrm + Den	17 (18.1%)
2 Bdrm	9 (9.6%)
2 Bdrm + Den	6 (6.4%)
TOTALS	94 units

PLAN	DESCRIPTION	QNTY.	GROSS	GROSS AREA	NET RENTABLE	NET RENTABLE
LEVEL 01 LOFTS						
L1	studio loft	5 (5.3%)	798 sf	3,990 sf	709 sf	3,545 sf
L2	studio loft	1 (1.1%)	798 sf	798 sf	709 sf	709 sf
LEVEL 02-09 FLATS						
A1	studio	8 (8.5%)	679 sf	5,432 sf	613 sf	4,904 sf
A1-1	studio	8 (8.5%)	679 sf	5,432 sf	602 sf	4,816 sf
A2	studio	16 (17.0%)	813 sf	13,008 sf	743 sf	11,888 sf
A2-1	studio	8 (8.5%)	812 sf	6,496 sf	743 sf	5,944 sf
B1	1 Bdrm + 1 Bath	8 (8.5%)	933 sf	7,464 sf	843 sf	6,744 sf
C1	1 Bdrm + 1 Bath	8 (8.5%)	1,026 sf	8,208 sf	923 sf	7,384 sf
C2	1 Bdrm, Den + 1 Bath	8 (8.5%)	1,094 sf	8,752 sf	981 sf	7,848 sf
C3	1 Bdrm, Den + 2 Bath	8 (8.5%)	1,357 sf	10,856 sf	1,289 sf	10,312 sf
D1	2 Bdrm + 2 Bath	8 (8.5%)	1,231 sf	9,848 sf	1,107 sf	8,856 sf
PENTHOUSES						
P1	1 Bdrm, Office + 1.5 Bath	1 (1.1%)	1,399 sf	1,399 sf	1,284 sf	1,284 sf
P2	2 Bdrm + 2.5 Bath	1 (1.1%)	1,725 sf	1,725 sf	1,572 sf	1,572 sf
P3	3 Bdrm + 2.5 Bath	1 (1.1%)	1,915 sf	1,915 sf	1,760 sf	1,760 sf
P4	2 Bdrm, Den + 2.5 Bath	2 (2.1%)	1,881 sf	3,762 sf	1,748 sf	3,496 sf
P5	2 Bdrm, Den + 2.5 Bath	1 (1.1%)	1,991 sf	1,991 sf	1,850 sf	1,850 sf
P6	2 Bdrm, 2 Den + 3 Bath	2 (2.1%)	2,449 sf	4,898 sf	2,307 sf	4,614 sf
TOTALS		94 units		95,974 sf		87,526 sf

PARKING SUMMARY

REQUIRED VEHICULAR PARKING - Adaptive Reuse Section 21.45.500 Special Development Standards			
RESIDENTIAL	residential (0 space per unit)	94 x	0.0 spaces per unit = 0.0
GUEST	residential guest	94 x	0.0 spaces per unit = 0.0
TOTAL REQUIRED RESIDENTIAL PARKING			0 spaces
COMMERCIAL	(50% of req. for assembly)	4,597 sf	1 / 1000 sf = 2.3
TOTAL REQUIRED COMMERCIAL PARKING			3 spaces
TOTAL REQUIRED VEHICULAR PARKING			3 spaces required

PROPOSED VEHICULAR PARKING

RESIDENTIAL	STANDARD + COMPACT STALLS	94 spaces
GUEST	STANDARD + COMPACT STALLS	19 spaces
TOTAL PROPOSED RESIDENTIAL PARKING		113 spaces
COMMERCIAL	STANDARD STALLS	11 spaces
	COMPACT STALLS	5 spaces
TOTAL PROPOSED COMMERCIAL PARKING		16 spaces
TOTAL PROPOSED VEHICULAR PARKING		129 spaces provided

REQUIRED BICYCLE PARKING

RESIDENTIAL / GUEST / RETAIL	N/A	0 bicycle spaces
TOTAL REQUIRED BICYCLE PARKING SPACES		0 bicycle spaces

PROPOSED BICYCLE PARKING

RESIDENTIAL		12 bicycle spaces
TOTAL PROPOSED BICYCLE PARKING SPACES		12 bicycle spaces

RATED WALL LEGEND

EXIT TRAVEL DISTANCE

1 HOUR — 1HR=1HR

2 HOUR — 2HR=2HR

MAX. COMMON PATH OF EGRESS TRAVEL FOR 'A & M' WITH SPRINKLER SYSTEM = 75'-0"

MAX. EXIT ACCESS TRAVEL DISTANCE FOR 'A & M' WITH SPRINKLER SYSTEM = 250'-0"

10'-0" TO ASSUMED LINE
45% UNPROTECTED OPENINGS PERMITTED

TOTAL OCCUPANTS EXITING POOL DECK = 480
OCCUPANTS THIS EXIT = 240
REQUIRED EGRESS DOOR WIDTH = $240 \times 0.15 = 36.0"$
PROVIDED EGRESS DOOR WIDTH = 6'-0"

ZONE AREA MTG. ROOM (B)
OCC. LOAD FACTOR 1 OCC./100 GROSS SQ. FT.
OCCUPANCY 3

ZONE AREA LEASING OFC. (B)
OCC. LOAD FACTOR 1 OCC./100 GROSS SQ. FT.
OCCUPANCY 6

TOTAL OCCUPANTS THIS EXIT = 295
REQUIRED EGRESS STAIR WIDTH = $295 \times 0.20" = 59.00"$
REQUIRED EGRESS DOOR WIDTH = $295 \times 0.15" = 44.25"$
PROVIDED EGRESS STAIR WIDTH: 12'-0"
PROVIDED EGRESS DOOR WIDTH: 6'-0"

ZONE AREA COMMERCIAL REST. (A-2)
OCC. LOAD 'A-2' 1 OCC./15 GROSS SQ. FT.
OCCUPANCY 215 (3,217 SF)
OCC. LOAD 'A-2' 1 OCC./200 GROSS SQ. FT.
OCCUPANCY 6.90 (1,380 SF)
TOTAL OCC. LOAD 215.00+7.00 = 222

ZONE AREA POOL & SPA
OCC. LOAD FACTOR 1 OCC./50 GROSS SQ. FT.
OCCUPANCY 13

ZONE AREA POOL DECK
OCC. LOAD FACTOR 1 OCC./15 GROSS SQ. FT.
OCCUPANCY 155

ZONE AREA COMMUNITY ROOM
OCC. LOAD FACTOR 1 OCC./15 NET SQ. FT.
OCCUPANCY 50

ZONE AREA PATIO
OCC. LOAD FACTOR 1 OCC./15 GROSS SQ. FT.
OCCUPANCY 219

1 HR. RATED EXTERIOR WALL

10'-0" TO ASSUMED LINE
45% UNPROTECTED OPENINGS PERMITTED

(E) GARAGE STAIR EXTENDED TO POOL DECK LEVEL
48" WIDE STAIR EXITS AT 'MOAT'

EGRESS CONTINUES UP SOUTH CAMDEN STAIR
RE: SITE PLAN

TOTAL OCCUPANTS EXITING POOL DECK = 480
OCCUPANTS THIS EXIT = 240
REQUIRED EGRESS STAIR WIDTH = $240 \times 0.2 = 48.0"$
REQUIRED EGRESS DOOR WIDTH = $240 \times 0.15 = 36.0"$
PROVIDED EGRESS STAIR WIDTH: 4'-0"
PROVIDED EGRESS DOOR WIDTH: 3'-0"

ZONE AREA GYM
OCC. LOAD FACTOR 1 OCC./50 GROSS SQ. FT.
OCCUPANCY 19

1 HR. RATED EXTERIOR WALL

TOTAL OCCUPANTS SPACE = 222
OCCUPANTS THIS EXIT = 111
REQUIRED EGRESS STAIR WIDTH = $111 \times 0.2" = 22.2"$
REQUIRED EGRESS DOOR WIDTH = $111 \times 0.15" = 16.7"$
PROVIDED EGRESS STAIR WIDTH: 4'-0"
PROVIDED EGRESS DOOR WIDTH: 3'-0"

TOTAL OCCUPANTS THIS EXIT = 111
REQUIRED EGRESS STAIR WIDTH = $111 \times 0.20" = 22.2"$
REQUIRED EGRESS DOOR WIDTH = $111 \times 0.15" = 16.7"$
PROVIDED EGRESS DOOR WIDTH: 6'-0"

ZONE AREA RESIDENTIAL
OCC. LOAD FACTOR 1 OCC./200 GROSS SQ. FT.
OCCUPANCY 24

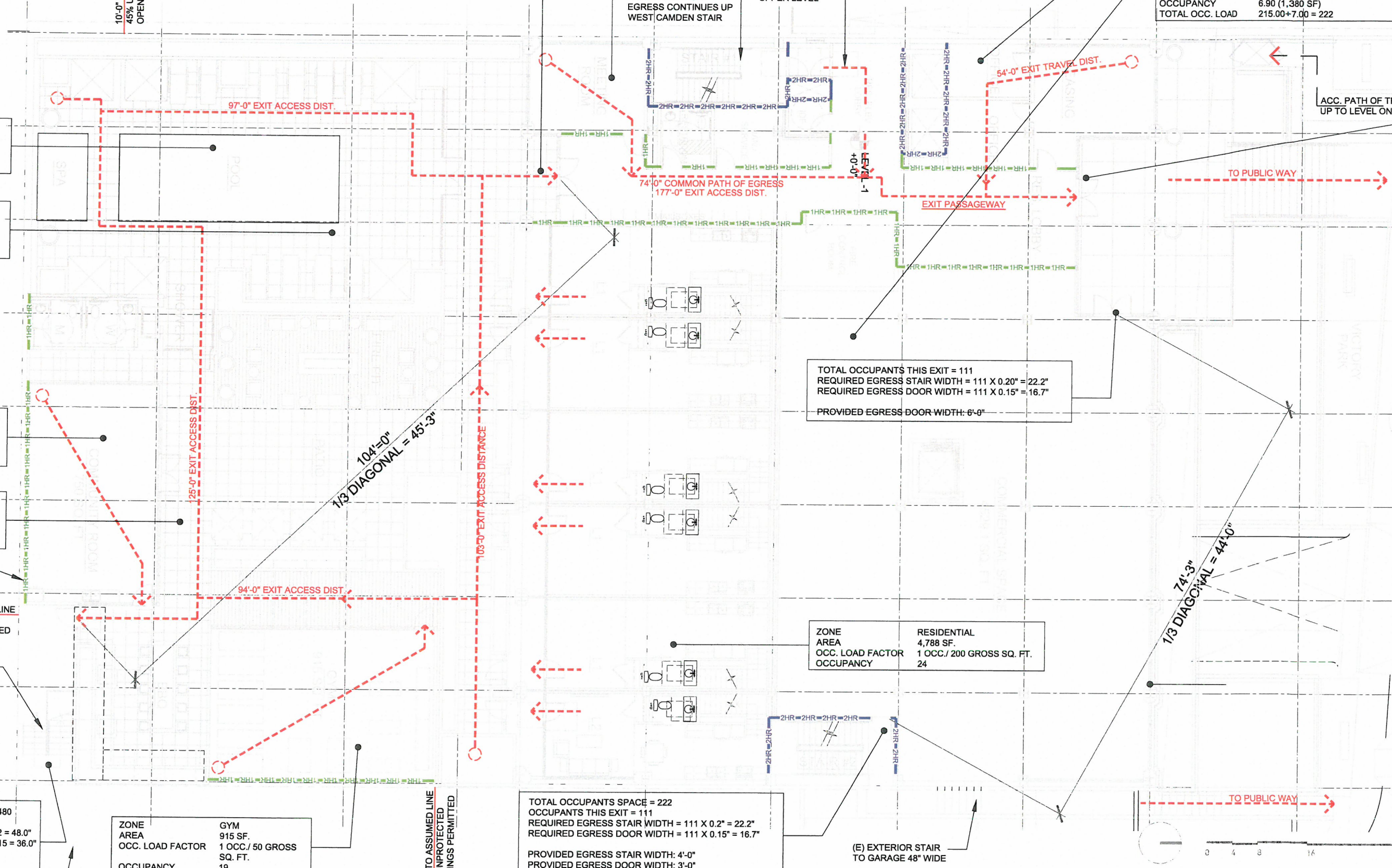
(E) EXTERIOR STAIR TO GARAGE 48" WIDE

TO PUBLIC WAY

TO PUBLIC WAY

ACC. PATH OF TRAVEL UP TO LEVEL ONE

TO PUBLIC WAY



ANALYSIS: EXITING DIAGRAM LEVEL 1

200 WEST OCEAN, Long Beach, CA

RATED WALL LEGEND

EXIT TRAVEL DISTANCE

1 HOUR — 1HR = 1HR

2 HOUR — 2HR = 2HR

MAX. COMMON PATH OF EGRESS TRAVEL FOR R-2 WITH SPRINKLER SYSTEM = 125'-0"

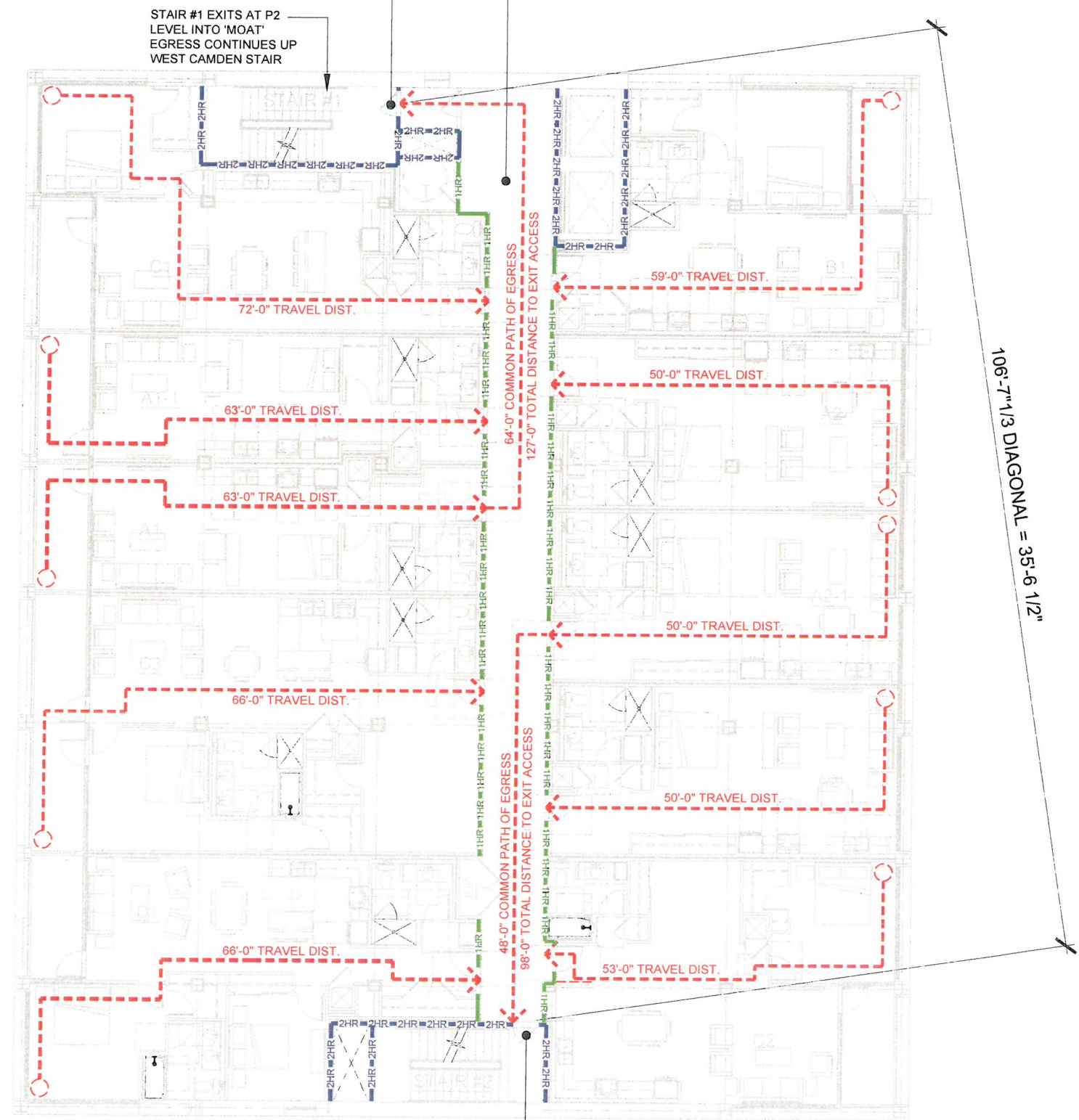
MAX. EXIT ACCESS TRAVEL DISTANCE FOR R-2 WITH SPRINKLER SYSTEM = 250'-0"

TOTAL OCCUPANTS EXITING LEVEL* = 57
 OCCUPANTS THIS EXIT = 29
 REQUIRED EGRESS STAIR WIDTH = 29 X 0.2" = 5.8"
 REQUIRED EGRESS DOOR WIDTH = 29 X 0.15" = 4.4"

*TYPICAL FOR LEVELS 3-9

PROVIDED EGRESS STAIR WIDTH: 4'-0"
 PROVIDED EGRESS DOOR WIDTH: 3'-0"

ZONE	RESIDENTIAL
AREA	11,266 SF.
OCC. LOAD FACTOR	1 OCC./200 GROSS SQ. FT.
OCCUPANCY	57



TOTAL OCCUPANTS EXITING LEVEL* = 57
 OCCUPANTS THIS EXIT = 29
 REQUIRED STAIR EGRESS WIDTH = 29 X 0.2" = 5.6"
 REQUIRED EGRESS DOOR WIDTH = 29 X 0.15" = 4.4"

*TYPICAL FOR LEVELS 3-9

PROVIDED EGRESS STAIR WIDTH: 4'-0"
 PROVIDED EGRESS DOOR WIDTH: 3'-0"



ANALYSIS: EXITING DIAGRAM LEVEL 2-9
200 WEST OCEAN . long beach, ca

RATED WALL LEGEND

EXIT TRAVEL DISTANCE

1 HOUR — 1HR = 1HR

2 HOUR — 2HR = 2HR

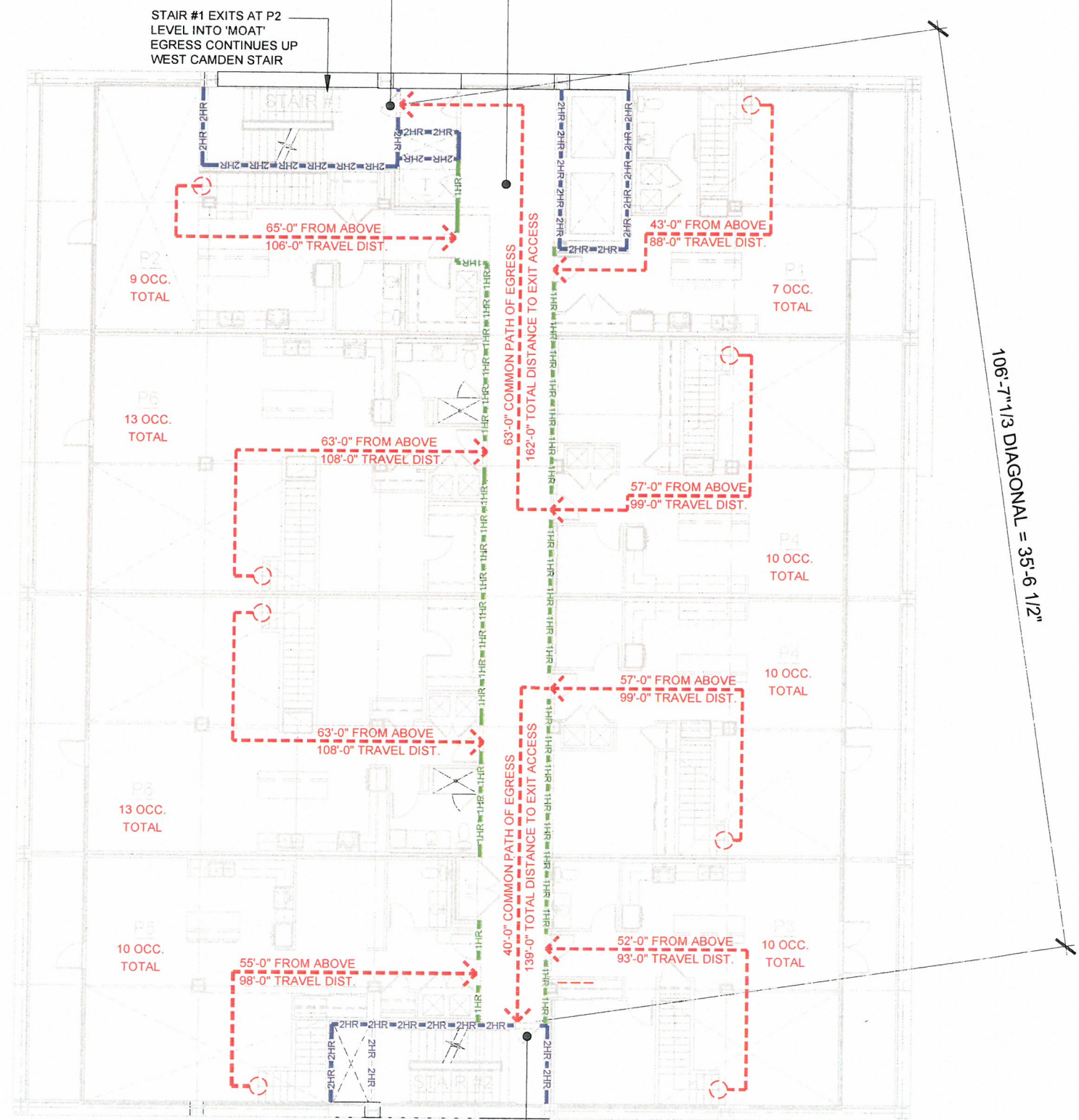
MAX. COMMON PATH OF EGRESS TRAVEL FOR R-2 WITH SPRINKLER SYSTEM = 125'-0"

MAX. EXIT ACCESS TRAVEL DISTANCE FOR R-2 WITH SPRINKLER SYSTEM = 250'-0"

TOTAL OCCUPANTS EXITING LEVEL = 92
 OCCUPANTS THIS EXIT = 46
 REQUIRED EGRESS STAIR WIDTH = 41 X 0.2" = 9.2"
 REQUIRED EGRESS DOOR WIDTH = 41 X 0.15" = 6.9"

PROVIDED EGRESS STAIR WIDTH: 4'-0"
 PROVIDED EGRESS DOOR WIDTH: 3'-0"

ZONE AREA	RESIDENTIAL
	11,266 SF. (LEVEL 10)
	7,065 SF. (LEVEL 11)
TOTAL AREA	18,331
OCC. LOAD FACTOR	1 OCC./ 200 GROSS SQ. FT.
OCCUPANCY	92



TOTAL OCCUPANTS EXITING LEVEL = 92
 OCCUPANTS THIS EXIT = 46
 REQUIRED EGRESS STAIR WIDTH = 41 X 0.2" = 9.2"
 REQUIRED EGRESS DOOR WIDTH = 41 X 0.15" = 6.9"

PROVIDED EGRESS STAIR WIDTH: 4'-0"
 PROVIDED EGRESS DOOR WIDTH: 3'-0"

106'-7 1/3" DIAGONAL = 35'-6 1/2"



ANALYSIS: EXITING DIAGRAM LEVEL 10
 200 WEST OCEAN . long beach, ca
 08.24.2015



DRACEANA DRACO (EXISTING)
DRAGON TREE



ALOE VERA
MEDICINAL ALOE



DIANELLA TASMANICA 'GOLD SWORD'
GOLD STRIPE FLAX LILY



ASPARAGUS DENSIFLORUS 'MYERSII'
ASPARAGUS FERN



DIETES 'NOLA ALBA'
KATRINA AFRICAN IRIS



LIRIOPE MUSCARI
BIG BLUE LILY TURF



CLIVIA MINIATA 'BELGIAN HYBRID YELLOW'
KAFFIR LILY



AGAVE ATTENUATA
FOXTAIL AGAVE



OPHIPOGON JAPONICUS
MONDO GRASS

PLANTING SCHEDULE

TREE LEGEND: trunk symbol shown for clarity

SYMBOL	BOTANICAL NAME / "COMMON" NAME	SIZE	QTY*	REMARKS	DETAIL	WULCOLS
	ALOE BARBERAE TREE ALOE	36" BOX	1	MULTI- TRUNK SPECIMEN		L
	DRACEANA DRACO DRAGON TREE (EXISTING)	EXISTING	1			L
	TABEBUIA IPE PINK TRUMPET TREE	36" BOX	2	STANDARD		M
	PHOENIX DACTYLIFERA DATE PALM	14' BTH	6	MATCHING SPECIMENS		M
	PITTOSPORUM TENN. 'SILVER SHEEN' KOHUHU	15 GAL.		30" O.C. / HEDGE		M
	PODOCARPUS GRACILIOR FERN PINE	24" BOX		30" O.C. / HEDGE		M
	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	16" BTH	2	MATCH SPECIMENS (1 EXISTING TO BE RELOCATED)		M

SHRUB LEGEND

SYMBOL	BOTANICAL NAME / "COMMON" NAME	SIZE	QTY*	REMARKS	DETAIL	WULCOLS
	AGAVE ATTENUATA GOOSE NECK AGAVE	7 GAL.		36" O.C.		L
	AGAVE 'BLUE FLAME' BLUE FLAME AGAVE	7 GAL.		36" O.C.		L
	ALOE PLICATILIS FAN ALOE	15 GAL.		SPECIMENS		L
	ALOE VERA MEDICINAL ALOE	5 GAL.		30" O.C.		L
	ANIGOZANTHOS 'BUSH YELLOW' YELLOW KANGAROO PAW	5 GAL.		24" O.C.		M
	ASPARAGUS DENSIFLORUS 'MYERSII' FOX TAIL FERN	5 GAL.		24" O.C.		M
	BUXUS SEMPERVIRENS 'GREEN GEM' BOXWOOD	5 GAL.		24" O.C. /HEDGE		M
	CLIVIA MINIATA 'BELGIAN HYBRID YELLOW' KAFFIR LILY	5 GAL.		24" O.C. / MONROVIA		M
	DIANELLA TASMANICA 'GOLD STRIPE' YELLOW STRIPE FLAX LILY	5 GAL.		24" O.C.		M
	DIETES 'NOLA ALBA' KATRINA AFRICAN IRIS	5 GAL.		36" O.C.		M
	LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILY TURF	5 GAL.		24" O.C.		M
	PHORMIUM TENAX 'RAINBOW MAIDEN' RED NEW ZEALAND FLAX	5 GAL.		30" O.C.		L
	STIPA TENUISSIMA MEXICAN FEATHER GRASS	5 GAL.		24" O.C.		L

GROUNDCOVER LEGEND

SYMBOL	BOTANICAL NAME / "COMMON" NAME	SIZE	SQ. FT*	REMARKS	DETAIL	WULCOLS
	ARTIFICIAL TURF			OLIVE LUSH EASY TURF 866.327.9887		
	ECHEVERIA 'AFTERGLOW' NCN	1 GAL.		12" O.C.		L
	OPHIPOGON JAPONICUS MONDO GRASS	1 GAL.		12" O.C.		L
	SENECIO MANDRALISCAE BLUE CHALK STICKS	1 GAL.		12" O.C.		L

LIVE ROOF - 854 SF

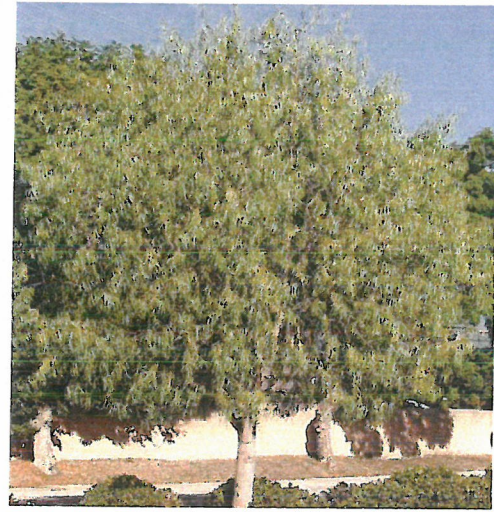
SYMBOL	BOTANICAL NAME / "COMMON" NAME	SIZE	SQ. FT*	REMARKS	DETAIL	WULCOLS
	SEDUM ACRE GOLDEN CARPET STONECROP	FLATTED	-	GREEN	-	L
	SEDUM ALBUM 'CORAL CARPET' CORAL CARPET STONECROP	FLATTED	-	GREEN	-	L
	SEDUM RUPESTRE 'ANGELINA' ANGELINA STONECROP	FLATTED	-	YELLOW	-	L
	SEDUM REFLEXUM 'BLUEBIRD' BLUEBIRD STONECROP	FLATTED	-	BLUE	-	L
	SEDUM REFLEXUM 'BLUE SPRUCE' BLUE SPRUCE STONECROP	FLATTED	-	BLUE	-	L
	SEDUM SPURIUM 'CHERRY BLAST' CHERRY BLAST STONECROP	FLATTED	-	PINK	-	L
	SEDUM STEFCO STEFANOV SEDUM	FLATTED	-	LIGHT GREEN	-	L

LIVE ROOF NOTES:

- PLANTING DESIGN TO BE MIXTURE OF SEDUMS LISTED ABOVE TO CREATE NON-DIRECTIONAL PATTERN OF COLOR AND TEXTURES
- PLANTER TRAYS SHALL BE DELIVERED PRE-VEGETATED. CONTRACTOR TO COORDINATE WITH GROWER
- LICENSED GROWER / INSTALLER OF LIVE ROOF: FLORASOURCE, LTD. 949-498-1131, CONTACT: TOM HAWKINS



PHOENIX DACTYLIFERA
DATE PALM



GEIJERA PARVIFLORA
AUSTRALIAN WILLOW TREE



PITOSPORUM T. 'SILVER SHEEN'
VARIEGATED KOHUHU



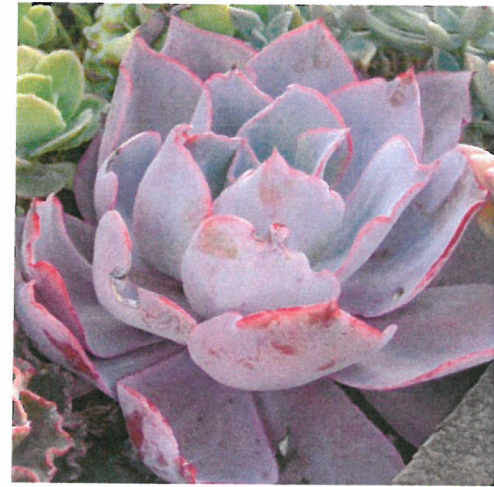
BUXUS SEMPERVIRENS
BOXWOOD



BAMBUSA MULTIPLEX 'ALPHONSE KARR'
CLUMPING BAMBOO



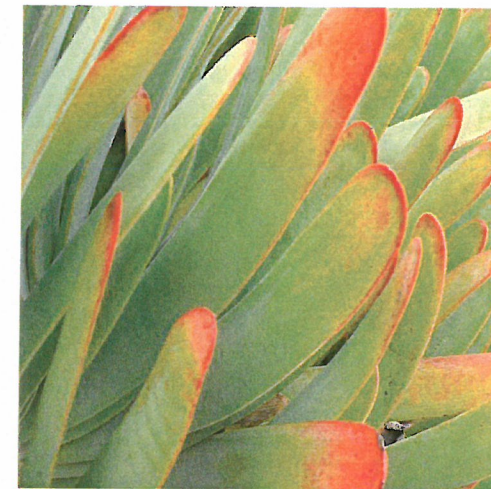
AGAVE 'BLUE FLAME'
BLUE FLAME AGAVE



ECHEVERIA 'AFTERGLOW'
NCN



ANIGOZANTHOS FLAVIDUS
KANGAROO PAW



ALOE PLICATILIS
FAN ALOE



SENECIO MANDRALISCAE
BLUE CHALK STICKS



PHORMIUM TENAX 'YELLOW WAVE'
YELLOW NEW ZEALAND FLAX



ALOE STRIATA
CORAL ALOE



STIPA TENUISSIMA
MEXICAN FEATHER GRASS



LIMONIUM PEREZII
SEA LAVENDER



HEMEROCALLIS HYBRIDA
DAY LILY



POOL DAYBED



FOLDING DOOR SYSTEM ENHANCES INDOOR/ OUTDOOR RELATIONSHIP



FITNESS CENTER W/ GARDEN VIEW



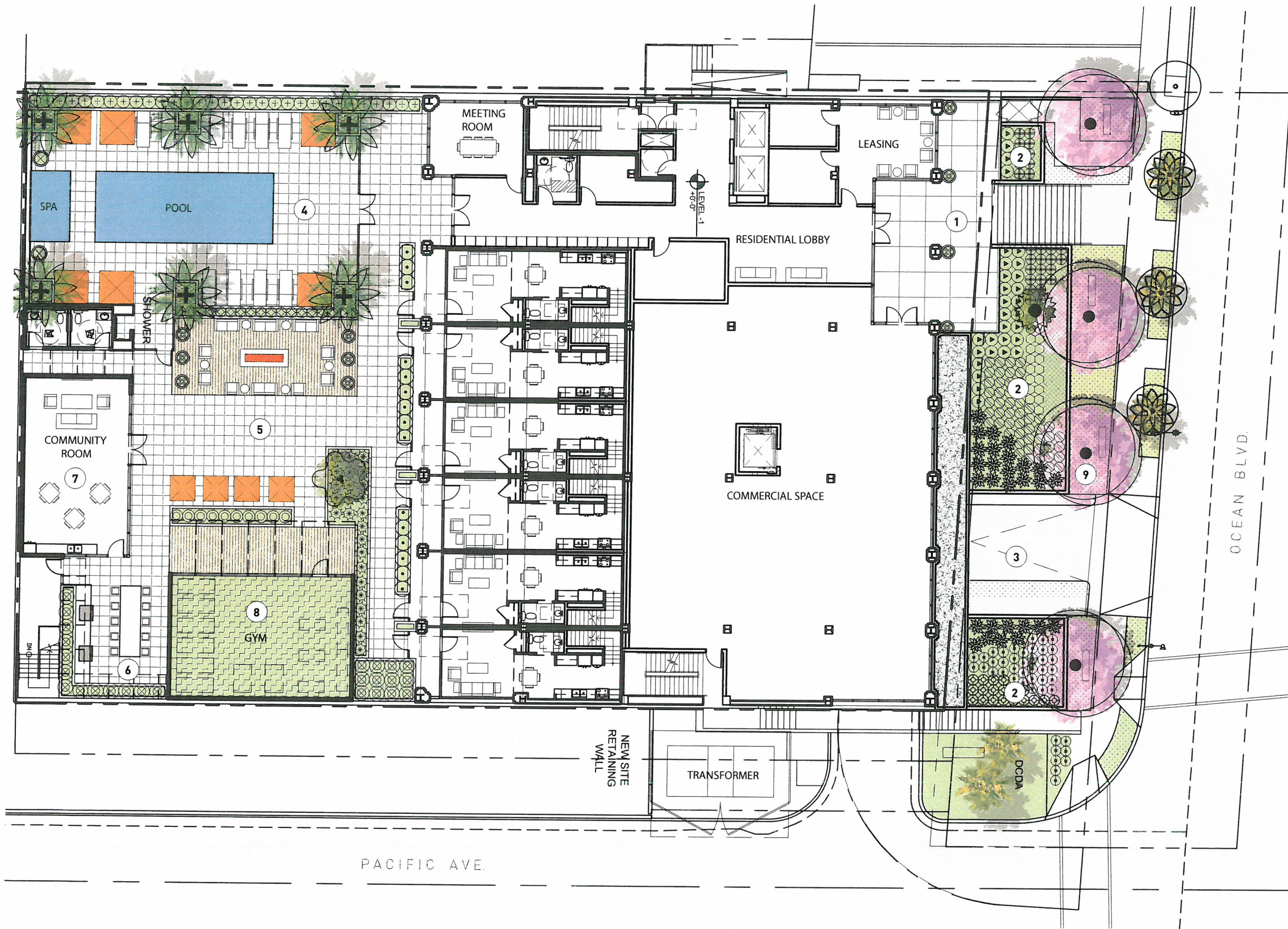
BERM PLANTING



CANTILEVERED CONCRETE BENCH



POOL HARDSCAPE W/ INTEGRATED COPING



KEYNOTES

- 1. ENTRY PLAZA
ENHANCED PAVING
POTTED PLANTS
- 2. TERRACED LANDSCAPE
BERM PLANTING
SPECIMEN TREE AT ENTRY
- 3. RESIDENT VEHICULAR ENTRY
- 4. POOL DECK
LOUNGE FURNITURE
SPA WITH WATER FEATURE
POTTED PLANTS
DAYBEDS
SECURE ACCESS
- 5. TERRACE
LARGE ACCENT POTS
WOOD DECKING
FIREPIT WITH SOFT SEATING
FLEXIBLE SEATING WITH UMBRELLAS
OUTDOOR PING PONG TABLE
- 6. BARBEQUE PATIO
BUILT-IN BARBEQUES
COMMUNITY DINING TABLE
- 7. COMMUNITY ROOM
FOLDING DOOR SYSTEM
KITCHENETTE
CASUAL SEATING
- 8. GYM
GARDEN VIEW
GREEN ROOF
YOGA AND MEDITATION AREA
- 9. VICTORY PARK
ARTIFICIAL TURF
CANTILEVERED CONCRETE BENCHES

LEGEND

- ENHANCED PAVING
- WOOD DECKING
- PLANTING AREA



0 5 10 20 40