

STRUCTURAL OBSERVATION

- ENGINEER OR ARCHITECT OF RECORD SHALL OBSERVE THAT ALL FOUNDATION HARDWARE PER PLAN IS IN PLACE PRIOR TO INSPECTION OTHER THAN HARDWARE THAT IS PLACED DURING POUR UNLESS OTHERWISE NOTED.
- ENGINEER OF RECORD SHALL OBSERVE THAT ALL SHEAR WALLS AND METAL HARDWARE ARE PER PLAN UNLESS OTHERWISE NOTED.
- THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR STRUCTURAL DESIGN TO PERFORM STRUCTURAL OBSERVATION PER SEC. 220. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNERS REPRESENTATIVE. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THE SITE VISITS HAVE BEEN MADE AND IDENTIFIED ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVERS KNOWLEDGE, HAVE NOT BEEN RESOLVED.

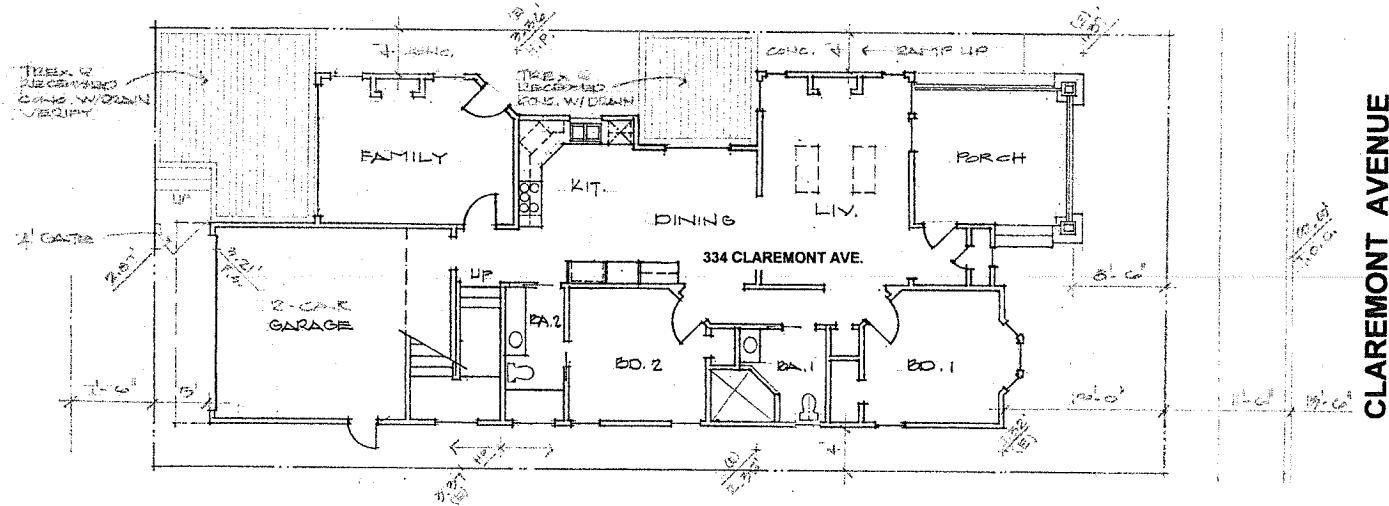
LANDSCAPE NOTES:

- CONTROLLERS SHALL BE WEATHER - OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.
- WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S).
- OUTDOOR WATER USE - AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED SHALL BE AVAILABLE AT TIME OF FINAL INSPECTION. (4.304 CGBSC)

MECHANICAL NOTES:

- COVER RETURN AND SUPPLY OPENINGS WITH PLASTIC OR SHEET METAL.
- WRAP OR PROTECT EQUIPMENT STORED ON THE JOBSITE FOR FUTURE INSTALLATION
- IF NECESSARY PLAN FOR ALTERNATE SPACE CONDITIONING SYSTEMS DURING CONSTRUCTION.
- THE MOISTURE CONTENT OF CONSTRUCTION MATERIALS AND INSULATION SHALL BE VERIFIED PRIOR TO APPROVAL TO ENCLOSE WALL AND FLOOR CAVITIES WITH DRYWALL OR OTHER SURFACES. (4.505.3 CGBSC).

ALLEY



SITE PLAN
SC: 1/8" = 1' - 0"

SYMBOLS		NOTES	PROJECT ANALYSIS	INDEX OF DRAWINGS																																																																																						
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ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE DEVELOPER'S AND ENGINEER'S ATTENTION IMMEDIATELY.</p> <p>3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.</p> <p>4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.</p> <p>THESE PLANS SHALL COMPLY WITH 2010 CALIFORNIA RESIDENTIAL CODE, 2010 CBC, 2010 CGBC, 2010 CEC, 2010 CPC, 2010 CMC, 2010 CFC, 2008 T24 ENERGY CODE, AND LONG BEACH MUNICIPAL CODE</p> <p>PROVIDE WIDE SIDE YARD PER CBC SECT. 1203.4.2</p>	<p>LEGAL:</p> <p>LOT : 31 BLOCK : 1 TRACT : 7029</p> <p>PROJECT DATA:</p> <p>ZONE: R-1-S OCCUPANCY GROUP: R-3/U TYPE OF CONSTRUCTION: V-B FIRE SPRINKLERED STORIES: 3 BEDROOMS: 3</p> <p>LOT SIZE : 3,600 SQ. FT. LOT COVERAGE : 2,086 SQ. FT. (61%) EXISTING RESIDENCE: 1,415 SQ. FT. NEW RESIDENCE : 1,281 SQ. FT. NEW RESIDENCE TOTAL: 2,696 SQ. FT. EXISTING GARAGE : 331 SQ. FT. NEW GARAGE : 60 SQ. FT. NEW GARAGE TOTAL: 391 SQ. FT. NEW DECK : 720 SQ. FT. NEW PORCH : 180 SQ. FT.</p>	<p>T-1 TITLE SHEET G-1 GENERAL NOTES G-2 GENERAL NOTES G-3 GENERAL NOTES A-1 SITE PLAN, FLOOR PLANS, AND SECTION A-2 FIRST FLOOR PLAN A-3 SECOND AND THIRD FLOOR PLANS A-4 EXTERIOR ELEVATIONS A-5 EXTERIOR ELEVATIONS A-6 FOUNDATION AND ROOF PLAN A-7 2ND FLOOR FRAMING PLAN A-8 3RD FLOOR AND ROOF FRAMING PLANS A-9 MISCELLANEOUS NOTES T-24.1 T-24 T-24.2 T-24</p> <p>AD-1 ARCHITECTURAL DETAILS S-1 STRUCTURAL NOTES D-1 STRUCTURAL DETAILS D-2 STRUCTURAL DETAILS HFX1 HARDY FRAME DETAILS HFX2 HARDY FRAME DETAILS</p>
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Email: L.Lotte@TheLotteGroup.com

Lois J. Hernandez
Architect

Planning

PROPOSED RESIDENTIAL ADDITION FOR:

MR. & MRS. JONATHAN E. POTTS

334 CLAREMONT AVENUE
LONG BEACH, CALIFORNIA 90803
(302) 299-0137

DRAWN

CHECKED L.H.

DATE 10/28/13

SCALE AS NOTED

JOB NO.

SHEET

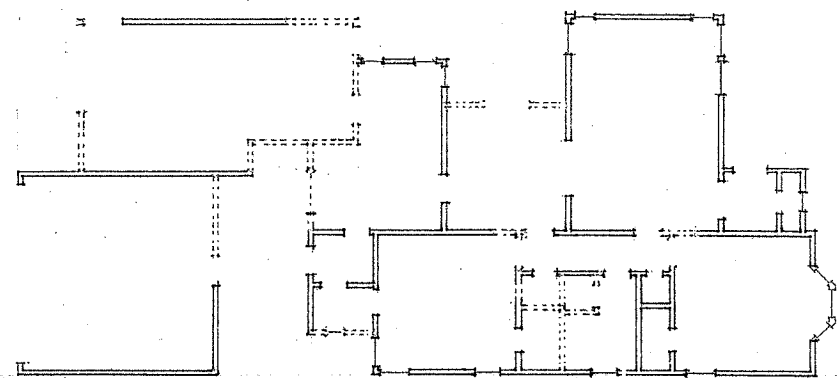
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OF SHEETS

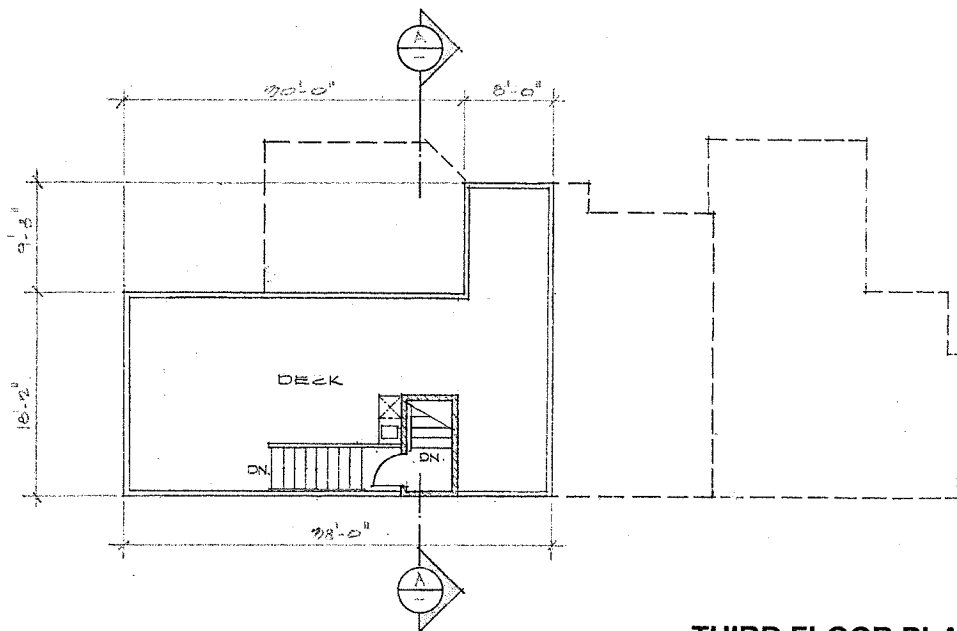
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OCT 28 2013

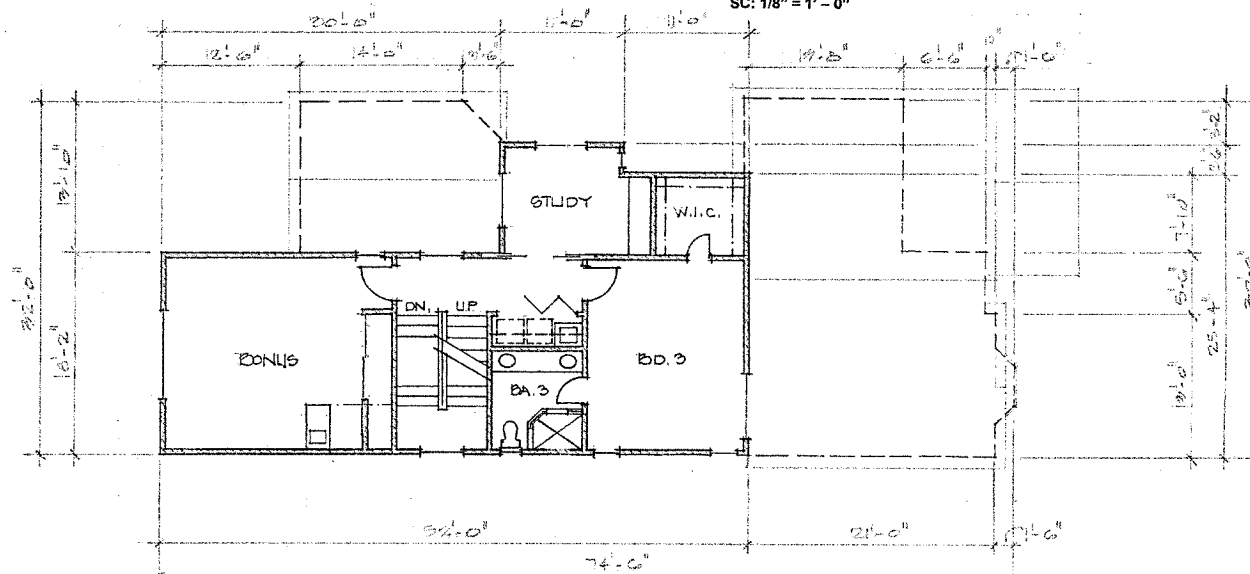
PLANNING BUREAU



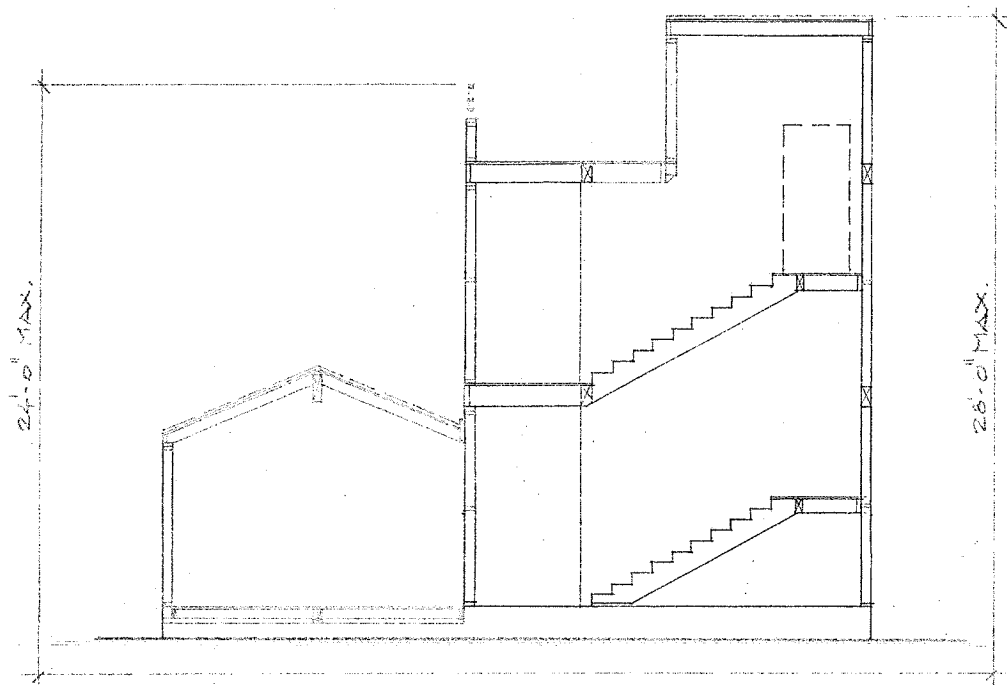
EXISTING/DEMO PLAN
SC: 1/8" = 1' - 0"



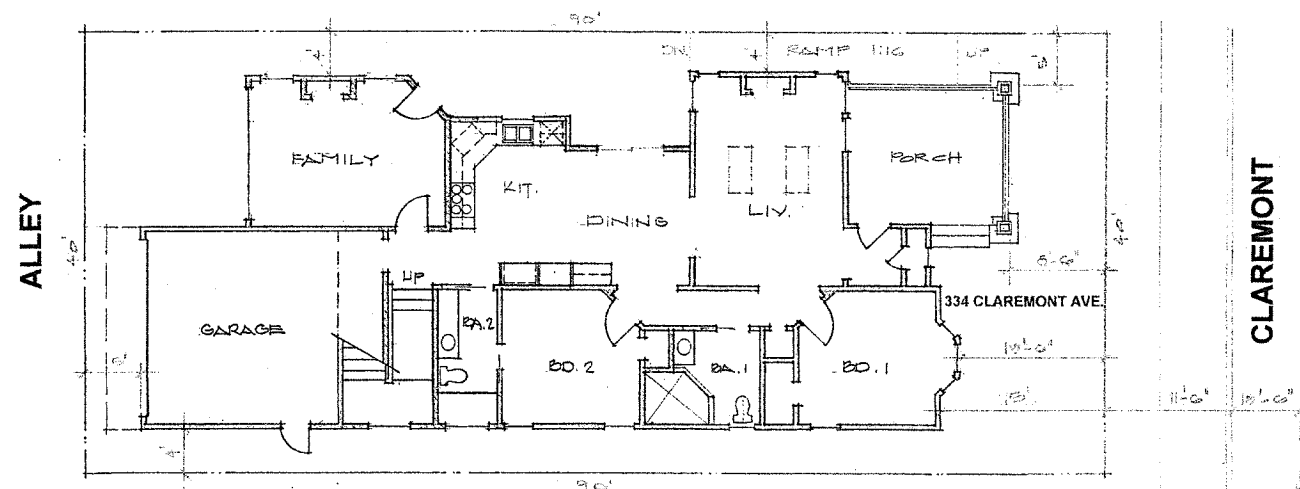
THIRD FLOOR PLAN
SC: 1/8" = 1' - 0"



SECOND FLOOR PLAN
SC: 1/8" = 1' - 0"



SECTION "A"
SC: 1/4" = 1' - 0"



FIRST FLOOR PLAN
SC: 1/8" = 1' - 0"

WALL LEGEND:

- = EXISTING WALLS
- = NEW WALLS
- = EXISTING WALLS TO BE REMOVED

REVISIONS	BY

ARCHITECTURE

PLANNING

The Louie Group

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PROPOSED RESIDENTIAL ADDITION FOR:

MR. & MRS. JONATHAN E. POTTS

334 CLAREMONT AVENUE
LONG BEACH, CALIFORNIA 90803
(302) 295-0137

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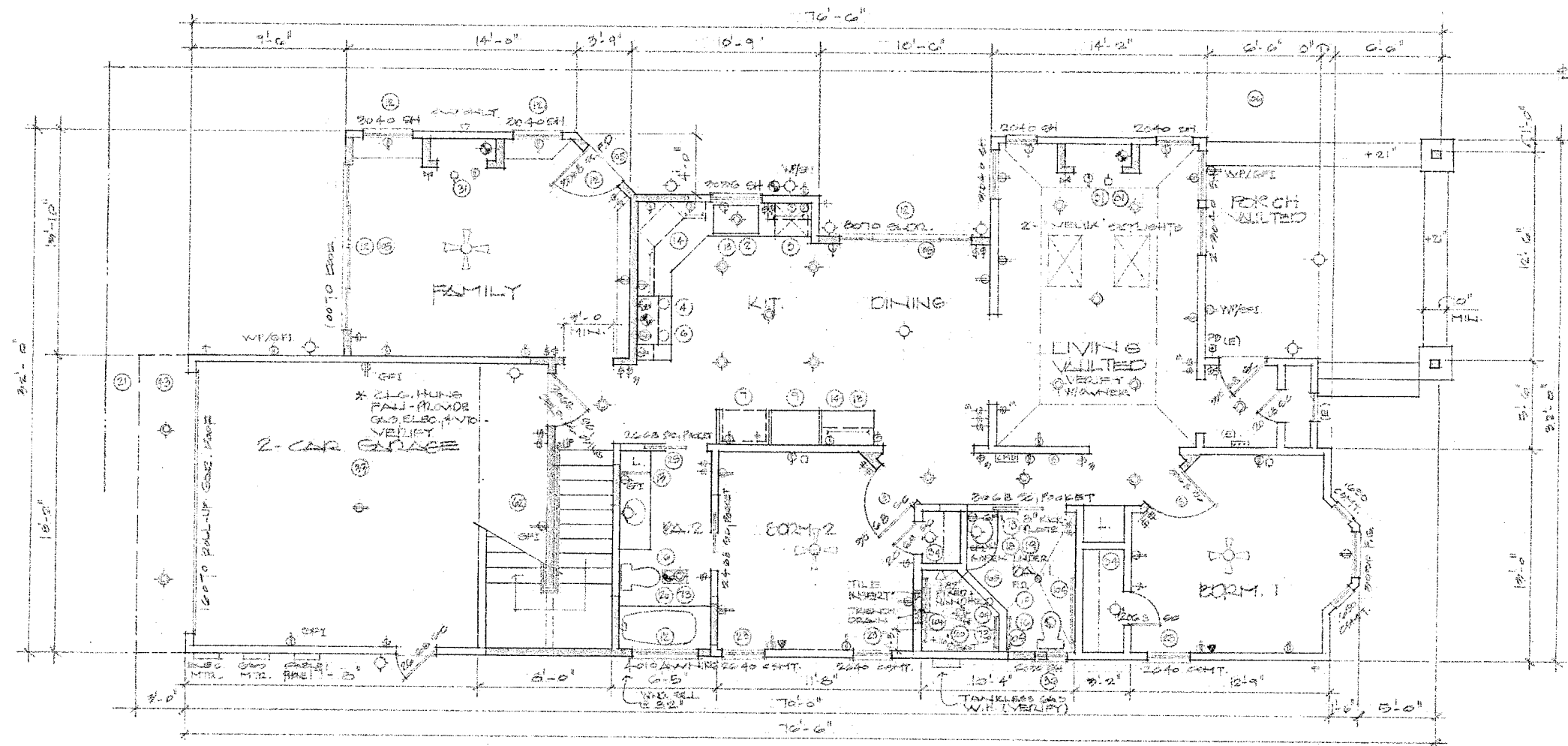
ALL PROJECT DOCUMENTS - IDEAS, AESTHETICS AND DESIGNS INCORPORATED OR REPRESENTED BY DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LOUIE GROUP - ARCHITECTS. ALL PROJECT DOCUMENTS SHALL BE USED ONLY ON THE SPECIFIC PROJECT OR PURPOSE DESCRIBED IN THE CONTRACTUAL AGREEMENT BETWEEN THE LOUIE GROUP - ARCHITECTS AND THE CLIENT. NO PROJECT DOCUMENTS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE LOUIE GROUP - ARCHITECTS.

FLOOR PLAN NOTES

1. BUILT-IN CABINETS (VERIFY W/ OWNER)
2. TWO COMPARTMENT SINK (C.I.) W/ GARBAGE DISPOSAL
3. DISHWASHER
4. OVEN
5. TRASH COMPACTOR (OPTIONAL)
6. COOK TOP
7. REFRIGERATOR
8. EXHAUST HOOD W/ FAN (PER COOKTOP) MIN. 100 CFM
9. PANTRY W/ BUILT-IN SHELVES
10. ALL EXHAUST FANS W/ 5 MIN. AIR CHANGES PER HOUR TYP.
11. PROVIDE 2X SOLID BLK'S AT MID-LEVEL OF ALL 2X VERT. WALLS
12. TEMP. - TEMPERED GLASS W/ VISIBLE ETCH TYPE TYP.
13. 36" HIGH COUNTERTOP W/ SPLASH (OPTIONAL) @ 1" KICK PLATE (VERIFY)
14. UPPER CABINETS
15. ARCH- VERIFY TYPE WITH OWNER
16. WATER CLOSET - 30" MIN. WIDTH, 24" CLEAR IN FRONT OF TOILET
17. 32" HIGH COUNTERTOP W/ SPLASH (OPTIONAL)
18. BATHROOM MIRROR
19. BUILT-IN MEDICINE CABINET
20. SHOWER W/ NON-ABSORBENT WALLS TO 72" MIN. ABOVE DRAIN TYP. FULL HGT.
21. LINE OF SOFFIT
22. VERIFY ALL ELECTRIC LIGHTING LOCATIONS W/ OWNER TYP.
23. E = EGRESS WINDOW OR DOOR TYP.
24. OVERSIZED WHIRLPOOL TUB W/ SPLASH
25. LINEN CABINET W/ SHELVES
26. WINDOWS AND EXTERIOR DOORS SHALL BE VINYL - VERIFY WITH OWNER
27. FAU IN ATTIC W/ GAS, ELECTRICITY, AND LIGHT W/ SWITCH AND MIN. 36" WIDE PLYWOOD PATH TO FAU W/ 38" MIN. SPACE IN FRONT OF FAU
28. 42" HIGH GUARDRAIL (MAX. 3 7/8" OPENING)
29. WASHER OVERFLOW PAN W/ DRAIN (OPTIONAL @ 1ST FLOOR)
30. NICHE
31. METAL FIREPLACE BY "LENNOX" ANSI NUMBER-221.50.50b "CRESTLINE"
32. WATER HEATER ON 16" HIGH PLATFORM W/ 1 1/2" X 16 GA. G.I. STRAPS W/ 3/8" X 3" LAG SCREWS AT 1/3 POINTS TOP AND BOTTOM AROUND W.H. INTO 2X STUDS
33. 5/8" TYPE "X" GYP-BOARD (1-HOUR) AT WALLS, CEILING, POSTS AND BEAMS TYP.
34. SHELF AND POLE (VERIFY DOUBLE SHELF AND POLE LOCATIONS W/ OWNER)
35. POT SHELF (SHOWN WITH HATCHED LINES)
36. ALL BATHROOM WINDOWS SHALL BE TRANSLUCENT OR OBSCURE- VERIFY W/ OWNER
37. SHELVES
38. LINE OF FLOOR ABOVE
39. ALL NEW DOORS/ WINDOWS MUST COMPLY W/ BLDG. SEC. EA: 1427 STD. ORDINANCE # 7-79
40. MAXIMUM SILL HEIGHT OF 44"
41. DECKING BY "POLYCOAT", I.C.C. - ESR NO. 2755, BLOCK ALL EDGES OF PLYWOOD. (MIN. 1/4" 12' SLOPE)
42. PROVIDE SMOKE DETECTORS IN EACH SLEEPING ROOM, IN EACH CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA, AND EACH FLOOR (SEE PLAN)
43. STUCCO SOFFIT
44. SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED

45. WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYPE W/ 1.28 GALLONS MAX PER FLUSH (402, 3 C.P.C.)
46. COMBUSTIBLE MATERIALS SHALL NOT BE PLACED WITHIN 8" OF FIREPLACE OPENING; NO SUCH MATERIAL WITHIN 12" OF F.P. OPENING SHALL PROJECT MORE THAN 1/8" FROM EACH 1" CLEARANCE FROM SUCH OPENING
47. VERIFY ALL UTILITY LOCATIONS W/ OWNER TYP.
48. WINDOWS AND DOORS TO BE RECESSED WITHIN 2X STUD WALL PER PLAN.
49. F.P. VENT TO OUTSIDE OR ABOVE ROOF (VERIFY)
50. NO SLIP JOINTS ALLOWED FOR TUB DRAIN AND OVERFLOW
51. SHOWER, DRAIN W/ OPTIONAL APPROVED INTEGRAL SHOWER PAN
52. TUB ACCESS OR SHOWER ACCESS SEE PLAN TYP.
53. (1-HOUR) CONSTRUCTION AT ROOF EAVE / OVERHANGS LESS THAN 36" FROM PROPERTY LINES (TYPICAL)
54. THIS ROOM WILL NOT BE USED AS A SLEEPING ROOM
55. 1" MAX. STEP
56. ALL BEDROOM RECEPTACLES TO BE A.F.I.C. PROTECTED PER NEC 210-12 OR SEC. TYP.
57. LANDING IN FRONT OF THE DOOR- RECESS DOOR AS REQUIRED
58. ALL G.F.C.I SHALL BE ON 20 AMP DEDICATED CIRCUITS TYP.
59. 30" SQ. ATTIC ACCESS, WEATHER STRIPPED OR SEALED WITH 30" MIN. HEADROOM
60. RECESSED H.B. W/ ANTI-SIPHON DEVICE TYP.
61. VERIFY ALL LIGHTING LOCATIONS W/ OWNER TYP.
62. 5/8" TYPE "X" GYP. BRD. AT USABLE SPACE UNDER STAIRS (1 - HOUR) TYPICAL
63. CONT. HANDRAIL
64. ALL LIGHTING SHALL BE PER N.E.C. AND 2007 C.E.C. AND 2010 ENERGY CODE ARE SUBJECT TO FIELD INSPECTION AND APPROVAL BY FIELD INSPECTOR TYP.
65. PROVIDE MIN. OF 40 WATTS OR LUMENS OR GREATER FOR KIT. LIGHTING TYP. - SEE T24
66. CONC. LANDING OR HARDSCAPE TYP. SLOPE AWAY FROM BUILDING W/ MIN. 1/4" : 12"
67. PROVIDE FOR FUTURE FOUNTAIN: WATER, ELECT., AND DRAIN
68. V.T.O. W/ BACK DRAFT DAMPER AT LAUNDRY
69. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING AT QUICK ACTING VALVES FROM THE WASHER, DISHWASHER ETC. (609, 10 U.P.C OR 2007 C.P.C.) TYP.
70. 4" DIA. STL. PIPE CONC. FILLED AND SET IN 1'-0" SQ. CONC., FTG. (2'-0") MIN. HGT.
71. (2) - LAYERS AT CEILING: 5/8" TYPE "X" G8(1-HOUR), @ CLG. W/ TRUSS JOIST ABOVE
72. COLD SHOWER
73. CERAMIC TILE OR CEMENT PLASTER TO + 72" ABOVE DRAIN (TYPICAL) OR EQUAL AND 30" DIA. CLR. MIN. AND 1024 SQ. IN. MIN. TYPICAL - FULL HGT. TILE
74. TEMP. GLASS ENCLOSURE AND 22" MIN. WIDTH DOOR.
75. ALL BDRM. RECEPTACLES TO BE A.F.C.I PROTECTED PER C.E.C. 2007 AND 2005 ENERGY CODE SEC. 210-12
- 76.
77. PROVIDE 5/8" TYPE "X" GYP. BRD. DRAFT STOP; F.P. FLUEWELL-MAX. 10'-0" O.C.
78. HANDRAIL SHALL BE CONT. W/ 1 1/2" CLEARANCE TO WALL
79. + 42" HIGH SOLID GUARDRAIL
80. + 42" HIGH GUARDRAIL W/ 3 7/8" MAX. OPENINGS
81. PROVIDE ELECT. AND CABLE + 60" FOR TV (VERIFY) W/ OWNER
82. NEW SMOKE DETECTORS SHALL BE (HARDWIRED) 110 V AND W/ BATTERY BACKUP POWER TYPICAL
- 83.
84. OBSCURE GLASS

85. TIME CLOCK, FLORESCENT, OR MOTION SENSOR TYPE TYP.
86. PROVIDE D.D. AND O.D. 3" MIN. HORIZ. AND 2" MIN. VERTICAL TYP. (D.D.= DECK DRAIN, O.D.= OVERFLOW DRAIN
87. DECK SCURPER
88. CANTS TYP.
89. ELECTRICAL PANEL
90. A WARM AIR FURNACE IN AN ATTIC SHALL COMPLY WITH THE FOLLOWING PER CMC 908.0
 1. THE FURNACE LOCATED NOT GREATER THAN 20 FEET FROM THE ATTIC ACCESS.
 2. A LEVEL WORKING PLATFORM 30 INCHES IN DEPTH IN FRONT OF THE ENTIRE FIREBOX SIDE.
 3. A PERMANENT ELECTRIC OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE ATTIC ACCESS SHOULD BE PROVIDED AT OR NEAR THE FURNACE.
 4. AIR-COOLING COILS LOCATED IN THE ATTIC SHALL HAVE A SECOND WATERTIGHT PAN INSTALLED BENEATH THEM PER CMC 1105.10 & 1105.12.
91. INTERIOR HANDRAILS SHALL BE INSTALLED PER MANUFACTURE'S RECOMMENDATIONS AND APPROVED STRUCTURALLY BY THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION OF STAIR, BALCONY BALUSTRADES SHALL HAVE A CLEAR SPACING OF 3/8" MAXIMUM, EXTEND HANDRAIL 6" BEYOND TOP AND BOTTOM TREAD. MAXIMUM STAIR RISE SHALL BE 7 1/2". MINIMUM, STAIR RUN SHALL BE 10". STAIR HEADROOM SHALL BE MINIMUM 6'-8".
92. AIR AND HEAT SUPPLY REGISTER AND LOCATION TYP.
93. MICROWAVE
94. DOUBLE OVENS
95. *20" HIGH WINDOW SEAT
96. CERAMIC TILE HEARTH TYP.
97. SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
98. SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACK UP.
99. CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
100. CARBON MONOXIDE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACK UP.
101. HIGH EFFICACY LUMINAIRES MUST BE PIN BASED.
102. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 & 20 AMPERE OUTLETS INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S) - REQUIREMENT IS FOR ENTIRE CIRCUIT, NOT JUST OUTLETS
103. BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMP CIRCUIT.
104. GRAB BARS
105. MAXIMUM 1/2" HIGH THRESHOLD/LEVEL CHANGE
106. RAMP: MAXIMUM 1:12 SLOPE
107. LEVER TYPE HARDWARE
108. MINIMUM 10" HIGH FOOTPLATE AT DOORS
109. VERIFY WITH OWNER ON ALL FIXTURES, APPLIANCES, ETC.



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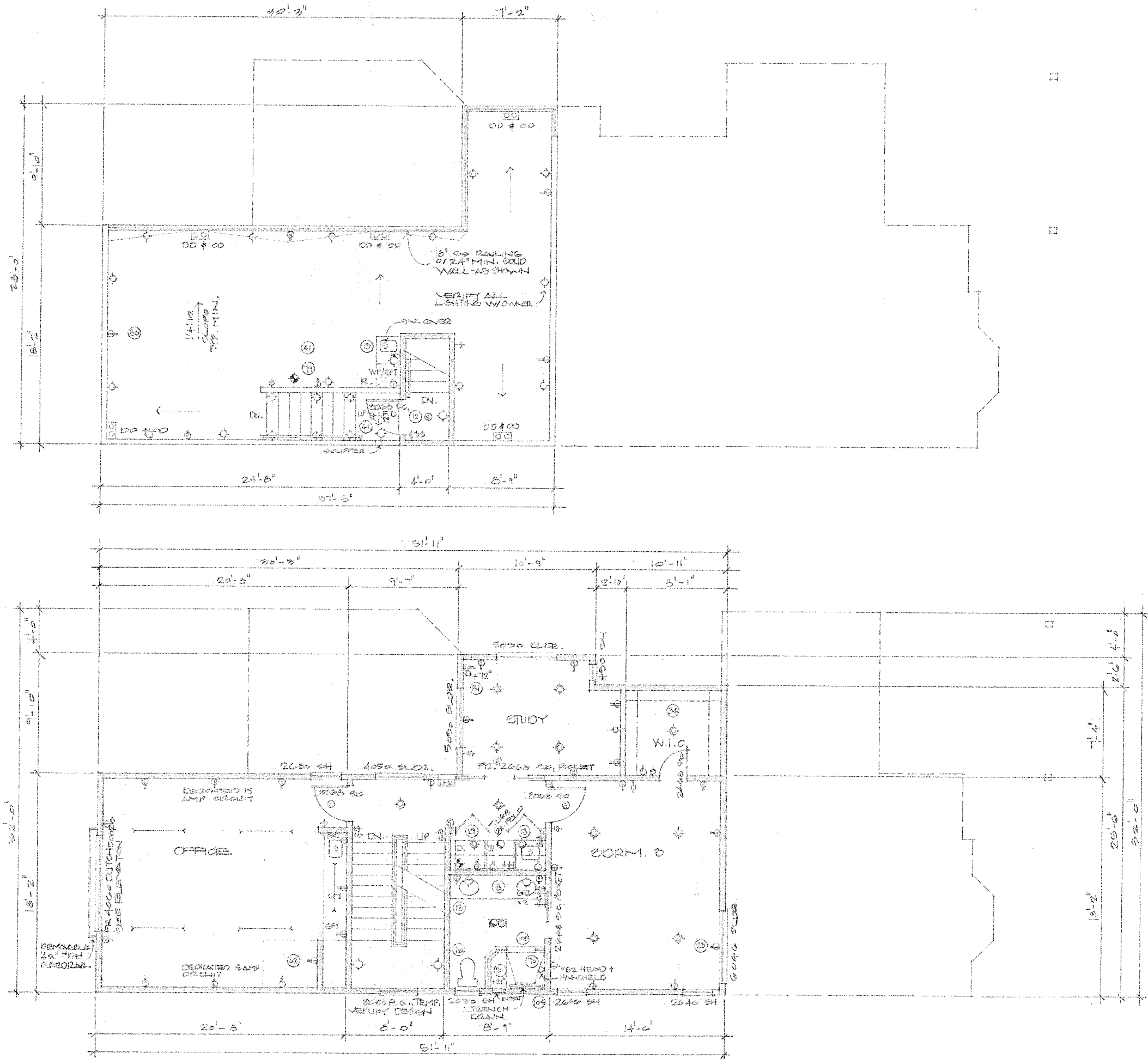
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PROPOSED RESIDENTIAL ADDITION FOR:
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 (302) 299-0137

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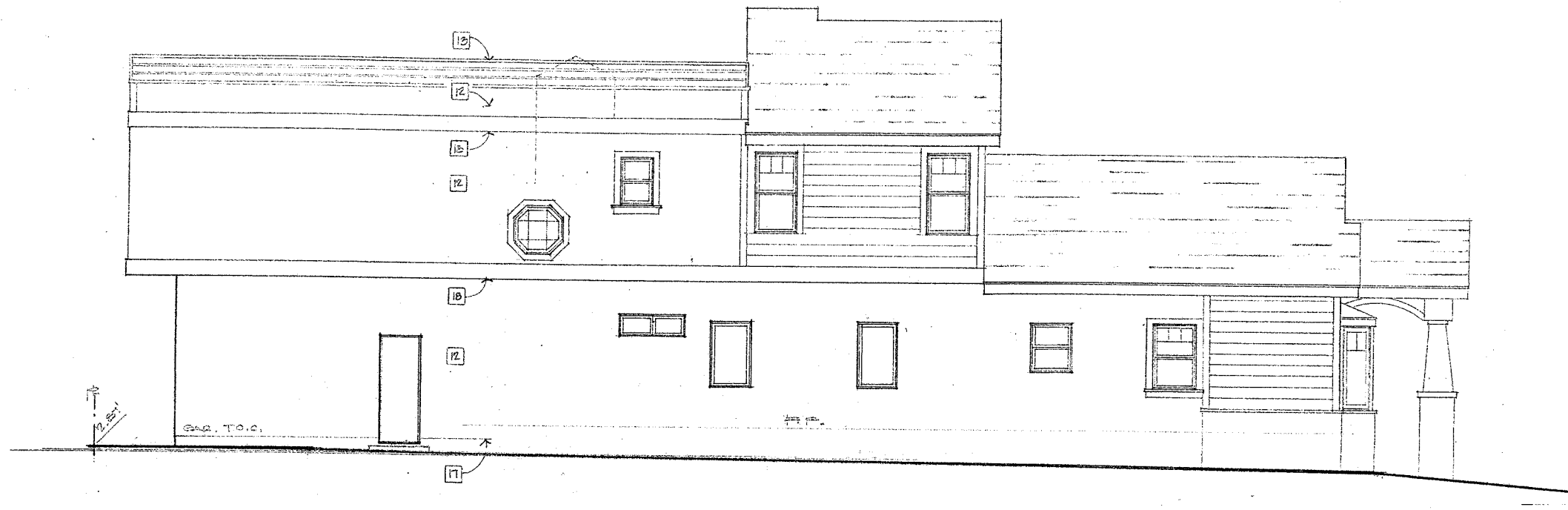
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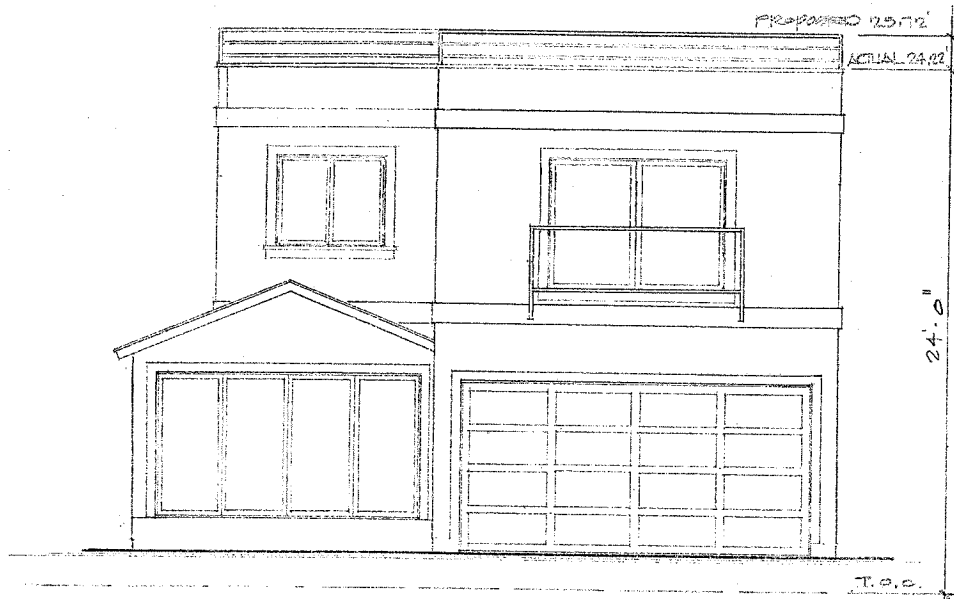
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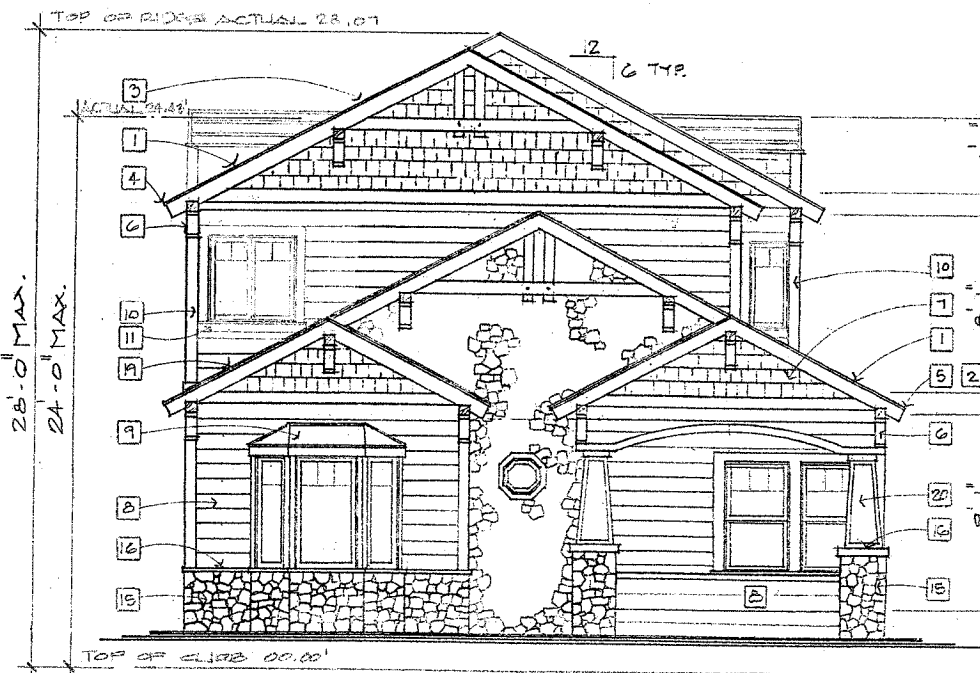
SIDE ELEVATION
SC: 1/4" = 1' - 0"

EXTERIOR ELEVATION NOTES

1. "ELK" COMPOSITION ROOFING 900 LBS. MIN. CLASS "C" ICC - ESR - 1475 TYP. O/30# FELT O/1/2" PLYWD. SHTG.
2. 1 1/2 SQ. FT. SCREENED VENT HOLES W/ CORR. RESISTANT MTL. MESH 1/16" DIM. E.W. TYP. @ VAULTED CLG. AREAS (VERIFY)
3. ROOF ATTIC DORMER VENTS - TYP.
4. G.I. ROOF EDGE - TYP.
5. 1X TRIM O/ 2X FASCIA - TYP.
6. DECORATIVE OUTRIGGER BMS., MIN. 6x6 VERIFY - TYP. WITH DECORATIVE KICKERS WITH COPPER CAP
7. SHINGLES O/ MIN. CLASS "D" PAPER
8. SIDING BY "HARDY" NER - 405 O/ MIN. CLASS "D" PAPER, USE 2 - LAYERS OVER S.W. ICC - ESR 2658
9. COPPER ROOFING - TYP.
10. 2X WOOD TRIM - TYP.
11. 2X3 SILL W/ 2X4 TRIM BELOW - TYP.
12. 7/8" STUCCO O/ MIN. CLASS "D" PAPER - USE 2 - LAYERS OVER S.W. - TYP.
13. + 42" HIGH RAILING WITH MAX. 37/8" OPENINGS. - TYP.
14. G.I. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
15. STONE VENEER BY "ELDORADO STONE" ICC-ER- 3588 OR EQUAL (VERIFY WITH OWNER) AND INSTALLATION PER MANUFACTURES SPECIFICATIONS - TYP.
16. CAST CONCRETE CAP - VERIFY
17. G.I. WEEP SCREED 26 GA. MIN. - TYP.
18. 2X BELLY BAND TRIM - TYP.
19. G.I. FLASHING
20. DECORATIVE WOOD COLUMN



REAR ELEVATION
SC: 1/4" = 1' - 0"



FRONT ELEVATION
SC: 1/4" = 1' - 0"

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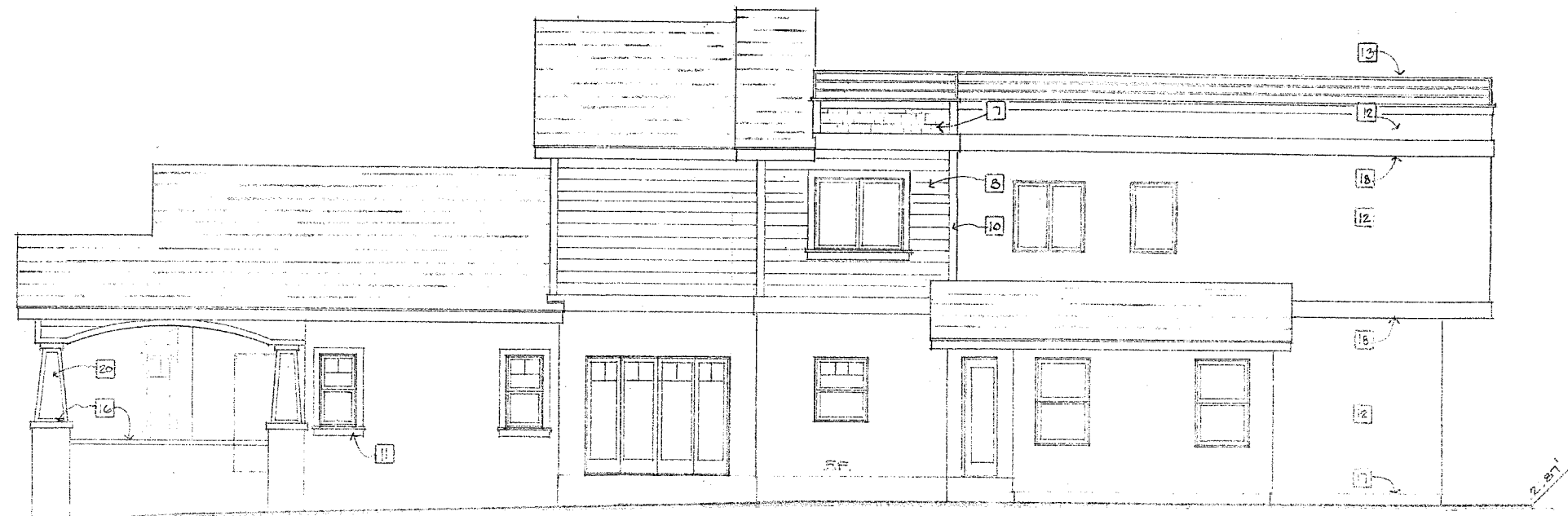
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SIDE ELEVATION
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