



ARTESIA BLVD. SENIOR HOUSING

TOTAL UNITS :	61 UNITS
LOT SIZE:	1.7 (+/-) ACRE
GROSS DENSITY:	35.9 DU/AC
LOT COVERAGE:	60% (+/-)
TOTAL BUILDING AREA:	70,873 S.F.
F.A.R.:	1.0
COURTYARD:	7,787 S.F.

PARKING

PARKING REQ.:	
1/UNIT FOR RES.	61
1/4 UNITS FOR GUEST:	15
TOTAL:	76
PARKING PROV.:	
GARAGE:	66
SURFACE STD:	16
SURFACE PARALLEL:	7
TOTAL:	89

BUILDING AREA:

	GARAGE LEVEL	PODIUM LEVEL	3RD LEVEL	TOTAL
GARAGE	27,627			27,627
COM. SPACES	6,823			6,823
LOBBY/LEASING	1,288			1,288
REC. AREA/ LAU/ CLUB		2,210	2,218	4,428
COORIDOR/ STAIR/TRASH		5,339	5,331	10,670
RESIDENTIAL	715	21,076	21,076	42,867
TOTAL	36,453	28,625	28,625	93,703

2-LEVEL RES. ABOVE 1-LEVEL PODIUM

UNIT	UNIT TYPE	NET S.F.	BAL. S.F.	GR. S.F.	NO.	%	TL. NET	TL. GR. S.F.
A1	1BR/1BA	589	61	650	44	73%	25,916	28,800
A2	1BR/1BA	610	78	688	4	7%	2,440	2,752
B1	2BR/2BA	760	44	804	8	13%	8,080	6,432
B2	2BR/2BA	972	120	1,092	4	7%	3,888	4,368
TOTAL					60	100%	38,324	42,152

AVERAGE UNIT SIZE: 703 S.F.
 MANAGER'S UNIT: 715 S.F.

LEGAL DESCRIPTION:
 THE WEST HALF OF LOT 32, BLOCK 28 OF CALIFORNIA COOPERATIVE COLONY TRACT, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 21 PAGES 15 AND 16 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION OF SAID LOT DESCRIBED IN THE DEED TO THE STATE OF CALIFORNIA RECORDED ON JULY 12, 1951 AS INSTRUMENT NO. 3205 IN BOOK 36746 PAGE 348, OFFICIAL RECORDS.

ALSO EXCEPTING THE WESTERLY 370.20 FEET OF LOT 32, BLOCK 28 OF CALIFORNIA COOPERATIVE COLONY TRACT, AS PER MAP RECORDED IN BOOK 21 PAGES 15 AND 16 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. APN: 7120-003-034

Site Address:
 3290 East Artesia Boulevard, Long Beach, CA

Existing land Use: Commercial Structure, Farmers and Merchants Bank of Long Beach

Proposed Use: Multifamily, Senior Housing

ZONING:
 EXISTING: CCA (AUTOMOBILE ORIENTED COMMERCIAL)
 REZONE TO R-4-N (HIGH DENSITY RESIDENTIAL)
 GENERAL PLAN:
 EXISTING: LUD#8 (SHOPPING NODES)
 GENERAL PLAN AMENDMENT TO LUD#4 (HIGH DENSITY RESIDENTIAL)

NOTE:
 ALL PROPERTY LINES, SETBACKS AND SITE IMPROVEMENTS ARE TO THE BEST OF OUR ACKNOWLEDGE, AND SHALL BE VERIFIED BY CIVIL.

SITE PLAN
 SCALE: 1/16" = 1'-0"

ARTESIA BLVD. SENIOR HOUSING
 PALM DESERT DEVELOPMENT CO.

JUNE 1, 2009 LONG BEACH, CA HPA#08418



HUMPHREYS & PARTNERS ARCHITECTS L.P.
 5339 Alpha Road, Suite 300 Dallas, TX 75240 (972) 701-9636 (972) 701-9639
 www.humphreys.com marketing@humphreys.com
 DALLAS CHARLOTTE IRVINE LAS VEGAS NEW ORLEANS NORFOLK ORLANDO PHOENIX

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NORTH ELEVATION
(ALONG EAST ARTESIA BLVD.)
SCALE: 1/8" = 1'-0"



EAST ELEVATION
(ALONG INDIANA AVE.)
SCALE: 1/8" = 1'-0"

0' 10' 20' ELEVATIONS

ARTESIA BLVD. SENIOR HOUSING
PALM DESERT DEVELOPMENT CO.

AUGUST 10, 2009 LONG BEACH, CA HPA#08418



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WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
(FACING RAMONA PARK)
SCALE: 1/8" = 1'-0"



ELEVATIONS

ARTESIA BLVD. SENIOR HOUSING
PALM DESERT DEVELOPMENT CO.

AUGUST 10, 2009

LONG BEACH, CA

HPA#08418



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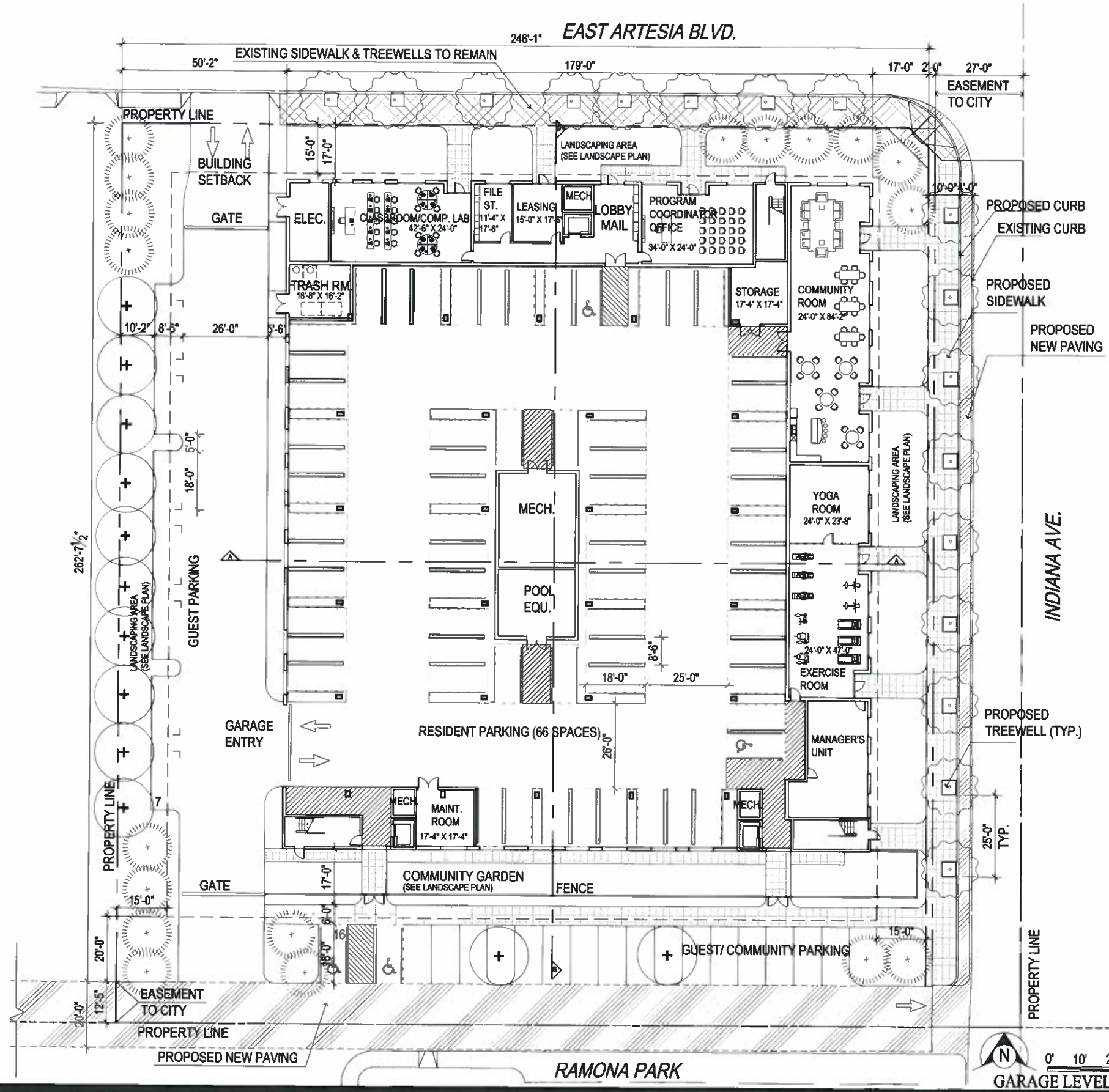
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DALLAS CHARLOTTE IRVINE LAS VEGAS NEW ORLEANS NORFOLK ORLANDO PHOENIX

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2-LEVEL RES. ABOVE 1-LEVEL PODIUM						JOB # 2008418		
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SITE PLAN
 SCALE: 1/16" = 1'-0"
 SHEET A-1

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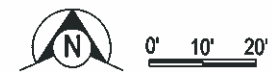
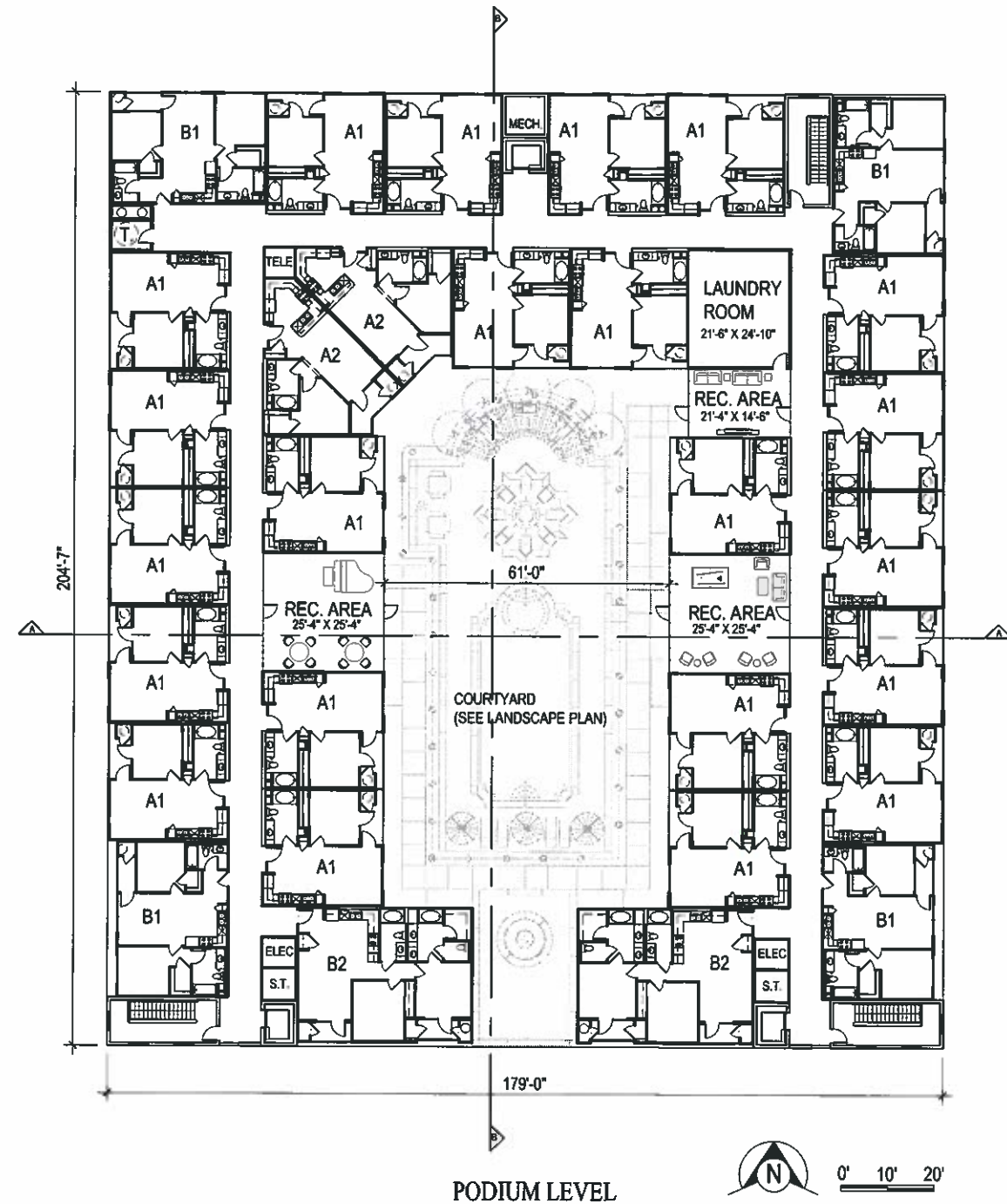
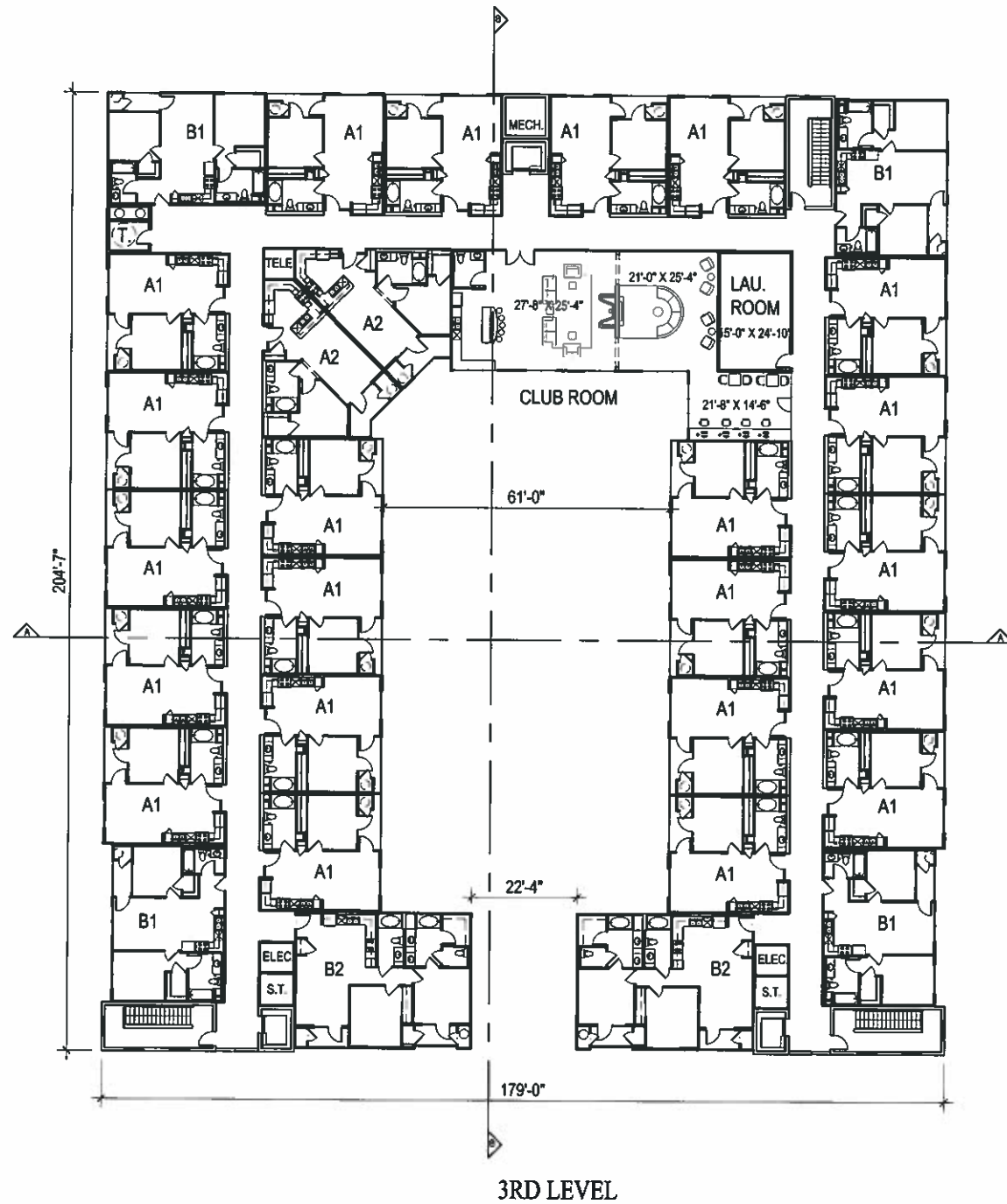
ARTESIA BLVD. SENIOR HOUSING

PALM DESERT DEVELOPMENT CO.

Jun 01, 2009 LONG BEACH, CA HPA#08418



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FLOOR PLANS
 SCALE: 1/16" = 1'-0"
 SHEET A-2

ARTESIA BLVD. SENIOR HOUSING
 PALM DESERT DEVELOPMENT CO.

Jun 01, 2009

LONG BEACH, CA

HPA#08418



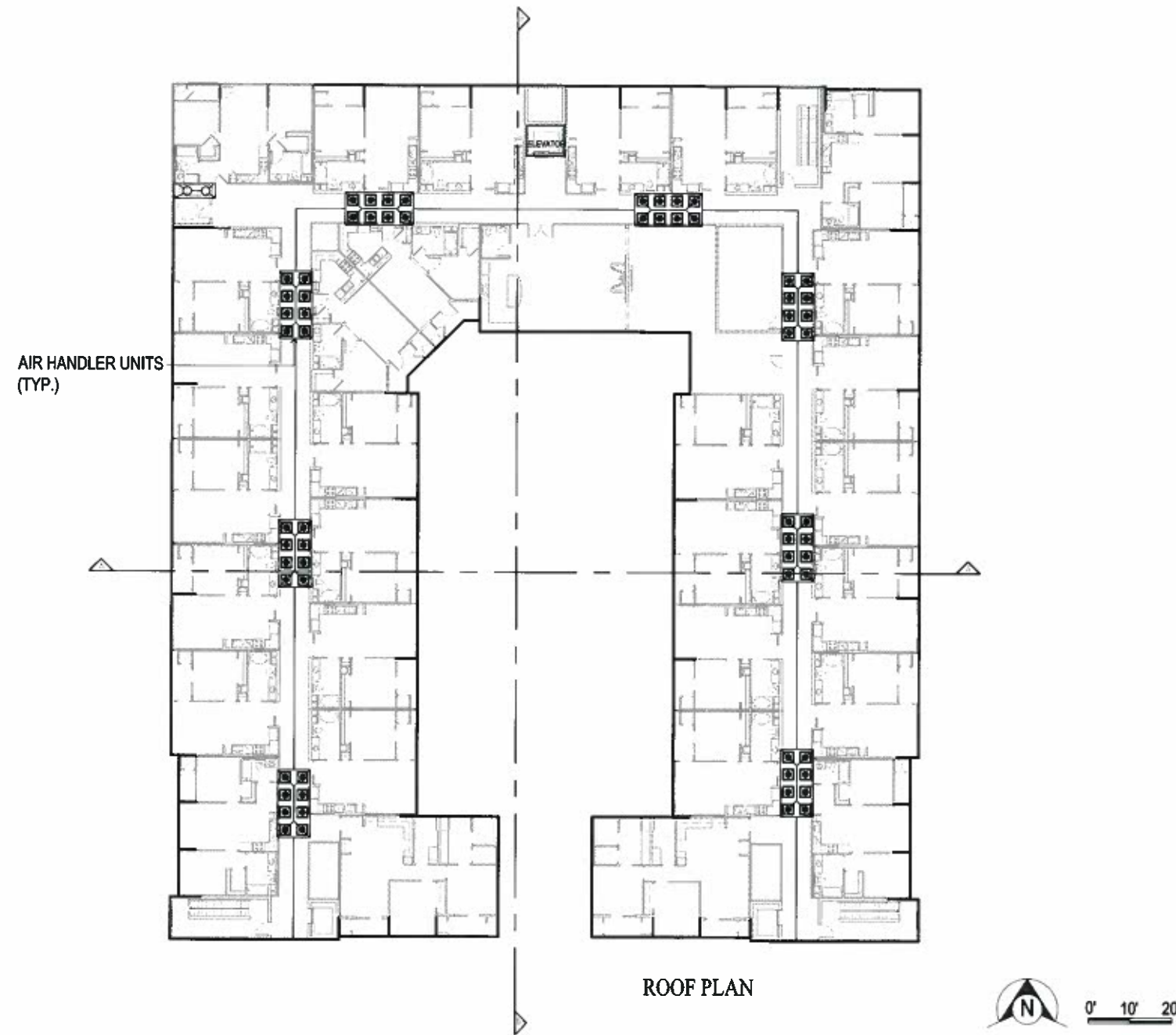
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ROOF PLAN
 SCALE: 1/16" = 1'-0"
 SHEET A-3

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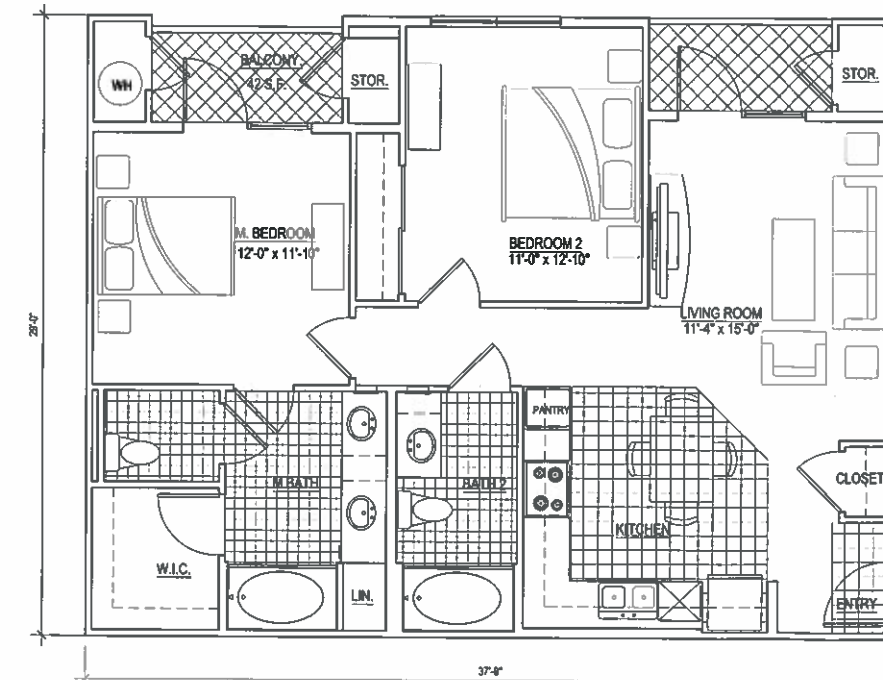
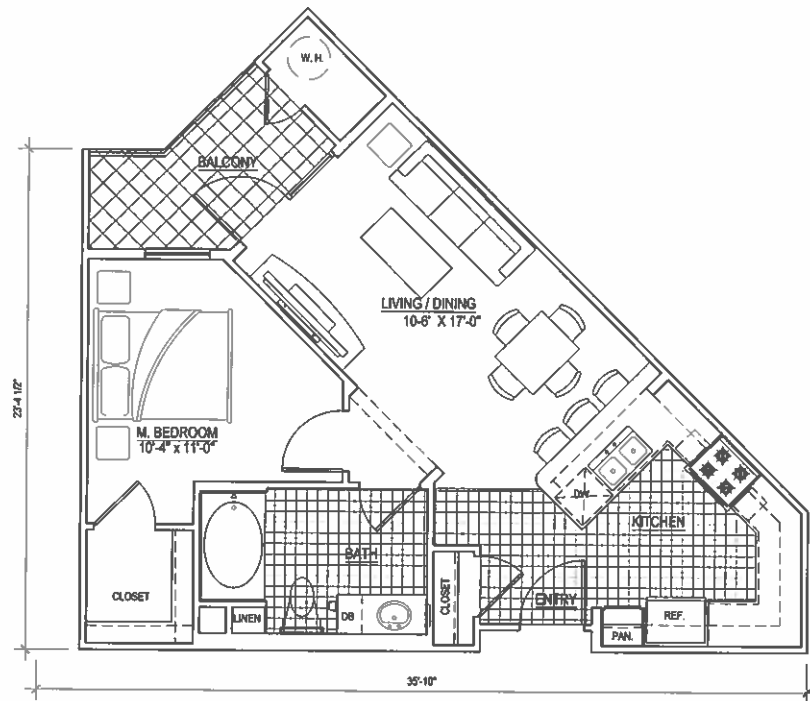
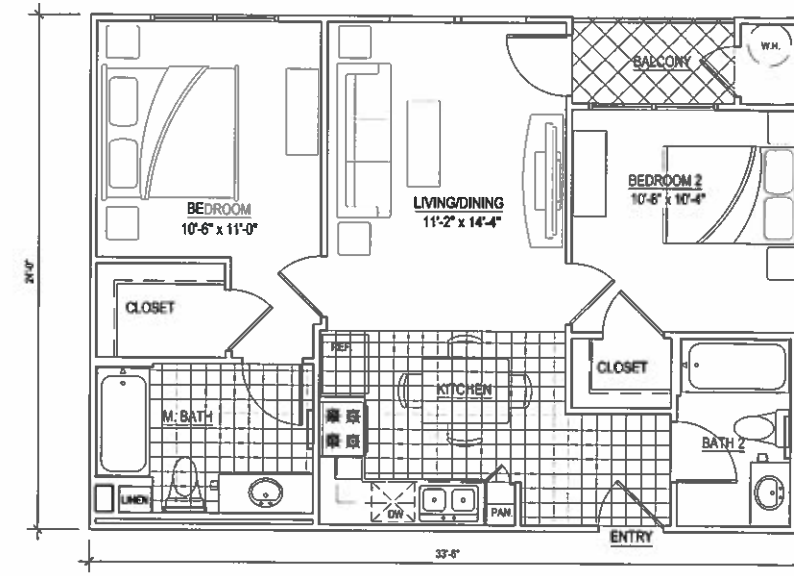
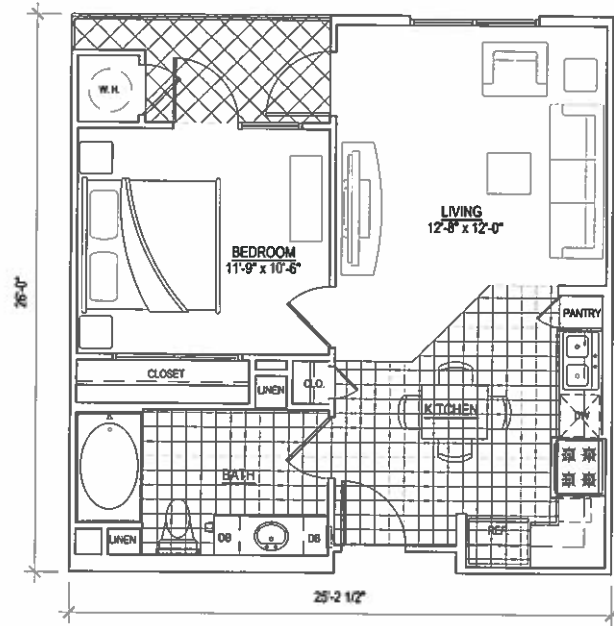
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UNIT PLANS
SCALE: 1/4"=1'-0"
SHEET A-4

ARTESIA BLVD. SENIOR HOUSING
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Jun 01, 2009 LONG BEACH, CA HPA#08418



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NORTH ELEVATION
(ALONG EAST ARTESIA BLVD.)
SCALE: 1/8" = 1'-0"



EAST ELEVATION
(ALONG INDIANA AVE.)
SCALE: 1/8" = 1'-0"



ELEVATIONS
SHEET A-5

ARTESIA BLVD. SENIOR HOUSING
PALM DESERT DEVELOPMENT CO.

Jun 01, 2009

LONG BEACH, CA

HPA#08418



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WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
(FACING RAMONA PARK)
SCALE: 1/8" = 1'-0"



ELEVATIONS
SHEET A-6

ARTESIA BLVD. SENIOR HOUSING
PALM DESERT DEVELOPMENT CO.

Jun 01, 2009

LONG BEACH, CA

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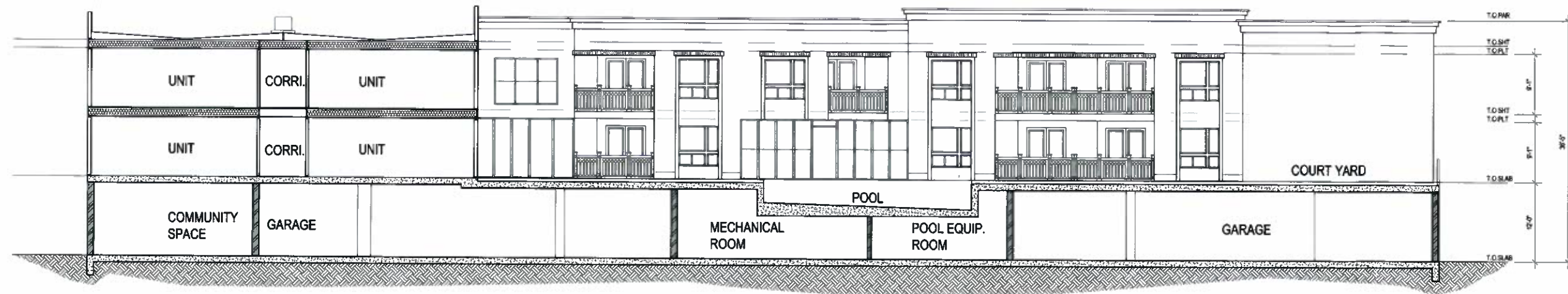
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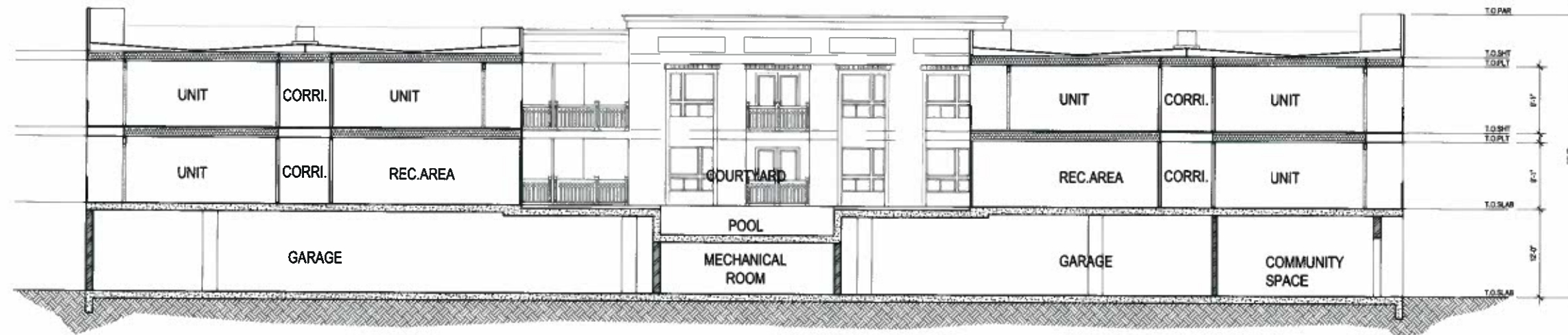
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SECTION B



SECTION A

SECTIONS
 SCALE: 1/8" = 1'-0"
 SHEET A-7

ARTESIA BLVD. SENIOR HOUSING
 PALM DESERT DEVELOPMENT CO.

Jun 01, 2009

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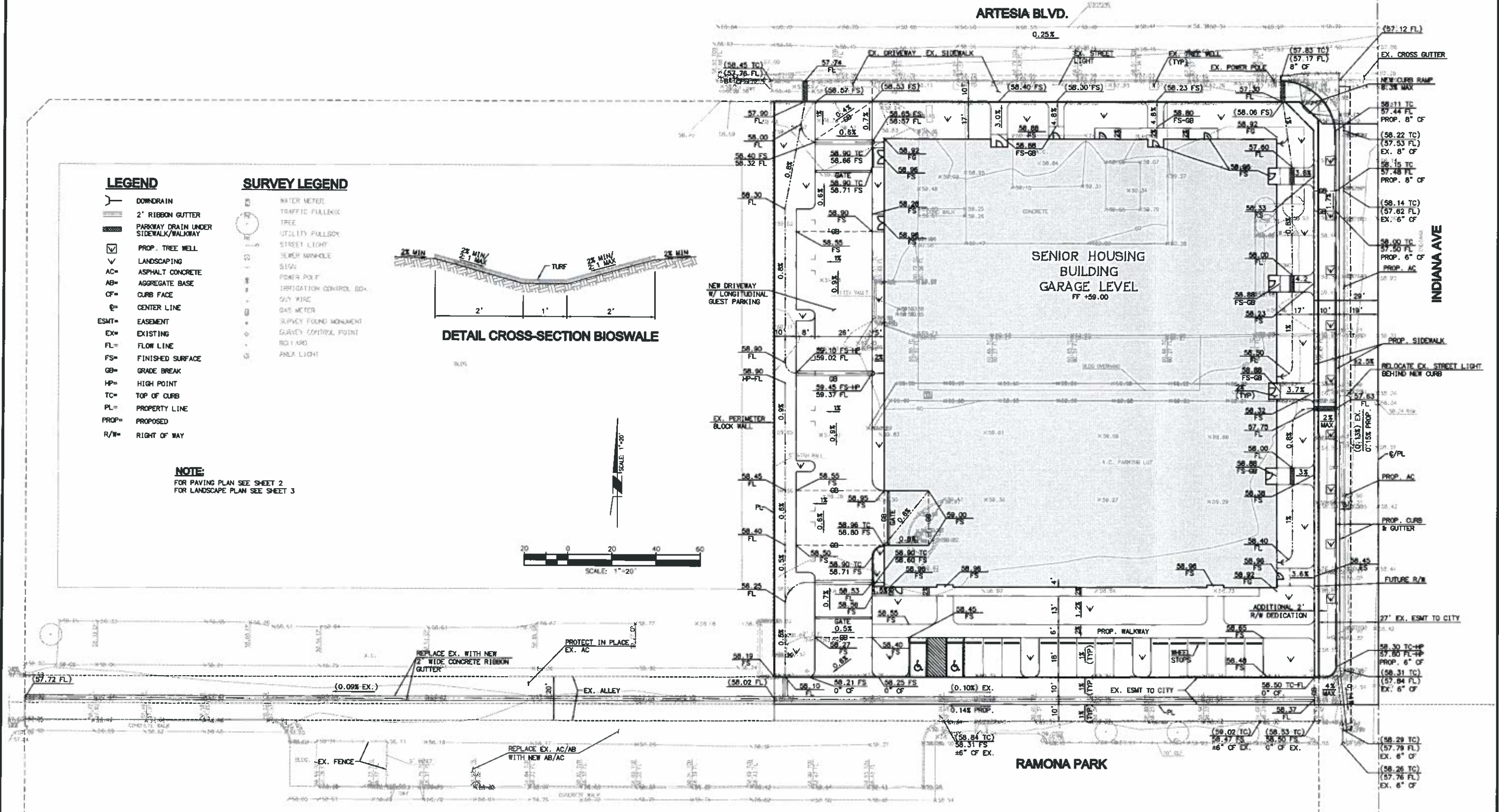
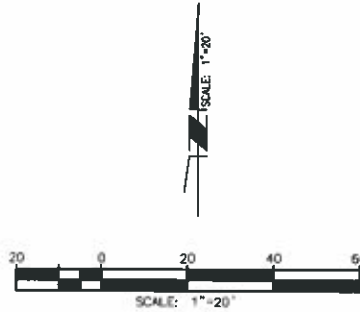
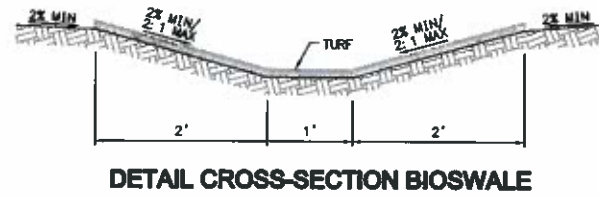
LEGEND

- DOWNRAIN
- 2' RIBBON GUTTER
- PARKWAY DRAIN UNDER SIDEWALK/WALKWAY
- PROP. TREE WELL
- LANDSCAPING
- AC= ASPHALT CONCRETE
- AB= AGGREGATE BASE
- CF= CURB FACE
- CL= CENTER LINE
- ESMT= EASEMENT
- EX= EXISTING
- FL= FLOW LINE
- FS= FINISHED SURFACE
- GB= GRADE BREAK
- HP= HIGH POINT
- TC= TOP OF CURB
- PL= PROPERTY LINE
- PROP= PROPOSED
- R/W= RIGHT OF WAY

SURVEY LEGEND

- WATER METER
- TRAFFIC FALCLIC
- TREE
- UTILITY PULLBOX
- STREET LIGHT
- SEWER MANHOLE
- SIGN
- POWER POLE
- IRRIGATION CONTROL BOX
- GAS METER
- SURVEY FOUND MONUMENT
- SURVEY CONTROL POINT
- ROAD MARK
- AREA LIGHT

NOTE:
FOR PAVING PLAN SEE SHEET 2
FOR LANDSCAPE PLAN SEE SHEET 3



DEVELOPER: PALM DESERT DEVELOPMENT COMPANY
CONTACT: JEFFREY TARTAGLINO
P.O. BOX 3869
PALM DESERT, CA 92281
TEL: 760.888.1048



NO.	DATE	REVISIONS	APP'D	DATE

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PLANNING • DESIGN • CONSTRUCTION
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IRVINE, CALIFORNIA 92618-2027
949.472.3505 • FAX 949.472.8122 • www.RBF.com

PLAN TITLE FOR
**ARTESIA BLVD SENIOR HOUSING
LONG BEACH**
CONCEPTUAL GRADING PLAN

SHEET
1
OF 3 SHTS.





ARTESIA BLVD.

INDIANA AVE

SENIOR HOUSING BUILDING GARAGE LEVEL

RAMONA PARK

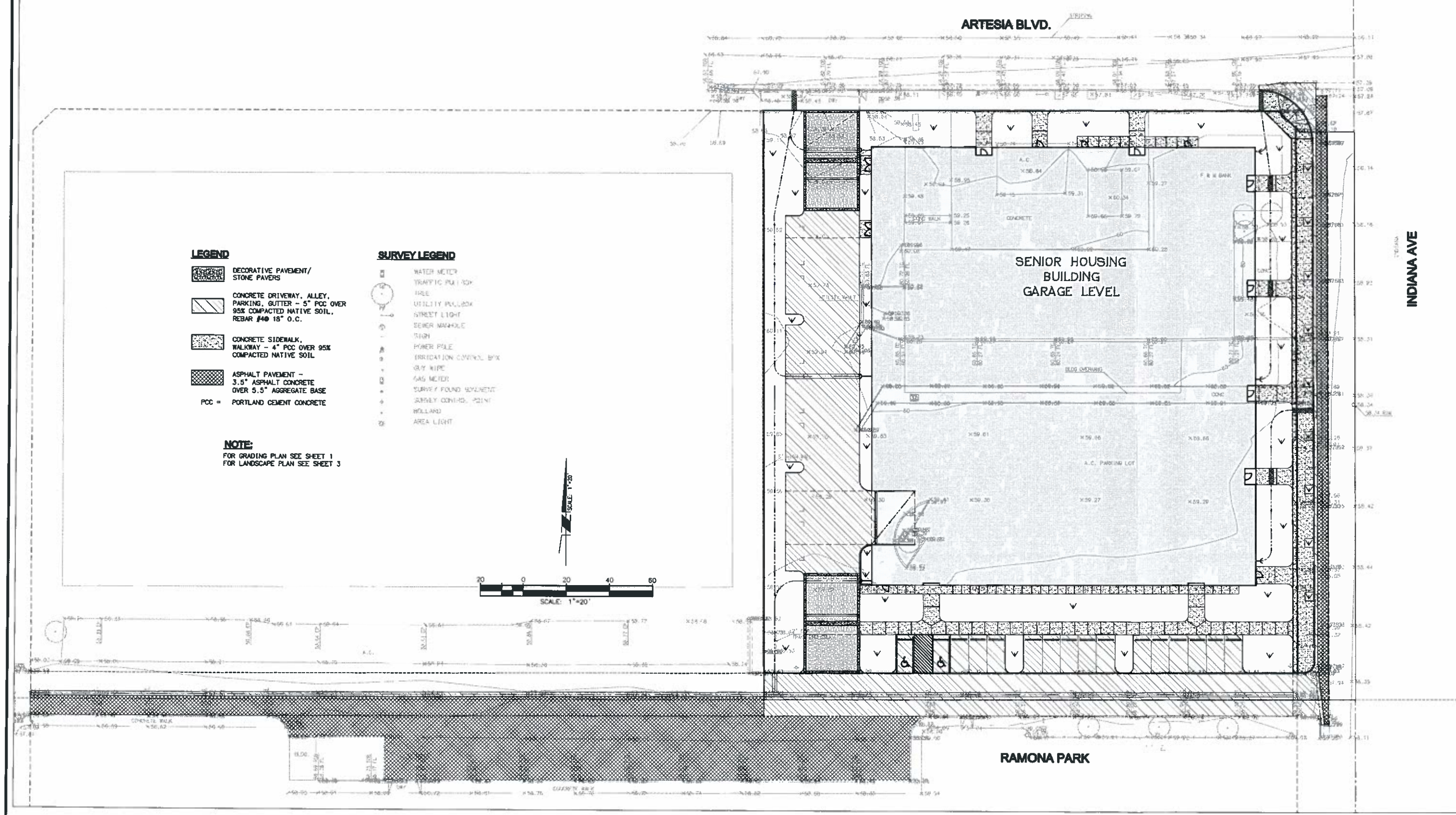
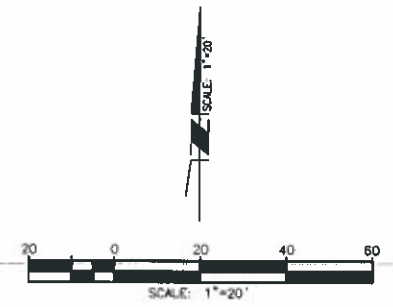
LEGEND

-  DECORATIVE PAVEMENT/ STONE PAVERS
-  CONCRETE DRIVEWAY, ALLEY, PARKING, GUTTER - 5" PCC OVER 95% COMPACTED NATIVE SOIL, REBAR #4@ 18" O.C.
-  CONCRETE SIDEWALK, WALKWAY - 4" PCC OVER 95% COMPACTED NATIVE SOIL
-  ASPHALT PAVEMENT - 3.5" ASPHALT CONCRETE OVER 5.5" AGGREGATE BASE
- PCC = PORTLAND CEMENT CONCRETE

SURVEY LEGEND

-  WATER METER
-  TRAFFIC MARKER
-  TREE
-  UTILITY PULLBOX
-  STREET LIGHT
-  SEWER MANHOLE
-  SIGN
-  POWER POLE
-  IRRIGATION CONTROL BOX
-  GAS PIPE
-  GAS METER
-  SURVEY FOUND REBAR
-  SURVEY CONTROL POINT
-  BOLLARD
-  AREA LIGHT

NOTE:
FOR GRADING PLAN SEE SHEET 1
FOR LANDSCAPE PLAN SEE SHEET 3



DEVELOPER: PALM DESERT DEVELOPMENT COMPANY
CONTACT: GIFFREY YARTAGLINO
P.O. BOX 3688
PALM DESERT, CA 92281
TEL: 760.888.1048



NO.	DATE	REVISIONS	APP'D	DATE	CHK/TM

JOB NO.: 10-10-6842
SCALE: 1"=20'
DATE: 6/1/09
DESIGNED BY: DK/TM

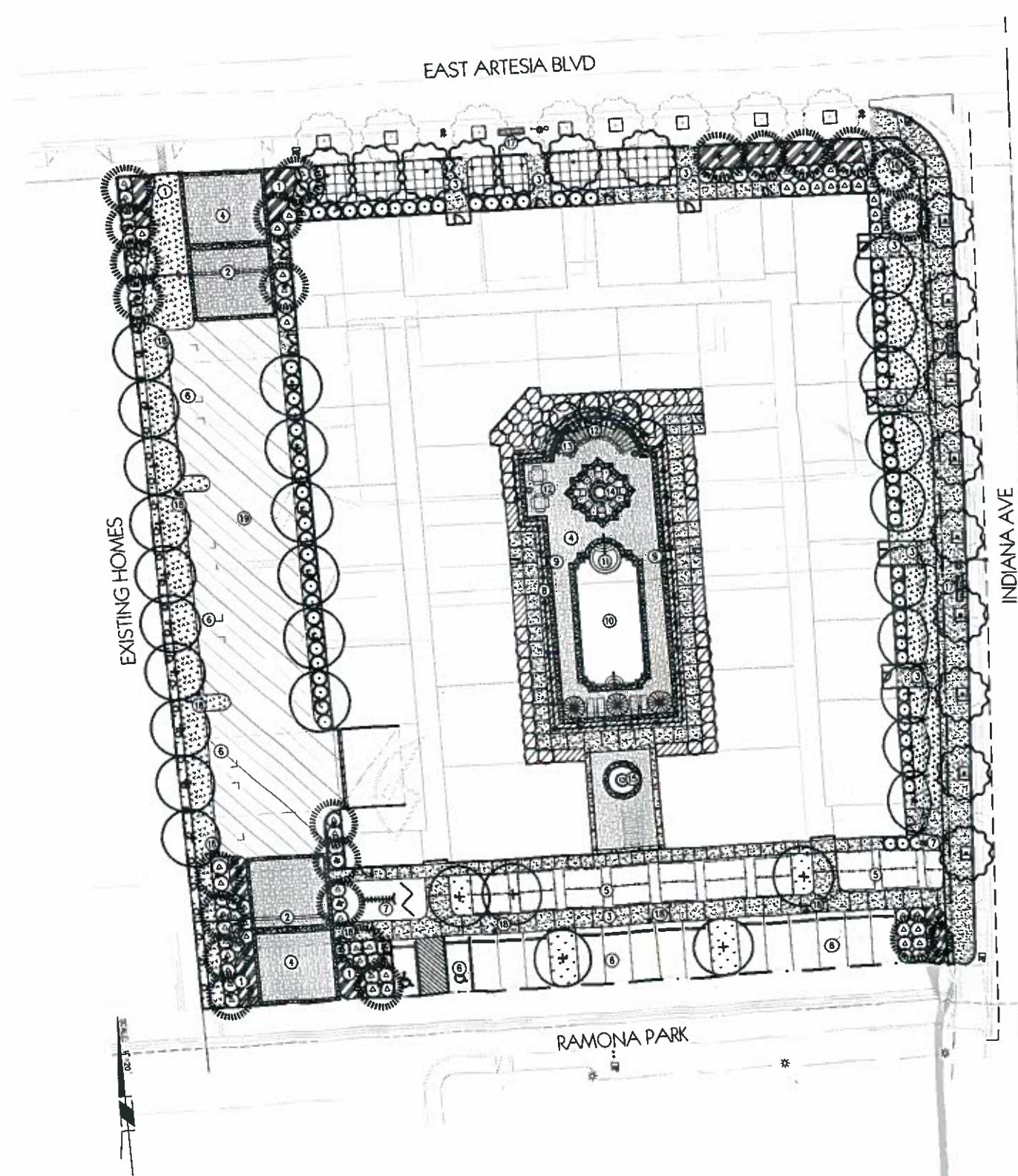


PLAN TITLE FOR
**ARTESIA BLVD SENIOR HOUSING
LONG BEACH**

CONCEPTUAL PAVING PLAN

SHEET
2
of 3 SHTS.

K:\PWA\10106842\LAND\LDLV\CONCEPTUAL\6842-CP-002.DWG (IMG) 6/1/09 2:31 PM



PLANTING LEGEND

- EAST ARTESIA BLVD/INDIANA AVE TREES (24' BOX MIN.), SUCH AS GELERA PARVIFLORA - AUSTRALIA WILLOW JACARANDA MIMOSFOLIA - JACARANDA TRISTANIA CONFERTA - WATER GUM
- SHRUBS (5 GALLON MIN.), SUCH AS EUCALYPTUS FORTUNEI - EUCALYPTUS LIGULSTRUM JAPONICUM - JAPANESE PRIVET PHOTINIA FRAZERI - PHOTINIA
- GROUND COVERS (1 GALLON MIN.), SUCH AS CARSSA MACROCARPA - HATAI RUJA RHAPHCLEIS INDICA - INDIAN HAWTHORN TRACHELOSPERMUM JASMINOIDES - STAR JASMINE
- ENTRY STATEMENT TREES (24' BOX MIN.), SUCH AS JACARANDA MIMOSFOLIA - JACARANDA LAGERSTROEMIA INDICA - GRAPE HYDRA
- SHRUBS (5 GALLON MIN.), SUCH AS HEMEROCALLIS - DAY LILY PHORMIUM TENAX - NEW ZEALAND FLAX STRELTIZIA REGINAE - BIRD OF PARADISE
- GROUND COVERS (1 GALLON MIN.), SUCH AS BOUGAINVILLEA - BOUGAINVILLEA LANTANA MONTEVIDEOSIS - LANTANA ROSA X CARPET - CARPET ROSE
- BIOSWALE TURF GRASS
- RESIDENCE FOUNDATION TREES (24' BOX MIN.), SUCH AS GELERA PARVIFLORA - AUSTRALIA WILLOW LIQUIDAMBAR STRACOLLIA - AMERICAN SWEET GUM OLEA EUROPAEA - OLIVE PLATANUS ACERIFOLIA - LONDON PLANE TREE
- SHRUBS (5 GALLON MIN.), SUCH AS PHOTINIA FRAZERI - PHOTINIA PITTOSPORUM TOBRA - TOBRA VIBURNUM DAVIDE - VIBURNUM
- GROUND COVERS (1 GALLON MIN.), SUCH AS CARSSA MACROCARPA - HATAI RUJA RHAPHCLEIS INDICA - INDIAN HAWTHORN TRACHELOSPERMUM JASMINOIDES - STAR JASMINE
- VINES (5 GALLON MIN.), SUCH AS BOUGAINVILLEA - BOUGAINVILLEA CLEMATIS ARMANDI - EVERGREEN CLEMATIS
- COURTYARD TREES (24' BOX MIN.), SUCH AS BAUHUSIA X BLAKEANA - HONG KONG ORCHID TREE ENSETTE RENTROCOSUM - ABYSSINIAN BANANA
- SHRUBS (5 GALLON MIN.), SUCH AS AGAVE AMERICANA - CENTURY PLANT CANNA - CANNA STRELTIZIA REGINAE - BIRD OF PARADISE
- GROUND COVERS (1 GALLON MIN.), SUCH AS LAMONIUM PEREZEI - SEA LAVENDER LIRIOPE MUSCARI - TURF LILY VINCA MINOR - DWARF PERIWINKLE
- VINES (5 GALLON MIN.), SUCH AS BOUGAINVILLEA - BOUGAINVILLEA PASSIFLORA X BELOTTI - PASSION FLOWER
- EXISTING TREE TO REMAIN AND BE PROTECTED IN PLACE

KEY NOTES

- 1 ENTRY ENHANCEMENT
- 2 DECORATIVE ENTRY GATE
- 3 PEDESTRIAN WALKWAY
- 4 DECORATIVE PAVEMENT
- 5 FENCED COMMUNITY GARDENS
- 6 PARKING LOTS
- 7 WORKOUT STATION
- 8 TUBULAR STEEL POOL FENCE
- 9 POOL GATE
- 10 SWIMMING POOL
- 11 SPA
- 12 BBQ & PICNIC TABLES
- 13 SHADE TRELLIS
- 14 FIRE PIT
- 15 FOUNTAIN
- 16 MONUMENT SIGN
- 17 BENCH/TRASH RECEPTACLE
- 18 LIGHTING FIXTURE PER CITY STD TYPE G
- 19 COLOR CONCRETE PAVING

LANDSCAPE NOTS

- 1. ALL LANDSCAPING AND IRRIGATION SYSTEMS SHALL BE DESIGNED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES AND STANDARDS OF THE CITY OF LONG BEACH
- 2. TREES SHALL NOT BE PLANTED WHERE THEY INTERFERE WITH SITE DRAINAGE OR REQUIRE FREQUENT PRUNING IN ORDER TO AVOID INTERFERENCE WITH OVERHEAD UTILITY LINES
- 3. TREE SIZES SHALL BE PLANTED IN ACCORDANCE WITH CITY REQUIREMENTS
- 4. A 3" LAYER OF ORGANIC MULCH SHALL BE APPLIED TO ALL SHRUB PLANTING AREAS
- 5. ALL TREES PLANTED WITHIN FIVE FEET OF A PAVED SURFACE SHALL BE INSTALLED WITH A ROOT BARRIER
- 6. ALL ABOVE GROUND UTILITIES SHALL BE SCREENED FROM VIEW OF THE PUBLIC STREET WITH AN EVERGREEN TREES AND SHRUBS, TO GREATEST EXTENT POSSIBLE
- 7. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN ELECTRONICALLY OPERATED, REMOTE CONTROLLED IRRIGATION SYSTEM UTILIZING STATE OF THE ART TECHNOLOGY. THE SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH STATE IRRIGATION STANDARDS (AB395), SHALL APPLY WATER EFFICIENTLY, AVOID OVERSPRAY ON TO BUILDING AND PAVEMENT AND MINIMIZE BLINDSPOT



DEVELOPER: PALM DESERT DEVELOPMENT COMPANY
 CONTACT: JEFFREY TARTAGLINO
 P.O. BOX 3989
 PALM DESERT, CA 92261
 TEL: 760.988.1040

NO.	DATE	REVISIONS	APP'D	DATE

JOB NO.: 10-10-6842
 SCALE: 1"=20'
 DATE: 6/1/09
 DESIGNED BY: JA/NW

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PLAN TITLE FOR
**ARTESIA BLVD SENIOR HOUSING
 LONG BEACH**
CONCEPTUAL LANDSCAPE PLAN