



CITY OF LONG BEACH

DEPARTMENT OF DEVELOPMENT SERVICES

333 West Ocean Blvd., 5th Floor

Long Beach, CA 90802

(562) 570-6194

FAX (562) 570-6068

November 19, 2015

CHAIR AND PLANNING COMMISSIONERS
City of Long Beach
California

RECOMMENDATION:

Approve a Conditional Use Permit (CUP) request to allow the construction of a 990-square-foot detached self-service automated car wash at an existing gas station and convenience market located at 6001 Long Beach Boulevard within the Commercial Automobile-Oriented (CCA) zone and accept Categorical Exemption 15-123. (District 9)

APPLICANT: Gregory Hann
PO Box 944
Murrieta, CA 92564
(Application 1508-22)

DISCUSSION

The subject site is located at 6001 Long Beach Boulevard at the northwest corner of Long Beach Boulevard and Victoria Street (Exhibit A – Location Map). The site is located within the Commercial Automobile-Oriented (CCA) zone and is currently developed with a 3,100-square-foot convenience store and ARCO gas station with a total of 24 on-site parking spaces. Parking is in compliance with on-site parking regulations for both the existing and proposed use (Exhibit B – Plans & Photographs).

The applicant is proposing to construct a new 900-square-foot detached self-service automated car wash along the west portion of the lot abutting industrial uses. The surrounding properties are generally developed with commercial, general office, and industrial service-related uses. The proposed car wash use complies with both the General Plan and Zoning Regulations, and is permitted with an approved Conditional Use Permit (CUP) in the CCA zone. No other changes to the existing operation of the convenience store or gas station are proposed.

The existing gas station and convenience store have operated at the subject site since 1999 with no reports of negative impacts to the neighborhood. With the proposed construction of the car wash, staff is requiring the owner to use materials and paint that match the existing building and that all existing buildings and structures be repainted along with any dilapidated signage be replaced with new signage. Along with the improvements to the site, additional conditions regarding the operation of the business are included. These include limiting the hours of operation of the car wash to 8:00 am to 10:00 pm

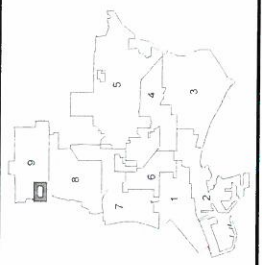
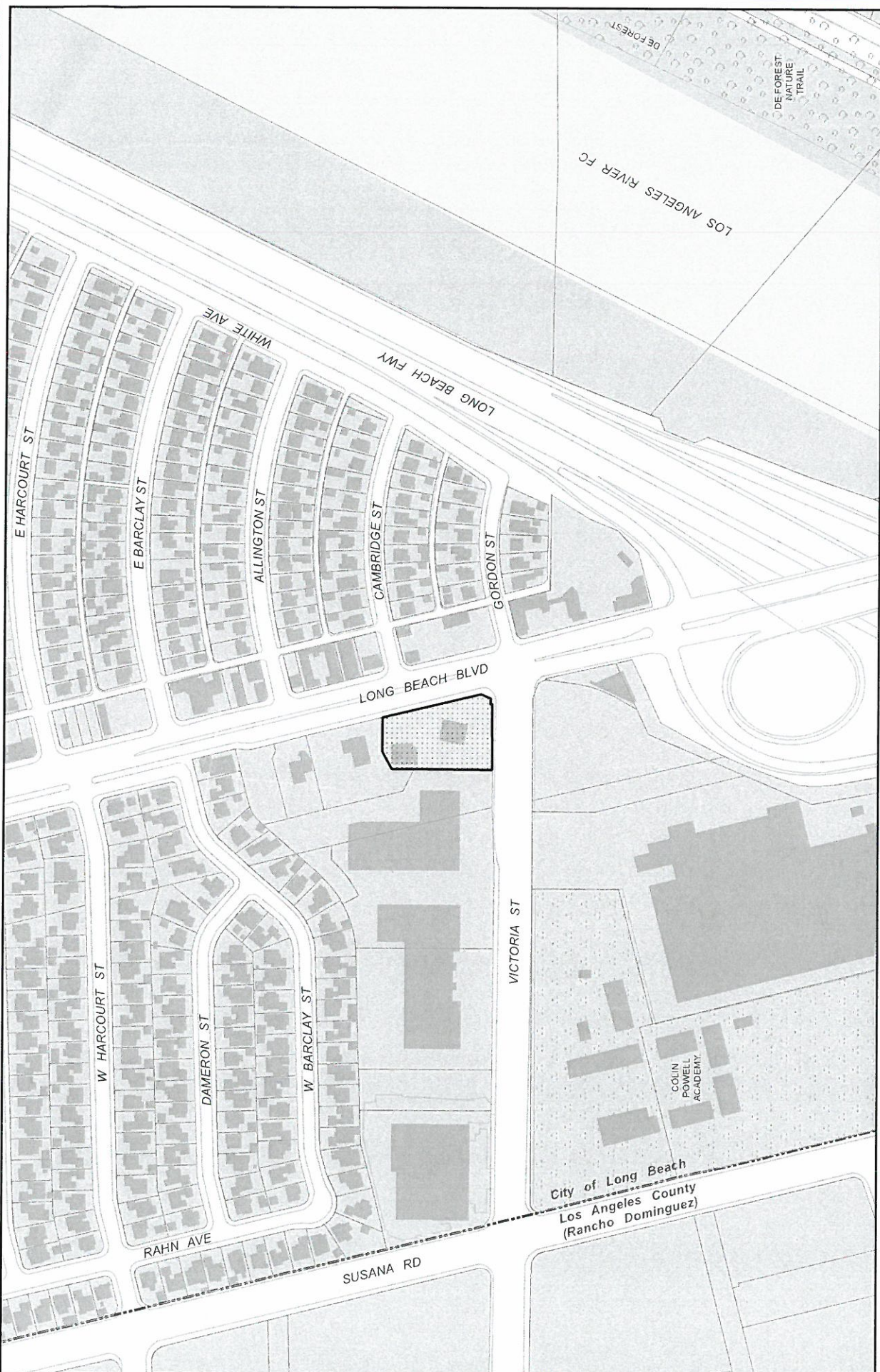
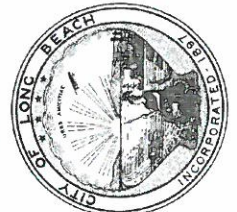


Exhibit A



Subject Property:
 6001 Long Beach Blvd
 Application No. 1508-22
 Council District 9
 Zoning Code : CCA



City of Long Beach
 Los Angeles County
 (Rancho Dominguez)

CONDITIONAL USE PERMIT FINDINGS

6001 Long Beach Boulevard
Application No. 1508-22
November 19, 2015

Pursuant to Section 21.25.206 of the Long Beach Municipal Code, a Conditional Use Permit can be granted only when positive findings are made consistent with the following criteria set forth in the Zoning Ordinance. These findings and staff analysis are presented for consideration, adoption and incorporation into the record of proceedings:

- 1. THE APPROVAL IS CONSISTENT WITH AND CARRIES OUT THE GENERAL PLAN, ANY APPLICABLE SPECIFIC PLANS SUCH AS THE LOCAL COASTAL PROGRAM AND ALL ZONING REGULATIONS OF THE APPLICABLE DISTRICT;**

The project site is located in Land Use District #9G – Traditional Industrial District. LUD #9G is intended to accommodate industrial uses as well as restaurants, retail, gas stations and offices complementary to local industry. The existing gas station as well as the proposed 990-square-foot self-service automated car wash is consistent with the requirements and intent of the district. No specific plan applies to the subject site. The project is consistent with the zoning regulations of the CCA zoning district, as the proposed self-service automated car wash is an allowed use in this district with an approved Conditional Use Permit.

- 2. THE PROPOSED USE WILL NOT BE DETRIMENTAL TO THE SURROUNDING COMMUNITY INCLUDING PUBLIC HEALTH, SAFETY OR GENERAL WELFARE, ENVIRONMENTAL QUALITY OR QUALITY OF LIFE; AND**

In accordance with the California Environmental Quality Act (CEQA) and CEQA Guidelines, a Categorical Exemption (CE 15-123) was prepared for this project.

Addition of the proposed car wash to an existing gas station is not expected to be detrimental to the surrounding community. The mechanical equipment associated with the car wash will be placed within an enclosed storage room, which will decrease the noise level from the car wash operation. Conditions of approval are included to mitigate potential negative impacts associated with operation of the car wash.

- 3. THE APPROVAL IS IN COMPLIANCE WITH THE SPECIAL CONDITIONS FOR SPECIFIC CONDITIONAL USES, AS LISTED IN CHAPTER 21.52.**

Section 21.52.206 states that the following conditions shall apply to auto repair shops, service stations, car washes, auto upholstery shops, auto parts and tire sales uses requiring a Conditional Use Permit:

- A. The proposed use shall not intrude into a concentration of retail uses and not impede pedestrian circulation between retail uses.**

The proposed car wash will be in service simultaneously with an existing gas station and convenience store. The car wash will not intrude into a concentration of surrounding uses or impede pedestrian circulation between retail and the gas station uses as designed. All circulation will occur on the project site utilizing existing pedestrian routes and accesses.

B. The proposed use shall not create unreasonable obstructions to traffic circulation around or near the site.

The proposed car wash is designed to utilize an existing vehicular curb cut at Long Beach Boulevard as well as an existing exit on Victoria Street. With the queuing length provided, the project will help to improve onsite circulation and will not create unreasonable obstruction to off-site traffic flows around or near the site.

C. No curb cuts shall be permitted within forty feet (40') of any public roadway intersection.

No new curb cuts are proposed at this site.

D. No vehicles may be stored at the site for the purposes of sale, unless the use is also, vehicle sales lot or for use as parts for vehicles under repair.

Condition number 12 prohibits the storage of cars for sale at the site.

E. The site shall comply with all applicable development standards for open storage and repair uses specified in chapter 21.45. "Special Development Standards".

Not applicable. No open storage or repair uses are proposed at the site.

CONDITIONAL USE PERMIT CONDITIONS OF APPROVAL

6001 Long Beach Boulevard

Application No. 1508-22

Date: November 19, 2015

1. The use permitted on the subject site, in addition to the other uses permitted in the CCA zoning district, shall be to allow the approval of a new 990-square-foot detached self-service automated car wash at an existing gas station and mini market located at 6001 Long Beach Boulevard.
2. This permit and all development rights hereunder shall terminate one year from the effective date of this permit unless construction is commenced or a time extension is granted, based on a written and approved request submitted prior to the expiration of the one year period as provided in Section 21.21.406 of the Long Beach Municipal Code.
3. This permit shall be invalid if the owner(s) and/or applicant(s) have failed to return written acknowledgment of their acceptance of the conditions of approval on the *Conditions of Approval Acknowledgement Form* supplied by the Planning Bureau. This acknowledgment must be submitted within 30 days from the effective date of approval (final action date or, if in the appealable area of the Coastal Zone, 21 days after the local final action date).

Special Conditions:

4. No publicly accessible telephones shall be maintained on the exterior of any building on the project site. Any existing publicly accessible telephones outside of any existing building shall be removed.
5. A water recycling system shall be installed to achieve maximum water use efficiency for car-wash operations at the site to the satisfaction of the Director of Development Services.
6. Hours of operation for the car wash shall be from 8:00 am to 10:00 pm Monday through Sunday.
7. Any rooftop equipment on the car wash building shall be located behind a screening device that matches the color and texture and is architecturally compatible with the existing building.
8. Adequately sized trash enclosures shall be maintained compliant to Section 21.46.080 of the Long Beach Municipal Code.

9. The applicant shall install machine equipment for the car wash that meets exterior noise standards per Section 8.80.160 of the Long Beach Municipal Code. The car wash machinery must include a silencer package that limits noise to a maximum of 60 decibels. Documentation proving compliance with the noise ordinance shall be submitted prior to issuance of a building permit.
10. The applicant shall install exterior lighting at minimum of 1 candle foot of illumination along the rear of the mini mart and car wash, to the satisfaction of the Director of Development Services.
11. The operator shall provide directional signs directing patrons to the car wash entrance from Long Beach Boulevard as well as exiting from Victoria Street.
12. No automobiles or other vehicles or material for sale or storage shall be parked on the site.
13. No speakers or amplified sound systems shall be allowed on site.
14. No exterior roof access ladders are allowed.
15. No temporary storage bins shall be allowed on site and applicant shall construct a trash enclosure for the new car wash as per Section 21.46.080 of the Long Beach Municipal Code.
16. All existing buildings and structures shall be repainted and any dilapidated signage shall be replaced with new signage.
17. The operator shall install exterior video security cameras at the front and rear of the car wash that provide full view of the public right-of-way of any parking areas. The video security cameras shall record video for a minimum of 30 days and be accessible via the Internet by the LBPD. A Public Internet Protocol (IP) address and user name/password to allow LBPD to view live and recorded video from the cameras over the Internet are also required. All video security cameras shall be installed to the satisfaction of the Police Chief, Director of Technology Services, and Director of Development Services.
18. The operator/owner/tenant shall prevent loitering and loud noises around the project site during hours of operation. If loitering continues, as determined by the Long Beach Police Department, a security guard shall be required during business hours at the discretion of the Director of Development Services. Continual problems with loitering or other activities on the site that are disruptive to adjacent land uses or patrons of the site, which increase the calls for service at the business may lead to revocation of the Conditional Use Permit.

Standard Conditions:

19. If, for any reason, there is a violation of any of the conditions of this permit or if the car wash operation is found to be detrimental to the surrounding community, including public health, safety or general welfare, environmental quality or quality of life, such shall cause the City to initiate revocation and termination procedures of all rights granted herewith.
20. In the event of transfer of ownership of the property involved in this application, the new owner shall be fully informed of the permitted use and development of said property as set forth by this permit together with all conditions that are a part thereof. These specific requirements must be recorded with all title conveyance documents at time of closing escrow.
21. This Conditional Use Permit approval is required to comply with these conditions of approval as long as the use is on the subject site. As such, the site shall allow periodic re-inspections, at the discretion of City officials, to verify compliance. The property owner shall reimburse the City for the inspection cost as per the special building inspection specifications established by City Council (Sec. 21.25.412, 21.25.212).
22. All conditions of approval must be printed verbatim on all plans submitted for plan review to the Department of Development Services. These conditions must be printed on the site plan or a subsequent reference page.
23. The Director of Development Services is authorized to make minor modifications to the approved project plans or any of the conditions of approval if such modifications shall not significantly change/alter the approved design/project. Any major modifications shall be reviewed by the Zoning Administrator or Planning Commission, respectively.
24. The property shall be developed and maintained in a neat, quiet, and orderly condition and operated in a manner so as not to be detrimental to adjacent properties and occupants. This shall encompass the maintenance of exterior facades of the building, designated parking areas serving the use, fences and the perimeter of the site (including all public parkways).
25. The applicant shall be responsible for the removal of any graffiti found on site within 24 hours of its appearance.
26. The applicant shall defend, indemnify, and hold harmless the City of Long Beach, its agents, officers, and employees from any claim, action, or proceeding against the City of Long Beach or its agents, officers, or employees brought to attack, set aside, void, or annul an approval of the City

of Long Beach, its advisory agencies, commissions, or legislative body concerning this project. The City of Long Beach will promptly notify the applicant of any such claim, action, or proceeding against the City of Long Beach and will cooperate fully in the defense. If the City of Long Beach fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Long Beach.



CITY of LONG BEACH NOTICE of EXEMPTION

DEPARTMENT OF DEVELOPMENT SERVICES | PLANNING BUREAU
333 W. OCEAN BLVD., 5TH FLOOR, LONG BEACH, CA 90802
(562) 570-6194 FAX: (562) 570-6068
lbs.longbeach.gov

TO: [] Office of Planning & Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

FROM: Department of Development Services
333 W. Ocean Blvd, 5th Floor
Long Beach, CA 90802

[] L.A. County Clerk
Environmental Fillings
12400 E. Imperial Hwy. 2nd Floor, Room 2001
Norwalk, CA 90650

Categorical Exemption CE- 15-123

Project Location/Address: 10001 Long Beach Blvd.
Project/Activity Description: new car wash, misc. landscape improvements
- reworked site parking - new location of trash enclosure -

Public Agency Approving Project: City of Long Beach, Los Angeles County, California
Applicant Name: Empire Design Group, Inc. / Greg Hann, Architect
Mailing Address: P.O. Box 944
Phone Number: 951-696-1490 Applicant Signature: [Signature]

BELOW THIS LINE FOR STAFF USE ONLY

Application Number: 1508-22 Planner's Initials: JR
Required Permits: Conditional Use Permit

THE ABOVE PROJECT HAS BEEN FOUND TO BE EXEMPT FROM CEQA IN ACCORDANCE WITH
STATE GUIDELINES SECTION 15303, Class 3, New Construction of
Small Structures

Statement of support for this finding: Small new Accessory building.

Contact Person: Jorge Ramirez Contact Phone: (562) 570-6952
Signature: [Signature] Date: 11-19-15