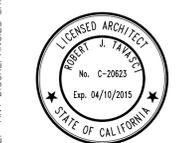




**ROBERT J. TAVASCI ARCHITECT**  
 3351 ORANGEWOOD AVE.  
 LOS ALAMITOS, CA 90720  
 PH: 562.843.1494



**OWNER:**  
**WEATHERING HEIGHTS, LLC**  
 3065 OCEAN BLVD.  
 LONG BEACH, CA 90803

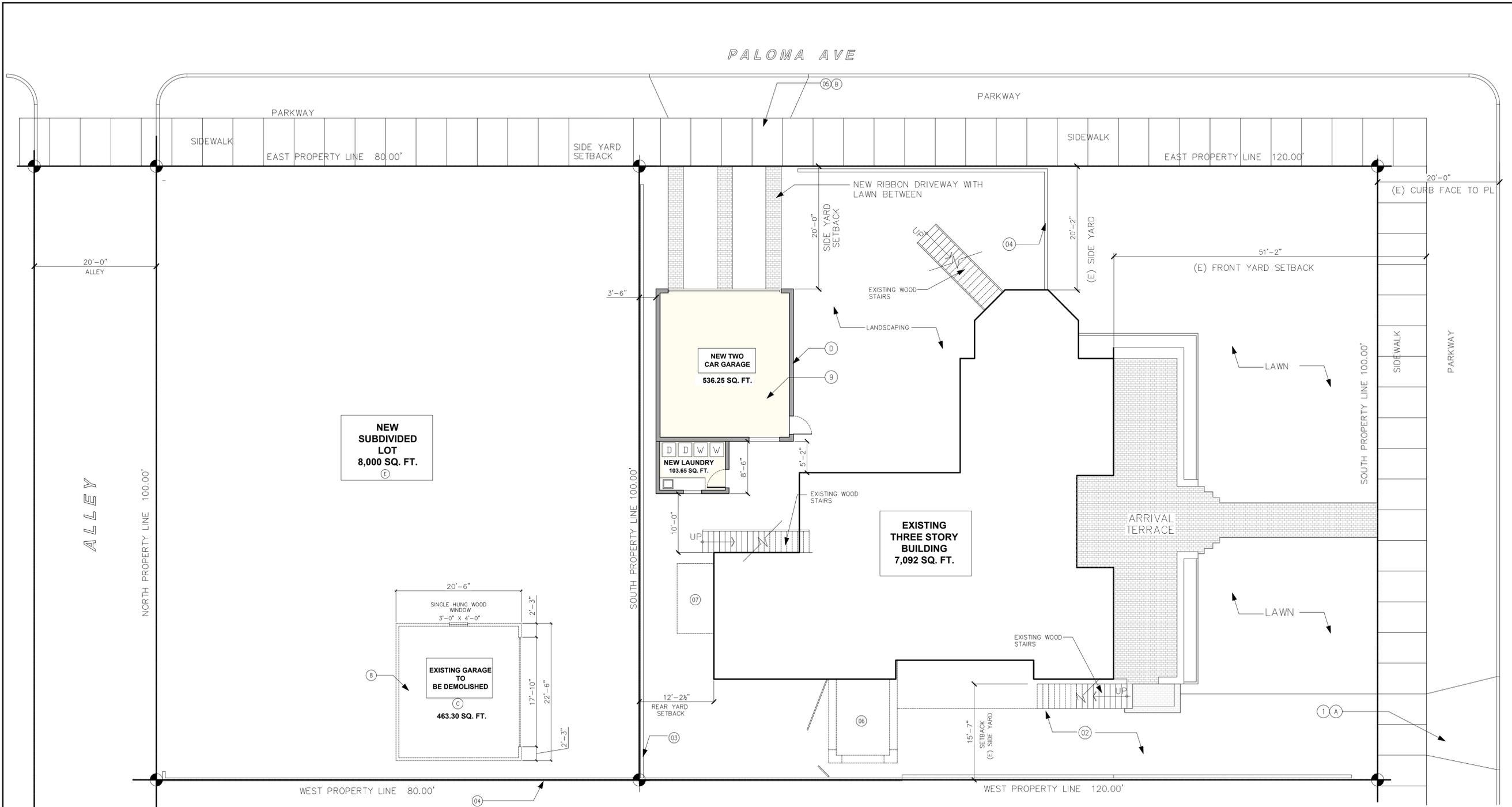
**PROJECT:**  
**SUBDIVISION PROJECT**  
 3065 OCEAN BLVD.  
 LONG BEACH, CA 90803

**REVISIONS:**  
 23 APRIL 2019

**SHEET TITLE:**  
**TITLE SHEET/  
 PROPOSED  
 SUBDIVISION /  
 SITE PLAN**

**PROJECT NO:** 2044-14  
**DATE:** 04 APRIL 2017  
**DRAWN BY:** RJT  
**SCALE:** NTS  
**FILE NAME:** 3065 E OCEAN.dwg  
**SHEET NO:**

**T-1.0**



**PROPOSED SITE PLAN**

**SQUARE FOOTAGE CALCULATIONS**

FIRST FLOOR.....	2,491.97 SQ. FT.
SECOND FLOOR.....	2,822.86 SQ. FT.
THIRD FLOOR.....	1,779.92 SQ. FT.
<b>TOTAL LIVING AREA.....</b>	<b>7,092.75 SQ. FT.</b>
EXISTING GARAGE.....	463.30 SQ. FT.
<b>NEW GARAGE ADDITION.....</b>	<b>536.25 SQ. FT.</b>
<b>LAUNDRY ADDITION.....</b>	<b>103.65 SQ. FT.</b>

**SITE PLAN KEY NOTES**

SYM	DET.	DESCRIPTION
(01)		EXISTING CONCRETE DRIVE APPROACH TO REMAIN
(02)		EXISTING CONCRETE DRIVE TO BE REMAIN
(03)		NEW 6" HIGH CMU WALL
(04)		EXISTING 6" HIGH CMU WALL
(05)		NEW CURB CUT AND CONC. DRIVE APPROACH
(06)		EXISTING PORTE COCHERE STRUCTURE TO REMAIN
(07)		EXISTING ONE STORY STRUCTURE TO BE REMOVED
(08)		EXISTING ONE STORY GARAGE STRUCTURE TO BE REMOVED
(09)		NEW LOCATION OF NEW 2 CAR GARAGE

**GENERAL NOTES**

- REFER TO GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION.
- CITY GRADING ENGINEER SHALL BE CONTACTED PRIOR TO START OF GRADING TO SCHEDULE A PRE-GRADING MEETING.
- REFER TO GRADING PLAN FOR PRECISE GRADING INFORMATION.
- REFER TO SOILS REPORT FOR GRADING REQUIREMENTS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO HAVE GRADING, COMPACTION, BACK FILLING, FOOTING AND UTILITY INSPECTIONS COMPLETED PRIOR TO BEGINNING NEXT PHASE OF CONSTRUCTION.
- SEPARATE PERMIT REQUIRED FOR EACH BUILDING OR STRUCTURE, I.E. FENCE WALLS, RETAINING WALLS, SWIMMING POOLS, ETC.
- BUILDING ADDRESS NUMBERS TO BE PROVIDED ON THE FRONT OF ALL BUILDINGS AND SHALL BE VISIBLE AND LEGIBLE FROM STREET FRONTING PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. FIRE CODE 901.4.4.
- FINISH GRADE WITHIN 10 FEET OF THE NEW STRUCTURE SHALL BE SLOPED A MINIMUM OF 5% AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.

**SCOPE OF WORK**

- (A) - EXISTING CONCRETE DRIVE APPROACH TO REMAIN
- (B) - CUT IN NEW CONCRETE DRIVE APPROACH TO COMFORM TO CITY STANDARDS
- (C) - REMOVE EXISTING GARAGE
- (D) - CONSTRUCT NEW GARAGE TO CONFORM TO CITY REGULATIONS AND HISTORICAL DISTRICT STANDARDS
- (E) - PROPOSED NEW LOT FOR (1) UNIT ONLY

**SHEET INDEX:**

**ARCHITECTURE DISCIPLINE**

- T: TITLE SHEET SITE PLAN PROJECT DATA VICINITY MAP
- GN: GENERAL NOTES
- T: EXISTING NORTH SOUTH EAST ELEVATIONS
- T: EXISTING WEST ELEVATIONS WINDOW SCHEDULE
- A: FIRST FLOOR PLAN
- A: SECOND FLOOR PLAN
- A: THIRD FLOOR PLAN
- A: NEW GARAGE LAUNDRY ROOF PLAN
- A: GARAGE ROOF SPECIFICATIONS
- A: NEW GARAGE FLOOR PLAN ELEVATIONS
- A: EXISTING FLOOR PLAN OF GARAGE TO BE REMOVED ELEVATIONS
- A: SECTIONS A A AND B B
- A: DETAILS

**STRUCTURAL DISCIPLINE**

- SN: STRUCTURAL NOTES SCHEDULES
- SN: STRUCTURAL NOTES SCHEDULES
- S: FOUNDATION FRAMING PLANS
- S: STRUCTURAL DETAILS
- HFX: HARDY FRAME DETAILS
- HFX: HARDY FRAME DETAILS
- HFX: HARDY FRAME DETAILS

**PROJECT DATA:**

**CLIENT:** ISRAEL WEINBERG

**PROJECT ADDRESS:**  
 3065 E. OCEAN BLVD.  
 SEAL BEACH, CA 90740

**ZONING INFORMATION:**  
 ZONE: R-2L  
 OCCUPANCY: R  
 CONSTRUCTION TYPE: TYPE V-B  
 MAXIMUM HEIGHT: 35 FT. (31'-0" EXISTING HOUSE) (14'-4" NEW GARAGE)

**MIN. LOT SIZE:** 8,000 SQ.FT. (8,000 SQ.FT. PROVIDED)

**MIN. LOT COVERAGE:** 60% ALLOWED (33% PROVIDED)

**SETBACKS:**  
 FRONT: 15'-0" 20'-0" PROVIDED  
 REAR: 10'-0" REQUIRED 30'-0" PROVIDED  
 SIDE YARD: 4'-0" REQUIRED 5'-0" PROVIDED

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EXISTING RESIDENCE

**EXISTING NORTH ELEVATION**

(REAR VIEW WITH PORTE COCHERE VIEW)

SCALE: 1/8" = 1'-0"



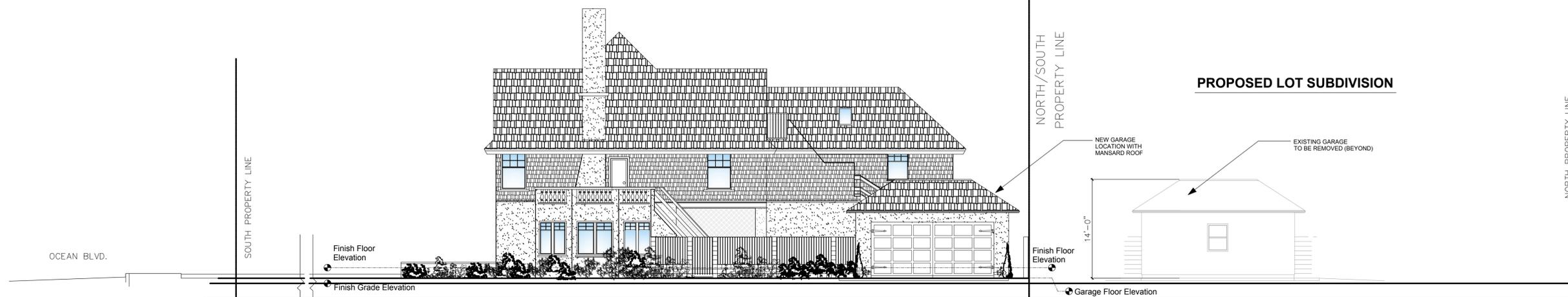
EXISTING RESIDENCE

**EXISTING SOUTH ELEVATION**

(FRONT ON OCEAN BLVD. WITH PORTE COCHERE VIEW)

(VIEW OF GARAGE BEYOND SHOWN WITH STAIRS AND PORTE COCHERE, GARAGE SHOWN) WITH DASHED LINES AS IT IS NOT SEEN IN TOTAL FROM STREET)

SCALE: 1/8" = 1'-0"



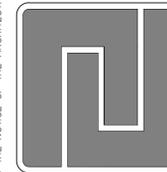
EXISTING RESIDENCE

(SHOWN WITH EXISTING AND NEW GARAGE)

**EXISTING / NEW EAST ELEVATION**

(RIGHT SIDE ON PALOMA STREET WITH EXISTING AND NEW GARAGE)

SCALE: 1/8" = 1'-0"



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OWNER:  
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3065 OCEAN BLVD.  
LONG BEACH, CA 90803

PROJECT:  
**SUBDIVISION PROJECT**  
3065 OCEAN BLVD.  
LONG BEACH, CA 90803

REVISIONS:  
23 APRIL 2019

SHEET TITLE:  
**EXISTING  
NORTH/SOUTH/EAST  
EXTERIOR  
ELEVATIONS**

PROJECT NO: 2044-14  
DATE: 04 APRIL 2017  
DRAWN BY: RJT  
SCALE: NTS  
FILE NAME: 3065 E OCEAN.dwg  
SHEET NO:

**T-1.1**

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ROBERT J TAVASCI  
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3351 ORANGEWOOD AVI  
LOS ALAMITOS, CA  
90720



OWNER:  
**WEATHERING HEIGHTS, LLC**  
3065 OCEAN BLVD.  
LONG BEACH, CA 90803

PROJECT:  
**SUBDIVISION PROJECT**  
3065 OCEAN BLVD.  
LONG BEACH, CA 90803

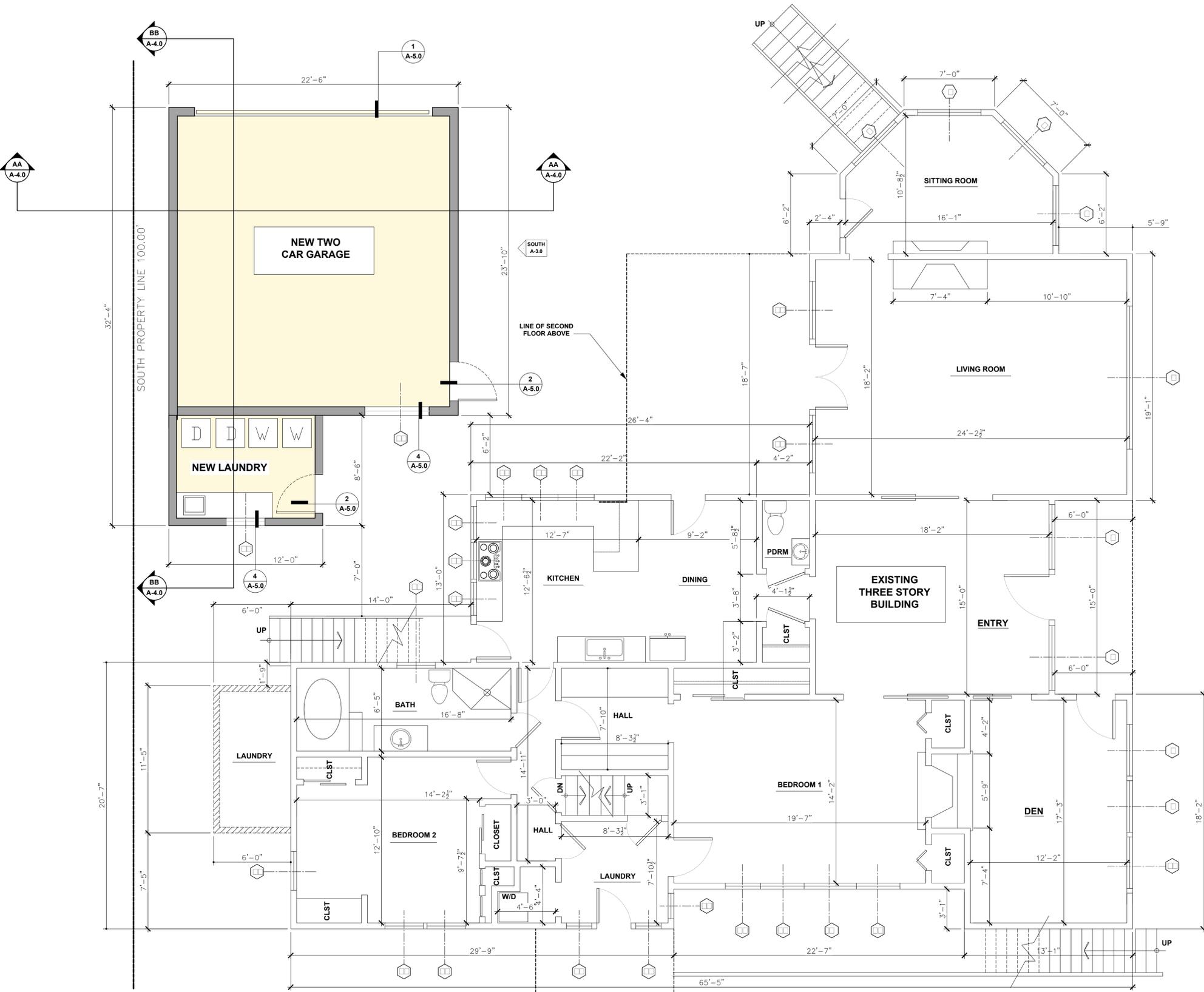
REVISIONS:  
23 APRIL 2019

SHEET TITLE:  
**EXISTING FIRST FLOOR PLAN W/ NEW GARAGE**

PROJECT NO: 2045-15  
DATE: 26 JULY 2018  
DRAWN BY: RJT  
SCALE: AS NOTED  
FILE: 3065 OCEAN FLR PLNS-SUBDIVISION  
SHEET NO.

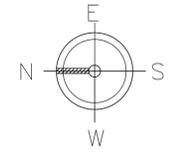
**A-1.0**

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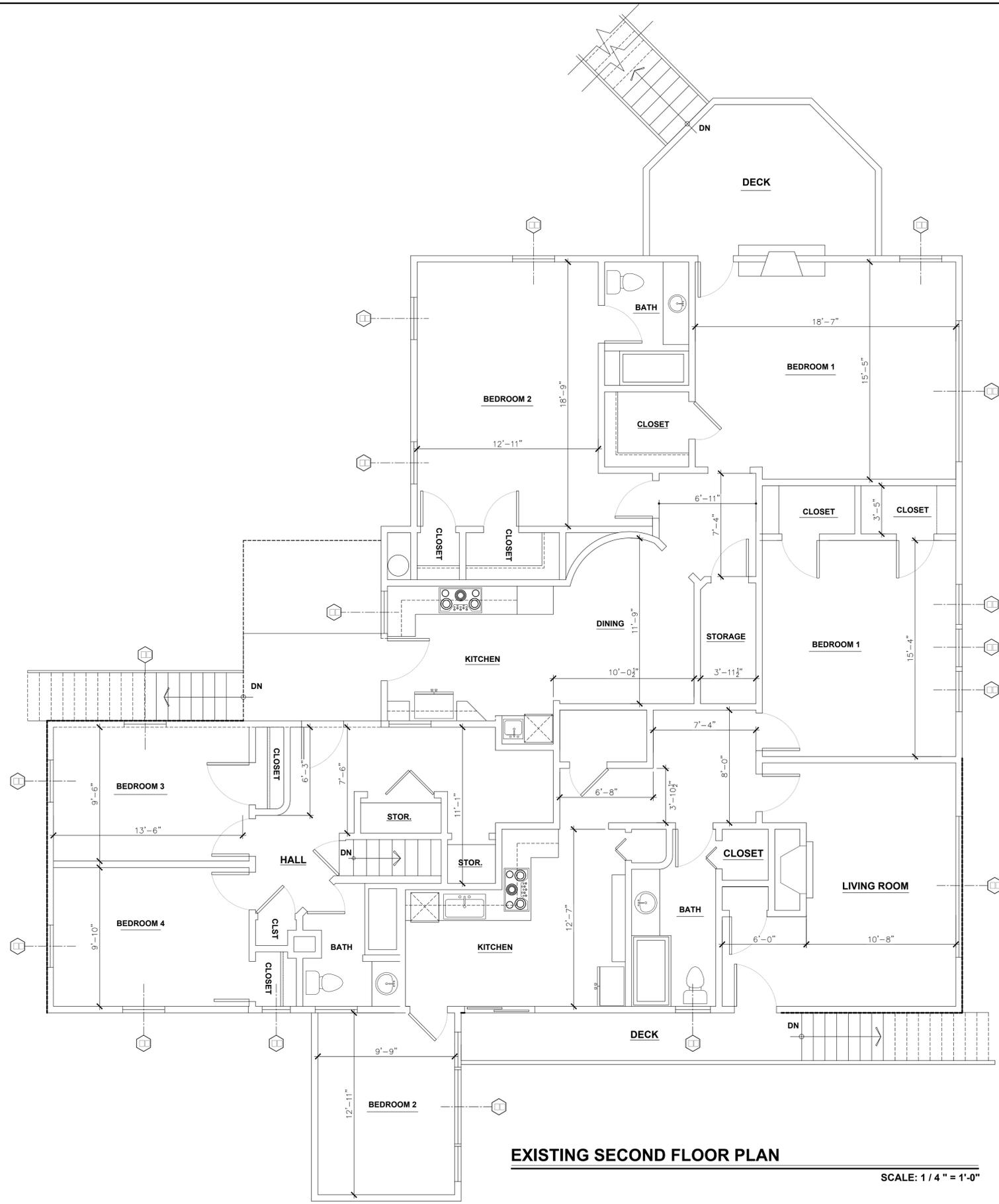
**EXISTING FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



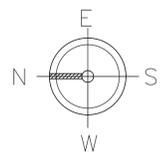
SQUARE FOOTAGE CALCULATIONS	
FIRST FLOOR.....	2,491.97 SQ. FT.
SECOND FLOOR.....	2,822.86 SQ. FT.
THIRD FLOOR.....	1,779.92 SQ. FT.
	7,092.75 SQ. FT.
GARAGE ADDITION.....	536.25 SQ. FT.
LAUNDRY ADDITION.....	103.65 SQ. FT.

WALL LEGEND	
	EXISTING WOOD FRAMED WALL W NEW PLASTER OR STUCCO FINISH O/LATH AT EXTERIOR WALLS AND NEW GYPSUM BOARD AT INTERIOR. REFER TO ELEVATIONS FOR ADDITIONAL COMMENTS.
	EXISTING WOOD FRAMED WALL W NEW PLASTER OR STUCCO FINISH O/LATH AT EXTERIOR WALLS TO BE REMOVED



**EXISTING SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**SQUARE FOOTAGE CALCULATIONS**

FIRST FLOOR.....	2,491.97 SQ. FT.
SECOND FLOOR.....	2,822.86 SQ. FT.
THIRD FLOOR.....	1,779.92 SQ. FT.
	7,092.75 SQ. FT.
GARAGE ADDITION.....	536.25 SQ. FT.
LAUNDRY ADDITION.....	103.65 SQ. FT.

**WALL LEGEND**

	EXISTING WOOD FRAMED WALL W NEW PLASTER OR STUCCO FINISH O. LATH AT EXTERIOR WALLS AND NEW GY. BD. AT INTERIOR. REFER TO ELEVATIONS FOR ADDITIONAL COMMENTS.
	EXISTING WOOD FRAMED WALL W NEW PLASTER OR STUCCO FINISH O. LATH AT EXTERIOR WALLS TO BE REMOVED.

**ROBERT J TAVASCI ARCHITECT**  
 3351 ORANGEWOOD AVI  
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 90720



**OWNER:**  
**WEATHERING HEIGHTS, LLC**  
 LONG BEACH, CA 90803

**PROJECT:**  
**SUBDIVISION PROJECT**  
 3065 OCEAN BLVD.  
 LONG BEACH, CA 90803

**REVISIONS:**

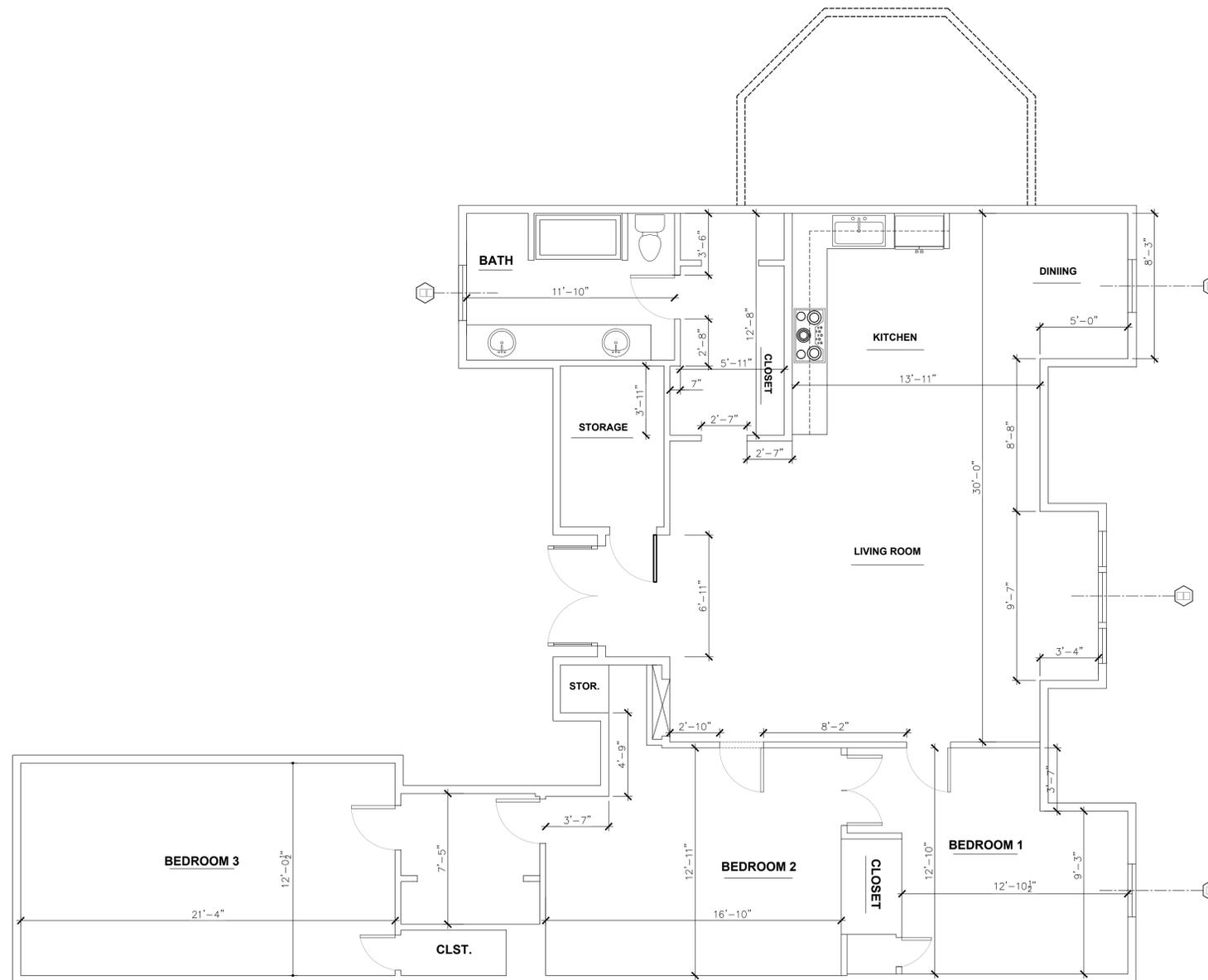
23 APRIL 2019	

**SHEET TITLE:**  
 EXISTING SECOND FLOOR PLAN

**PROJECT NO:** 2045-15  
**DATE:** 26 JULY 2018  
**DRAWN BY:** RJT  
**SCALE:** AS NOTED  
**FILE:** 3065 OCEAN FLR PLANS-SUBDIVISION  
**SHEET NO.**

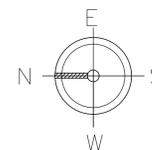
**A-1.1**

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**EXISTING THIRD FLOOR PLAN**

SCALE: 1/4" = 1'-0"



SQUARE FOOTAGE CALCULATIONS	
FIRST FLOOR.....	2,491.97 SQ. FT.
SECOND FLOOR.....	2,822.86 SQ. FT.
THIRD FLOOR.....	1,779.92 SQ. FT.
	7,092.75 SQ. FT.
GARAGE ADDITION.....	536.25 SQ. FT.
LAUNDRY ADDITION.....	103.65 SQ. FT.

**WALL LEGEND**

EXISTING [Symbol] WOOD FRAMED WALL W/ NEW PLASTER OR STUCCO FINISH O/LATH AT EXTERIOR WALLS AND NEW GY/BD AT INTERIOR. REFER TO ELEVATIONS FOR ADDITIONAL COMMENTS.



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90720



OWNER:  
**WEATHERING HEIGHTS, LLC**

LONG BEACH, CA 90803

PROJECT:  
**SUBDIVISION PROJECT**

3065 OCEAN BLVD.  
LONG BEACH, CA 90803

REVISIONS:  
23 APRIL 2019

SHEET TITLE:  
**EXISTING THIRD FLOOR PLAN**

PROJECT NO: 2045-15  
DATE: 26 JULY 2018  
DRAWN BY: RJT  
SCALE: AS NOTED  
FILE: 3065 OCEAN FLR PLANS-SUBDIVISION  
SHEET NO.

**A-1.2**

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LONG BEACH, CA 90803

SUBDIVISION PROJECT  
3065 OCEAN BLVD.  
LONG BEACH, CA 90803

REVISIONS:  
23 APRIL 2019

SHEET TITLE:  
**EXISTING WEST EXTERIOR ELEVATION / WINDOW SCHEDULE**

PROJECT NO: 2044-14  
DATE: 04 APRIL 2017  
DRAWN BY: RJT  
SCALE: NTS  
FILE NAME: 3065 E OCEAN.dwg  
SHEET NO:

**T-1.2**



**EXISTING WEST ELEVATION**

(LEFT) SIDE LOOKING AT PALOMA STREET WITH EXISTING AND PORTION OF NEW GARAGE

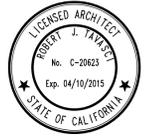
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE (Continued)													WINDOW SCHEDULE																					
WINDOW NUMBER	WIDTH	HEIGHT	TY. E. OPERATION	MANUF.	GLASS TYPE	MATERIAL	COLOR	GLAZING	HEAD HT	DIMENSIONS	INT	LOCATION	REMARKS	WINDOW NUMBER	WIDTH	HEIGHT	TY. E. OPERATION	MANUF.	GLASS TYPE	MATERIAL	COLOR	GLAZING	HEAD HT	DIMENSIONS	INT	LOCATION	REMARKS							
SECOND FLOOR													FIRST FLOOR																					
601	4'-0"	4'-0"	CASEMENT	MILGARD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	BEDROOM		601	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	SITTING ROOM	TO: SECTION IS TRIPLE DIVIDED LIGHT							
602	4'-0"	4'-0"	CASEMENT	MILGARD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	BEDROOM		602	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	SITTING ROOM	TO: SECTION IS TRIPLE DIVIDED LIGHT							
603	4'-0"	4'-0"	FIXED	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	FIXED	LIVING ROOM		603	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	SITTING ROOM	TO: SECTION IS TRIPLE DIVIDED LIGHT							
604	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BEDROOM		604	4'-0"	4'-0"	FIXED	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	FIXED	LIVING ROOM								
605	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BEDROOM		605	4'-0"	4'-0"	FIXED	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	FIXED	ENTRY								
606	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BEDROOM		606	4'-0"	4'-0"	FIXED	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	FIXED	ENTRY								
607	4'-0"	4'-0"	FIXED	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	FIXED	LIVING ROOM		607	4'-0"	4'-0"	FIXED	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	FIXED	DEN								
608	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BATH		608	4'-0"	4'-0"	FIXED	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	FIXED	DEN								
609	4'-0"	4'-0"	(-) SLIDERS (-) FIXED	VINYL	CLEAR	VINYL	BRN	SNGL GLAZED	4'-0"	4'-0"	(-) SLIDERS (-) FIXED	BEDROOM		609	4'-0"	4'-0"	FIXED	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	FIXED	DEN								
610	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	CLOSET		610	4'-0"	4'-0"	FIXED	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	FIXED	BEDROOM								
611	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BEDROOM		611	4'-0"	4'-0"	CASEMENT	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	BEDROOM								
612	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BEDROOM		612	4'-0"	4'-0"	CASEMENT	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	BEDROOM								
613	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BEDROOM		613	4'-0"	4'-0"	CASEMENT	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	BEDROOM								
614	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BEDROOM		614	4'-0"	4'-0"	CASEMENT	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	LAUNDRY								
615	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	KITCHEN		615	4'-0"	4'-0"	CASEMENT	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	LAUNDRY								
616	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BEDROOM		616	4'-0"	4'-0"	CASEMENT	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	LAUNDRY								
617	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BEDROOM		617	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	BEDROOM								
618	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BEDROOM		618	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BEDROOM								
THIRD FLOOR													619	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	BATH	
619	4'-0"	4'-0"	CASEMENT	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	BATH		620	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DOUBLE HING	BATH								
620	4'-0"	4'-0"	CASEMENT	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	DINING		621	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DOUBLE HING	KITCHEN								
621	4'-0"	4'-0"	(-) DBL HING (-) FIXED	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	LIVING ROOM		622	4'-0"	4'-0"	FIXED	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	FIXED	KITCHEN								
622	4'-0"	4'-0"	CASEMENT	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	CSMT	BEDROOM		623	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DOUBLE HING	KITCHEN								
623	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	KITCHEN		624	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DOUBLE HING	KITCHEN								
624	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	KITCHEN		625	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DOUBLE HING	LIVING ROOM								
625	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DBL HING	LIVING ROOM		626	4'-0"	4'-0"	DOUBLE HING	C-STOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	4'-0"	4'-0"	DOUBLE HING	LIVING ROOM								

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REVISIONS:  
23 APRIL 2019

SHEET TITLE:  
**GARAGE / LAUNDRY  
ROOF PLAN**

PROJECT NO: 2045-15  
DATE: 26 JULY 2018  
DRAWN BY: RJT  
SCALE: AS NOTED  
FILE: 3065 OCEAN FLR PLANS-SUBDIVISION

SHEET NO.

**A-2.0**

**ROOF NOTES:**

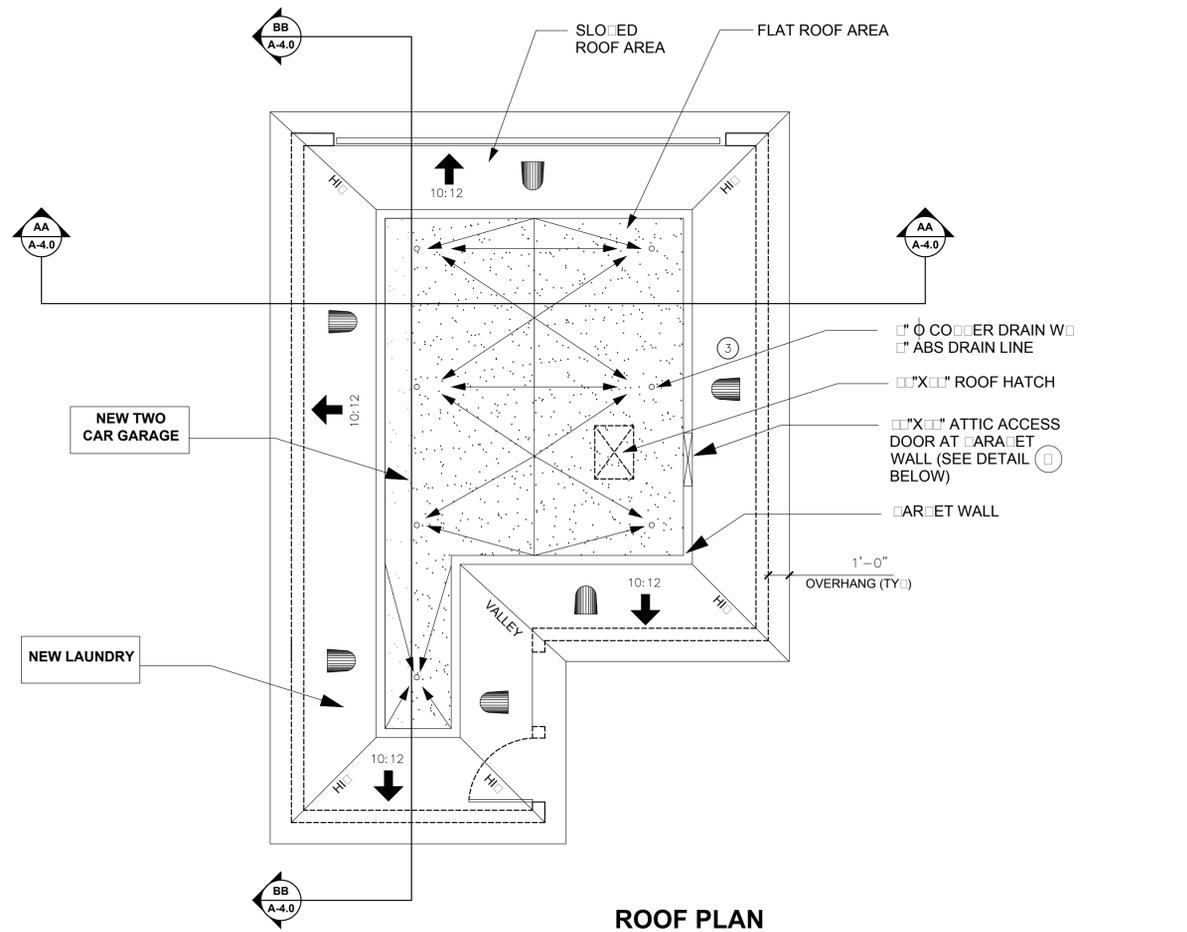
- ROOFING:**  
"TIMBERLINE" PRESIDENTIAL STYLE ROOF SHINGLE - COLOR TBS FOR SLOPED ROOF AREA  
SARNAFIL WATERPROOF MEMBRANE ROOFING SYSTEM 0/3/4 T&G PLYWOOD
- ATTIC VENTILATION:**  
PROVIDE REQUIRED ATTIC VENTILATION IN ALL ATTIC AREAS  
- 1,785 SQ. FT. OF ATTIC AREA X 1/150 = 11.90 SQ. FT. REQUIRED  
50% OF VENTILATION PROVIDED BY DORMER VENTS. 3' ABOVE EAVE. (6 ROOF DORMER VENTS REQUIRED = 9.00 SQ.FT. > 5.95 SQ. FT.)  
- 50% OF VENTILATION PROVIDED BY EAVE VENTS. 21 VENTS - 3" X 16" = .33 SQ. FT. PER VENT. REQUIRED = 5.95 SQ.F. 7 SQ. FT. PROVIDED > 5.95 SQ. FT. WHICH EXCEEDS REQUIREMENT.
- INSULATION:**  
PROVIDE AND INSTALL R-38 BATT INSULATION IN ANY NEW ATTIC SPACES AND R-15 IN 2X4 STUD WALL SPACES / R-19 IN 2X6 STUD WALL SPACES AND IN RAISED FLOOR AREA, IF APPLICABLE. AND ROOF SHEATHING  
A MINIMUM OF 1 INCH AIR SPACE SHALL BE PROVIDED BETWEEN INSULATION
- ROOF DIAPHRAGM:**  
USE 1/2" CDX PLYWOOD, PANEL INDEX (24/0) , WITH 10d NAIL AT 6" O.C. SUPPORTED EDGES, BOUNDARIES & @ 12" O.C. FIELD (BLOCKED DIAPH. U.O.N.)  
ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS. (SEE SCHEDULE ON FRAMING PLAN)
- CHIMNEYS:**  
CHIMNEYS SHALL HAVE SPARK ARRESTERS W/ 1/2" MAX. SCREEN OPENINGS. CHIMNEYS SHALL EXTEND 2' ABOVE ROOF OR WALL WITHIN 10 FEET.
- SKYLIGHTS:**  
ALL NEW SKYLIGHTS SHALL BE VELUX SKY-LIGHTS WITH TYPE "L" FLASHING , FLAT DOUBLE CLEAR TEMPERED GLASS OR EQUAL. REFER TO SCHEDULES FOR ADDITIONAL NOTES.

**ROOF PLAN KEY NOTES:**

- 3" X 14" METAL SCREENED WALL VENT
- METAL RAIN GUTTERS - SQUARE DESIGN WITH COPPER ANCHORS AND DOWNSPOUT LEADER HEADS WITH SURFACE MOUNTED DOWNSPOUTS AND BRACKETS - TYP. TO MATCH ROOF COLOR AND DESIGN
- 1'-0" DORMER VENT PROVIDES 1.5 SQ. FT. OF VENTILATION - 11 TOTAL X 2.0 = 22.00 SQ. FT.

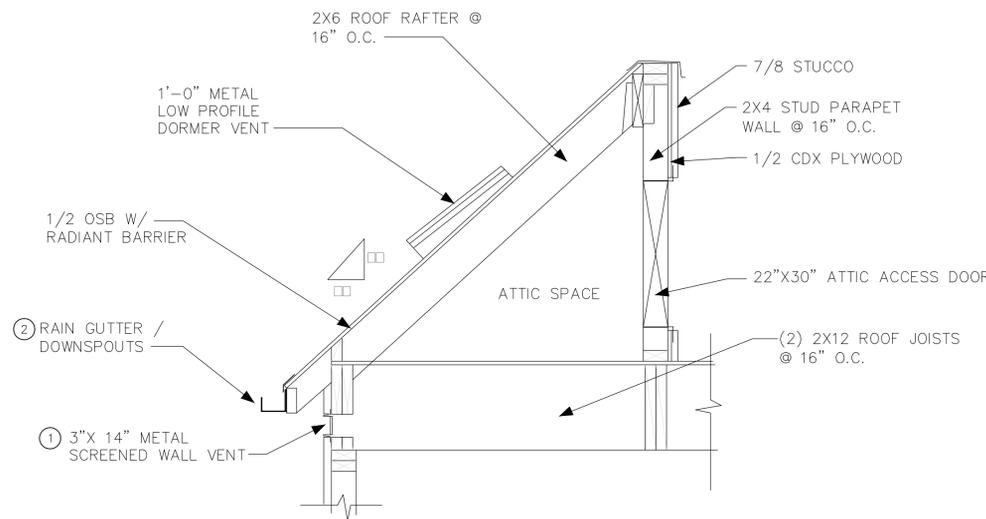
**GENERAL NOTES:**

- CONTRACTOR SHALL CONFIRM THAT ALL AREAS OF ROOF ARE PROVIDED WITH POSITIVE DRAINAGE
- ROOF PENETRATIONS SHALL BE FLASHED PER BUILDING SPECIFICATIONS
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SIZES AND LOCATIONS OF ROOF OPENINGS, PLATFORMS, BASES, LIGHTING, POWER, CONVENIENCE OUTLETS, ETC., WITH EQUIPMENT BEING SUPPLIED
- ALL ROOFING MATERIALS TO BE INTALTED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.



**ROOF PLAN**

SCALE: 1/8" = 1'-0"



**TYPICAL EAVE DETAIL**

NTS

**ROOF NOTES:**

(SEE ROOF SPECIFICATIONS ON SHEET A-1.0)

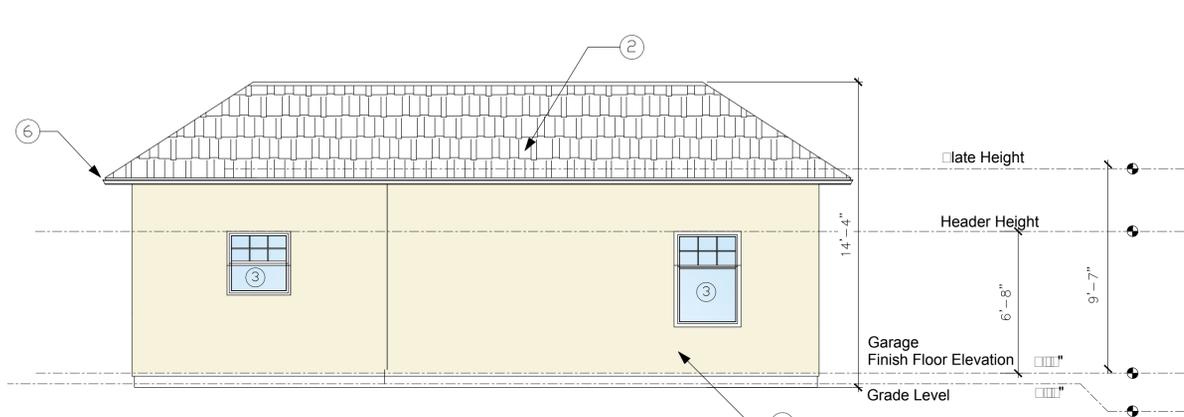
SHINGLE ROOFING SHALL BE GAF "TIMBERLINE" GRAND SELECTION REFLECTOR SERIES CLASS A AS-PAINT SHINGLES  
ROOF COLOR: WEATHERED WOOD

**ROOF NOTES:**

(SEE ROOF SPECIFICATIONS ON SHEET A-1.0)

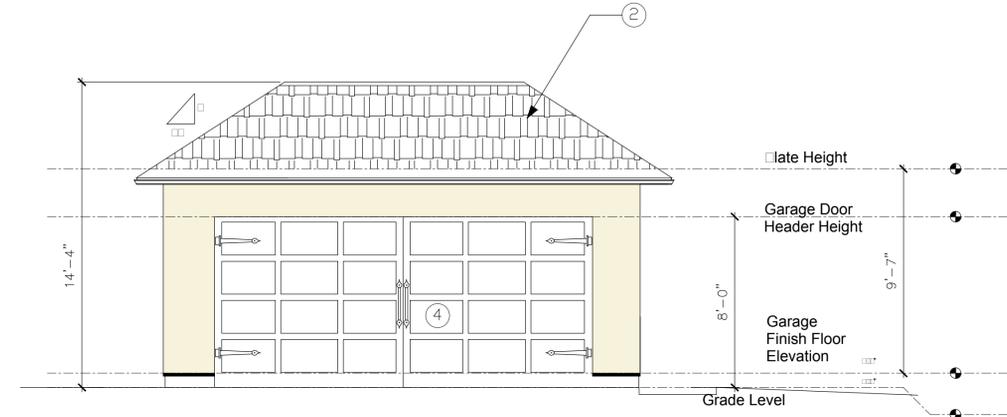
FLAT ROOF SHALL BE SARNAFIL G-ENERGYSMART ROOF MEMBRANE  
ROOF TYPE: (WHITE)  
INITIAL REFLECTIVITY: \_\_\_\_\_  
YEAR SOLAR REFLECTANCE: \_\_\_\_\_  
INITIAL THERMAL EMITTANCE: \_\_\_\_\_  
YEAR THERMAL EMITTANCE: \_\_\_\_\_  
INITIAL SOLAR REFLECTIVE INDEX: \_\_\_\_\_  
YEAR SOLAR REFLECTANCE INDEX: \_\_\_\_\_

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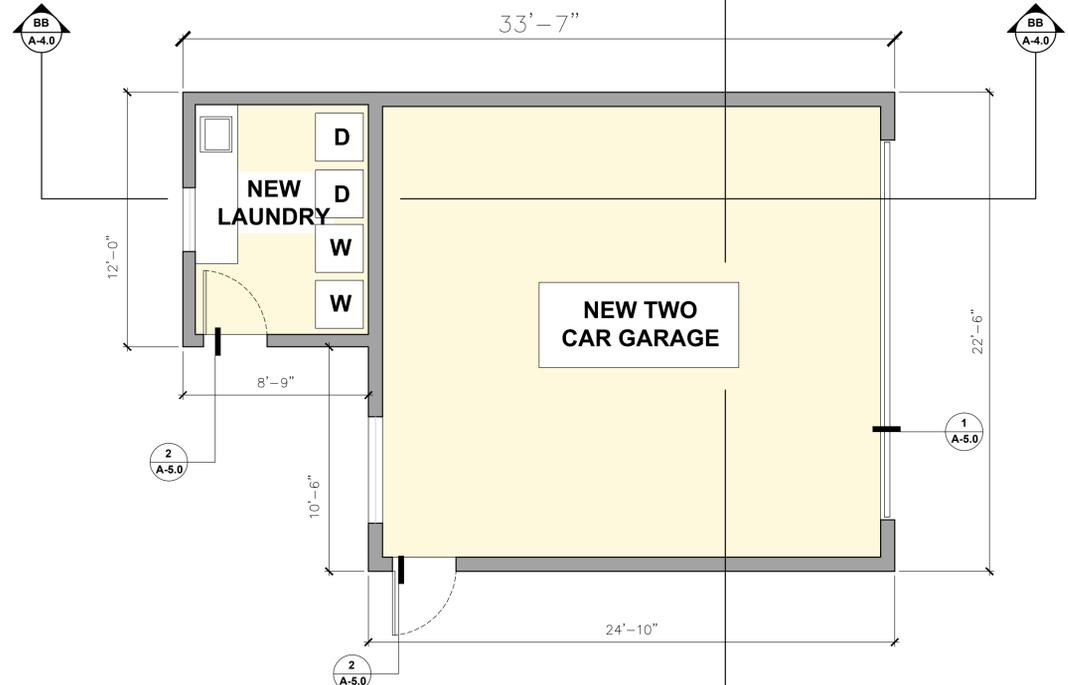
**(N) WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**(N) EAST ELEVATION**

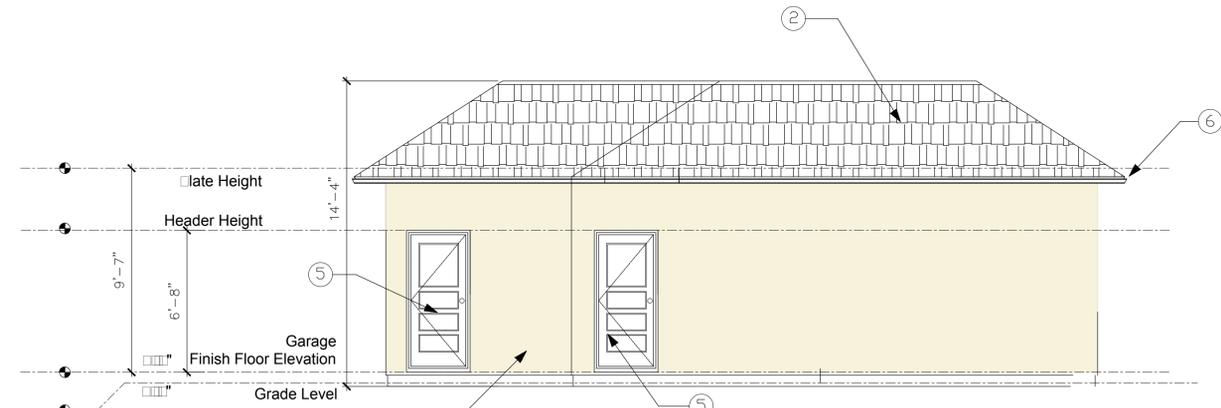
SCALE: 1/8" = 1'-0"



**(N) GARAGE FLOOR PLAN**

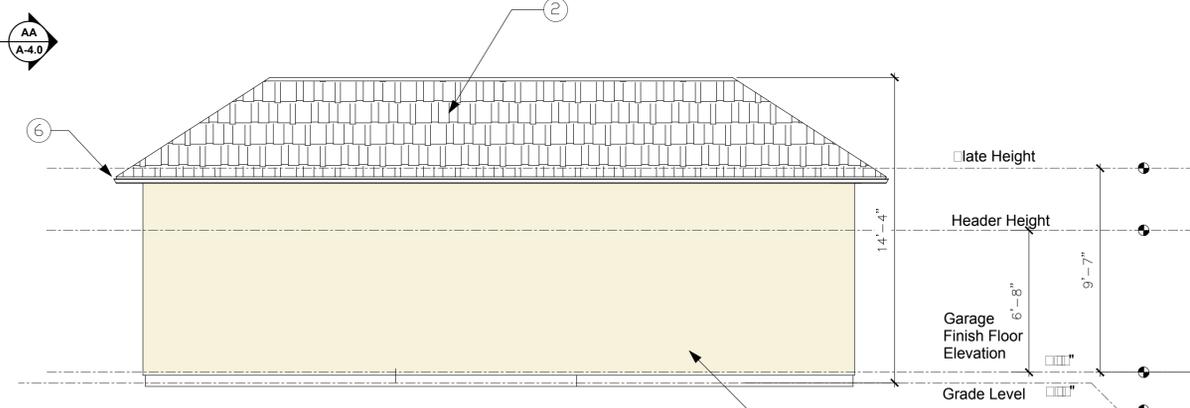
**ELEVATION KEYNOTES**

- ① STUCCO BASE  
7/8" STUCCO W/ LATH ; 20/30 SMOOTH FINISH  
COLOR: TBD
- ② ROOF  
"TIMBERLINE" PRESIDENTIAL SHINGLE  
COLOR: TBD
- ③ WOOD WINDOWS  
LAUNDRY - 3'-0"X3'-0" DOUBLE HUNG WINDOW W/  
TRUE DIVIDED LIGHT AT UPPER SECTION  
GARAGE - 3'-0"X4'-6" DOUBLE HUNG WITH  
TRUE DIVIDED LIGHT AT UPPER SECTION
- ④ WOOD SECTIONAL GARAGE DOOR  
WOODENER  
18'-0" X 8'-0" "VICTORIAN/SHINGLE STYLE"  
PANELS W/ STRAP HINGES AND HANDLES
- ⑤ SWINGING DOORS  
SWINGING SOLID CORE EXTERIOR DOOR  
VICTORIAN / SHINGLE STYLE STICKING
- ⑥ FASCIA BOARD  
2X6 FASCIA - WITH GUTTERS



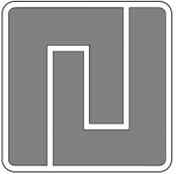
**(N) SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**(N) NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



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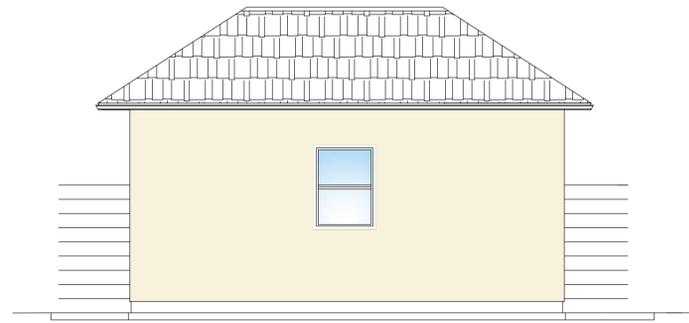
REVISIONS:  
23 APRIL 2019

SHEET TITLE:  
**NEW GARAGE FLOOR  
PLAN / EXTERIOR  
ELEVATIONS**

PROJECT NO: 2045-15  
DATE: 26 JULY 2018  
DRAWN BY: RJT  
SCALE: AS NOTED  
FILE: 3065 OCEAN FLR PLANS-SUBDIVISION

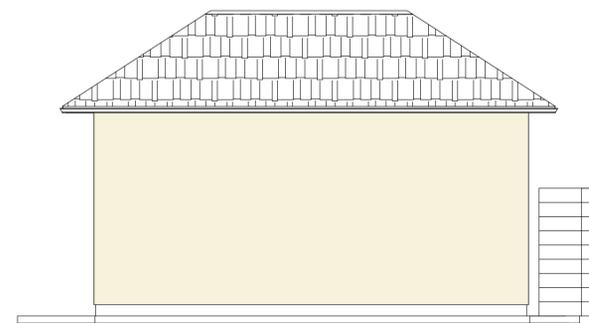
SHEET NO.  
**A-3.0**

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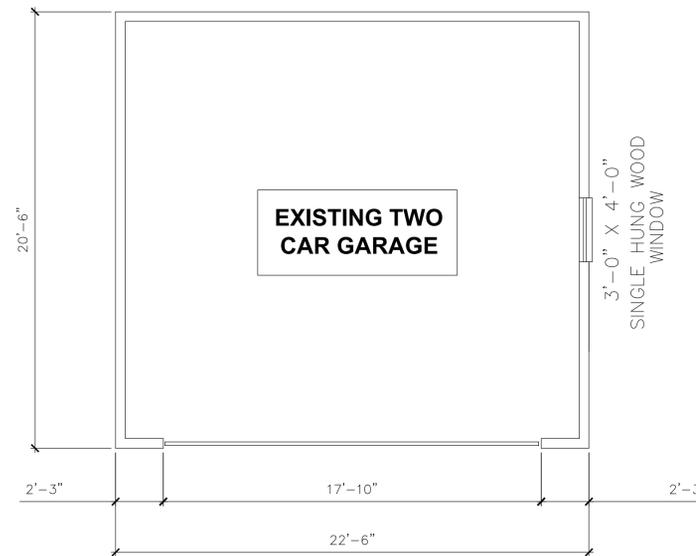
**(E) EAST ELEVATION**

SCALE: 1/4" = 1'-0"



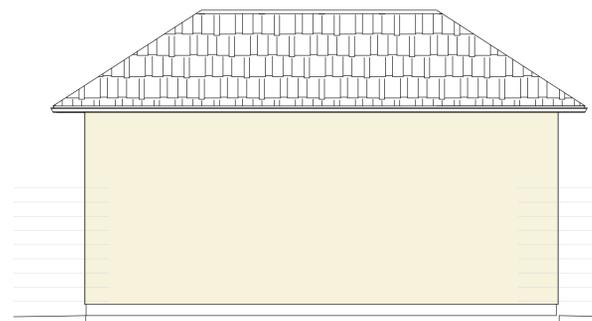
**(E) NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



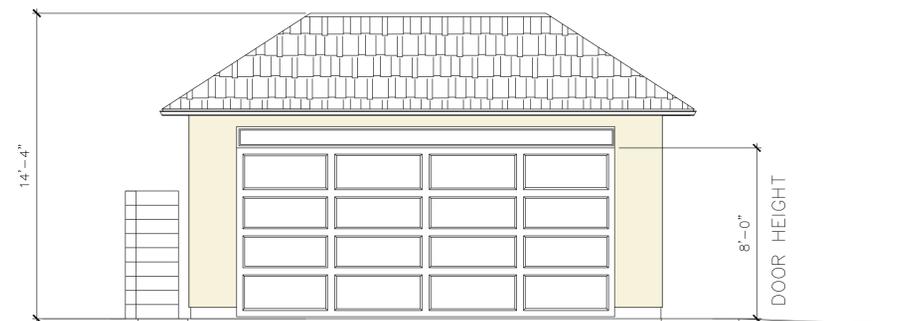
**(E) GARAGE FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**(E) WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**(E) SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



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REVISIONS:  
23 APRIL 2019

SHEET TITLE:  
**EXISTING FLOOR PLAN  
OF GARAGE TO BE  
REMOVED / EXTERIOR  
ELEVATIONS**

PROJECT NO: 2045-15  
DATE: 26 JULY 2018  
DRAWN BY: RJT  
SCALE: AS NOTED  
FILE: 3065 OCEAN FLR PLANS-SUBDIVISION

SHEET NO.

**A-3.1**

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