



CITY OF LONG BEACH

DEPARTMENT OF DEVELOPMENT SERVICES

333 West Ocean Boulevard, 5th Floor • Long Beach, CA 90802 • (562) 570-6194 FAX (562) 570-6068

March 1, 2012

CHAIR AND PLANNING COMMISSIONERS
City of Long Beach
California

RECOMMENDATION:

Find the proposed vacation of a portion of Pier C Street west of Pico Avenue in conformance with the adopted goals and policies of the City's General Plan. (District 1)

APPLICANT: Louis Rubenstein
Long Beach Harbor Department
925 Harbor Plaza
Long Beach, CA 90802
(Application No. GPC-030112.2)

DISCUSSION

Pursuant to California Government Code Section 65402, no street, parcel or alley may be vacated until such action has been submitted to, and reported upon by the Planning Commission as to its conformity with the adopted General Plan. The proposed public right-of-way vacation is herein submitted for such review.

The applicant proposes to vacate a 2,000-foot-long portion of Pier C Street west of Pico Avenue within an existing container cargo handling facility (Exhibit A). The portion of the street to be vacated is no longer open to the public. The proposed street vacation has been reviewed and approved by the Long Beach Public Works Department after consultation with other interested City departments.

A finding of conformity shall be made when the proposed re-use of the property conforms to the maps and policies of the General Plan. The General Plan consists of eleven elements and each element of the General Plan carries the same authority concerning land use issues. All elements of the General Plan were considered and staff finds this vacation in conformance with all the elements of the General Plan. A review of the relevant elements and specific General Plan consistency findings are presented below:

General Plan Consistency Findings

The subject site is located within Land Use District No. 12 (Harbor/Airport District) and the Port of Long Beach Activity Center. The Land Use Element states that "land uses within the boundaries of the Harbor, and the Airport should support and promote the primary functions appropriate to each such subdistrict." The land use within the boundaries of the Port of Long Beach are designated and controlled by the Port Master Plan and the Port's Local Coastal Program. On February 25, 2009, the Board of Harbor Commissioners determined that the partial vacation of Pier C Street is consistent with the Port Master Plan and issued Harbor Development Permit 09-022. Therefore, the proposed vacation is consistent with the Land Use Element goal of supporting and promoting port related activities.

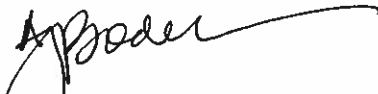
ENVIRONMENTAL REVIEW

In accordance with the guidelines for implementing the California Environmental Quality Act (CEQA), on March 26, 2009, the Board of Harbor Commissioners issued Notice of Exemption that the proposed project would not have a significant effect on the environment (Exhibit B).

Respectfully submitted,



DEREK BURNHAM
PLANNING ADMINISTRATOR



AMY J. BODEK, AICP
DIRECTOR OF DEVELOPMENT SERVICES

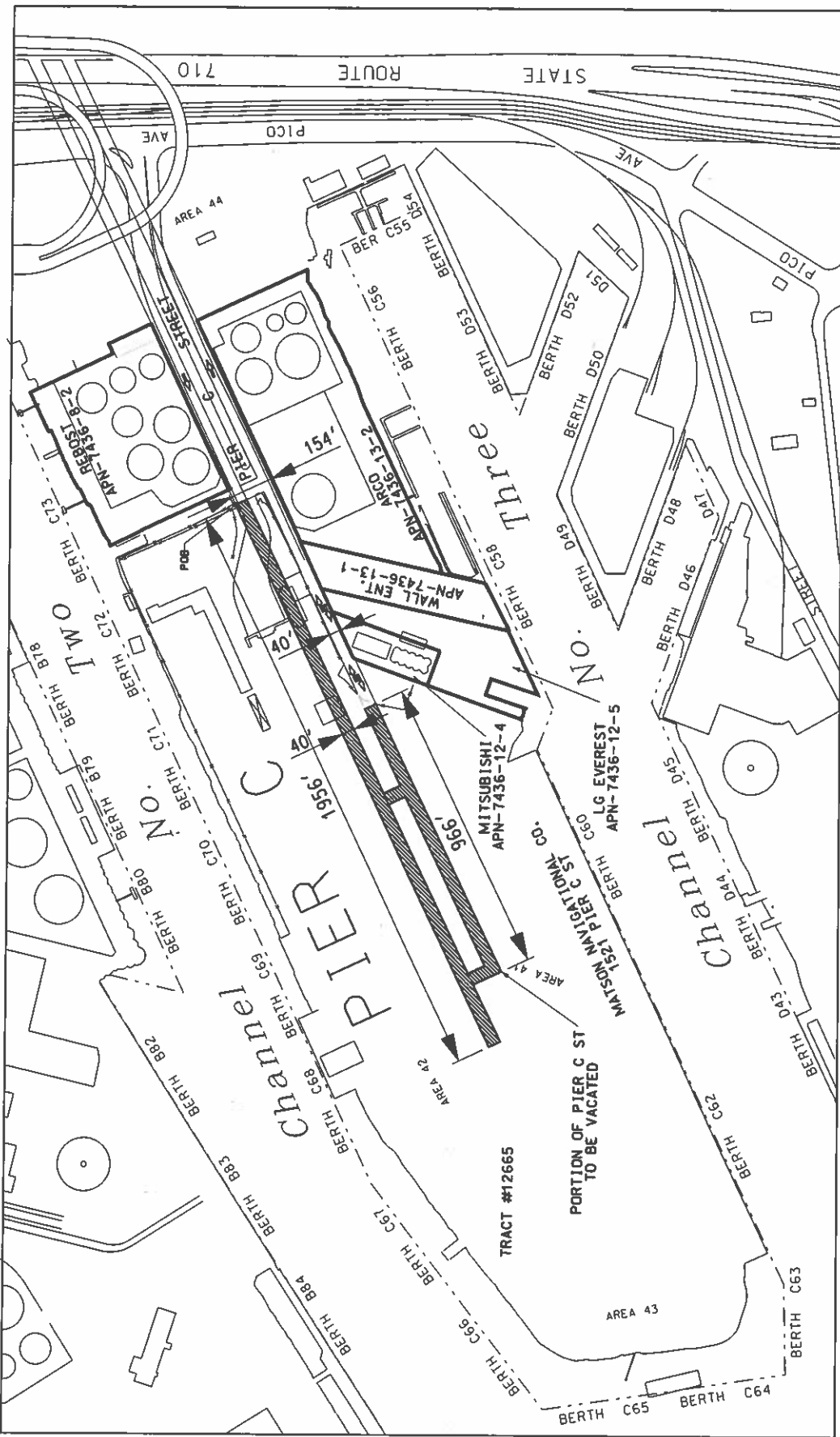
AJB:DB:IB

Attachments: Exhibit A – Sketches showing portion to be vacated
Exhibit B – Categorical Exemption

Exhibit A

LEGEND

INDICATES PORTION OF
PIER C ST TO BE VACATED



FILED

APR 08 2009

DEAN C. LOGAN
REGISTRAR-RECORDER/COUNTY CLERK
[Signature]
L. ARTERBERRY DEPUTY



The Port of
LONG BEACH

March 26, 2009

TO: County of Los Angeles
Registrar-Recorder/County Clerk
Business Filing & Registration
12400 Imperial Hwy, Rm. 2001
Norwalk, CA 90650

FROM: Port of Long Beach
Planning Division
925 Harbor Plaza
Long Beach, CA 90802

**CALIFORNIA ENVIRONMENTAL QUALITY ACT
NOTICE OF EXEMPTION**

Project Title: Pier C Street Vacation – HDP #09-002

Project Location – Specific: Pier C Street within SSA-Matson Marine Terminal

Project Location - City: Long Beach **County:** Los Angeles

Name of Public Agency Approving Project: Port of Long Beach

Name of Person or Agency Carrying Out Project: Port of Long Beach

Description of Project: Vacate a dedicated 1,500 foot portion of Pier C Street within the SSA-Matson Marine Terminal.

- Ministerial Exemption (Sec. 21080(b)(1);15268);
- Declared Emergency (Sec.21080(b)(3);15269(a);
- Emergency Project (Sec. 21080(b)(4);15269(b)(c);
- Categorical Exemption.** State type and section number: 15301, Class 1
- Statutory Exemption. State code number:

Reasons Project is Exempt: The project involves minor alteration to an existing street involving negligible or no expansion of use.

[Signature]
Richard D. Cameron
Director of Environmental Planning

KB:s

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THIS NOTICE WAS POSTED
ON APR 08 2009
UNTIL MAY 08 2009
REGISTRAR-RECORDER/COUNTY CLERK

Exhibit B