



MIXED USE DEVELOPMENT 433 PINE AVENUE LONG BEACH, CA 90802

PROPOSED UNIT COUNT MODIFICATIONS

<p>PROJECT DESCRIPTION</p> <p>PROJECT INCLUDES RENOVATING AND ADAPTIVE REUSE OF EXISTING THREE-STORY PLUS BASEMENT RETAIL BUILDING LOCATED AT 433 PINE AVENUE IN LONG BEACH, CALIFORNIA. THE EXISTING BUILDING WAS CONSTRUCTED IN 1960 AND IS BEING REBUILT AS THE 11-UNIT RESIDENTIAL BUILDING.</p> <p>THE PROJECT CONVERTS THE BASEMENT LEVEL TO PARKING, THE GROUND FLOOR TO SPECIALTIVE RETAIL SPACE, THREE RESIDENTIAL UNITS AND ACCESS TO THE PARKING LEVEL, THE FIRST, SECOND FLOOR TO 4-2 RESIDENTIAL UNITS, THE THIRD LEVEL INTO TEN RESIDENTIAL UNITS AND THE FOURTH FLOOR INTO TEN NEW RESIDENTIAL UNITS ALONG WITH ROOF DECKS. THE PROJECT INCLUDES CONSTRUCTION OF A NEW ELEVATOR STAIRWAYS AND CORRIDORS.</p>		<p>DEVELOPER</p> <p>WESTERN HERALD COMM LLC 150 SOUTH SANTA FE AVENUE LOS ANGELES CA 90001 TEL: 310.688.9100 FAX: 310.688.0200</p> <p>ARCHITECT</p> <p>INTERSTICES INC 401 EAST 120 STREET LONG BEACH CA 90801 TEL: 562.488.4100 FAX: 562.433.3500</p> <p>STRUCTURAL ENGINEER</p> <p>PAUL STRUCTURAL ENGINEERING 2184 PARKHILLFIELD LANE REDONDO BEACH CA 90770 TEL: 310.771.5000 FAX: 310.771.6000</p> <p>MECHANICAL PLUMBING ENGINEER</p> <p>DAVITA & ASSOCIATES INC 1010 TELEGRAPH ROAD, FIVE SUITE 100, IRVINE CA 92614 TEL: 949.771.6200 FAX: 949.771.2700</p> <p>ELECTRICAL ENGINEER</p> <p>HOSES AND ASSOCIATES 411 S ROBERTSON BLVD, SUITE 101 BEVERLY HILLS CA 90212 TEL: 310.887.7170 FAX: 310.887.3817</p> <p>MECHANICAL CONSULTANT</p> <p>HUGHES ASSOCIATES INC 1010 BUSINESS CENTER DR, SUITE 100 IRVINE CA 92614 TEL: 949.853.4000 FAX: 949.853.4001</p> <p>SOIL CONSULTANT</p> <p>SOIL PACIFIC INC 474 N. BOGART BLVD # 2 ORANGE CA 92668 TEL: 714.978.7000 FAX: 714.978.4800</p> <p>GENERAL CONTRACTOR</p> <p>TO BE DETERMINED</p>	<p>ARCHITECTURAL</p> <p>401 TITLE SHEET 402 CODE FLOOR AREA ANALYSIS 403 LEGENDS & GENERAL NOTES 404 DOOR SCHEDULE/DOOR NOTES/DOOR TYPES 405 WINDOW SCHEDULES/PAINT SCHEDULE 406 LIGHT FIXTURES, SCHEDULES, & FINISH SCHEDULES 407 CITY OF LONG BEACH CONCLUSION OF APPROVAL 408 SITE PLAN/PROPOSED IMPROVEMENTS 409 DEVELOPMENT BASEMENT FLOOR PLAN 410 DEVELOPMENT FIRST FLOOR PLAN 411 DEVELOPMENT SECOND FLOOR PLAN 412 DEVELOPMENT THIRD FLOOR PLAN 413 DEVELOPMENT ROOF PLAN 414 FIRST FLOOR PLAN 415 SECOND FLOOR PLAN 416 THIRD FLOOR PLAN 417 ROOF PLAN 418 SECTION ELEVATIONS 419 2D FLOOR EXTERIOR ELEVATIONS 420 BUILDING SECTION 421 ENLARGED BUILDING SECTION 422 ENLARGED BATHROOM FLOOR PLAN / INTERIOR ELEVATIONS 423 ENLARGED BATHROOM ELEVATIONS 424 REFLECTED CEILING BASEMENT FLOOR PLAN 425 REFLECTED CEILING FIRST FLOOR PLAN 426 REFLECTED CEILING SECOND FLOOR PLAN 427 REFLECTED CEILING THIRD FLOOR PLAN 428 REFLECTED CEILING FOURTH FLOOR PLAN 429 STAIR AND ELEVATOR PLAN 430 STAIR PLAN AND TURNER ELEVATIONS 431 ARCHITECTURAL DETAILS 432 ARCHITECTURAL DETAILS 433 ARCHITECTURAL DETAILS 434 ARCHITECTURAL DETAILS 435 ARCHITECTURAL DETAILS 436 ARCHITECTURAL DETAILS</p>	<p>STRUCTURAL</p> <p>501 GENERAL NOTES, TYPICAL DETAILS 502 FOUNDATION PLAN 503 FIRST FLOOR FRAMING PLAN 504 SECOND FLOOR FRAMING PLAN 505 THIRD FLOOR FRAMING PLAN 506 EXISTING ROOF FRAMING PLAN 507 NEW FLOOR FRAMING PLAN 508 ROOF FRAMING PLAN 509 ELEVATION & DETAILS 510 DETAILS 511 DETAILS 512 DETAILS 513 DETAILS 514 DETAILS 515 DETAILS 516 ELEVATIONS & DETAILS</p> <p>MECHANICAL</p> <p>601 TITLE 24 FORMS 602 TITLE 24 FORMS 603 EQUIPMENT SCHEDULE LEGEND AND NOTES 604 BASEMENT LEVEL HVAC PLAN 605 FIRST LEVEL HVAC PLAN 606 SECOND LEVEL HVAC PLAN 607 THIRD LEVEL HVAC PLAN 608 FOURTH LEVEL HVAC PLAN 609 ROOF LEVEL HVAC PLAN</p>	<p>ELECTRICAL</p> <p>701 GENERAL NOTES & SPECIFICATION 702 SINGLE LINE DIAGRAM 703 200 AMP PLAN 704 BASEMENT LEVEL WASTE VENT PLAN 705 FIRST LEVEL WASTE VENT PLAN 706 SECOND LEVEL WASTE VENT PLAN 707 THIRD LEVEL WASTE VENT PLAN 708 FOURTH LEVEL WASTE VENT PLAN 709 ROOF WASTE VENT PLAN 710 TYPICAL UNIT PLAN 711 TYPICAL UNIT PLAN 712 TYPICAL UNIT PLAN 713 PANEL SCHEDULES 714 ENERGY CALCULATION 715 ENERGY CALCULATION</p> <p>PLUMBING</p> <p>801 LEGEND SCHEDULES DETAILS AND NOTES 802 BASEMENT LEVEL WASTE VENT PLAN 803 FIRST LEVEL WASTE VENT PLAN 804 SECOND LEVEL WASTE VENT PLAN 805 THIRD LEVEL WASTE VENT PLAN 806 FOURTH LEVEL WASTE VENT PLAN 807 ROOF WASTE VENT PLAN 808 BASEMENT LEVEL WATER PLAN 809 FIRST LEVEL WATER PLAN 810 SECOND LEVEL WATER PLAN 811 THIRD LEVEL WATER PLAN 812 FOURTH LEVEL WATER PLAN 813 ROOF WATER PLAN 814 ROOF WATER PLAN 815 ROOF WATER PLAN 816 ROOF WATER PLAN 817 ROOF WATER PLAN</p>
PROJECT DESCRIPTION	VICINITY MAP	PROJECT CONTACTS	SHEET INDEX		

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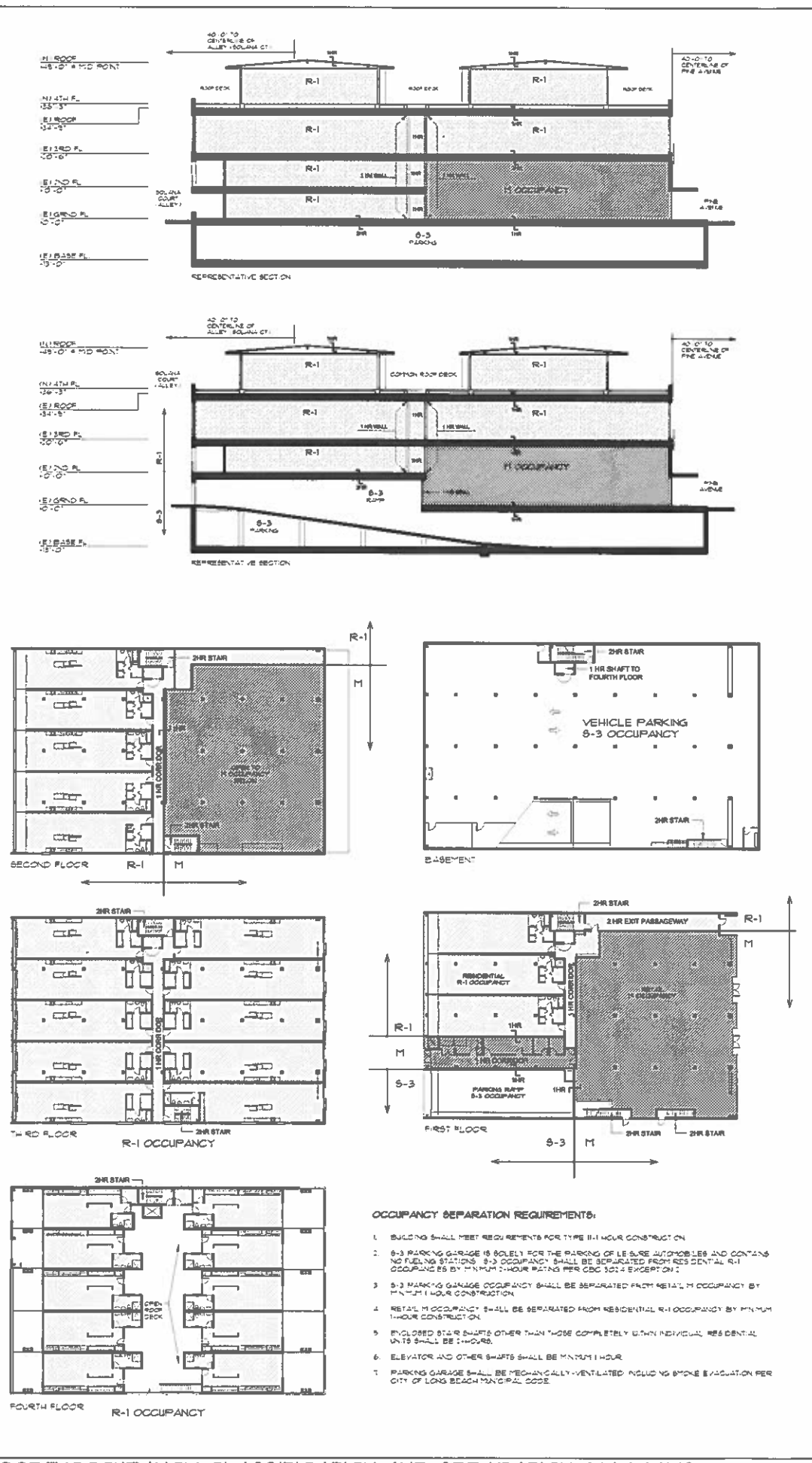
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CADD ID NO: A-01005
PLOT SCALE: 1/4"=1'-0"

433
MIXED USE DEVELOPMENT
433 PINE AVENUE
LONG BEACH, CA 90802

TITLE SHEET

A-01



FLOOR AREA ANALYSIS

BUILDING DEPARTMENT ANALYSIS				PLANNING ANALYSIS	
LEVEL	USE AREA BREAKDOWN	OCCUPANCY GROUP	BUILDING CODE FLOOR AREA (SF)	RESIDENTIAL UNIT AREA OF USE (TOTAL)	RESIDENTIAL EXTERIOR SPACE
BASEMENT	PARKING	S-3	16100		
BASEMENT SUBTOTAL			16100		
GROUND LEVEL	UNIT 1A	R-1	1051	1051	
	UNIT 1A PATIO	R-1	55		55
	UNIT 1B	R-1	1172	1172	
	UNIT 1B PATIO	R-1	55		55
	UNIT 1C	R-1	1588	1588	
	UNIT 1C PATIO	R-1	124		124
	EXIT PASSAGEWAY	R-1	452		
	RES FIRE CORRIDOR	R-1	334		
	RETAIL	M	6648		
	SERVICE CORRIDOR	M	1023		
	VEHICLE RAMP	S-3	1380		
GROUND SUBTOTAL			19578	3421	310
1ST FLOOR	UNIT 2A	R-1	1051	1051	
	UNIT 2A BALCONY	R-1	53		53
	UNIT 2B	R-1	1172	1172	
	UNIT 2B BALCONY	R-1	28		28
	UNIT 2C	R-1	1201	1201	
	UNIT 2C BALCONY	R-1	26		26
	UNIT 2D	R-1	1483	1483	
	UNIT 2D BALCONY	R-1	38		38
	UNIT 2E	R-1	1358	1358	
	UNIT 2E BALCONY	R-1	53		53
	CORRIDOR	R-1	480		
1ST SUBTOTAL			6771	5769	472
2ND FLOOR	UNIT 3A	R-1	1171	1171	
	UNIT 3B	R-1	1349	1349	
	UNIT 3C	R-1	1251	1251	
	UNIT 3D	R-1	1481	1481	
	UNIT 3E	R-1	1317	1317	
	UNIT 3F	R-1	1879	1879	
	UNIT 3G	R-1	1268	1268	
	UNIT 3H	R-1	1493	1493	
	UNIT 3J	R-1	1281	1281	
	UNIT 3K	R-1	1324	1324	
	CORRIDOR	R-1	480		
2ND SUBTOTAL			15028	15028	
3RD FLOOR	UNIT 4A	R-1	831	831	
	UNIT 4B	R-1	844	844	
	UNIT 4B EXTERIOR	R-1	374		374
	UNIT 4C	R-1	806	806	
	UNIT 4C EXTERIOR	R-1	262		262
	UNIT 4D	R-1	806	806	
	UNIT 4D EXTERIOR	R-1	360		360
	UNIT 4E	R-1	821	821	
	UNIT 4E EXTERIOR	R-1	286		286
	UNIT 4F	R-1	810	810	
	UNIT 4F EXTERIOR	R-1	262		262
	UNIT 4G	R-1	810	810	
	UNIT 4G EXTERIOR	R-1	262		262
	UNIT 4H	R-1	180	180	
	UNIT 4H EXTERIOR	R-1	284		284
	UNIT 4I	R-1	180	180	
	UNIT 4I EXTERIOR	R-1	378		378
	MECHANICAL	R-1	11		
	COMMON ROOF DECK		2479		
3RD SUBTOTAL			8101	8101	3793
BUILDING TOTAL			58602	3093	6511
BUILDING TOTAL (NO BASEMENT)			42502		
ALLOWABLE PER CBC CHAPTER 5			57856		

PLANNING NOTES AND ANALYSIS

BUILDING CODE CLASSIFICATION AND ANALYSIS

EXISTING BUILDING: THE EXISTING BUILDING CONSISTS OF TWO STORES PLUS A SMALL MEZANINE WITH THE GROUND FLOOR PLUS A FULL BASEMENT. THE BUILDING CONSTRUCTED IN APPROXIMATELY 1950 IS CONCRETE EXTERIOR WALLS WITH STEEL JOIST ROOFING WITH STEEL WITH CONCRETE FLOORS AND ROOF FLOOR OVER METAL DECK. ALL COMPONENTS OF THE EXISTING BUILDING ARE NON-COMBUSTIBLE.

ADAPTIVE REUSE AND CONSTRUCTION OF ADDITIONAL FLOOR AREA: THE BUILDING IS BEING ADAPTIVELY REUSED AS PARKING (OCCUPANCY S-3) RETAIL (OCCUPANCY M) AND MULTIFAMILY RESIDENTIAL (OCCUPANCY R-1). ALL NEW CONSTRUCTION IS NON-COMBUSTIBLE. EXISTING BUILDING SHALL BE SPRINKLERED. SPRINKLER AND FIRE ALARM SYSTEM SHALL BE SUBMITTED SEPARATELY FOR THE DEPARTMENT APPROVALS.

CONSTRUCTION TYPE CLASSIFICATION: BASED ON CONSTRUCTION AND CONFIGURATION OF EXISTING AND NEW CONSTRUCTION SHALL BE CONSTRUCTION TYPE II. 1-HOUR AS DEFINED IN CBC 503. ALL CONSTRUCTION SHALL BE OF NON-COMBUSTIBLE CONSTRUCTION AND ONE-HOUR FIRE RESISTIVE THROUGHOUT EXCEPT THAT PERMANENT NON-BEARING PARTITIONS MAY USE FIRE-TREATED WOOD WITHIN THE ASSEMBLY PROVIDED FIRE RESISTIVE REQUIREMENTS ARE MAINTAINED.

BUILDING HEIGHT: PER TABLE 5-10 FOR TYPE II, 1-HOUR FOR APPLICABLE OCCUPANCY CLASSIFICATIONS BUILDING MAY BE UP TO FOUR STORES AND 66 FEET ABOVE GRADE. PROPOSED PROJECT IS IN COMPLIANCE WITH THESE REQUIREMENTS.

FLOOR AREA ALLOWABLE: PER TABLE 5-10 FOR TYPE II, 1-HOUR TOTAL ONE FLOOR AREA MAY BE 18,000 SF FOR S-3 AND M OCCUPANCIES AND 13,000 SF FOR R-1 OCCUPANCIES.

BASEMENT AREA IS NOT COUNTED FOR BUILDING AREA CALCULATION PURPOSES PER CBC 503.1 UNLESS BASEMENT EXCEEDS AREA PERMITTED FOR A ONE-STORY BUILDING. AREA OF BASEMENT IS 16,100 SF.

FOR MIXED-USE TABLE 5-10 ALLOWABLE AREAS SHALL BE FLOORING ACCORDING TO PROPORTION OF FLOOR AREA PER CBC 503.1 (EXCLUDING BASEMENT). IN THIS CASE, ALLOWABLE ONE-FLOOR AREA IS THEREFORE:

TOTAL GROUND FLOOR S-3 AND M OCCUPANCIES DIVIDED BY TOTAL BUILDING AREA WITHOUT BASEMENT TIMES 18,000 SF

UNIT 4E EXTERIOR: 1801 SF (2000 SF X 3000) + (3348 SF X 1500) SF X 1300 SF + 1493 SF

BASE ALLOWABLE AREA PER FLOOR: 14,955 SF

FLOOR AREA ALLOWABLE INCREASES:

- 1. TIMES AREA INCREASE FOR MULTIPLE FLOORS (CBC 504.2): 1860 SF
- 2. TIMES AREA INCREASE FOR FULLY SPRINKLERED (CBC 505.3): 1760 SF
- 3. TIMES AREA INCREASE FOR FULLY SPRINKLERED (CBC 505.3): 1760 SF

TOTAL ALLOWABLE BUILDING AREA EXCLUSIVE OF BASEMENT: 3800 SF

FLOOR AREA COMPLIANCE: TOTAL PROPOSED BUILDING AREA WITHOUT BASEMENT: 41,560 SF

BUILDING AREA IS IN COMPLIANCE WITH BUILDING TYPE REQUIREMENTS WITH NO AREA SEPARATION WALLS REQUIRED.

OCCUPANCY SEPARATION REQUIREMENTS

CBC TABLE 5-10:

- R-1 TO S-3: 1 HOUR
- R-1 TO M: 1 HOUR
- R-1 TO R-1: 1 HOUR
- S-3 TO S-3: 1 HOUR
- M TO S-3: 1 HOUR

PLANNING ANALYSIS

PROPOSED PROJECT INCLUDES REDEVELOPING AND ADAPTIVE REUSE OF EXISTING THREE-STORY PLUS BASEMENT METAL BUILDING LOCATED AT 433 PINE AVENUE IN LONG BEACH, CALIFORNIA. THE EXISTING BUILDING WAS CONSTRUCTED IN APPROXIMATELY 1950 FOR USE AS THE J.J. NEUBERRY STORE.

THE PROPOSED PROJECT CONVERTS THE BASEMENT LEVEL TO PARKING THE GROUND FLOOR TO ADAPTIVE RETAIL, 1000 RESIDENTIAL UNITS AND ACCESS TO THE PARKING LEVEL. THE EXISTING SECOND FLOOR TO FIVE RESIDENTIAL UNITS. THE EXISTING THIRD FLOOR TO FIVE RESIDENTIAL UNITS AND NEW ROOF DECKS. THE PROJECT INCLUDES CONSTRUCTION OF A NEW ELEVATION, STAIRWAYS AND CORRIDORS.

GOVERNING CODE

LONG BEACH ZONING CODE PD-10C, DOWNTOWN CORE 1001 CALIFORNIA BUILDING CODE

LOT AREA

AREA 105' BY 150' = 15,750 SQUARE FEET

DENSITY

ALLOWABLE: 19,150 SF AT 1 UNIT/83 SF = 34 UNITS ALLOWABLE PROPOSED: 18 RESIDENTIAL UNITS

PARKING

REQUIRED: 1 COVERED SPACE PER UNIT PLUS ONE GUEST SPACE PER 4 UNITS

TOTAL SPACES REQUIRED: 18 PLUS 7 GUEST SPACES = 25 SPACES

RETAIL PARKING, UNDEVELOPED, ORIGINAL BUILDING PROVIDED NO ON-SITE PARKING FOR ENTIRE RETAIL AREA

SETBACKS

REQUIRED FRONT SETBACK: 0 FEET ACTIVE GROUND FLOOR USE PROPOSED SETBACK: 0 FEET ACTIVE GROUND FLOOR RETAIL USE

REQUIRED REAR SETBACK: 10 FEET FROM ALLEY CENTERLINE PROPOSED REAR SETBACK: 8 FEET FROM ALLEY CENTERLINE (EXISTING)

REQUIRED NORTH SIDE SETBACK: 0 FEET (EXISTING) PROPOSED NORTH SIDE SETBACK: 0 FEET

REQUIRED SOUTH SIDE SETBACK: 0 FEET FOR COMMERCIAL USES, 5 FEET FOR RESIDENTIAL USES PROPOSED SOUTH SIDE SETBACK: 5 FEET

HEIGHT

MAXIMUM ALLOWABLE PER PD-10C: 100 FEET

MAXIMUM ALLOWABLE PER BUILDING TYPE: 65 FEET (SEE BUILDING CODE ANALYSIS BELOW)

PROPOSED: 4 STORES LESS THAN 65 FEET TO ROOF CORNERS OF HABITABLE AREAS

CORNER CUT-OFF

REQUIRED: 6' CORNER CUT-OFF AT INTERSECTION OF DRIVEWAY RAMP AND ALLEY PROPERTY LINE

PROPOSED: 6' CORNER CUT-OFF EDJ ALLENT FOR YEARS OF TRAFFIC APPROXIMATING FROM NORTH ALLEY IS ONLY TRAVELING SOUTH

DWELLING UNIT SIZE

REQUIRED: MINIMUM 400 SF AVERAGE MIN 300 SF PROPOSED: COMPLYING. SEE FLOOR PLANS AND TABULATIONS FOR UNIT SIZE BREAKDOWNS

PRIVATE STANDARDS

PROPOSED PROJECT IS COMPLYING

LANDSCAPING

LANDSCAPING SHALL BE PROVIDED IN ALL OPEN AREAS. LANDSCAPING PLAN TO BE PROVIDED WITH CONSTRUCTION DOCUMENTS SUBMITTAL.

MECHANICAL SCREENING

MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW. SEE ROOF PLAN.

INTERSTICES

1392 Corona Avenue
Long Beach, California 90804

Phone: 438-3500
438-1438

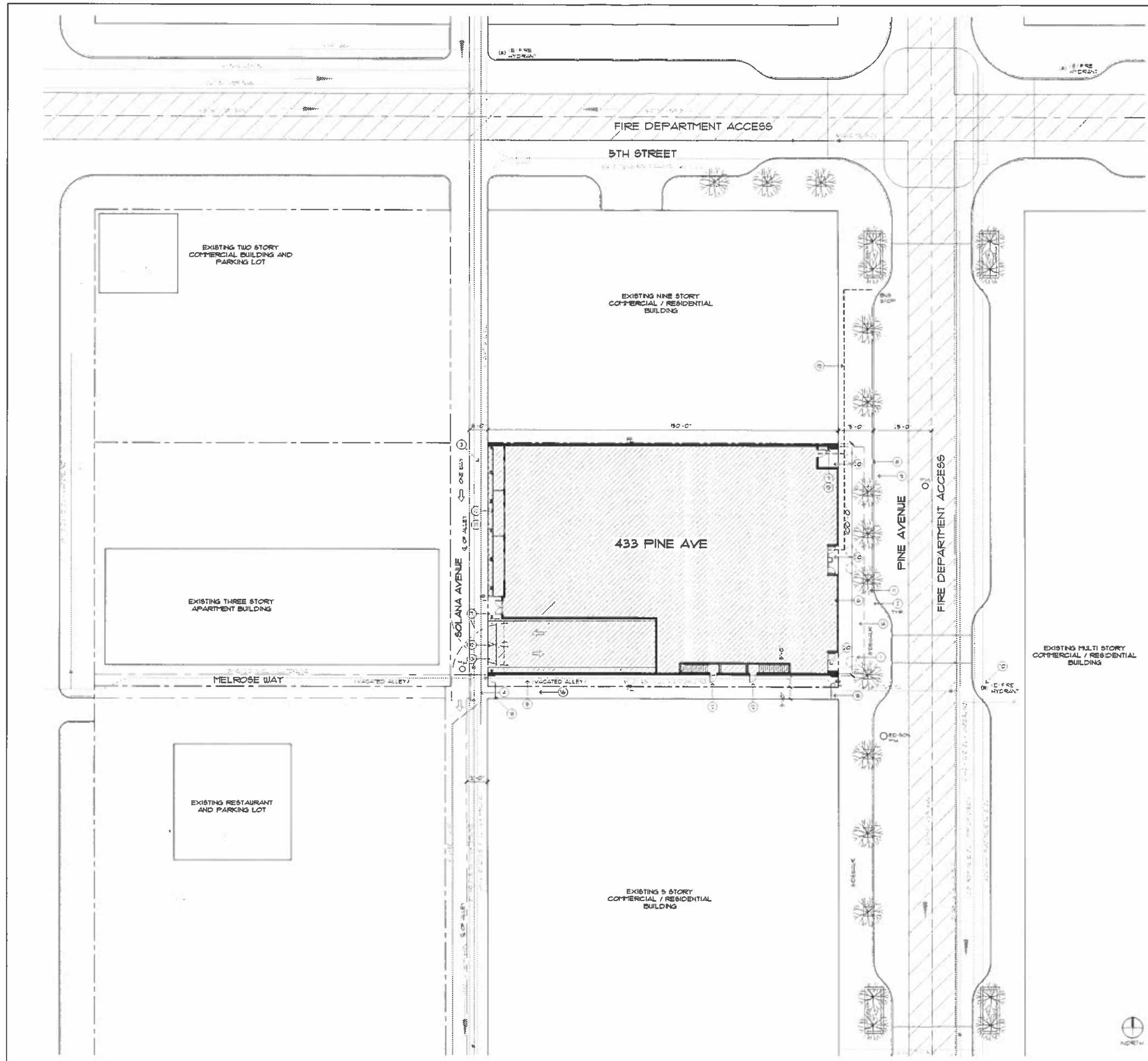
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Origin: R-1
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FLOOR AREA ANALYSIS
A-02



SITE PLAN

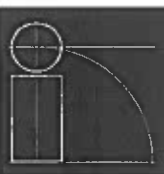
NOTE: KEYNOTES APPLY TO THIS SHEET ONLY

- ① ELECTRICAL SERVICE TRANSFORMER BELOW SDEALK. EXACT LOCATION TO BE COORDINATED WITH SOUTHERN CALIFORNIA Edison
- ② PATCH DAMAGED OR SAUGHT SDEALK TO MATCH EXISTING CONCRETE PATTERNS
- ③ PATCH INDICATES DEMOLITION OF EXISTING ASPHALT ALLEY AS DOCUMENTED ON SEPARATE CIVIL ENGINEERING PLANS. VERIFY AND REPAIR EXISTING UNDERGROUND CONDITIONS PRIOR TO START OF NEW CONSTRUCTION. CONSTRUCT NEW CONCRETE ALLEY PAVING IN COMPLIANCE WITH CITY OF LONG BEACH PUBLIC WORKS REQUIREMENTS. SEE SEPARATE CIVIL ENGINEERING DRAWINGS AND SUBMITTALS
- ④ GAS SERVICE CONNECTION VERIFY PROTECT PER UPC ARTICLE 18. COORDINATE WITH CITY OF LONG BEACH GAS FOR REQUIREMENTS
- ⑤ BUILDING GAS METER LOCATION RECEIVED INTO CALL GOOD RATE WITH CITY OF LONG BEACH GAS
- ⑥ FIRE DEPARTMENT CONNECTION AND STANDOFF PER FIRE DEPARTMENT REQUIREMENTS
- ⑦ RECESSED HEAVY DUTY KNOB BOX AND SECURITY ACCESS LINE OF EXISTING CURB
- ⑧ EXISTING STREET PARKING SPACE AND METER TO REMAIN
- ⑨ EXISTING FIRE HYDRANT
- ⑩ EXISTING SDEALK STREET TRESS AND TREE WELL TO REMAIN UNLESS NOTED OTHERWISE
- ⑪ SECURITY LIGHTING SEE ELECTRICAL
- ⑫ INSTALL 3"x3" STEEL BACK OUTSIDE SUIVE HOOD AND BRACKETED ROUND TRIANGULAR COVER IF WORK AT GARAGE GATE
- ⑬ EXISTING CANOPY REPAIR MODIFY AND REEROOF SEE PLANS AND DETAILS
- ⑭ EXISTING INTERIOR ROOF DRAINAGE PIPES DRAIN TO PUBLIC DRAIN AT EACH OF FOUR CORNERS OF BUILDING. PIPES ARE UNDER SDEALKS AT STREET'S WHERE OCCURS
- ⑮ VACATED ALLEY MELROSE WAY WITH EXISTING STEEL END GATES AT EACH END
- ⑯ WATER AND SEWER IMPROVEMENTS AND WORK WITH WATER AND SEWER CASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY'S WATER DEPARTMENT. ON-SITE SEWER TRENCH EVENTS SHALL BE COORDINATED WITH THE DEPARTMENT OF PLANNING AND BUILDING OF THE CITY OF LONG BEACH
- ⑰ EXISTING STEEL FENCE AND GATE TO REMAIN. CONTRACTOR TO VERIFY CORNER LOCATION OF GATE HARDWARE UPON STARTING REQUIREMENTS
- ⑱ ACCESSIBLE ROUTE PATH OF TRAVEL
- ⑳ 2% MAX SLOPE IN ANY DIRECTION

KEYNOTES

LEGEND

GENERAL NOTES



ARCHITECTURE
INTERIOR DESIGN

INTERSTICES
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Project Number: 24240.00

Date: 03/30/06
Drawn: RDJ
Reviewed:
Client Approval:
Issued: 03/30/06
P.C. COOR 03/30/06 M.P.
P.C. COOR 03/30/06 M.P.
LAW REVIEW 03/30/06 RDJ

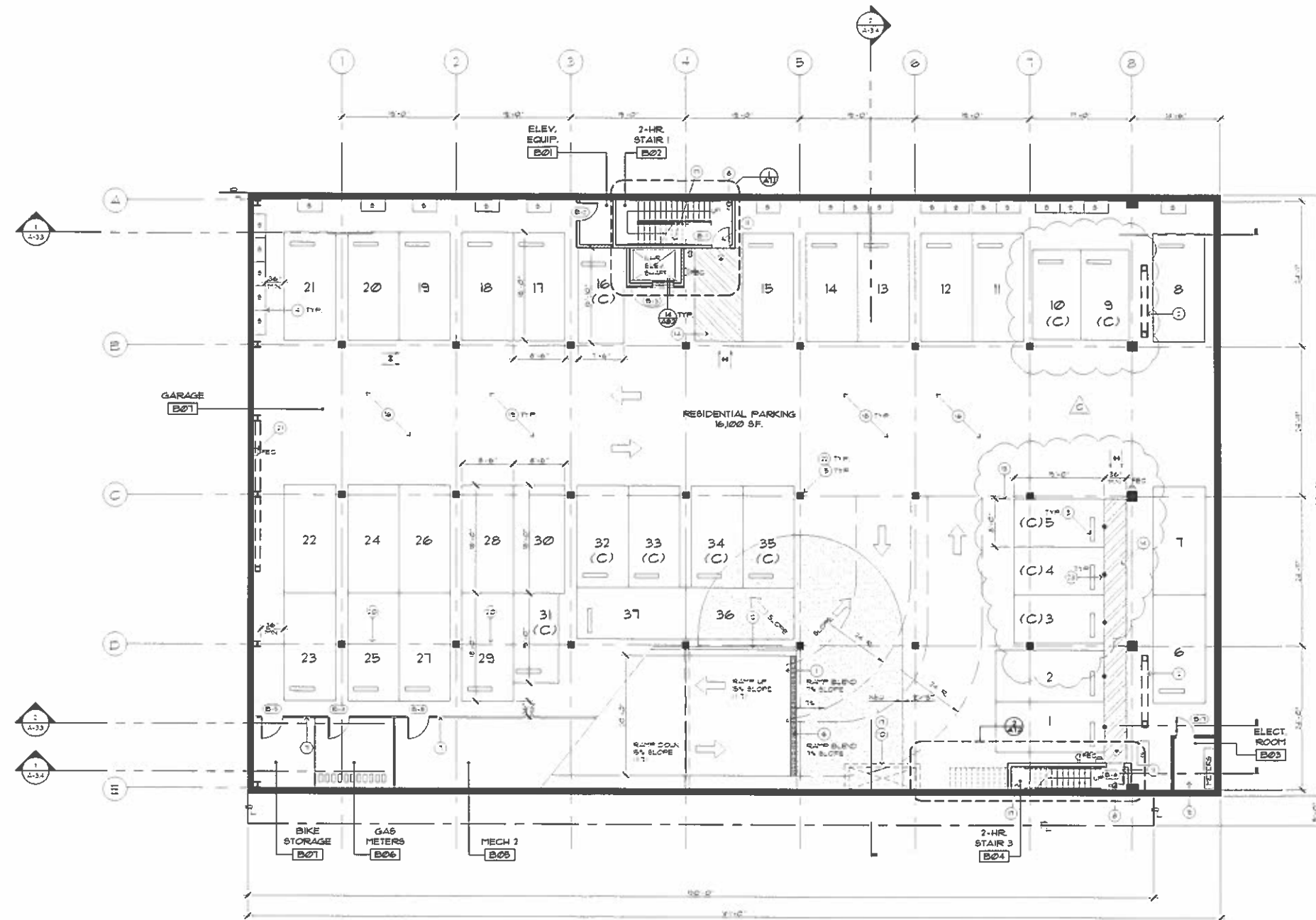
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1/8" = 1'-0"
PLOT SCALE: 1/8" = 1'-0"

433
MIXED USE DEVELOPMENT
433 PINE AVENUE
LONG BEACH, CA 90802

SITE PLAN

A-1.1



BASEMENT LEVEL PLAN

- 1 PATCH EXISTING CONCRETE SLAB AS REQUIRED FOR NEW RAMP. POUR CONCRETE DRIVEWAY RAMP AND RAMP TRANSITION PER STRUCTURAL DRAWINGS.
- 2 STEEL BRACING SEE STRUCTURAL DRAWINGS.
- 3 PRECAST CONCRETE WHEEL STOP TYPICAL.
- 4 LOCATION OF LOCKABLE WALL-HINGE METAL STORAGE CABINET SYSTEM FOR RESIDENT USE (4'-0" x 4'-0" x 2'-1" SEE UNIT MANUFACTURER PROJECTION INTO THE FRONT END OF A PARKING STALL SHALL BE 2" AT VERTICAL CLEARANCE OF 60" AFF WITH HEAVY DUTY HINGE HASP. COORDINATE LAYOUT OF UNITS WITH OWNER AND WITH GARAGE VENTILATION SYSTEM.

- 5 BICYCLE STORAGE RACKS.
- 6 TRINKET DRAIN SEE DETAIL 3-12-4 AND PLUMBING DRAWINGS.
- 7 CHAIN-LINK FENCE ENCLOSURE UP TO CEILING WITH GATE AND LOCK.
- 8 NEW STAIRWELL LOCATION. SEE FIRE SPRINKLER DRAWINGS.
- 9 EXISTING ELECTRICAL ROOM. COORDINATE REQUIREMENTS WITH ELECTRICAL DRAWINGS.
- 10 LINE OF GARAGE EXHAUST SHIRT ABOVE. SEE FIRST FLOOR PLAN SHEET 2-17.
- 11 8'-0" DOOR CLEARANCE. SEE DETAIL 3-4-5.

- 12 6" HIGH CONCRETE CURB WITH 4" STEEL GUARDRAIL PER CBC CODE SECTION 903: FRAME AND PAINT.
- 13 PARKING STRIPES PAINT TWO COATS OF TRAFFIC WHITE PAINT AND PARKING SPACE NUMBER.
- 14 PAINTED STRIPES TWO COATS OF TRAFFIC WHITE PAINT.
- 15 PATCH AND REPAIR EXISTING PLASTERED STRUCTURAL COLUMNS AND BEAMS AS REQUIRED TO MAINTAIN A FIRE RATING. SEE SHEET 201 FOR MORE INFORMATION.
- 16 EXISTING BASEMENT FLOOR FINISH TO REMAIN. PATCH AND REPAIR AS REQUIRED.

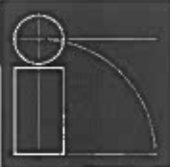
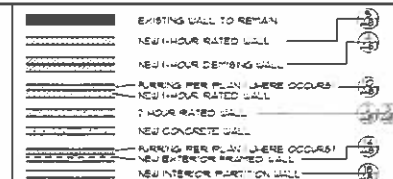
- 17 OPEN SPACE UNDER STAIR SHALL NOT BE USED FOR ANY PURPOSE.
- 18 RESIDENTIAL PARKING AREA TO BE MECHANICALLY VENTILATED. SEE MECHANICAL DRAWINGS.
- 19 RESIDENTIAL PARKING AREA TO BE FULLY SPRINKLERED.
- 20 PROVIDE MINIMUM 7'-0" CLEARANCE BELOW RAMP FOR PARKING STALLS 21, 22, 27 AND 28. REMOVE AND REPAIR PORTION OF SLAB AS REQUIRED.
- 21 FIRE EXTINGUISHER CABINETS. EXTINGUISHERS TO COMPLY WITH NFPA 10.

- 22 EXISTING COLUMNS PAINT (3) COATS OF TRAFFIC YELLOW PAINT UP TO 4'-0" AFF.
- 23 STEEL BOLLARD (FOUR TOTAL). SEE DETAIL 10-4-3.

KEYNOTES

GENERAL NOTES

WALL TYPE LEGEND



ARCHITECTURE
INTERIOR DESIGN

INTERSTICES
1377 Greenwood
Long Beach
California
90801
Telephone
562
433-0431

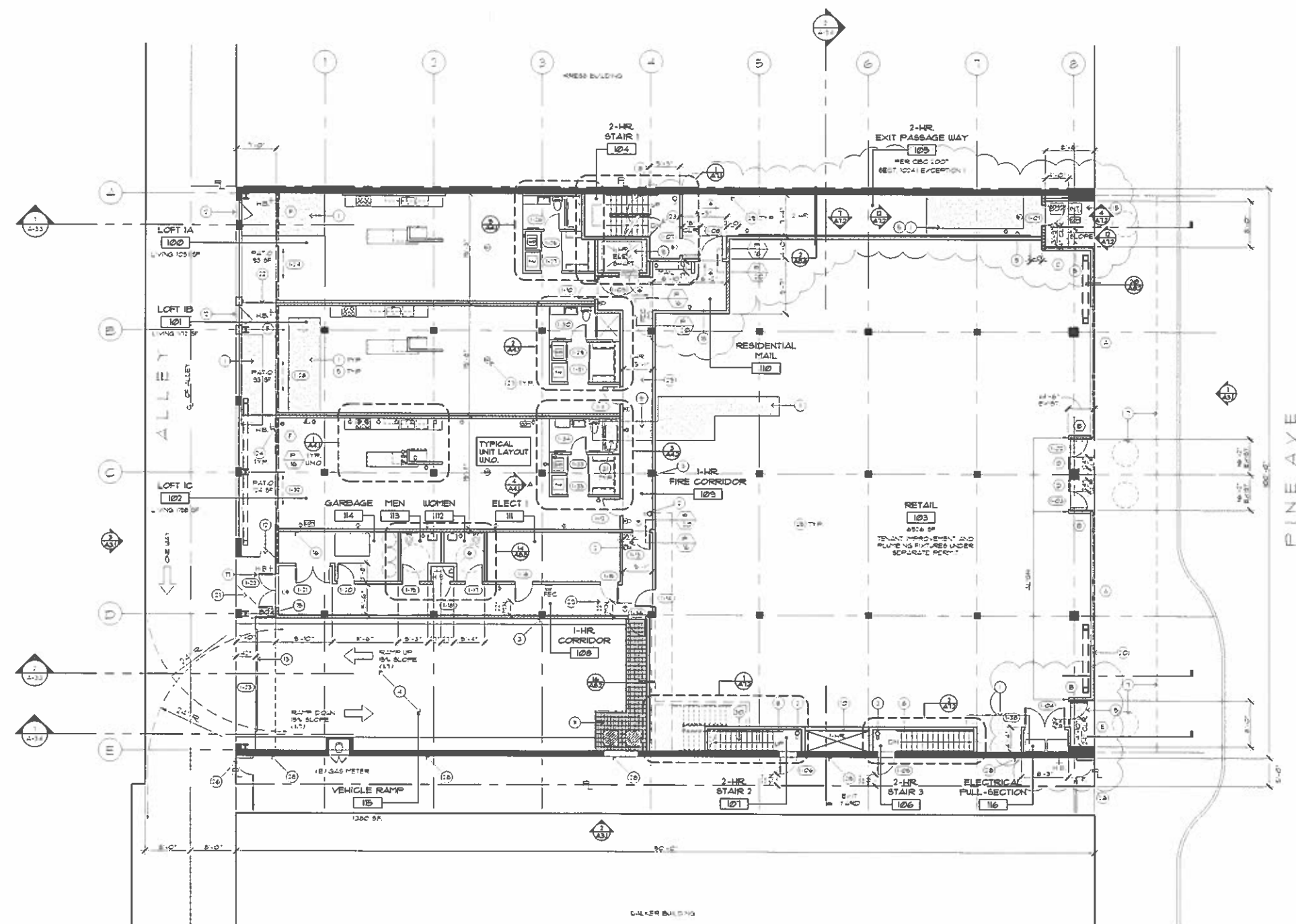
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1101 SCALE 1/4" = 1'-0"

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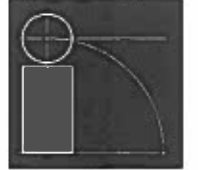


FIRST LEVEL PLAN

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|---|---|
| <p>1 PATCH AND REPAIR FLOOR HOLES, OPENINGS AND CRACKS LEVEL TO MATCH EXISTING. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS FOR LARGE OPENINGS.</p> <p>2 NEW GLASS STANDPIPE LOCATION, ACCESSED FROM STAIRWELL WITH IDENTIFICATION SIGNAGE. SEE FIRE BRICKLER DRAWINGS.</p> <p>3 NEW WALL FRAMING TO ALIGN WITH FACE OF EXISTING COLUMN.</p> <p>4 NEW CONCRETE RAMP. SEE STRUCTURAL.</p> <p>5 NEW TERRAZZO FLOOR TO MATCH EXISTING FOUR TERRAZZO IN RESIDENTIAL AREA UNLESS NOTED OTHERWISE.</p> <p>6 POP SINK. SEE PLUMBING DRAWINGS.</p> <p>7 EXISTING CLOSET ABOVE TO REPAIR. PROVIDE NEW OPENINGS PER STRUCTURAL. INSTALL NEW SINGLE FLY ROOF SYSTEM.</p> <p>8 NEW STAIRWAY. SEE ENLARGED PLAN.</p> <p>9 NEW ELEVATOR. SEE ENLARGED PLAN.</p> <p>10 1-HR. RATED GARBAGE ENCLOSURE SHEET. SEE MECHANICAL DRAWINGS. RAISE AND SUPPORT EXISTING FLOOR AS REQUIRED.</p> <p>11 NEW SUSPENDED MECHANICAL PLINTH. SEE STRUCTURAL DRAWINGS.</p> <p>12 STEEL RATIO FENCE WITH EMERGENCY EGRESS PANELS. SEE EXTERIOR ELEVATION 3-1A31 AND DETAIL 10-482.</p> <p>13 STEEL GARAGE GATE. SEE EXTERIOR ELEVATIONS.</p> <p>14 EXISTING FIRE DEPARTMENT CONNECTION TO REPAIR.</p> <p>15 RECESSED NEW 1/2" DUTY KNOX BOX. SECURITY ACCESS SYSTEM AT PINE AVE DOOR. RECESSED NEW 1/2" DUTY KNOX BOX AT ALLEY DOOR.</p> <p>16 CONTINUOUS 4" x 3/4" PL. HOOD SHEATHING MOUNTED ON ALL SIDES OF TRASH ROOM WALLS 4" x 8" x 10'.</p> <p>17 EXIT DOOR CLEARANCE. SEE DETAIL 10-485.</p> <p>18 ALUMINUM FINISH FRONT LOADING FOR CENTRAL RESIDENTIAL MAIL BOXES WITH (1) STAIRWELL BOXES (2) LARGE PARCEL BOXES AND (3) OUTGOING BOX. COLOR AND TYPE TO BE DETERMINED BY ARCHITECT. SUBMIT SHOP DRAWINGS FOR REVIEW.</p> <p>19 N/A.</p> <p>20 NEW CONCRETE BULKHEAD WALL AT STORE FRONT. SYSTEM TO MATCH EXISTING ADJACENT BULKHEAD WALL.</p> <p>21 DASHED LINE INDICATES 6" CORNER CUT-OFF FOR GARAGE EXITING.</p> <p>22 6'-0" H. RATIO DIVIDER. SEE DETAIL 10-484.5'</p> <p>23 SELF-CLOSING METAL GATE. SEE DETAIL 10-488.</p> <p>24 HOSE BIB. SEE PLUMBING DRAWINGS.</p> <p>25 FLOOR PENETRATIONS BETWEEN BASEMENT AND FIRST FLOOR. SEE DETAIL 10-481 FOR FIRE PROTECTION.</p> <p>26 EXISTING STEEL EXIT GATE TO REMAIN. VERIFY COMPLIANCE.</p> <p>27 SMOKE DETECTOR TO BE HARD WIRE W/ BATTERY BACKUP AND LOW BATTERY SIGNAL.</p> <p>28 PROVIDE EMERGENCY EGRESS LIGHTING AT EXIT YARD.</p> <p>29 PROVIDE FLOOR-LEVEL EXIT SIGNS PER CBC SECT. 1007.6.11.</p> <p>30 OPEN BRIDGE DOOR STAIR SHALL NOT BE USED FOR ANY PURPOSE.</p> <p>31 BATHROOMS TO HAVE BUILD JOINT AT TRAIL. NO ACCESS PLANE REQUIRED.</p> | <p>32 EXISTING WALL TO REPAIR</p> <p>33 NEW 1-HOUR RATED WALL</p> <p>34 NEW 1-HOUR DEFENDING WALL</p> <p>35 FINISH PER PLAN WHERE OCCURS</p> <p>36 NEW 1-HOUR RATED WALL</p> <p>37 3-HOUR RATED WALL</p> <p>38 NEW CONCRETE WALL</p> <p>39 FINISH PER PLAN WHERE OCCURS</p> <p>40 NEW EXTERIOR FRAMED WALL</p> <p>41 NEW INTERIOR FRAMED WALL</p> |
|---|---|

KEYNOTES

WALL TYPE LEGEND



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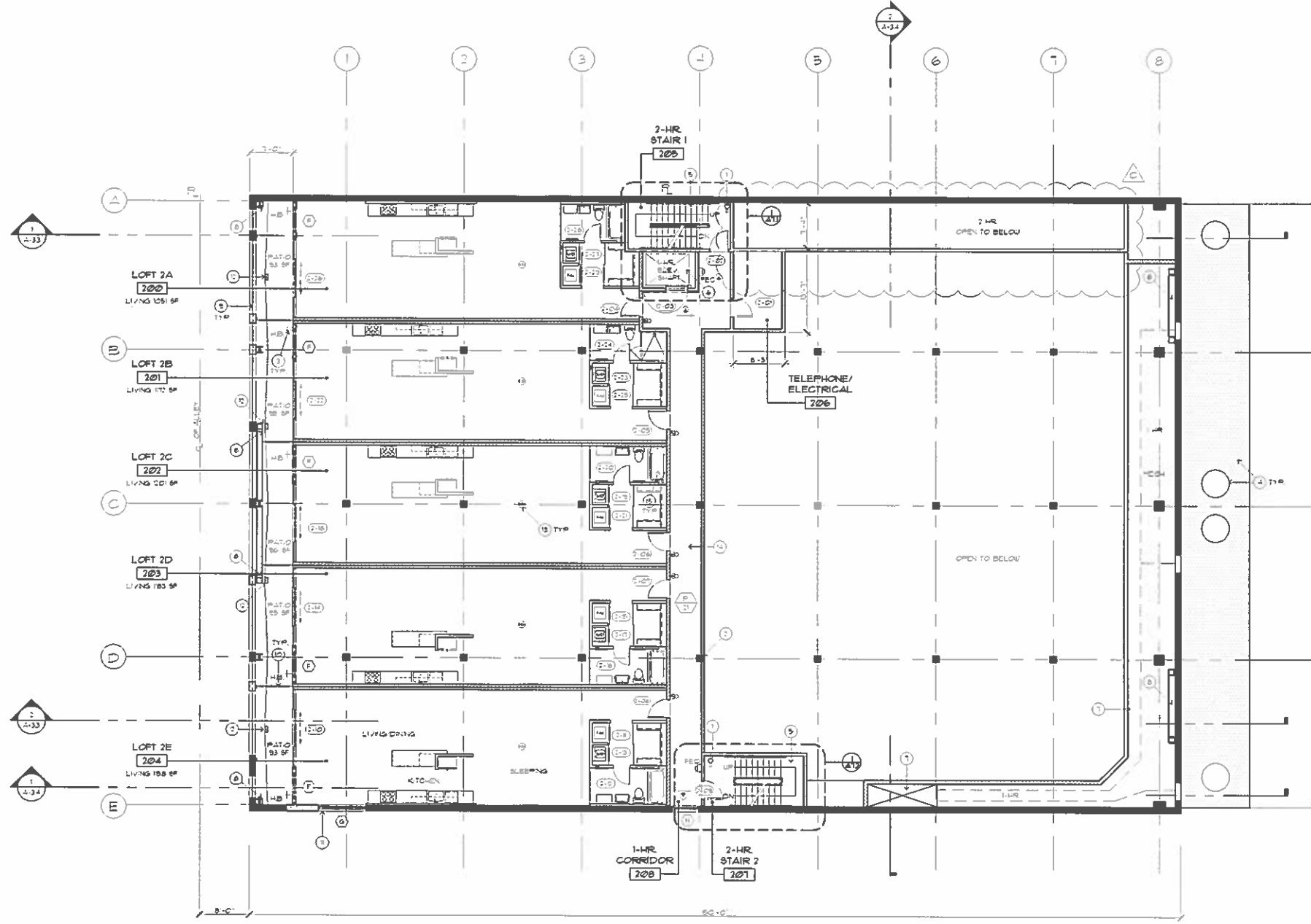
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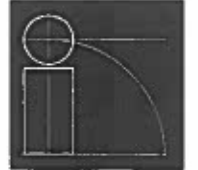
FIRST LEVEL PLAN
A-22



NOTE: SEE SHEET A22 FOR TYPICAL UNIT KITCHEN AND BATHROOMS

SECOND LEVEL PLAN

<p>1 NEW CLASS 1 STAIRWELL LOCATION, ACCESSIBLE FROM STAIRWELL WITH IDENTIFICATION SIGNAGE. SEE FIRE SPRINKLER DRAWINGS.</p> <p>2 NEW WALL FRAMING TO ALIGN WITH FACE OF EXISTING COLUMN.</p> <p>3 HOSE BIB. SEE PLUMBING DRAWINGS.</p> <p>4 EXISTING CANOPY TO REMAIN. PROVIDE NEW OPENINGS PER STRUCTURAL.</p> <p>5 NEW STAIRWELL. SEE ENLARGED PLAN.</p> <p>6 NEW ELEVATOR. SEE ENLARGED PLAN.</p>	<p>7 1-HR RATED GARAGE EXHAUST SHAFT. SEE MECHANICAL DRAWINGS. SUPPORT AND SUPPORT EXISTING FLOOR AS REQUIRED.</p> <p>8 NEW STEEL STRUCTURE. SEE STRUCTURAL DRAWINGS.</p> <p>9 NEW STEEL RAILING. SEE EXTERIOR ELEVATIONS.</p> <p>10 6" O" HIGH PATIO DIVIDER. SEE DETAIL TO AS 4 BOY.</p> <p>11 NEW WINDOW IN EXISTING OPENING. PATCH EXISTING OPENING AS REQUIRED. SEE WINDOW SCHEDULE.</p> <p>12 DRAIN AND OVERFLOW AT EXTERIOR PATIO. SEE PLUMBING DRAWINGS. SLOPE PATIO AS REQUIRED.</p>	<p>13 SMOKE DETECTOR TO BE HARDWIRED WITH BATTERY BACKUP. FLOW BATTERY SIGNAL.</p> <p>14 PROVIDE FLOOR-LEVEL EXIT SIGNS PER CBC SECT 907.8.2.1.</p> <p>15 BALCONY TO HAVE SOLID JOINT AT TRAP. NO ACCESS PANEL REQUIRED.</p>	<p>16 2-HR STAIR I (205)</p> <p>17 2-HR STAIR II (206)</p> <p>18 1-HR CORRIDOR (208)</p> <p>19 2-HR STAIR III (207)</p>	<p>20 TELEPHONE/ELECTRICAL (206)</p>	<p>EXISTING WALL TO REMAIN</p> <p>NEW 1-HOUR RATED WALL</p> <p>NEW 1-HOUR DIVIDING WALL</p> <p>2-HR RATED WALL</p> <p>2-HOUR RATED WALL</p> <p>NEW CONCRETE WALL</p> <p>NEW INTERIOR PARTITION WALL</p>
<p>KEYNOTES</p>	<p>GENERAL NOTES</p>	<p>WALL TYPE LEGEND</p>			



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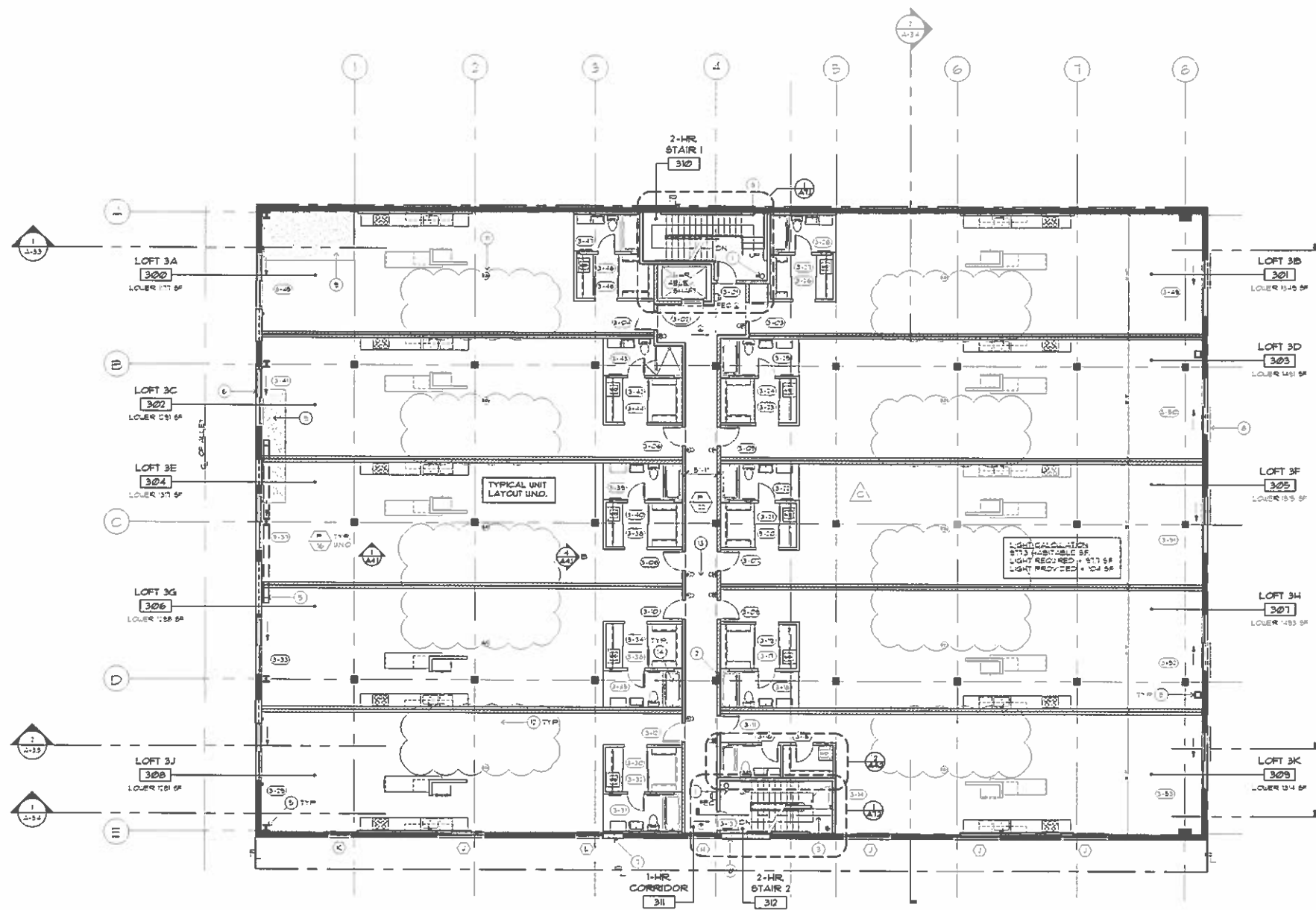
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SECOND LEVEL PLAN
A-2.3



NOTE: SEE SHEET A23 FOR TYPICAL UNIT KITCHEN AND BATHROOMS

THIRD LEVEL PLAN

<p>① NEW CLASS 1 STANDPIPE LOCATED ON ACCESSORY FROM STAIRWELL WITH DETENTION STORAGE SEE FIRE SPRAWLER DRAWINGS</p> <p>② NEW WALL FINISHING TO ALIGN WITH FACE OF EXISTING COLUMN</p> <p>③ NEW STAIRWAY SEE ENLARGED PLAN</p> <p>④ NEW ELEVATOR SEE ENLARGED PLAN</p> <p>⑤ NEW STEEL STRUCTURE SEE STRUCTURAL DRAWINGS</p> <p>⑥ NEW STEEL RAILING SEE EXTERIOR ELEVATIONS</p> <p>⑦ NEW UNDOOR IN EXISTING OPENING PATCH EXISTING OPENING AS REQ'D. SEE UNDOOR SCHEDULE</p>	<p>⑧ NEW GLASS RAILING SEE EXTERIOR ELEVATIONS</p> <p>⑨ PATCH AND REPAIR FLOOR HOLES, OPENINGS, AND CRACKS LEVEL TO MATCH EXISTING SEE STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS FOR LARGE OPENINGS</p> <p>⑩ PATCH EXISTING OPENING FLUSH WITH EXISTING WALL</p> <p>⑪ SMOKE DETECTORS TO BE HARDWIRED WITH BATTERY BACKUP 1 LOW BATTERY SIGNAL</p> <p>⑫ PROVIDE ENCLOSURE FENCE RAIL BENEATH STAIR WHERE CLEAR HEIGHT IS LESS THAN 7'-0"</p> <p>⑬ PROVIDE FLOOR LEVEL FINISH PER CBQ REQ' LOT 611</p>	<p>⑭ BATHS TO HAVE SOLID JOINT AT TRAIL, NO ACCESS PANEL REQUIRED</p>	<p>EXISTING WALL TO REMAIN</p> <p>NEW 1-HOUR RATED WALL</p> <p>NEW 1-HOUR DEM'NG WALL</p> <p>PARTS PER PLAN WHERE OCCURS</p> <p>NEW 1-HOUR RATED WALL</p> <p>1-HOUR RATED WALL</p> <p>NEW CONCRETE WALL</p> <p>PARTS PER PLAN WHERE OCCURS</p> <p>NEW EXTERIOR PARTITION WALL</p> <p>NEW INTERIOR PARTITION WALL</p>
<p>KEYNOTES</p>	<p>GENERAL NOTES</p>	<p>WALL TYPE LEGEND</p>	<p>1st = 1/8" = 1'-0"</p>



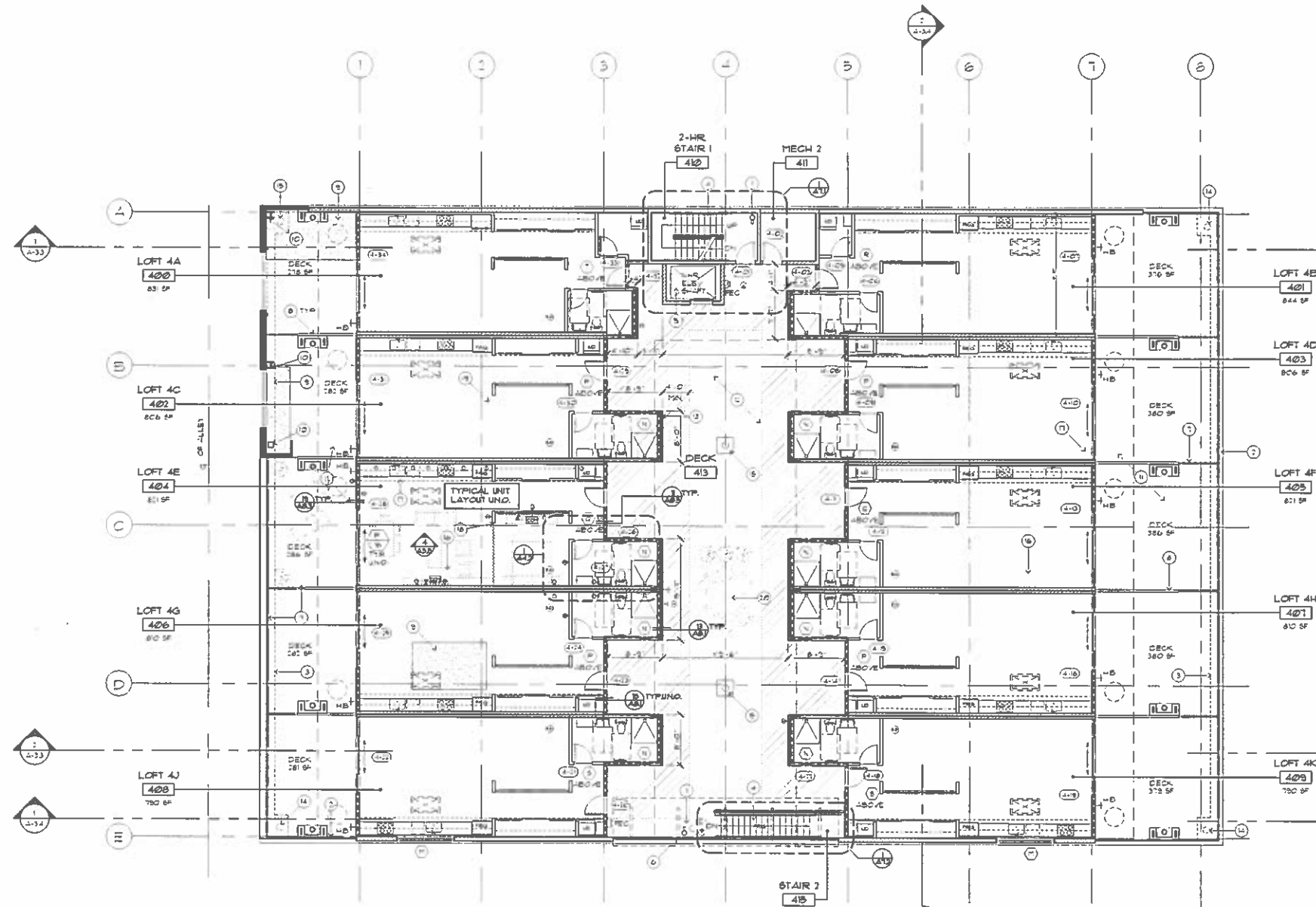
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THIRD LEVEL PLAN
A-2.4



OPEN STAIR FROM BELOW

OPEN STAIR FLIGHT IS PROPOSED DUE TO PLANNING CONSIDERATIONS REGARDING LIGHT AND VIEWS FROM THE ADJACENT NEIGHBORING PROJECT. STAIR IS REQUIRED TO GO TO ROOF LEVEL PER CBC 100333.1 AND IS IN COMPLIANCE WITH CBC 100333.1 AND INCLUDING THE THIRD FLOOR LANDING IS PROPOSED TO BE INCLUDED IN 2-HOUR FIRE ENCLOSURE IN COMPLIANCE WITH CBC 100333.2. THE TOP FLIGHT OF STAIR 2 ACTS AS AN EXIT FROM THE FOURTH FLOOR BUT IS OPEN TO THE FOURTH FLOOR ROOF DECK DOWN TO THE FIRST STAIR LANDING. THIS IS ALLOWABLE PER CBC 100333.1 EXCEPTION. THE STAIR SHALL BE FULLY BRACED WITH STEEL BEAMS PER CBC CODE. THE DOOR INTO THE EXIT ENCLOSURE FROM THE OPEN STAIR SHALL BE 1-1/2 HOUR RATED.

NOTES FOR FOURTH LEVEL ONLY

- BATHROOM**
1. REINFORCED WALLS FOR GRAB BARS AS SHOWN IN SECTION 102A5, (102A5-1)
 2. PROVIDE PROVISIONS FOR INSTALLATION OF FLOOR MOUNTED, FOLD-DOWN, OR SIMILAR ALTERNATIVE GRAB BARS. (102A6)
 3. PROVIDE REINFORCEMENT AT THE BACK OF THE TOILET, INSTALLED REINFORCEMENT BETWEEN 30" AND 36" ABOVE THE FLOOR. THE GRAB BAR REINFORCEMENT SHALL BE A MINIMUM OF 6" IN HEIGHT. THE BACKING SHALL BE A MINIMUM OF 40" IN LENGTH (102A6)
 4. VANITIES AND LAVATORIES TO BE INSTALLED WITH THE CENTERLINE OF THE FIXTURE A MINIMUM OF 1'-6" HORIZONTALLY FROM AN ADJOINING WALL OR FIXTURE. THE TOP OF THE FIXTURE RIM SHALL BE A MAXIMUM OF 2'-10" ABOVE THE FINISHED FLOOR. SEE DETAIL 15/185.
 5. PROVIDE REINFORCEMENT TO SHOWER AT THE FRONT AND SIDE WALL. INSTALLED REINFORCEMENT BETWEEN 30" AND 36" ABOVE THE FLOOR. THE GRAB BAR REINFORCEMENT SHALL BE A MINIMUM OF 6" IN HEIGHT. THE BACKING SHALL BE A MINIMUM OF 48" IN LENGTH (102A6)
- DOORS:**
1. OPERATION OF DOOR TO NOT EXCEED 8-1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 5 POUNDS (102A5)



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FOURTH LEVEL PLAN

1. NEW CLASS 1 STAIRWELL LOCATION. ACCORDING TO 314 SHALL BE IDENTIFICATION SIGNAGE. SEE FIRE SPRINKLER DRAWINGS.
2. EXISTING PARAPET WALL WITH NEW STEEL RAILING.
3. NEW PERIMETER GUTTER / DRAINAGE SYSTEM. SEE SECTION.
4. NEW STAIRWAY. SEE ENLARGED PLAN.
5. NEW ELEVATOR. SEE ENLARGED PLAN.
6. NEW STEEL CANOPY OVER STAIRWAY. SEE EXTERIOR ELEVATIONS.

7. NEW STEEL RAILING. SEE DETAIL 10/283.
8. NEW 6'-0" HIGH PATIO DIVIDER. SEE DETAIL 10/284.
9. PATCH AND REPAIR FLOOR HOLES, OPENINGS, AND CRACKS LEVEL TO MATCH EXISTING. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS FOR LARGE OPENINGS.
10. NEW STEEL STRUCTURE. SEE STRUCTURAL DRAWINGS.
11. NEW 2'-0" CONCRETE RAFTER DECKING OVER BESSON ADJUSTABLE DECK SUPPORT SYSTEM OVER ROOFING ON ALL UNIT DECKS. SEE DETAILS 8/10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
12. NEW ELASTOMERIC DECKING SYSTEM. SEE DETAILS 11/140, 11/283.

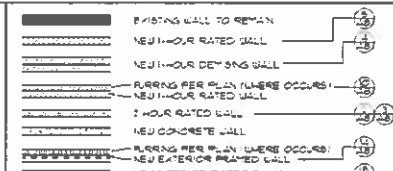
13. PROVIDE 1% MAXIMUM SLOPE IN ALL DIRECTIONS ON ACCESSIBLE ROUTE TO UNITS.
14. EXISTING ROOF DRAIN AND OVERFLOW TO REMAIN. SEE PLUMBING DRAWINGS.
15. NEW ROOF DRAIN AND OVERFLOW. SEE PLUMBING DRAWINGS.
16. PREFABRICATED FIREPLACE AND FLUE. (SUPERIOR MODEL 98F-38 UL REPORT #A-9588 SEE 4/242)
17. KITCHEN CABINET. SEE 1/285.
18. HIGH WALL W/ GYP. ED. # 4/54.

19. SMOKE DETECTORS TO BE HARDWIRED WITH BATTERY BACKUP / LOW BATTERY SIGNAL.
20. COMMON DECK BEATINGS SHOWN FOR REFERENCE ONLY.

KEYNOTES

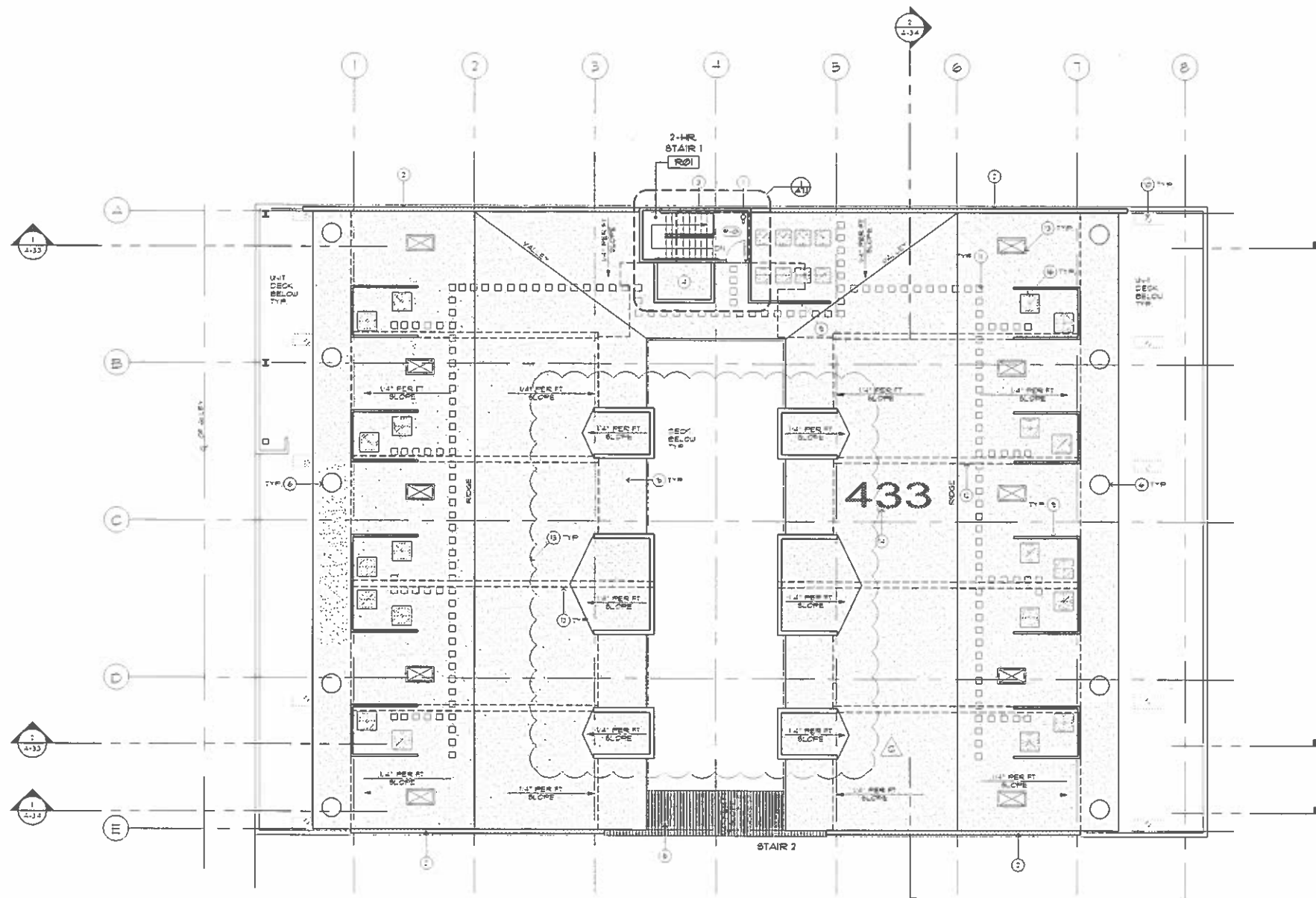
GENERAL NOTES

WALL TYPE LEGEND



FOURTH LEVEL PLAN

A-2.5



ROOF PLAN

- ① NEW CLASS 1 STAND-Pipe LOCATION, ACCESSED FROM STAIRWELL WITH IDENTIFICATION SIGNAGE. SEE FIRE SPRINKLER DRAWINGS.
- ② NEW PARAPET WALL. SEE BUILDING SECTIONS.
- ③ NEW STAIRWELL. SEE ENLARGED PLAN.
- ④ NEW ELEVATOR SHAFT. SEE ENLARGED PLAN.
- ⑤ NEW STEEL CANOPY OVER STAIRWELL. SEE EXTERIOR ELEVATIONS.
- ⑥ NEW OPENING IN ROOF. SEE STRUCTURAL DRAWINGS.
- ⑦ NOT USED.

- ⑧ NOT USED.
- ⑨ NEW ROOFTOP SCREEN FOR MECHANICAL EQUIPMENT. SEE DETAIL 11-48.2.
- ⑩ NEW FIREPLACE FLUE WITH CODE APPROVED SPARK ARRESTOR.
- ⑪ NEW ROOFTOP WALK PADS.
- ⑫ LINE OF WALL BELOW TYPE.
- ⑬ SKYLIGHT, 100% REPOCKET. SEE FLOOR PLAN.

- ⑭ PAINT BUILDING ADDRESS ON TOP OF ROOF. 4'-0" HIGH. STROKES IN A CONTRASTING COLOR TO THE ROOF. VERIFY WITH CITY OF LONG BEACH POLICE FOR REQUIREMENTS.
- ⑮ SINGLE PLY, 10-150 1/2" ROOFING SYSTEM, INSTALL EDGES PER NOTATIONS PER MANUFACTURER REQUIREMENTS UNO.
- ⑯ HVAC UNIT. SEE MECHANICAL DRAWINGS.

ROOF PENETRATION REQUIRING PITCH POCKET, SEE DETAIL 11-48.3

WALL TYPE LEGEND	
	EXISTING WALL TO REMAIN
	NEW 1-HOUR RATED WALL
	NEW 1-HOUR CEILING WALL
	NEW 1-HOUR RATED WALL WHERE OCCURS
	2-HOUR RATED WALL
	NEW CONCRETE WALL
	NEW EXTERIOR PLASTER WALL
	NEW INTERIOR PARTITION WALL

KEYNOTES

GENERAL NOTES

WALL TYPE LEGEND



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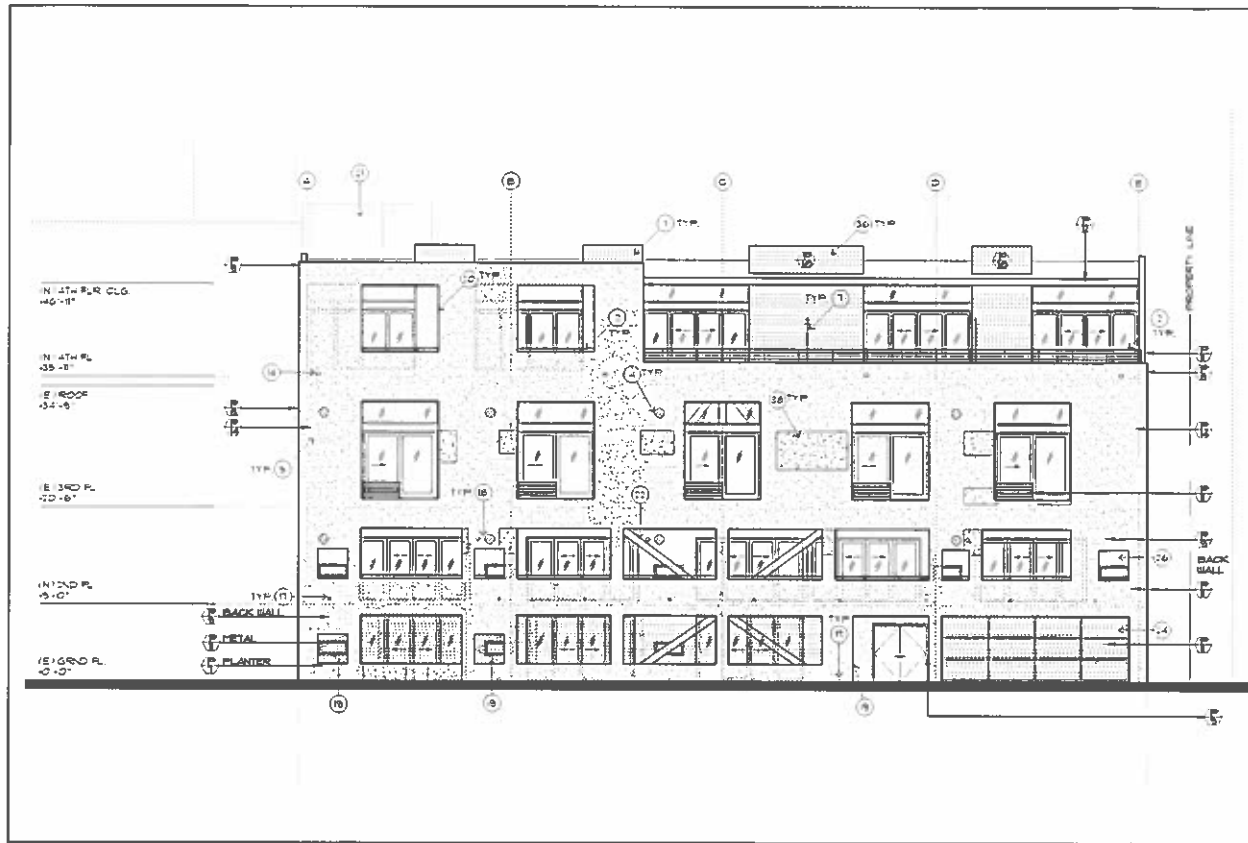
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Engineer	03/20/08
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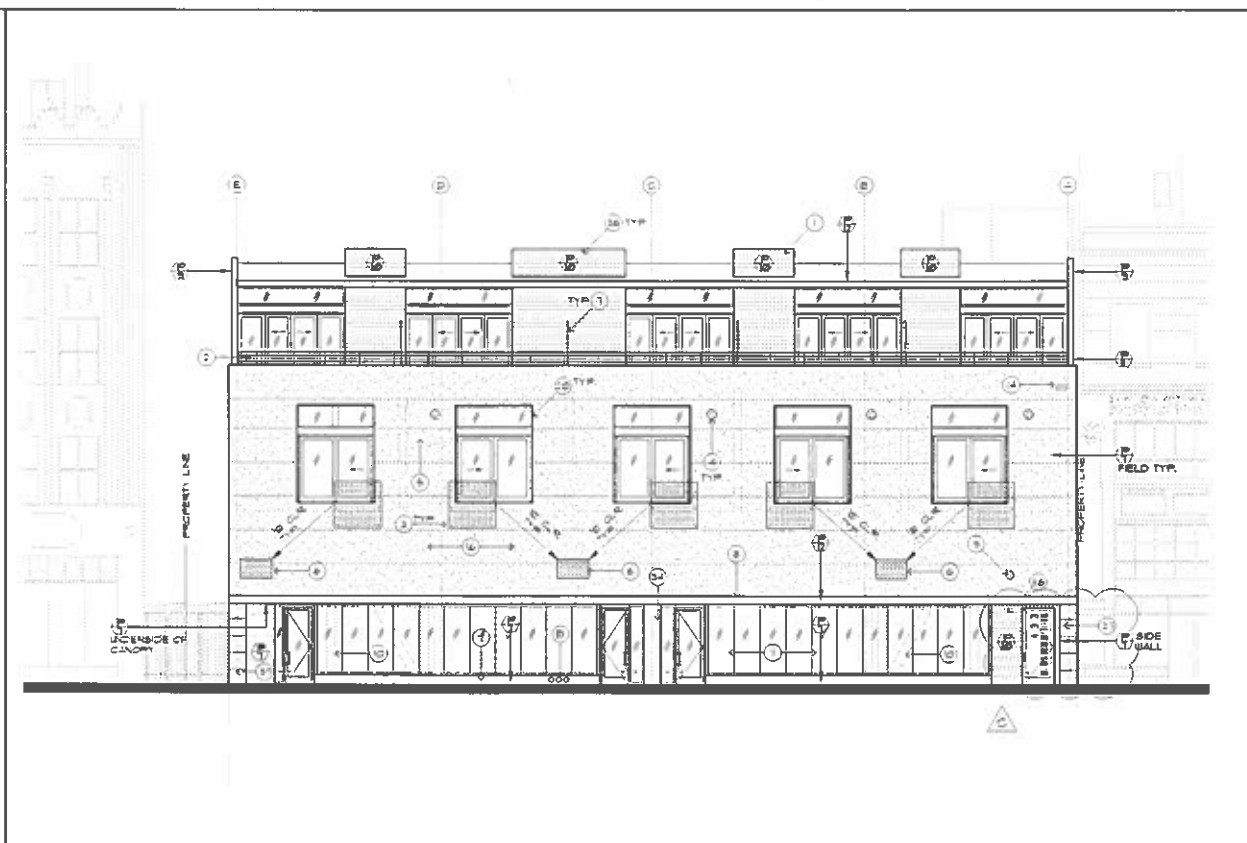
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ROOF PLAN
A-2.6



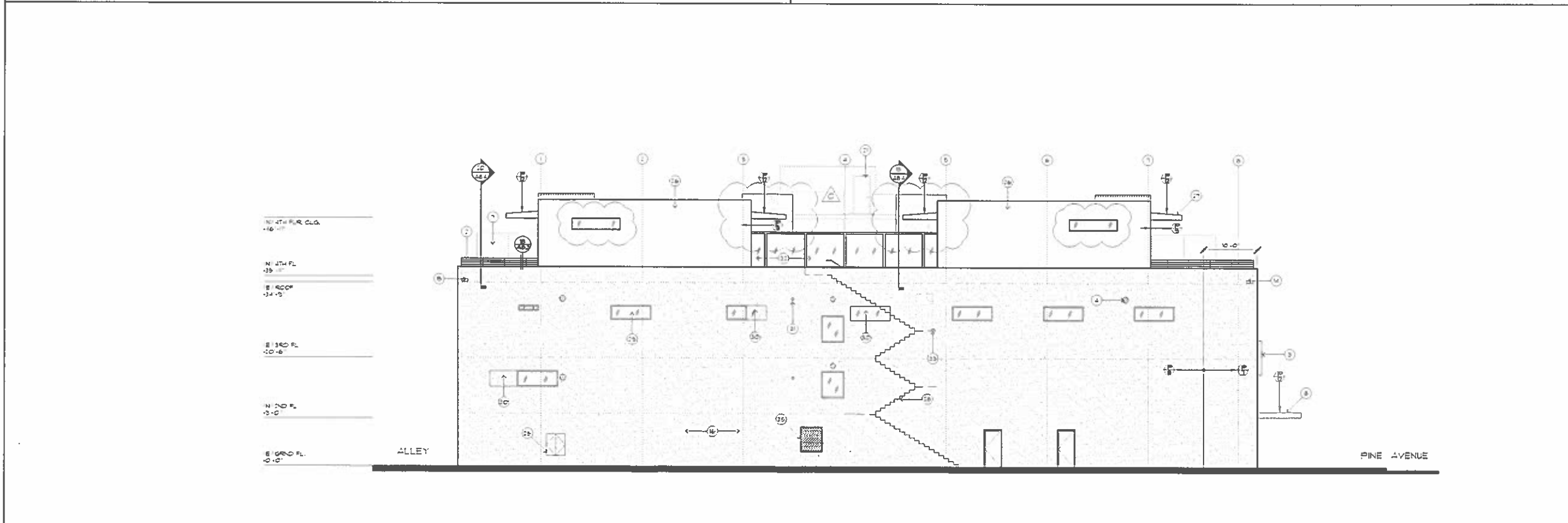
WEST ELEVATION (SOLANA COURT)

1/8" = 1'-0" ■ 3



EAST ELEVATION (PINE AVENUE)

1/8" = 1'-0" ■ 1



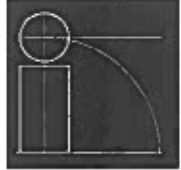
SOUTH ELEVATION (MELROSE WAY)

1/8" = 1'-0" ■ 2

<p>1 ROOFTOP MECHANICAL SCREEN</p> <p>2 NEW PAINTED STEEL RAILING</p> <p>3 NEW TEMPERED GLASS RAILING</p> <p>4 KITCHEN HOOD EXHAUST GRILLE. PAINT TO MATCH BUILDING EXTERIOR</p> <p>5 DASHED LINE NO. GATES 3'-0" EXHAUST CLEARANCE FROM OPERABLE WINDOWS AND DOORS</p> <p>6 GARAGE EXHAUST GRILLE. PAINT TO MATCH BUILDING EXTERIOR</p> <p>7 NEW 6'-0" HIGH PATIO DIVIDER</p>	<p>8 EXISTING CANOPY TO REMAIN. PROVIDE NEW FASCIA WHERE REQUIRED</p> <p>9 FRESH AIR INTAKE GRILLE. PAINT TO MATCH BUILDING EXTERIOR</p> <p>10 LINE OF NEW STRUCTURAL SUPPORT BEYOND</p> <p>11 NEW STOREFRONT SYSTEM. SEE WINDOW SCHEDULE</p> <p>12 NEW STOREFRONT BULKHEAD TO MATCH EXISTING ADJACENT BULKHEAD</p> <p>13 EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN</p> <p>14 NEW OVERFLOW SCUPPER. SEE PLUMBING DRAWINGS FOR LOCATION</p>	<p>15 EXISTING OVERFLOW SCUPPER. SEE PLUMBING DRAWINGS</p> <p>16 EXISTING CONCRETE FACIAGE TO REMAIN. SCAFFT OPENINGS PER PLAN. PATCH AND PAINT AS REQUIRED</p> <p>17 PATIO/BALCONY DRAIN</p> <p>18 KITCHEN HOOD AND BATH-ROOM EXHAUST GRILLES. PAINT TO MATCH BUILDING EXTERIOR</p> <p>19 NEW PAINTED STEEL SCREEN WITH INTEGRAL EXTERIOR GATE. GATE SHALL HAVE 1" MIN. NET CLEAR OPENING OF 8" BY 27" MIN. NET CLEAR HEIGHT AND 20" MIN. NET CLEAR WIDTH. GATE SHALL HAVE A FINISHED SILL HEIGHT OF NO MORE THAN 44" AFF. SEE FLOOR PLAN SHEET 402.</p>	<p>20 SCAFFT EXISTING CONCRETE WALL. APPLY EPOXY PROTECTIVE COATING ON ALL EMBEDDED REBAR.</p> <p>21 NEW ELEVATOR RENTHOUSE BEYOND</p> <p>22 NEW STEEL STRUCTURE</p> <p>23 EXISTING BUILDING STRUCTURE TO REMAIN</p> <p>24 NEW PAINTED STEEL STORAGE GATE</p> <p>25 EXISTING GAS METER LOCATION</p> <p>26 NEW EXTERIOR CEMENT PLASTER WITH LIGHT SAND FINISH</p> <p>27 PREFINISHED METAL PANEL</p>	<p>28 LINE OF STAIR BEYOND</p> <p>29 NEW WINDOW IN EXISTING OPENING. SEE WINDOW SCHEDULE</p> <p>30 EXISTING OPENING TO BE PATCHED. SEE FLOOR PLAN</p> <p>31 BATHROOM EXHAUST GRILLE. PAINT TO MATCH BUILDING EXTERIOR</p> <p>32 STEEL CANOPY OVER EXIT STAIR</p> <p>33 STAIR DRAIN SCAFFT AS REQUIRED</p> <p>34 STAINLESS STEEL PANEL WITH CONCEALED FASTENERS OVER EXISTING COURTY</p>	<p>35 MECHANICAL EXHAUST GRILL. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION</p> <p>36 PREFINISHED CORRUGATED METAL PANEL CALL SYSTEM</p> <p>37 EXISTING STONE TO REMAIN. REPAIR, CLEAN AND POLISH AS REQUIRED</p> <p>38 FILL EXISTING OPENINGS WITH CONCRETE. INSTALL REBAR AS REQUIRED</p>
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KEYNOTES

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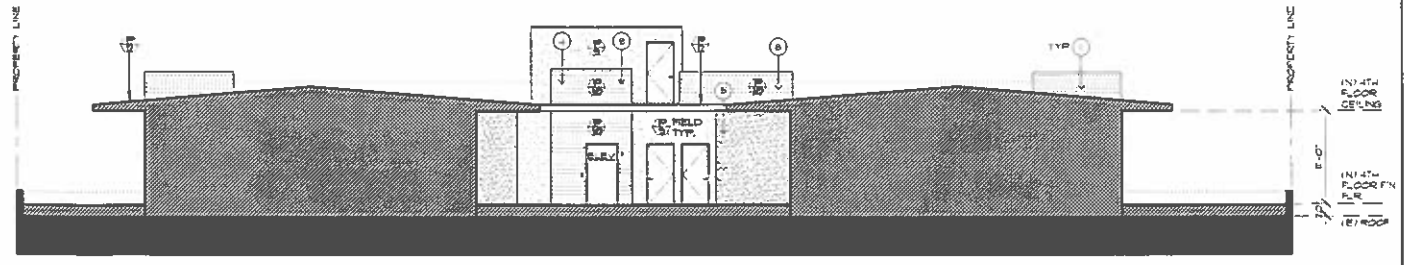
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ADD 0 NO. 1-31205
PLOT SCALE: 1/4" = 1'-0"

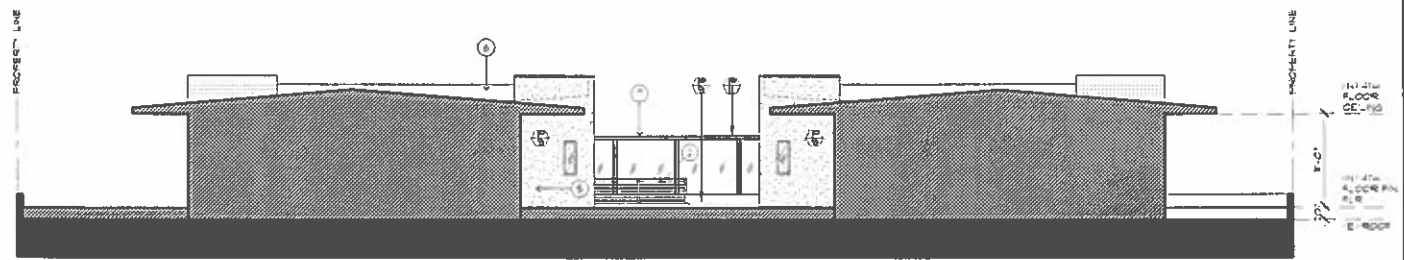
433
MIXED USE DEVELOPMENT
433 PINE AVENUE
LONG BEACH, CA 90802

EXTERIOR ELEVATIONS

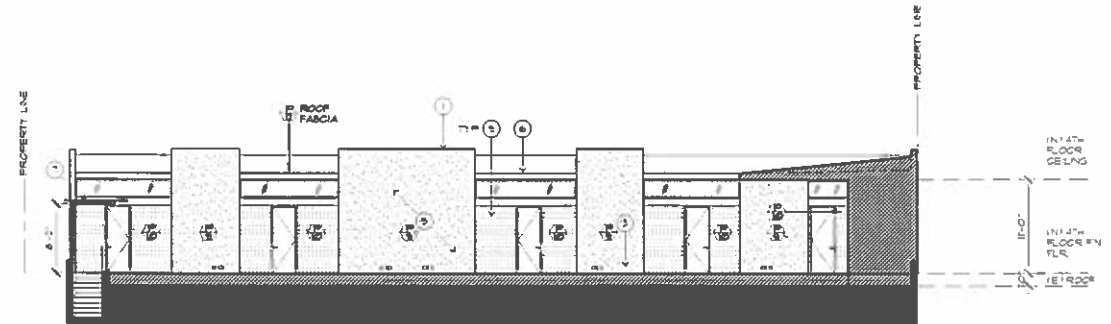
A-3.1



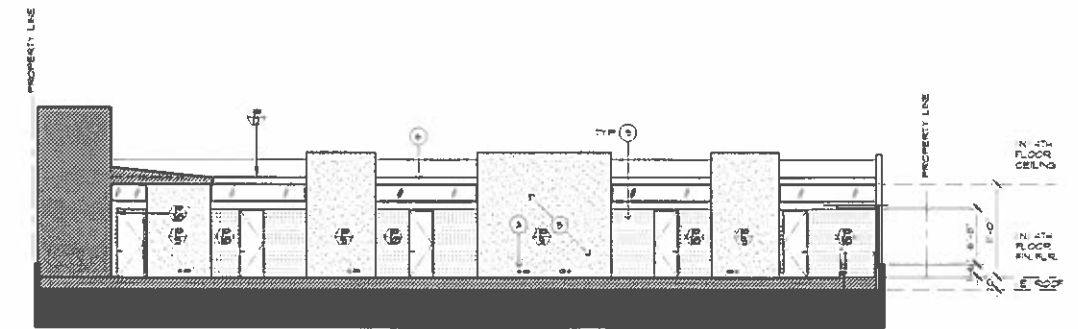
4TH FLOOR COURTYARD LOOKING NORTH



4TH FLOOR COURTYARD LOOKING SOUTH



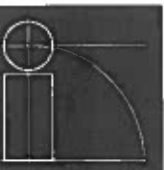
4TH FLOOR COURTYARD LOOKING WEST



4TH FLOOR COURTYARD LOOKING EAST

- 1 ROOFTOP MECHANICAL SCREEN BEYOND.
- 2 NEW PAINTED STEEL SUIVORAIL
- 3 NEW DRYER AND BATH-ROOM EXHAUST GRILLE. PAINT TO MATCH BUILDING EXTERIOR.
- 4 NEW ELEVATOR PEN-HOUSE
- 5 NEW EXTERIOR CEMENT PLASTER WITH LIGHT SAND FINISH
- 6 NEW PREFINISHED METAL FABRICA
- 7 NEW STEEL CANOPY OVER EXIT STAIR.
- 8 NEW JELL BEYOND.
- 9 NEW PREFINISHED CORRUGATED METAL SONG

KEYNOTES



ARCHITECTURE
INTERIOR DESIGN

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Project Number: 1404009

Date: 01/06/09
Client: Interstices
Architect
09/06/08
09/06/08
03/06/09
03/06/09

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CADD ID No: 1404009
PLOT SCALE: 1/8"=1'-0"

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4TH FLOOR EXTERIOR ELEVATIONS

A-3.2