



CITY OF LONG BEACH

DEPARTMENT OF DEVELOPMENT SERVICES

333 West Ocean Blvd., 5th Floor

Long Beach, CA 90802

(562) 570-6194

FAX (562) 570-6068

July 18, 2013

CHAIR AND PLANNING COMMISSIONERS
City of Long Beach
California

RECOMMENDATION:

Approve the Site Plan Review for the rebuild of the Leeway Sailing Center located at 5437 East Ocean Boulevard to include classroom, office, restrooms, enclosed boat storage, outdoor boat storage, and deck. (District 3)

APPLICANT: City of Long Beach
Department of Public Works
333 West Ocean Boulevard
Long Beach, CA 90802
(Case No. 1111-17)

DISCUSSION

The Long Beach Department of Public Works, in conjunction with the Department of Parks, Recreation and Marine, proposes to demolish and rebuild the existing Leeway Sailing Center (Center). The Center is located on the Peninsula facing the Alamitos Bay (Exhibit A – Location Map). The project site has a General Plan Land Use Designation of Open Space (LUD No. 11) and a zoning designation of Parks (P). The proposed project is within the California Coastal Commission's permit jurisdiction. Prior to seeking a coastal permit, the project must obtain Site Plan Review approval by the Planning Commission. Please see the attached Site Plan Review findings to support this request and Conditions of Approval (Exhibit B – Findings). The rebuild of the Center was identified for funding in the FY 12 Capital Improvement Program (CIP), and was approved by the State Lands Commission on October 27, 2011.

Background

The Center was founded in 1929 to teach local youth the basics of sailing and water safety. In 1948, an old firehouse from the Harbor was relocated to this site to house the Alamitos Bay Yacht Club. The Center operated out of the Alamitos Bay Yacht Club until 1964 when the Center took control of the entire facility. Subsequently, this facility has become functionally obsolete and insufficient to accommodate current activities and class size. In addition, the building and deck do not meet today's building safety codes and Americans with Disabilities

Act (ADA) requirements. During the peak summer season, the facility holds an average of 25 classes a month in addition to private rentals and lessons. The proposed project would fulfill existing demand for sailing, boardsailing, kayaking, windsurfing, and canoeing instruction. The number of classes and class size will not expand as a result of this project.

Starting in February 2012, Public Works and Parks, Recreation and Marine staff conducted numerous design charrettes with residents and the nautical community on the design and program needs for a new facility. Subsequently in June 13, 2013, Public Works finalized the design with community input.

The Center shares the pier and dock with Gondola Getaway, a private gondola rental firm, who leases dock space from the City. This pier and dock have been identified for replacement and have a separate entitlement process with the California Coastal Commission, not subject to Planning Commission review.

Historic Resource Assessment

The existing building is not a designated landmark at the national, state or local level. In response to concerns expressed regarding the potential historical significance of the structure, an historic resource assessment was prepared (Exhibit C -- 5437 E. Ocean Boulevard Historic Resource Report). This report evaluated the building using the National Register of Historic Places (National Register), California Register of Historical Resources (California Register) and City of Long Beach Historic Landmark criteria. The primary contexts used to evaluate the building were the Alamitos Bay Yacht Club (ABYC) and the development of yachting and yacht clubs in the postwar period. ABYC was founded in 1924 by twelve local sailors and boat builders. The period of significance considered was 1948, the year the club took possession of the building, to 1964, the year it sold the building and relocated to a new clubhouse.

The historic resource evaluation concluded that ABYC, as an organization, is a significant part of the City's history; however, the building cannot reflect this significance because it was not owned or operated by the club during its early years. The building is associated with the trend of increased yachting in the postwar period; however, mere association with an established event or trend is not sufficient for a building to be considered historically significant. Moreover, ABYC's association with this trend is not significant because it was not started as a result of the postwar boom; it just continued operations in the wake of it. The trend would be better represented by a club that formed in direct reaction to the postwar boom, not by one that was established two decades earlier.

As a result, the building is not eligible for listing in the National Register, California Register, or for designation as a Long Beach Historic Landmark due to a lack of historic significance, a lack of architectural distinction, and replacement of the original siding, windows and doors.

Previous Site Plan and Design

Prior to the Planning Commission hearing scheduled for August 16, 2012, this item was continued to allow for additional community input. Some members of the sailing community expressed concern regarding the bulk and mass of the proposed structure and its potential negative impact on wind patterns in Alamitos Bay. The original design extended the facility approximately 50 feet eastward into the sand with 3,531 square feet for classroom, office and other accessory uses and 1,657 square feet for enclosed boat stage.

Following additional input from the sailing community, a wind study was prepared by Rowan Williams Davies & Irwin Inc. (RWDI), based on a new design concept prepared by Public Works (Exhibit D – Wind Effect Review). The concept was to reduce the staff and administrative square footage (from the original proposal) resulting in no eastward expansion and generally keeping the existing profile of the Center.

The wind study concluded that there will be a slight increase in the wake length (the area of turbulence behind the building) for winds from the south and southeast, but it will be shorter than the distance from the building to the end of the pier. RWDI therefore concluded that the effects of sailing conditions in the Alamitos Bay would be negligible for the proposed design. Based on these conclusions, the proposed design was refined. These revisions resulted in a more favorable reaction to the project from some members of the sailing community.

Project Description

The proposed Center contains two structures separated by a breezeway. The classroom and storage room for small furniture are contained within one structure. The accessory uses including restrooms, office space, employee break room and enclosed boat storage are generally contained in the other structure. There is an approximate 400-square-foot increase in nonhabitable space over the existing Center that is achieved by extending the building footprint northward (towards Alamitos Bay) and southward (towards Ocean Boulevard). Approximately half of the existing outdoor storage will be enclosed. This new attached accessory structure will be 2,156 square feet. In addition, the deck expanded northward (towards Alamitos Bay) and will require new piles in the sand (Exhibit E – Site Plan). The specific square footage for each project component is also itemized below:

Existing Center (excluding Boat Storage)	1338
Proposed Center	
Classroom	705
Office & Staff Space	620
Public Restrooms	232
Classroom Storage Room	161
Accessory Structure	
Enclosed Boat Storage	2140

Design and Elevations

The proposed building design maintains the desirable aesthetic attributes of the existing Center, while modernizing the materials and layout to maximize durability, energy-efficiency, and functional utility. The building is designed to be aesthetically reminiscent of California coastal and boathouse architecture and will be a subtle and unobtrusive addition to the surrounding predominately residential neighborhood, and very much in keeping with the architectural style and colors of the existing Center. The proposed Center has been designed to lessen the visual impact on the natural surroundings by massing the Center as three small elements providing a breezeway through the building and maintaining a low profile that will complement the surrounding coastline. The finish materials color palette will reflect the greens and blues of the Bay.

Sustainability Components

As required by the City's Green Building Ordinance, the new building will achieve LEED certified silver accreditation and will comply with the City's Recycling and Low Impact Design provisions. The LEED silver components will include ample natural light to eliminate the need for day-time lighting, abundant natural ventilation so that no heating and cooling system will be required, low-VOC materials, drought tolerant landscaping, use of renewable materials, and low-flow sinks and toilets. Other LEED features will be identified during construction documentation. The front setback will be landscaped with drought tolerant landscaping.

Access and Circulation

The proposed project provides increased coastal access. New ADA features include two ADA-compliant ramps providing a path of travel through the Center to access the beach east and west of the facility. New bicycle racks will be installed at the front of the building. As an existing coastal dependent facility, motor vehicle access is provided by the adjacent beach parking supply. As a result of expanding the facility southward, one of the curb cuts will be removed allowing for three new on-street parking stalls. For passenger loading and unloading, two parking spaces will be designated for short term parking. The breezeway breaks up the massing of the proposed Center and provides for increased pedestrian permeability.

PUBLIC HEARING NOTICE

Public hearing notices were distributed on June, 27 2013, in accordance with the provisions of the Zoning Ordinance. As of the writing of this report, no responses were received.

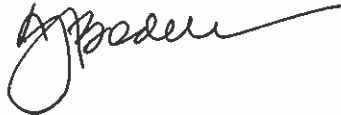
ENVIRONMENTAL REVIEW

In accordance with the Guidelines for Implementation of the California Environmental Quality Act, a Categorical Exemption (11-084) was issued (Exhibit F – Categorical Exemption).

Respectfully submitted,



DEREK BURNHAM
PLANNING ADMINISTRATOR



AMY J. BODEK, AICP
DIRECTOR OF DEVELOPMENT SERVICES

AJB:DB:IB

Attachments:

- Exhibit A – Location Map
- Exhibit B – Findings
- Exhibit C – 5437 E. Ocean Boulevard Historic Resource Report
- Exhibit D – Wind Effect Review
- Exhibit E – Site Plan
- Exhibit F – Categorical Exemption

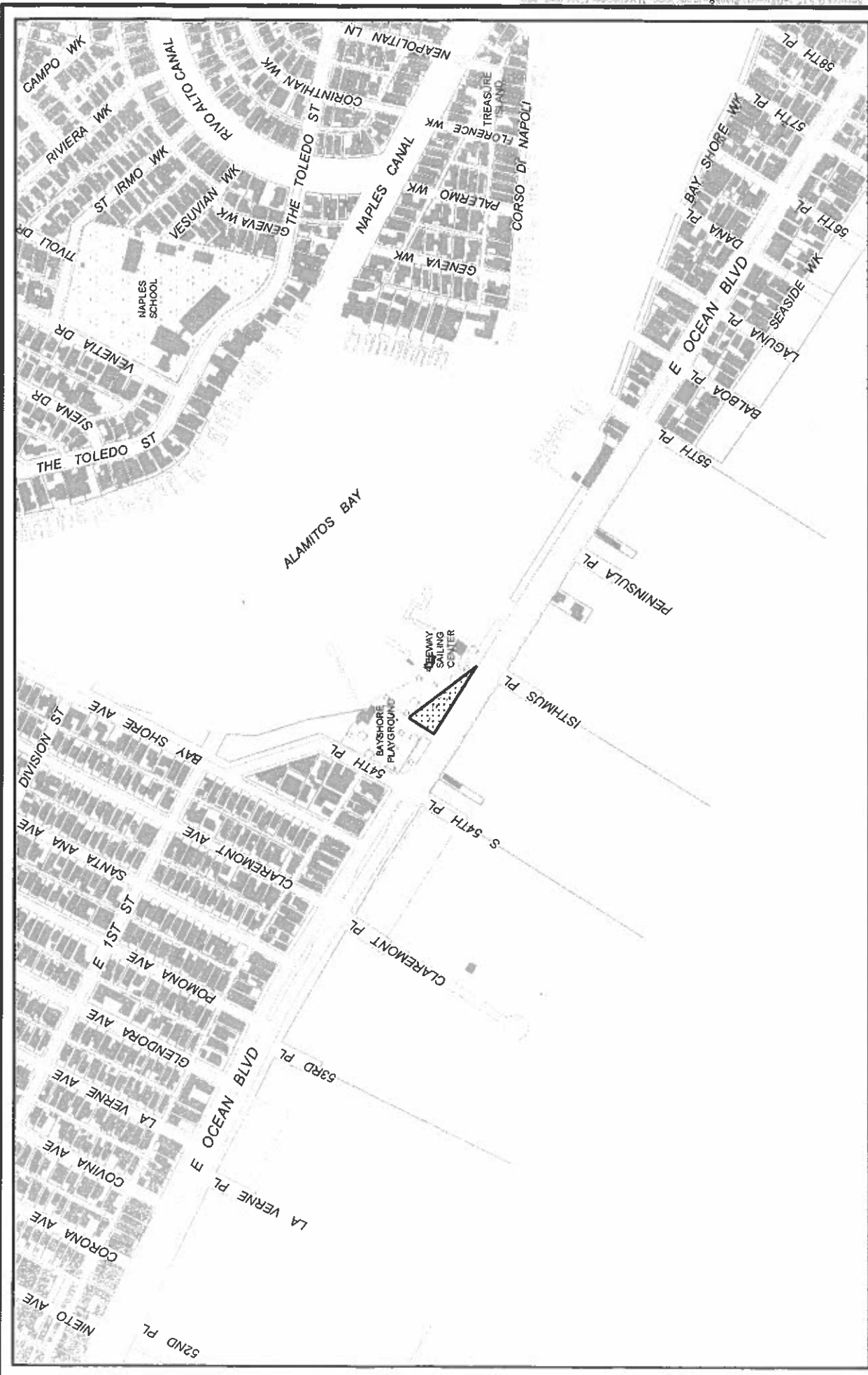


Exhibit A



Subject Property:
 5437 E Ocean Blvd
 Application No. 1111-17
 Council District 3
 Zoning Code : P



Exhibit B

SITE PLAN REVIEW FINDINGS

5437 Ocean Boulevard

App. No. 1111-17

July 18, 2013

Pursuant to Section 21.25.506 of the Zoning Ordinance, the Site Plan Review Committee or the Planning Commission shall not approve a Site Plan Review unless the following findings are made. These findings and staff analysis are presented for consideration, adoption, and incorporation into the record of proceedings.

- A. The design is harmonious, consistent and complete within itself and is compatible in design, character and scale, with neighboring structures and the community in which it is located; and**

The proposed Leeway Sailing Center will be a subtle and unobtrusive addition to the surrounding neighborhood in terms of their character, height and residential like massing. The Center has been designed to lessen the visual impact on the natural surroundings by providing a breezeway through the building and maintaining a low profile that complements the surrounding coastline. The color palette will reflect the greens and blues of the Bay. The development has a "residential" scale with gabled shingle roofs, exposed wood beams/rafters, and shingle siding, very much like the nearby "craftsman/Cape Cod" homes. Large roof plains are broken by peaking clearstories, and expanses of wall plains are broken by glass and occasional pilasters to further bring about a smaller scale.

- B. The design conforms to any applicable special design guidelines or specific plan requirements, PD guidelines or the General Plan;**

The LEED certified building is designed to be aesthetically reminiscent of coastal California architecture and will be a subtle and unobtrusive addition to the surrounding predominately residential neighborhood, and very much in keeping with the architectural style and colors of the existing Leeway Sailing Center. The LEED silver components will include ample natural light to eliminate the need for day-time lighting, abundant natural ventilation so that no heating and cooling system will be required, low-VOC materials, drought tolerant landscaping, and low-flow sinks and toilets. With new accessible parking spaces, ramps and wider walkways, the public would have improved access to the pier, sailing center, gondola rental office, and public restroom facilities.

- C. The design will not remove significant mature trees or street trees, unless no alternative design is possible;**

No mature street trees will be removed in conjunction with the project.

- D. There is an essential nexus between the public improvement requirements established by the Ordinance and the likely impacts of the proposed development; and**

The proposed project is not subject to any off site improvements.

- E. The project conforms to all requirements set forth in Chapter 21.64 (Transportation Demand Management).**

The proposed project is not subject to the requirements of Chapter 21.64.

**SITE PLAN REVIEW
CONDITIONS OF APPROVAL
Case No. 1111-17
Date: July 18, 2013**

STANDARD CONDITIONS

1. This approval is for the construction of a sailing center located at 5437 East Ocean Boulevard with classroom, office, restrooms, enclosed boat storage, outdoor boat storage, and deck.
2. This permit and all development rights hereunder shall **terminate one year** from the effective date of this permit unless construction is commenced or a time extension is granted, based on a written and approved request submitted prior to the expiration of the one year period as provided in Section 21.21.406 of the Long Beach Municipal Code.
3. This permit shall be invalid if the owner(s) and/or applicant(s) have failed to return **written acknowledgment** of their acceptance of the conditions of approval on the *Conditions of Approval Acknowledgment Form* supplied by the Planning Bureau. This acknowledgment must be submitted within 30 days from the effective date of approval (final action date or, if in the appealable area of the Coastal Zone, 21 days after the local final action date). Prior to the issuance of a building permit, the applicant shall submit a revised set of plans reflecting all of the design changes set forth in the conditions of approval to the satisfaction of the Zoning Administrator.
4. If, for any reason, there is a **violation of any of the conditions** of this permit or if the use/operation is found to be detrimental to the surrounding community, including public health, safety or general welfare, environmental quality or quality of life, such shall cause the City to initiate revocation and termination procedures of all rights granted herewith.
4. In the event of **transfer of ownership** of the property involved in this application, the new owner shall be fully informed of the permitted use and development of said property as set forth by this permit together with all conditions that are a part thereof. These specific requirements must be recorded with all title conveyance documents at time of closing escrow.
5. All conditions of approval **must be printed** verbatim on all plans submitted for plan review to the Planning and Building Department. These conditions must be printed on the site plan or a subsequent reference page.
6. The Director of Development Services is authorized to make **minor modifications** to the approved design plans or to any of the conditions of

approval if such modifications shall not significantly change/alter the approved design/project. Any major modifications shall be reviewed by the Site Plan Review Committee or Planning Commission, respectively.

7. All structures shall conform to the Long Beach Building Code requirements. Notwithstanding this subject permit, all other required permits from the Building Bureau must be secured.
8. Demolition, site preparation, and construction activities are limited to the following (except for the pouring of concrete which may occur as needed):
 - Weekdays: 7:00 a.m. to 4:00 p.m.

SPECIAL CONDITIONS

9. Per the City's Green Building Ordinance, the new building shall achieve LEED certified silver accreditation.
10. Off site wayfinding signage should be installed providing direction to visitors.
11. Two parking spaces shall be designated for short term parking or passenger loading and unloading.
12. Install 8 U-shaped bicycle racks. Follow the design guidelines in the Bicycle Master Plan. Specifically, reference Figure 32.



CITY OF LONG BEACH NOTICE OF EXEMPTION

DEPARTMENT OF DEVELOPMENT SERVICES
333 W. OCEAN BLVD., 5TH FLOOR, LONG BEACH, CA 90802
(562) 570-6194 FAX: (562) 570-6068
lbds.longbeach.gov

TO: Office of Planning & Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

FROM: Department of Development Services
333 W. Ocean Blvd, 5th Floor
Long Beach, CA 90802

L.A. County Clerk
Environmental Fillings
12400 E. Imperial Hwy. 2nd Floor, Room 2001
Norwalk, CA 90650

Categorical Exemption CE- 11-084

Project Location/Address: 5437 Ocean Boulevard

Project/Activity Description: _____

Rebuild the Leeway Sailing Center to include approximately 5,300 square feet of office space, restrooms, classroom space and boat storage and 3,200 square feet of deck space.

Public Agency Approving Project: **City of Long Beach, Los Angeles County, California**

Applicant Name: Long Beach Department of Public Works c/o Sarah Price

Mailing Address: 333 West Ocean Boulevard 9th floor Long Beach CA 90802

Phone Number: 562-570-6046

Applicant Signature: _____

BELOW THIS LINE FOR STAFF USE ONLY

Application Number: 1111-17 Planner's Initials: IB

Required Permits: Site Plan Review

THE ABOVE PROJECT HAS BEEN FOUND TO BE EXEMPT FROM CEQA IN ACCORDANCE WITH STATE GUIDELINES SECTION _____

Section 15302 Class 2

Statement of support for this finding: _____

The replacement of existing facility where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity.

Contact Person: Ira Brown

Contact Phone: 562-570-5972

Signature: _____

Date: May 1, 2012