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WINDOW SCHEDULE									
MARK	MAX UNIT WIDTH	SASH HEIGHT	WINDOW STYLE	TYPE	MAT'L	GLAZ'G	FINISH	SCREEN	REMARKS
W1	3'-6" x 4'-4"		F.G. W/ TRANSOM AWNING ABV.	F.G.	VINYL	DUAL	PAINT	Y	
W2	3'-6" x 4'-4"		F.G. W/ TRANSOM AWNING ABV.	F.G.				Y	
W3	5'-6" x 4'-4"		XOX W/ TRANSOM AWNING ABV.	D.H.				Y	
W4	6'-6" x 3'-4"		XOX W/ TRANSOM AWNING ABV.	D.H.				Y	
W5	1'-0" x 1'-5"		FIXED	F.G.				M	
W6	3'-0" x 3'-5"		DUAL HUNG	D.H.				Y	
W7	6'-6" x 3'-4"		XOX	D.H.				Y	
W8	1'-0" x 1'-5"		FIXED	F.G.				M	
W9	3'-0" x 3'-11"		DUAL HUNG	D.H.				Y	
W10	1'-6" x 1'-11"		AWNING	AWN.				Y	
W11	2'-6" x 4'-4"		DUAL HUNG	DH				Y	
W12	3'-0" x 5'-2"		D.H. W/ TRANSOM AWNING ABV.	D.H.	↘			Y	
W13	3'-4" x 5'-2"		D.H. W/ TRANSOM AWNING ABV.	D.H.	WOOD			Y	NEW
W14	2'-8" x 5'-2"		D.H. W/ TRANSOM AWNING ABV.	D.H.				Y	NEW
W15	2'-6" x 1'-11"		AWNING	AWN.				Y	NEW
W16	2'-6" x 1'-11"		AWNING	AWN.				Y	NEW
W17	2'-4" x 1'-11"		AWNING	AWN.				Y	NEW
W18	3'-0" x 5'-2"		D.H. W/ TRANSOM AWNING ABV.	D.H.				Y	NEW
W19	6'-6" x 1'-3"		TRANSOM	AWN.				Y	NEW
W20	3'-0" x 5'-2"		D.H. W/ TRANSOM AWNING ABV.	D.H.				Y	NEW
W21	2'-8" x 4'-4"		DUAL HUNG	D.H.				Y	NEW
W22	2'-8" x 4'-4"		DUAL HUNG	D.H.	↘			Y	NEW
W23	2'-9" x 3'-0"		CASEMENT	CSMT	VINYL			Y	
W24	5'-6" x 4'-4"		XOX W/ TRANSOM AWNING ABV.	D.H.				Y	
W25	2'-6" x 4'-4"		DUAL HUNG	D.H.				Y	
W26	8'-3" x 4'-4"		XOX W/ TRANSOM AWNING ABV.	D.H.				Y	
W27	2'-6" x 4'-4"		DUAL HUNG	D.H.				Y	
W28	8'-3" x 4'-4"		XOX W/ TRANSOM AWNING ABV.	D.H.	↘	↘	↘	Y	

**NOTE:**  
1) Windows in bold type are new  
2) Fenestration must have temporary and permanent labels for verification of building inspector

WINDOW SCHEDULE	8	DOOR SCHEDULE	17
DETAIL TITLE	20	DETAIL TITLE	23
			24

date: 8/25/16 11/11

plot date:

job no.

scale:

sheet no.

**GN-3**

General Notes & Schedule

[illegible]

**mg** rise architect  
5618 East Conant Street  
Long Beach, Ca 90808  
(562) 420-1035

Engel-Evans Residence  
3029 E Vista Ave.  
Long Beach, CA 90803

General Notes &amp; Schedules

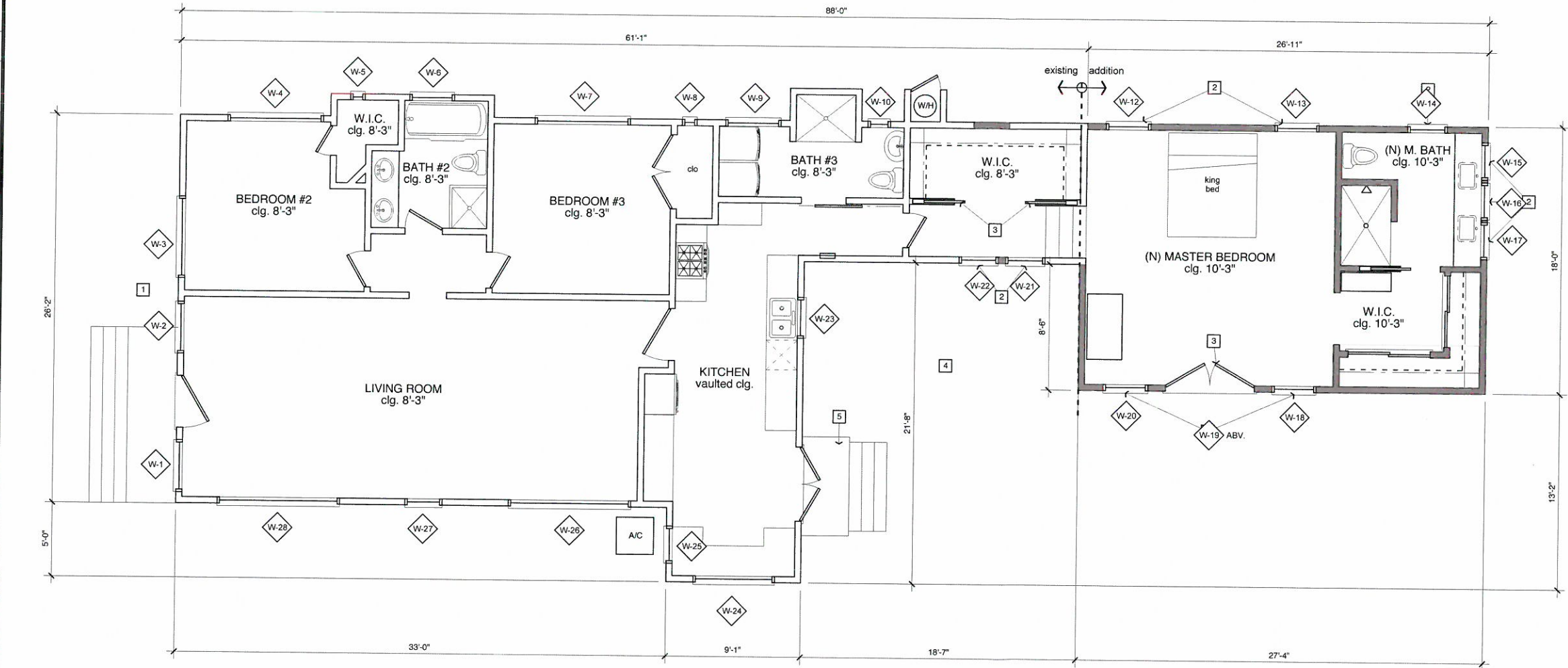
date:	9/25/95 141
plot date:	
job no.	
scale:	

sheet no.  
**GN-3**  
of sheets



text  
dimension  
wall  
door  
millwork  
hatch/fill  
border  
detail  
pump

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north

10

FLOOR PLAN NOTE

W10

WINDOW CALL-OUT

GYP. BD. OVER WOOD STUD WALLS - 2X4 INTERIOR  
2X6 EXTERIOR - @ 16" O.C. U.N.O.  
(REFER TO STRUCTURAL PLANS) ALL EXTERIOR  
STUD WALLS INSULATED WITH R-13 MIN. INSULATION.

EXISTING WALL TO REMAIN

D10

DOOR CALL-OUT

EXISTING AREA: 1,339 sf  
NEW AREA: 499 sf

DIMENSION SHOWN ARE TO  
FACE OF STUDS TYP. U.N.O.

SEE SHEET GN-1 FOR NOTES SCHEDULES  
AND INFORMATION NOT SHOWN HERE

#### FLOOR PLAN NOTES

1. ALL EXTERIOR WALLS, DOORS, WINDOWS, PATIOS AND STAIRS ARE EXISTING U.N.O.
2. NEW WINDOW
3. NEW DOOR
4. NEW PATIO
5. NEW LANDING & STAIRS

#### FLOOR PLAN NOTES

6

##### GENERAL NOTES:

1. The governing codes are the 2010 CBC, 2010 CMC, 2010 CPC, 2010 CEC and the Los Alamitos Municipal Code & City amendments.
2. Bathroom and service room windows shall provide 1.2 square feet minimum operable area or be provided with mechanical ventilation capable of providing five air changes per hour.
3. Provide interconnected smoke detectors in each hallway leading to bedrooms and in each bedroom of new and existing construction and on top of stairway. In new construction, detectors to be wired, with battery back up. (Detectors are not to be located in kitchen, garage, or within 3 feet from door to kitchen or bathroom or supply air registers.)
4. All gypsum wall board shall be 5/8" thick minimum, 5/8" Type X where indicated on plans. All work shall conform to UBC 2511. Inspection of nailing required for all gypsum wall board. Corner beads are to be nailed. Joint spacing 3/8" maximum.
5. All glass panels over 9 square feet within 18" of floor and glass within 24" of door edges shall be fully tempered. All glazing in tub and shower enclosures shall be laminated, fully tempered, or wire glass. All safety glazing shall be etch marked per UBC 2405.2.
6. New water closets shall be 1.6 gallons per flush maximum. Showerheads shall have a flow rate of 2.5 gallons per minute. Laundry and sink faucets shall have a flow rate of 2.2 gallons per minute. Control valves for shower and tub-shower shall be of the pressure balance or thermostatic mixing valve type Sec 410.7 UPC.
7. All hose bibbs shall be protected by an anti-siphon device.
8. Pools, spas, walls, fences, patio covers and other freestanding structures require separate reviews and permits.
9. All plumbing material used in the water supply system, except valves and similar devices, shall be of like materials.
10. Title 24 Energy Conservation.  
Insulation:  
R-30 at roof  
R-19 at walls and floors  
Glazing:  
Refer to window / door schedule
11. Provide shatter resistant material for shower enclosure and 70" high non-absorbent wall adjacent to shower. Water resistant gypsum wall board is not permitted for tile backing at shower.
12. Edison Company approval is required for meter location prior to installation.
13. Electrical service shall be upgraded as required.
14. Existing sewer lateral to be changed and a clean-out installed at the property line to comply with city standard if any of the following conditions occur:  
a. Alteration to the building sewer is done  
b. Additional plumbing fixtures require increase in size of building line  
c. When 6 or more fixture units are added to an existing undersized plumbing system  
d. When it is found that the building sewer is installed in an illegal or unsanitary manner.  
If the Building Inspector determines that any of these conditions occur, sewer lateral shall be changed and new clean out installed to comply with City standards.
15. New gas FAU's shall have 78% AFUE, minimum.
16. Provide street address on building per City requirement.
17. Provide fire blocking per UBC 706.
18. Provide water heater combustion air, venting, drain pan and line per UPC Chapter 5. Water heaters shall be strapped at top and bottom with 1 1/2" x 16 gauge strap with 3/8" x 3" lag screws each end to studs. Vent to outside air. Pressure relief valve to terminate outside of garage.
19. Field inspectors shall review and approve underground service requirements prior to concrete placement.
20. A licensed surveyor must complete FEMA elevation certificate and submit to Building Department inspector after the first floor is poured.
21. All mechanical and electrical equipment including ducts to be above elevation 6.27 msl.
22. Stucco lath and drywall shall be nailed to all studs and top-bottom plates.
23. Use 2-15# felt backing when stucco is applied over plywood, UBC Sec. 2506.4
24. Insulation installer shall post in a conspicuous location in building a certificate signed by the installer and the builder stating the installation conforms with the requirements of Title 24, part 6 and that the materials installed conform with the requirements of Title 20, Chapter 2, Subchapter 4, Article 3. The builder shall provide the original occupant a list of the heating, cooling, water heating and lighting systems and conservation or solar devices installed in the building and instructions on how to use them efficiently.

FLOOR PLAN

Scale: 1/4" = 1'-0"

23

GENERAL NOTES

24

REVISION



**Mark Gratale**  
architect  
5618 East Conant Street  
Long Beach, CA 90808  
(562) 420-1035

**Engel-Evans Residence**  
3029 E Vista Ave.  
Long Beach, CA 90803

Floor Plan

date:  
11/12/15  
plot date:  
  
job no.  
  
scale:

sheet no.

**A-1**

of sheets



text  
dimension  
wall  
doors  
millwork  
hatchfill  
border  
detail  
paper  
scratch

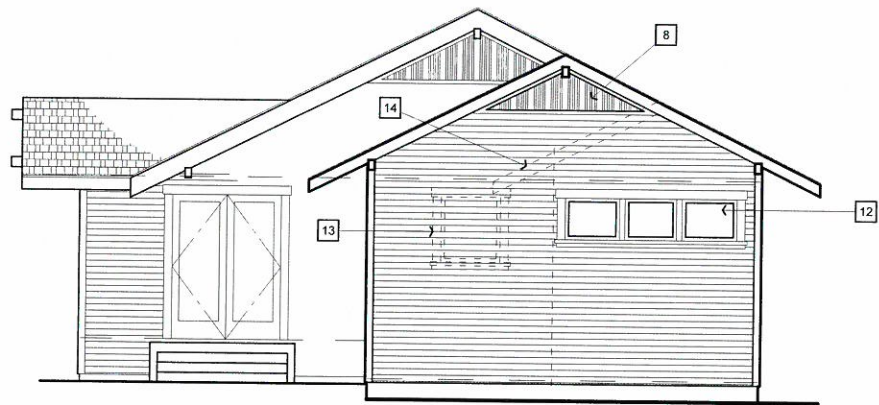


SOUTH ELEVATION

Scale: 1/2" = 1'-0"

5 ELEVATION NOTES

6



NORTH ELEVATION

Scale: 1/4" = 1'-0"

14 SOUTH ELEVATION



Scale: 1/4" = 1'-0"

18



new existing  
← ⊕ →

REVISION



**markgrisellearchitect**  
5616 East Conant Street  
Long Beach, Ca 90808  
(562) 420-1035

Engel-Evans Residence  
3029 E Vista Ave.  
Long Beach, CA 90803

Exterior Elevations

date: 11/12/15  
plot date:  
job no:  
scale:

sheet no.

A-5

of sheets

24

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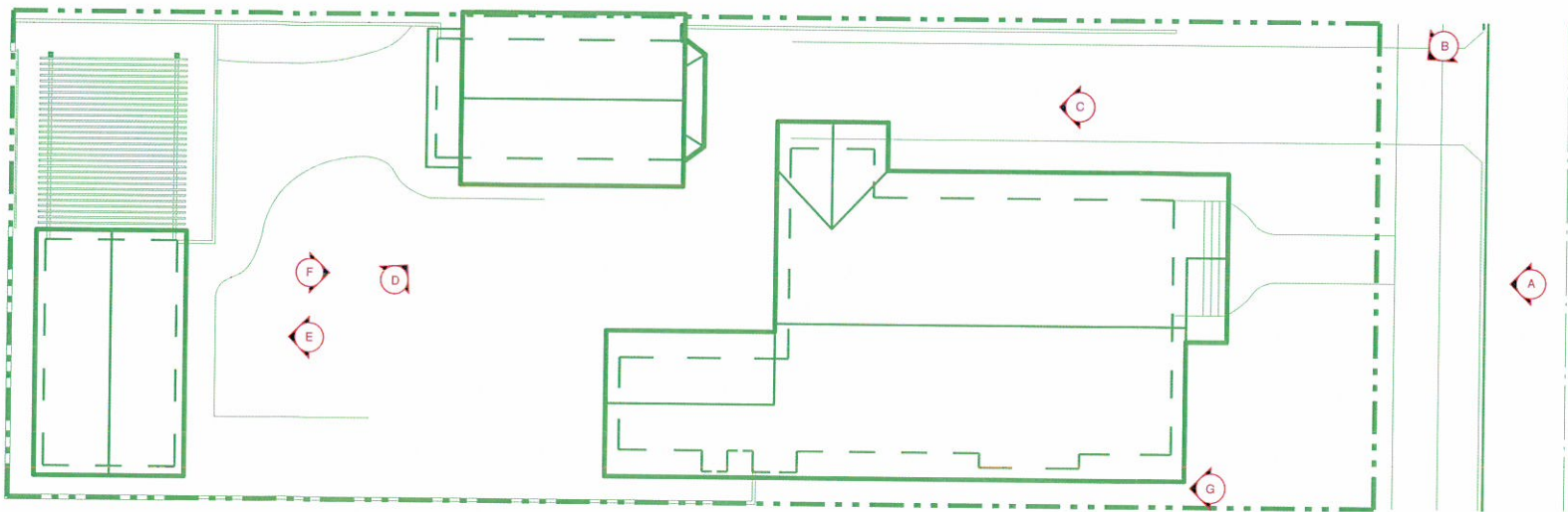
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(A) STREET VIEW



NORTH



(B) FRONT VIEW



(C) EAST SIDE VIEW



(D) GARAGE 1 VIEW



(E) GARAGE 2 VIEW



(F) REAR VIEW



(G) WEST SIDE VIEW

REVISION



**mgrisdalearchitect**  
5616 East Conant Street  
Long Beach, Ca 90808  
(562) 420-1035

Engel-Evans Residence  
3029 E Vista Ave.  
Long Beach, CA 90803

Existing House Photos

date
6/23/15
plot date
job no.
scale

sheet no.  
**P-1**  
of sheets

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