



Certificate of Appropriateness **2711 East 1st Street**

Cultural Heritage Commission
October 26, 2021

VICINITY MAP



BACKGROUND

- Lot Size: 8,250 square feet (55-feet [width] by 150-feet [depth])
- Zone: R-2-L (Two-Family Residential District with Large Lots)
- Primary Structure constructed in 1909
- Detached garage constructed in 1925
- Bluff Park Historic District

EXISTING CONDITIONS

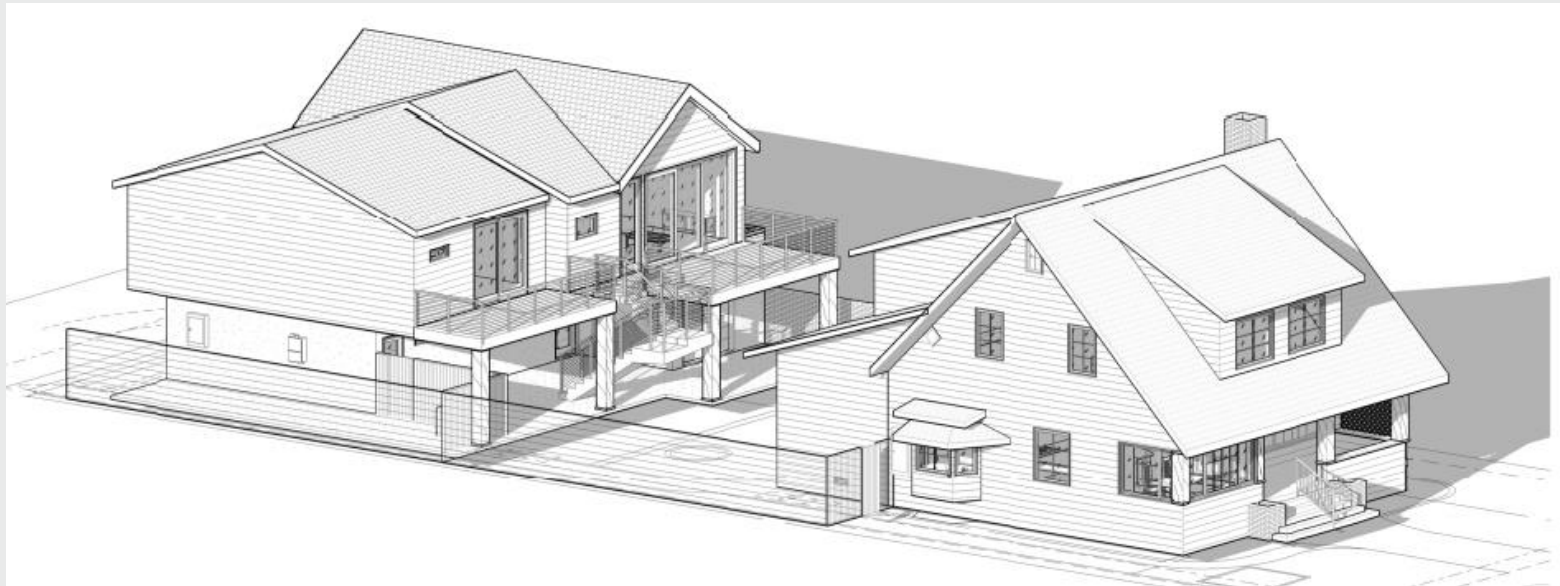


VIEW FROM 1st STREET

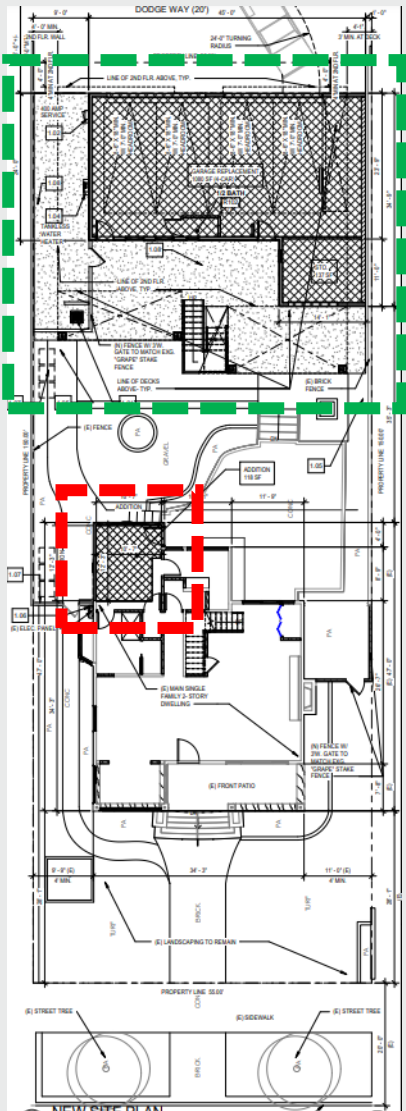


PROJECT SCOPE

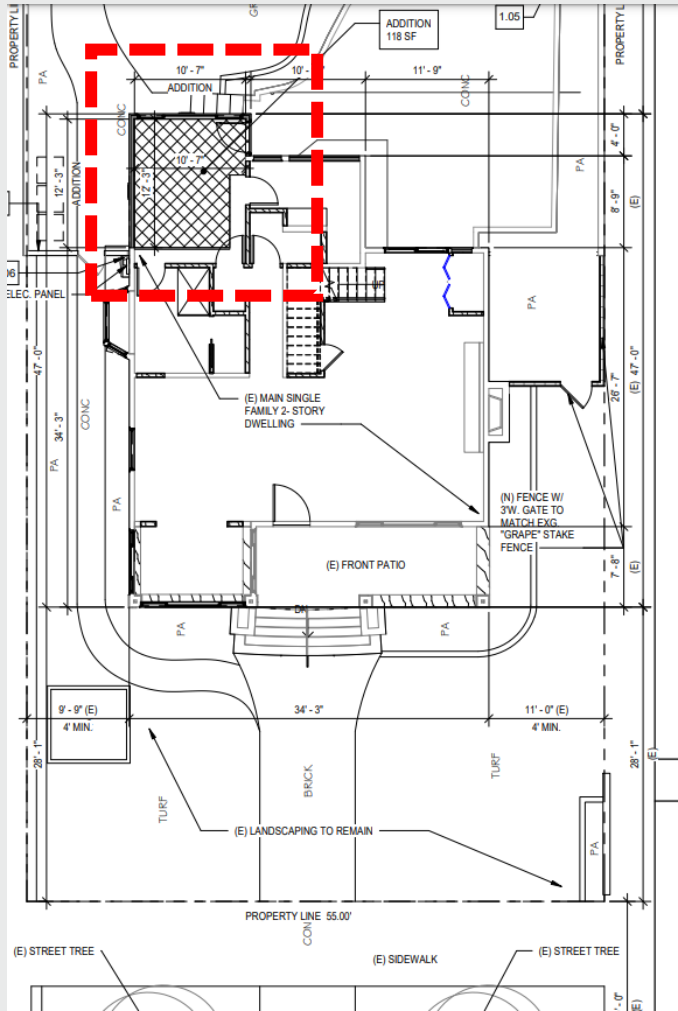
- Demolish an existing rear, detached, three-car garage;
- Construct a one-story addition to a single-family residence; and
- Construct a new two-story rear structure, consisting of a four-car garage (1,080 square feet), accessory storage area (138 square feet), and a 1,439-square-foot dwelling unit with 454-square-feet of deck areas located on the second floor.



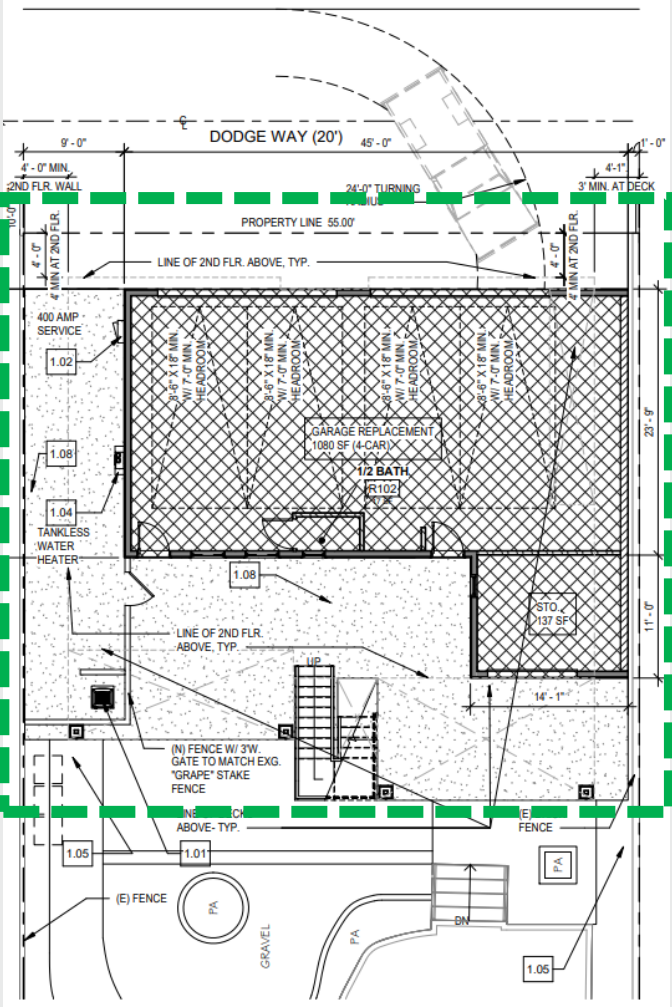
SITE PLAN



Primary Structure

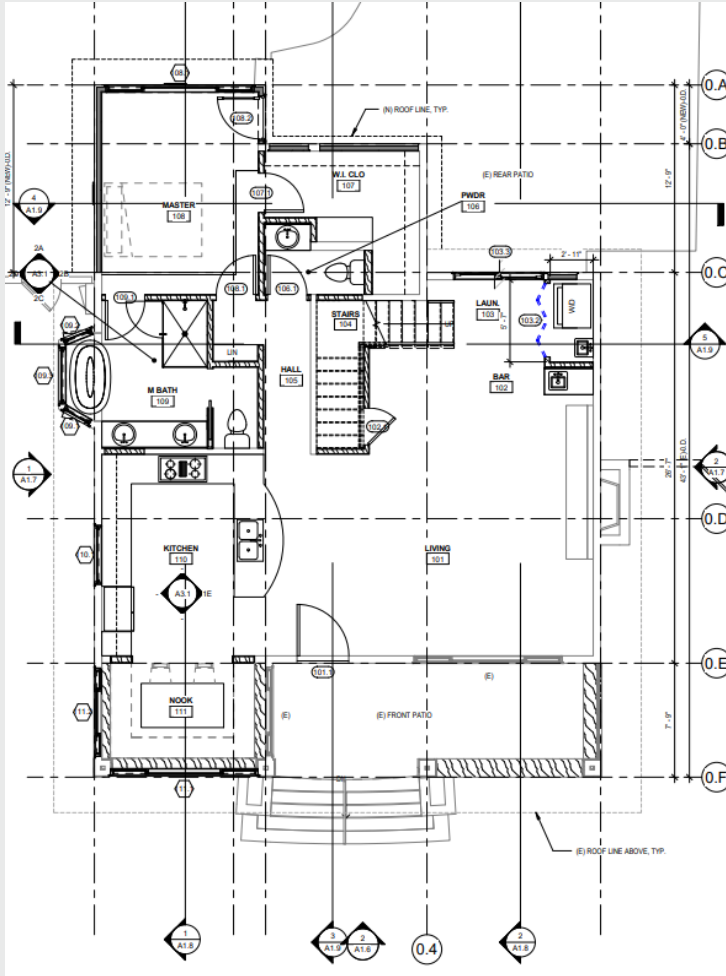


Rear Structure

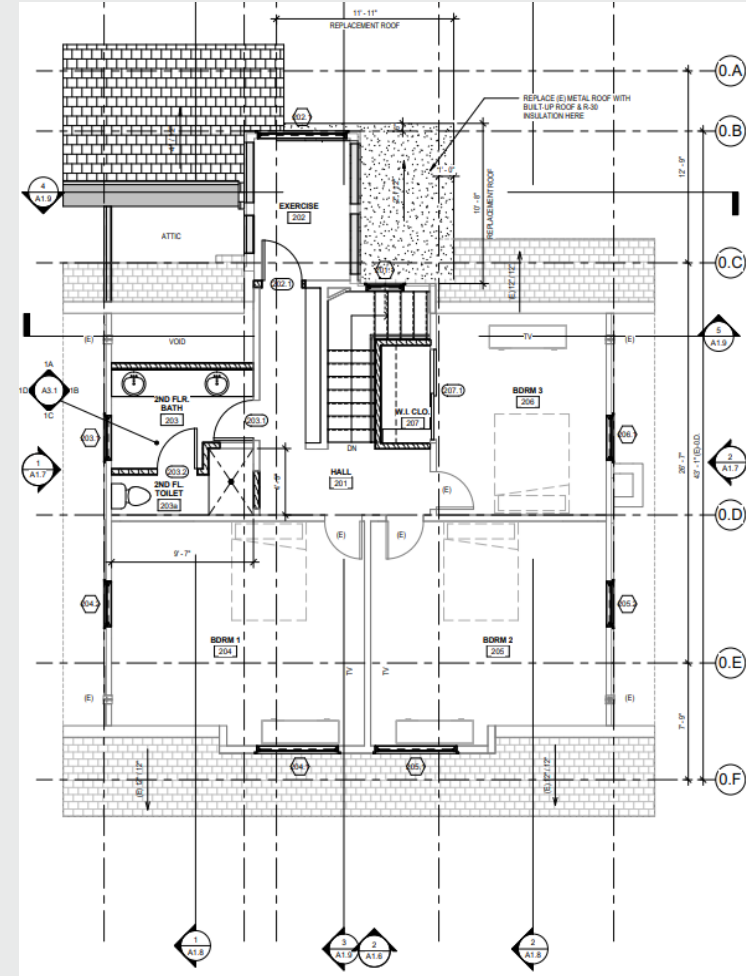


PRIMARY STRUCTURE - FLOOR PLAN

First Floor

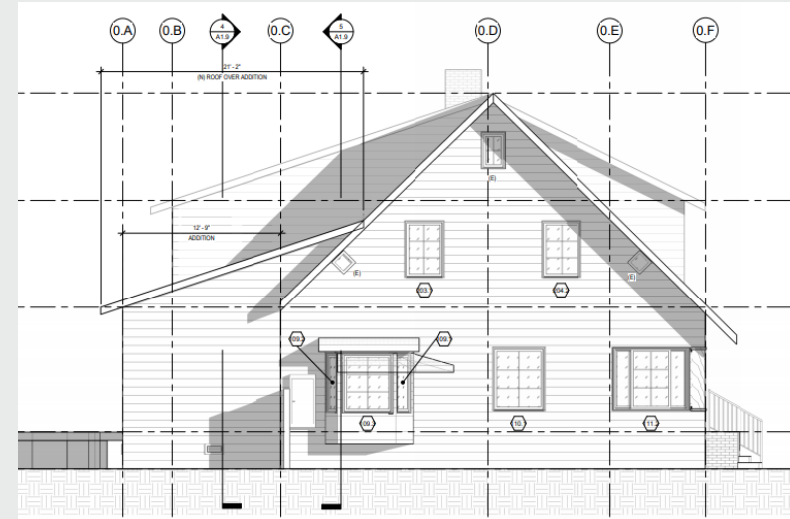
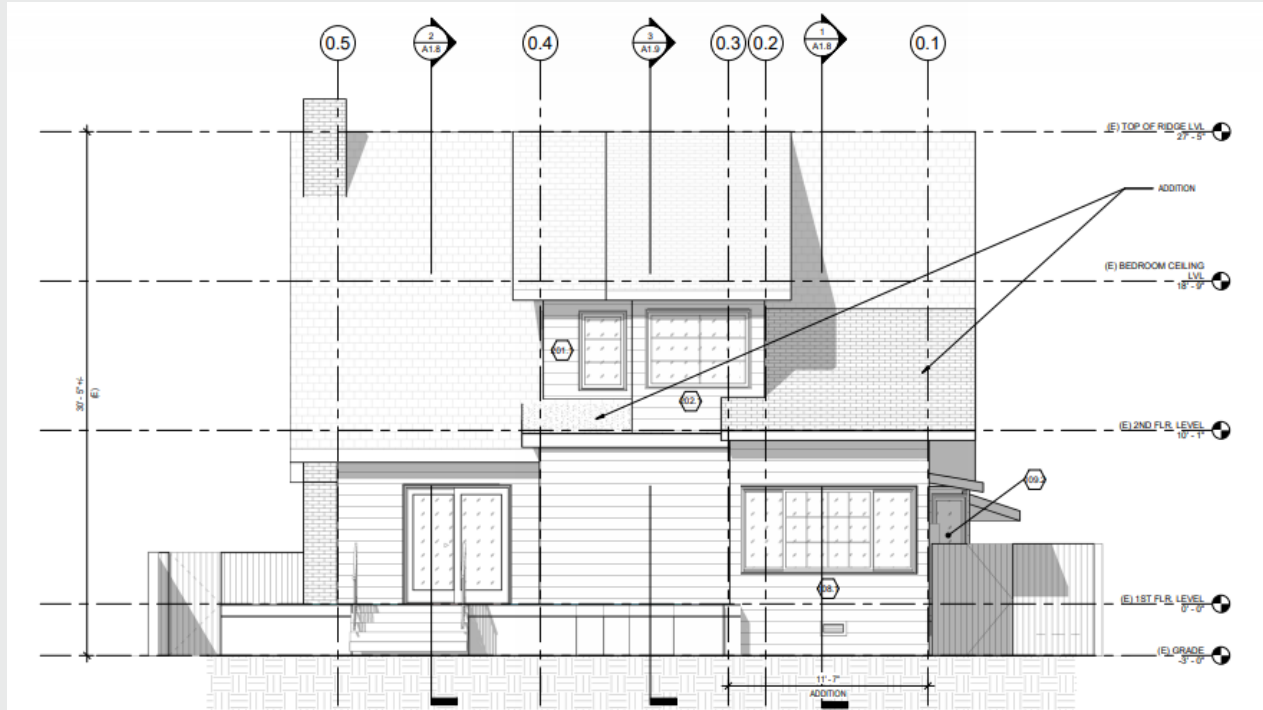


Second Floor

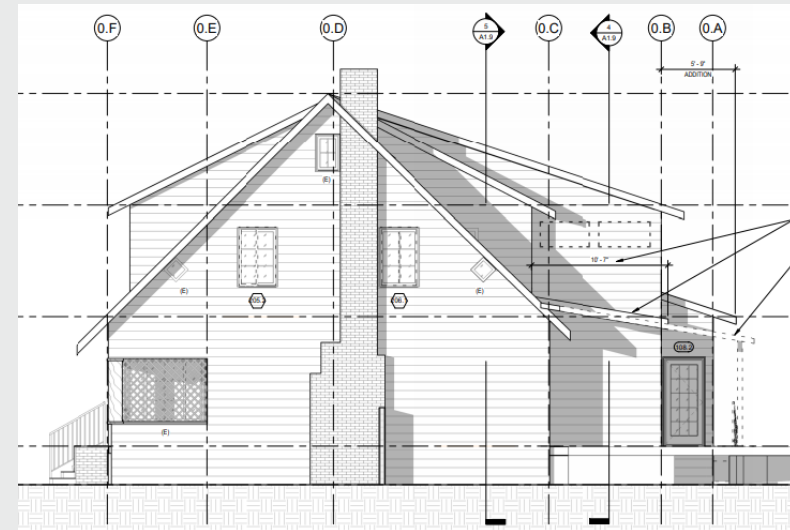


PRIMARY STRUCTURE - ELEVATIONS

North Elevation



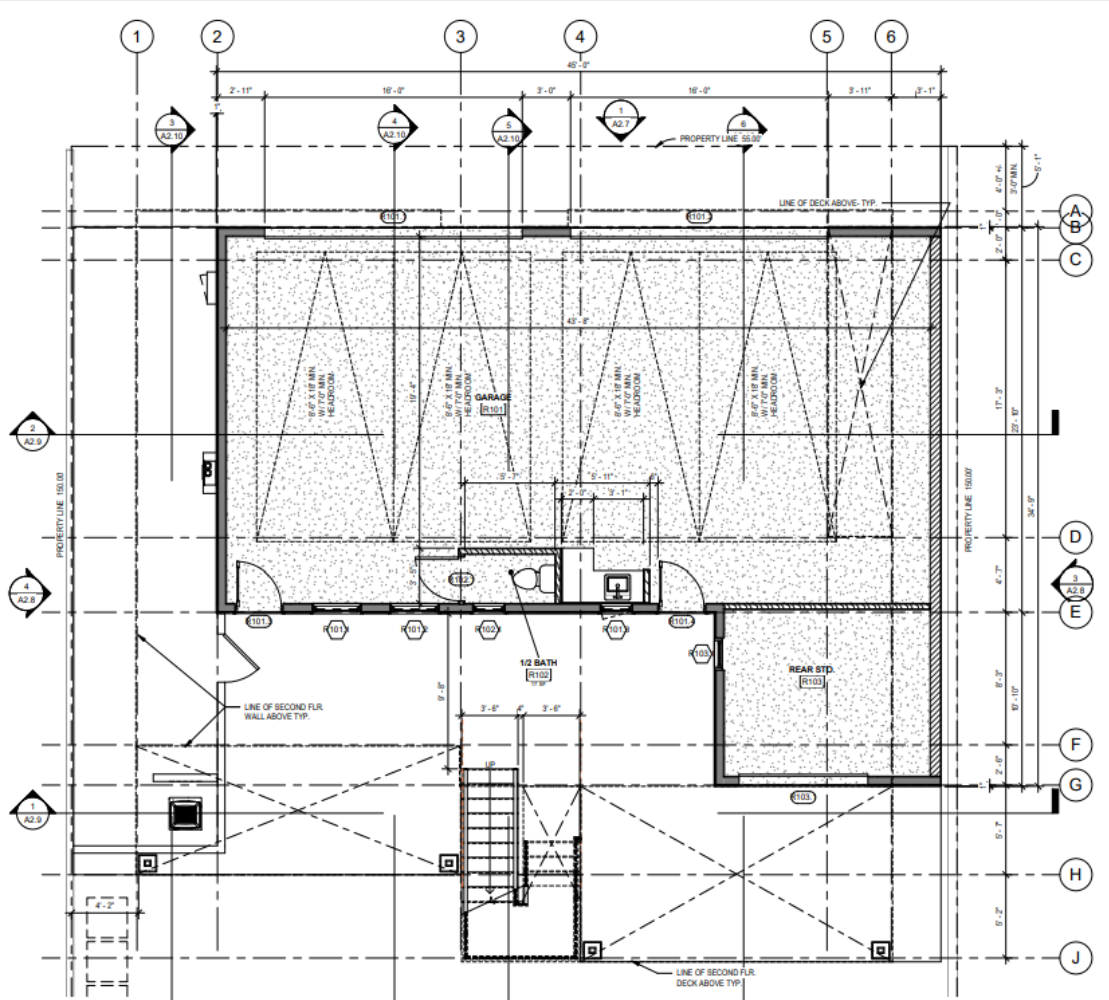
West Elevation



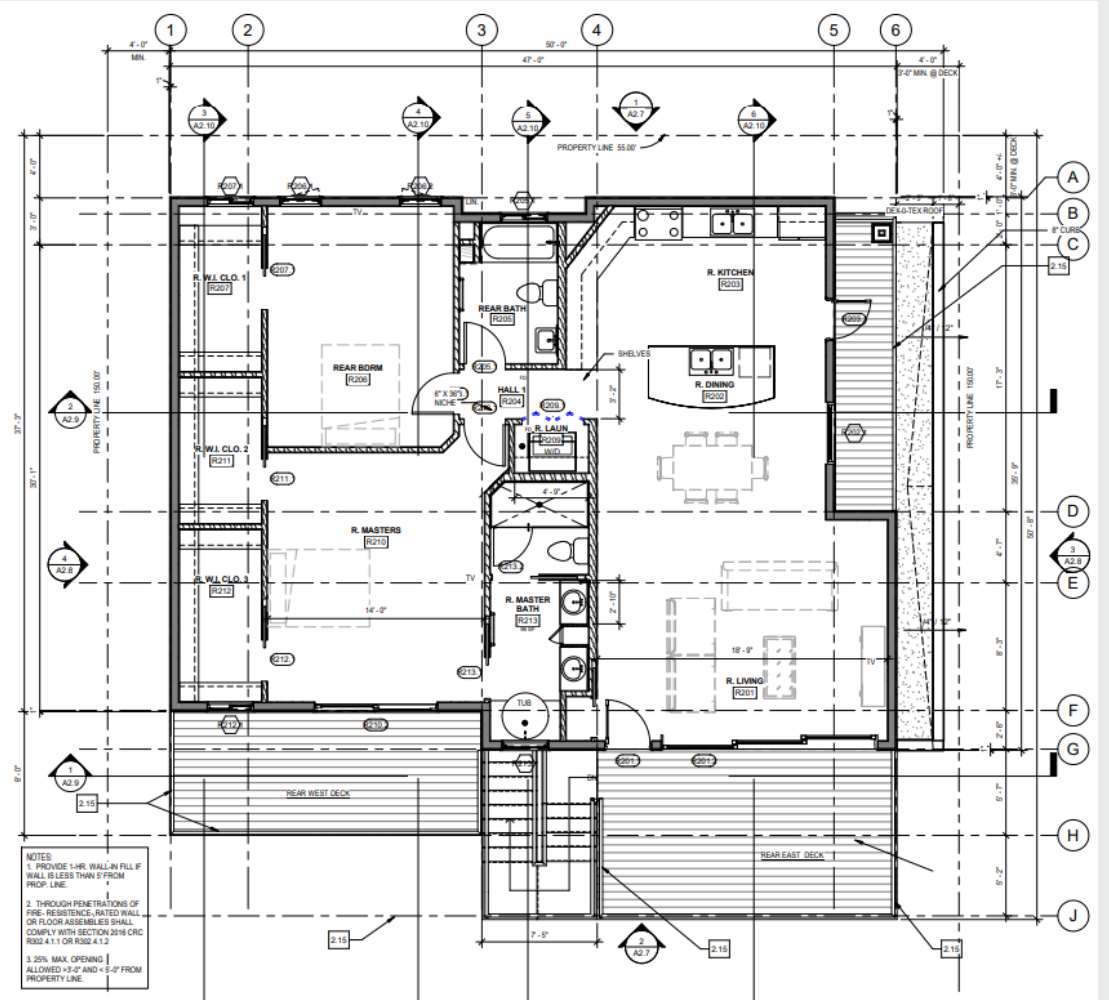
East Elevation

REAR STRUCTURE – FLOOR PLAN

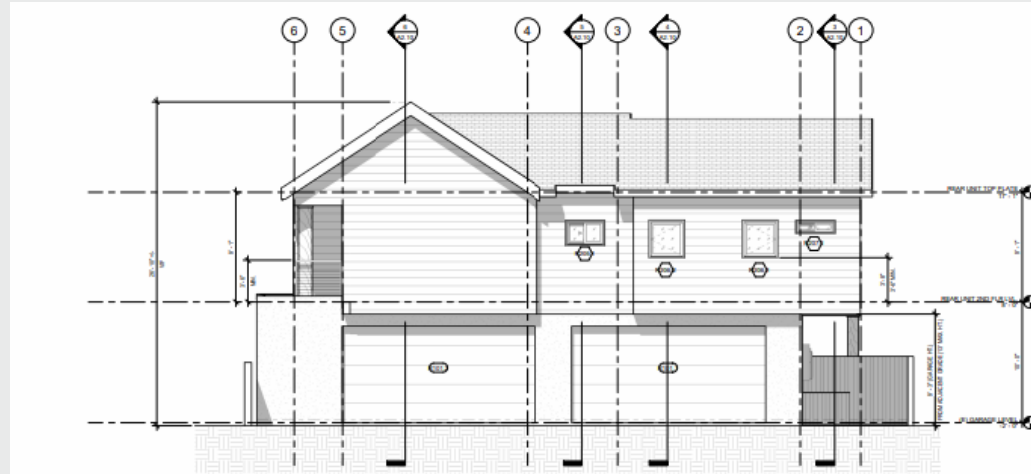
First Floor



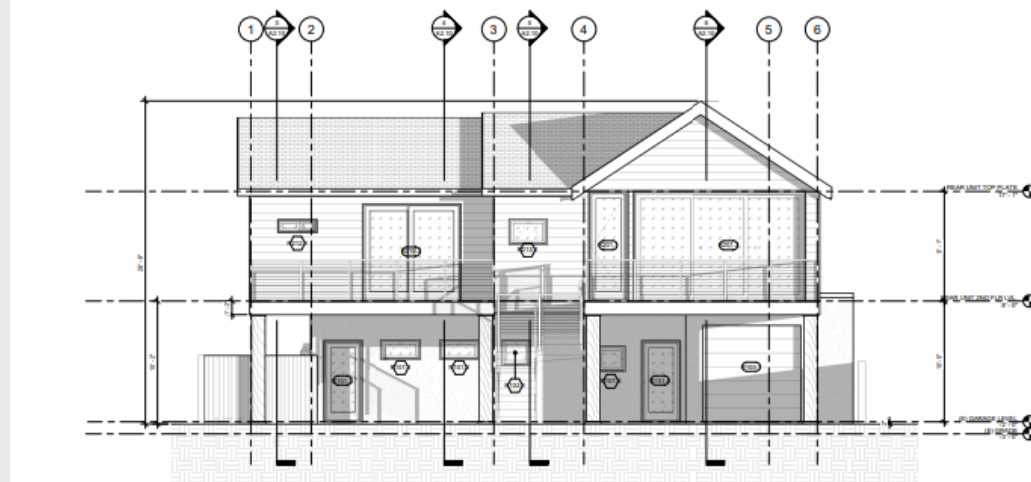
Second Floor



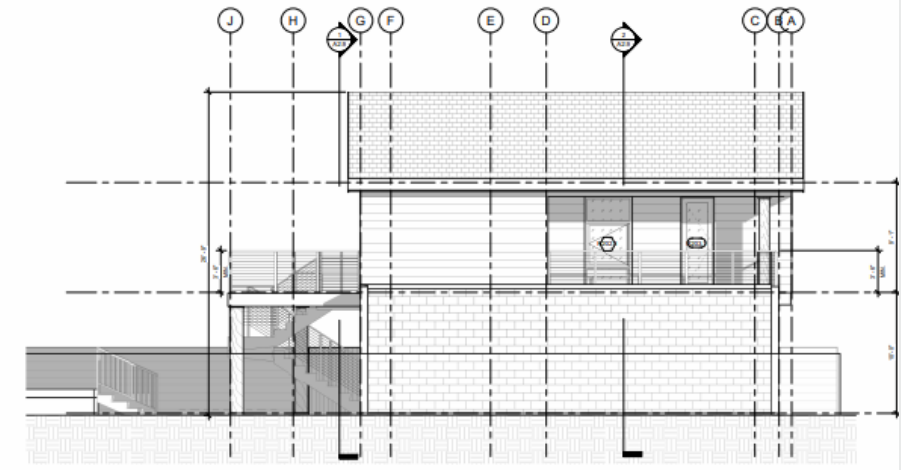
REAR STRUCTURE - ELEVATIONS



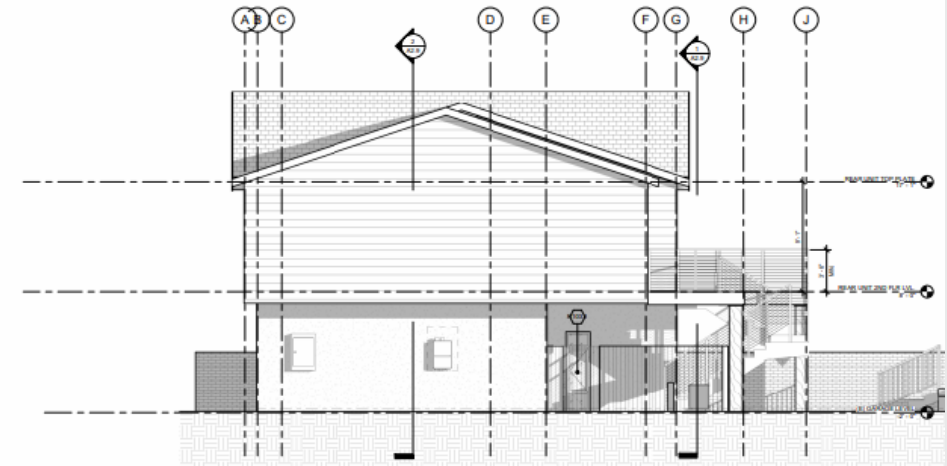
NORTH ELEVATION -REAR UNIT
1/8" = 1'-0"



SOUTH ELEVATION -REAR UNIT
1/8" = 1'-0"



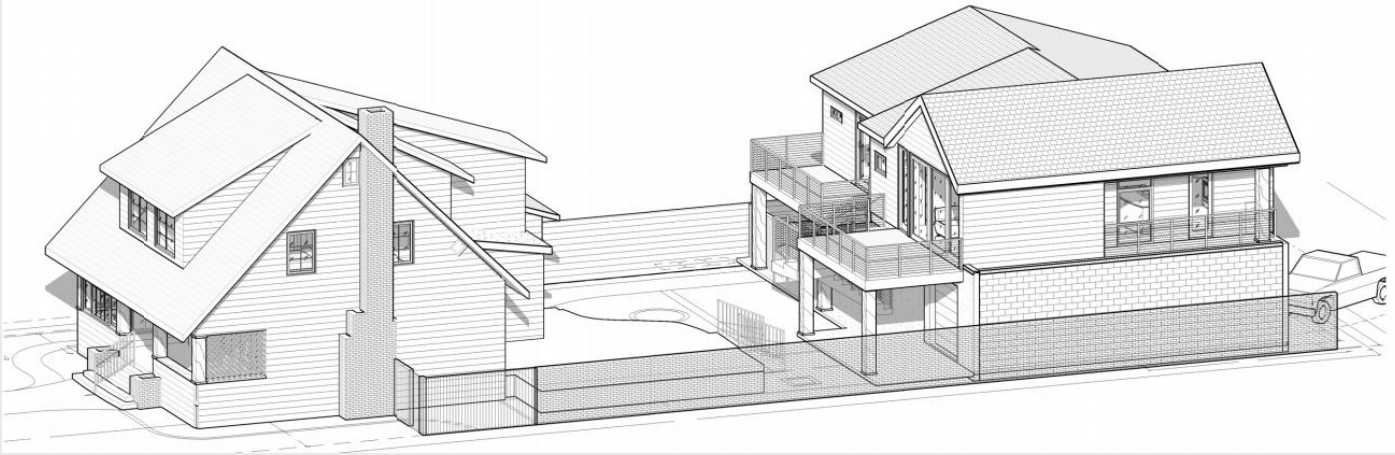
EAST ELEVATION -REAR UNIT
1/8" = 1'-0"



WEST ELEVATION -REAR UNIT
1/8" = 1'-0"

3D Views

View Looking West



View Looking Southeast



ADDED CONDITIONS

1. Window Material
2. Driveway Paving
3. Final Material Selection

SECRETARY OF INTERIOR'S STANDARDS

In compliance with:

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics...**
2. ...The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. **...Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced...
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used...
8. Significant archeological resources affected by a project shall be protected and preserved...
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property...**
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

As conditioned, the addition to primary structure and the construction of the new detached two-story structure is:

In compliance with:

1. Secretary of Interior's Standards;
2. Ordinance C-6835 – Bluff Park Historic District;
3. Bluff Park Historic District Design Guidelines
4. Certificate of Appropriateness Findings

One letter from the Bluff Park Neighborhood Association (BPNA) was received on the project in response to the required noticing. The cited concerns include, but are not limited to:

- Size, height, mass, and scale of the new rear structure
- Inclusion of decks at rear unit
- Railing design
- Window selection

RECOMMENDATION

Staff recommends approval, with conditions, of the Certificate of Appropriateness request to Approve a Certificate of Appropriateness to demolish an existing rear, detached, three-car garage and to construct a one-story addition to a single-family residence and a new two-story rear structure, consisting of a four-car garage (1,080 square feet), accessory storage area (138 square feet), and a 1,439-square-foot dwelling unit with 454-square-feet of deck areas located on the second floor, on the property located at 2711 East 1st Street in the R-2-L Zoning District within the Bluff Park Historic District. The existing residential structure situated in the front half of the lot is a contributing structure to the Bluff Park Historic District. (District 3)



Thank you

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