

CARROLL RESIDENCE

NEW OFFICE AND NEW ADU

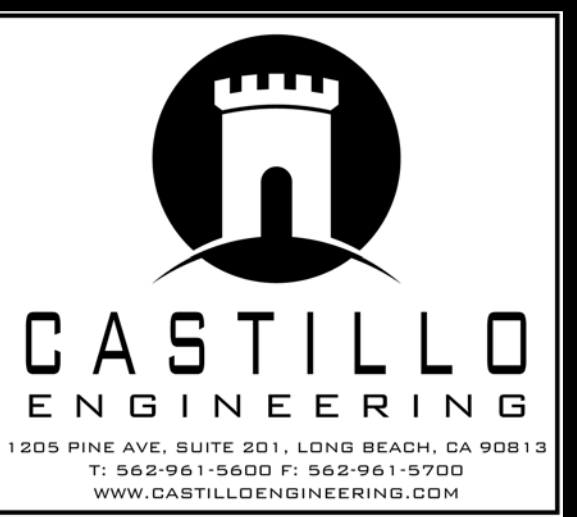
352 CARROLL PARK W.
LONG BEACH, CA 90814

SHEET INDEX				GENERAL NOTES			
SHEET NO.		SHEET DESCRIPTION					
ARCHITECTURAL DRAWINGS				<div>1. THESE DRAWINGS ARE INTENDED TO CONVEY AN OVERALL DESCRIPTION OF PROJECT IN SUFFICIENT DETAIL FOR ITS COMPLETE CONSTRUCTION. IN SOME CONDITIONS, WHICH ARE COMMONLY ENCOUNTERED IN CONSTRUCTION OF THIS TYPE MAY NOT BE SPECIFICALLY DETAILED IN THESE PLANS. ALL CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED PER THE CURRENT STANDARDS OF APPROPRIATE INDUSTRY AND IN COMPLIANCE WITH THE CURRENTLY ADOPTED CODES, ORDINANCES, REGULATIONS, ETC.</div> <div>2. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION, OR RECONSTRUCTION BE IN ACCORDANCE WITH THE CURRENTLY ADOPTED CODES, ORDINANCES, REGULATIONS, ETC. SHOULD ANY EXISTING CONDITION SUCH AS DETERIORATION OR NONCOMPLIANT CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED AND A CHANGE ORDER, OR SEPARATE SET OF PLANS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.</div> <div>3. NOTHING IN THE DRAWINGS AND/OR SPECIFICATIONS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION THAT COULD BE IN VIOLATION OF THE CURRENTLY ADOPTED CODES. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE APPLICABLE ADOPTED CODES, ORDINANCES, REGULATIONS, ETC.</div> <div>4. MISPLACEMENT, ADDITION, OR OMISSION OF ANY WORD, LETTER, FIGURE, OR PUNCTUATION MARK, ETC. SHALL IN NO WAY CHANGE OR ALTER THE INTENT, SPIRIT, OR MEANING OF THE DRAWINGS.</div> <div>5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO ORDERING, FABRICATING, OR INSTALLING ANY ASSOCIATED WORK. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL REQUEST IN WRITING A CLARIFICATION FROM THE ARCHITECT/ ENGINEER PRIOR TO COMMENCEMENT OF ANY ASSOCIATED WORK.</div> <div>6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO ORDERING, FABRICATING, OR INSTALLING ANY ASSOCIATED WORK. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL REQUEST IN WRITING A CLARIFICATION FROM THE ARCHITECT/ ENGINEER PRIOR TO COMMENCEMENT OF ANY ASSOCIATED WORK.</div> <div>7. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT/ENGINEER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.</div> <div>8. CUTTING, NOTCHING, OR BORING THROUGH NEW OR EXISTING STRUCTURAL ELEMENTS TO BE DONE ONLY WHEN SO DETAILED IN THE DRAWINGS.</div> <div>9. THE CONTRACTOR SHALL VERIFY, AT THE SITE, ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BIDS.</div> <div>10. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR THEIR OWN CLEANUP AS WORK PROGRESSES.</div> <div>11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK PROVIDED BY OTHERS UNDER SEPARATE CONTRACT.</div> <div>12. THE CONTRACTOR SHALL INSTALL WALL BACKINGS, BLOCKING, OR MISCELLANEOUS STEEL AS REQUIRED FOR ALL PARTITIONS, LIGHT FIXTURES, FIXED SHELVES, AND ACCESSORIES.</div> <div>13. THE CONTRACTOR SHALL INSTALL BRACING AND TEMPORARY SUPPORTS AS REQUIRED TO HOLD THE WORK SECURELY IN PLACE AND SUSTAIN ALL LOADS THAT MAY OCCUR DURING ERECTION.</div> <div>14. DETAILS OR SECTIONS NOTED AS *TYP* (TYPICAL) OR *SIM* (SIMILAR) SHALL APPLY IN ALL CASES WHETHER OR NOT SPECIFICALLY REFERENCED.</div> <div>15. WHERE INSTALLATIONS INCLUDE MANUFACTURED PRODUCTS, COMPLY WITH MANUFACTURER'S APPLICABLE INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION.</div> <div>16. ALL ELECTRICAL AND PLUMBING SHALL CONFORM WITH THE LATEST ADOPTED CODE AND ALL OTHER APPLICABLE CODE REGULATIONS AS REQUIRED BY THE CITY OR COUNTY.</div> <div>17. ANY REQUIRED INTERRUPTION OF OR REMOVAL OF ANY UTILITY SERVICE SERVING THE EXISTING DWELLING SHALL NOT BE PERFORMED UNTIL A MINIMUM OF A 24-HOUR PRIOR NOTICE IS GIVEN TO THE OWNER BY THE CONTRACTOR. SUCH WORK SHALL BE COORDINATED WITH THE OWNER AND THE APPLICABLE UTILITY COMPANY. AS MAY BE NECESSARY, THE REMOVAL OR RELOCATING OF ANY EXISTING OR NEW UTILITIES(S) (SEWER, PLUMBING, PHONE LINES, GAS LINE, ETC.) SHALL BE DONE BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.</div> <div>18. ALL WORK SHALL BE PERFORMED IN A WORK MAN LIKE MANNER, USING ACCEPTED TRADE PRACTICES AND NEW MATERIALS FREE FROM ALL DEFECTS.</div> <div>19. CONTRACTOR SHALL PROTECT ALL EXISTING WORK. ANY DAMAGED WORK SHALL BE REPLACED WITH THE SAME MATERIALS, INCLUDING MATCHING THE EXISTING COLORS & TEXTURES.</div> <div>20. EXISTING WORK IS SHOWN FOR REFERENCE ONLY. THE OWNER & ARCHITECT/ENGINEER DO NOT GUARANTEE EXISTING CONDITIONS AS SHOWN ON THESE DOCUMENTS.</div> <div>21. FOR WATER DRAINAGE AND RETENTION, THE PROJECT WHICH DISTURBS LESS THAN ONE ACRE OF SOIL AND NOT PART OF LARGER PLAN OF DEVELOPMENT SHALL MANAGE STORM WATER DURING CONSTRUCTION IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.1. (R300.1)</div>			
STRUCTURAL DRAWINGS							
ABBREVIATIONS							
ABBREVIATION	WORD	ABBREVIATION	WORD				
SQ.	SQUARE	TYP.	TYPICAL				
FT.	FEET	ARCH.	ARCHITECT (TURAL)				
ELEV.	ELEVATIONS	C.M.U.	CONCRETE MASONRY UNIT				
F.G.L.	FLOOR GROUND LEVEL	(E)	EXISTING				
E.M.	ELECTRIC METER	(N)	NEW				
G.M.	GAS METER	FIN.	FINISH (ED)				
W.H.	WATER HEATER	FLR.	FLOOR				
* AS THE ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPS TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPS MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPS NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES*							
MARGARITO CASTILLO		ENGINEER	04/01/21				
NAME		POSITION	DATE				
* I CERTIFY THAT THE PROPOSED WORK WILL NOT DESTROY OR UNREASONABLY INTERFERE WITH ANY ACCESS OR UTILITY EASEMENT BELONGING TO OTHERS AND LOCATED ON MY PROPERTY, BUT IN THE EVENT SUCH WORK DOES DESTROY OR UNREASONABLY INTERFERE WITH SUCH EASEMENT, A SUBSTITUTE EASEMENT(S) SATISFACTORY TO THE HOLDER(S) OF THE EASEMENT WILL BE PROVIDED.*							
MARGARITO CASTILLO		ENGINEER	04/01/21				
PRINT NAME		DATE					

PROPERTY /OWNER INFO			
ASSESSOR ID:	7263-011-007		
PROPERTY TYPE:	SINGLE FAMILY-RESIDENTIAL		
REGION / CLUSTER:	10 / 10166		
TRACT #:	CARROLL PARK TRACT S 40 FT MEASURED ON E LINE OF LOT 22		
BEDROOMS / BATHROOMS:	2 / 2		
UNITS:	1		
ZONING:	R-1-N		
OCCUPANCYGROUP:	R3/U		
USE:	RESIDENTIAL		
TYPE OF CONSTRUCTION:	V-B		
STORIES:	2		
FIRE SPRINKLERS SYSTEM:	NO		
PARKING SPACE(S):	2		
ADDRESS:	352 CARROLL PARK W. LONG BEACH, CA 90814		
BUILDING DATA			
LOT AREA:	5,800.00 SQ.FT.		
(E) DWELLING:	1,118.00 SQ.FT.		
(E) GARAGE:	651.00 SQ.FT. - 266.00 SQ.FT. = 385.00 SQ.FT.		
(N) ADU:	800.00 SQ.FT.		
(N) DECK:	130.00 SQ.FT.		
(N) OFFICE:	266.00 SQ.FT.		
TOTAL:	2,699.00 SQ.FT.		
LOT COVERAGE GROUND FLR.			
2,072.00 / 5,786.00 SQ.FT. =	0.35		
LOT COVERAGE:	35%		
OPEN SPACE	5,786.00 - 2,072.00 = 3,714.00 SQ.FT.		
BUILDING STANDARDS ADMINISTRATIVE CODE			
TITLE 18 LONG BEACH MUNICIPAL CODE			
2019 CALIFORNIA ADMINISTRATIVE CODE (CAC)			
2019 CALIFORNIA BUILDING CODE (CBC)			
2019 CALIFORNIA RESIDENTIAL CODE (CRC)			
2019 CALIFORNIA ELECTRICAL CODE (CEC)			
2019 CALIFORNIA PLUMBING CODE (CPC)			
2019 CALIFORNIA MECHANICAL CODE (CMC)			
2019 CALIFORNIA ENERGY CODE (CEEC)			
2019 CALIFORNIA GREN BUILDING STANDARDS CODE (CAL GREEN)			
SCOPE OF WORK			
- 266.00 SQ.FT. PART OF EXISTING GARAGE CONVERT INTO OFFICE			
- NEW GARAGE 800.00 SQ.FT. ON TOP OF GARAGE			
- NEW ADU INCLUDES: 2-BEDROOM, KITCHEN AREA, LIVING AREA BATHROOM AND LAUNDRY AREA			

VICINITY MAP			

CONSULTANTS			



CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK REPORT DISCREPANCIES TO THE ENGINEER. ALL CONSTRUCTION SHALL CONFORM TO THE C.B.C.

ENGINEER:

PROJECT:

CARROLL RESIDENCE
ADDITION & REMODEL

PROJECT ADDRESS:
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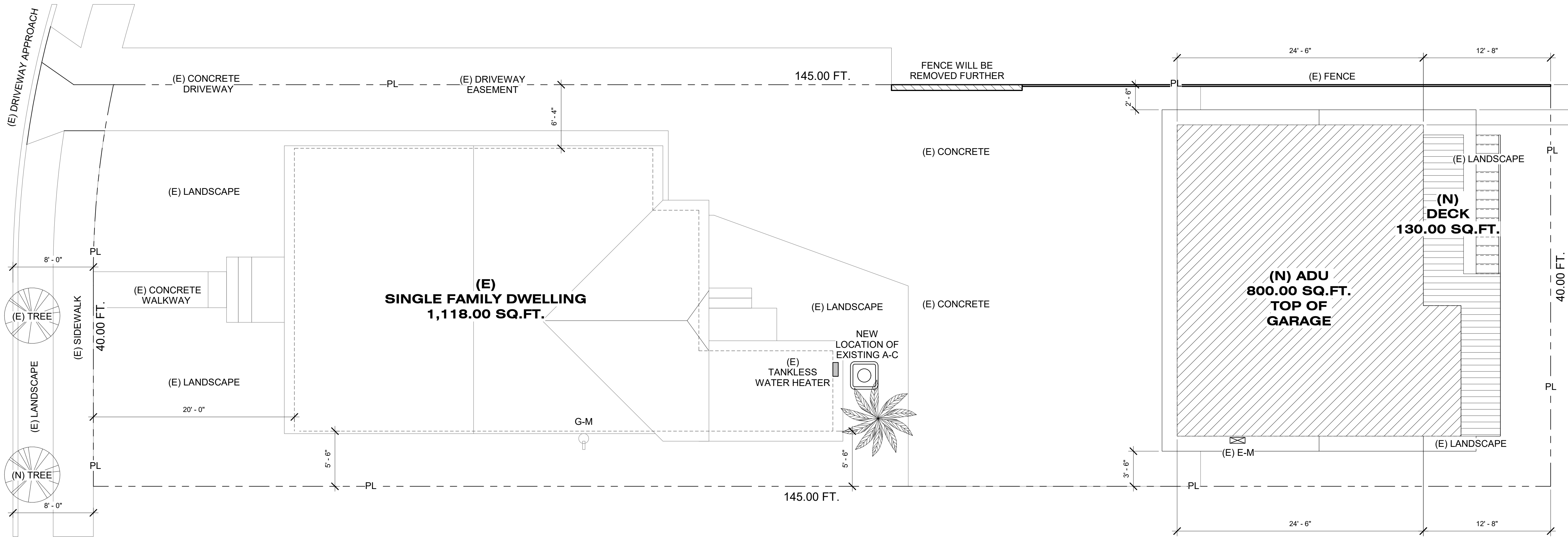
MARK	DATE	REVISION

TITLE:


TITLE SHEET

JOB NO: 21-220	SHEET NUMBER T-1 OF SHEETS
DRAWN: GG	
CHECKED: GG	
DATE: 15 APR 21	

352 CARROLL PARK W



1 SITE PLAN
SCALE: 3/16" = 1'-0"



CASTILLO
ENGINEERING

1205 PINE AVE, SUITE 201, LONG BEACH, CA 90813
T: 562-961-5600 F: 562-961-5700
WWW.CASTILLOENGINEERING.COM

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MARK	DATE	REVISION

TITLE:

**SITE
PLAN**

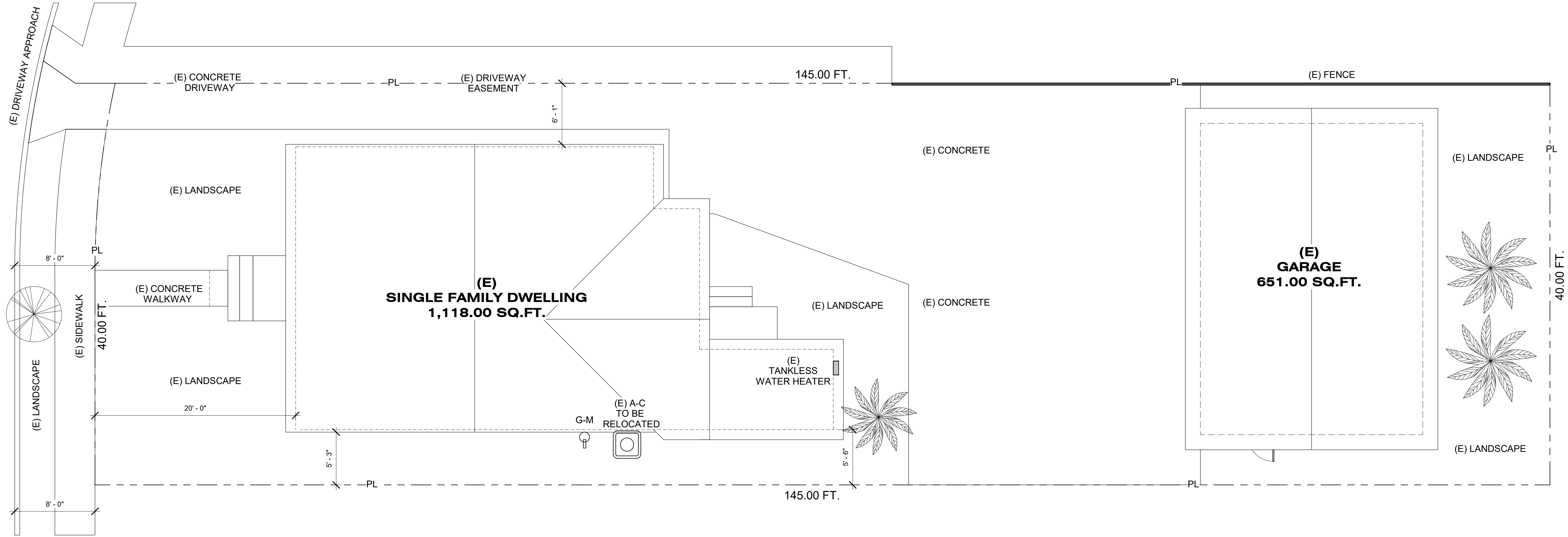
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A1.0
OF SHEETS

352 CARROLL PARK W



1 EXISTING SITE PLAN
SCALE: 3/16" = 1'-0"



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SHEET NUMBER

T

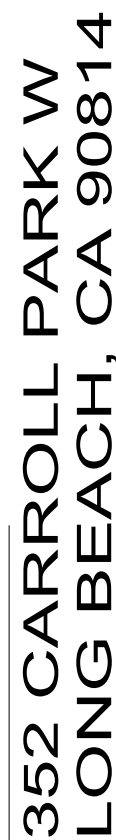
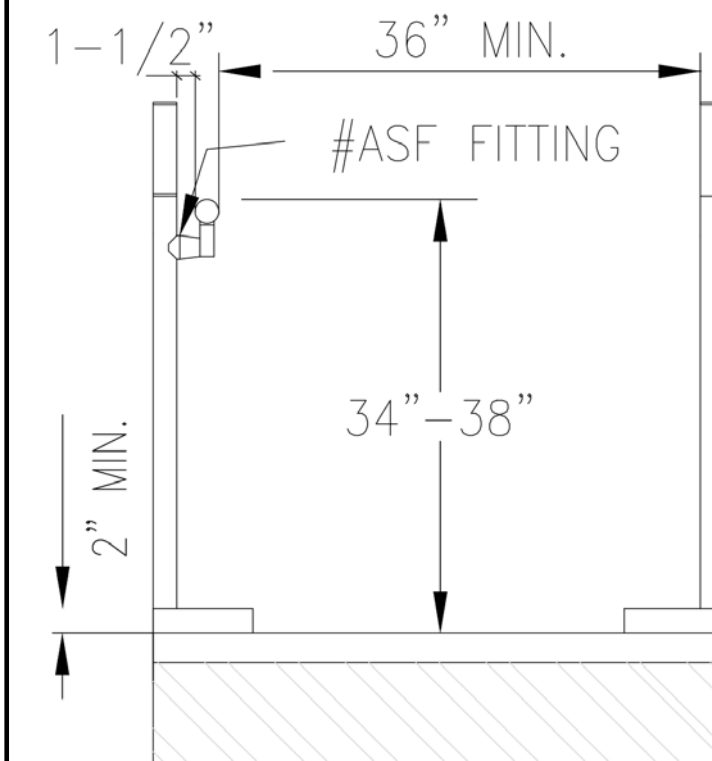
A1.1

OF SHEETS

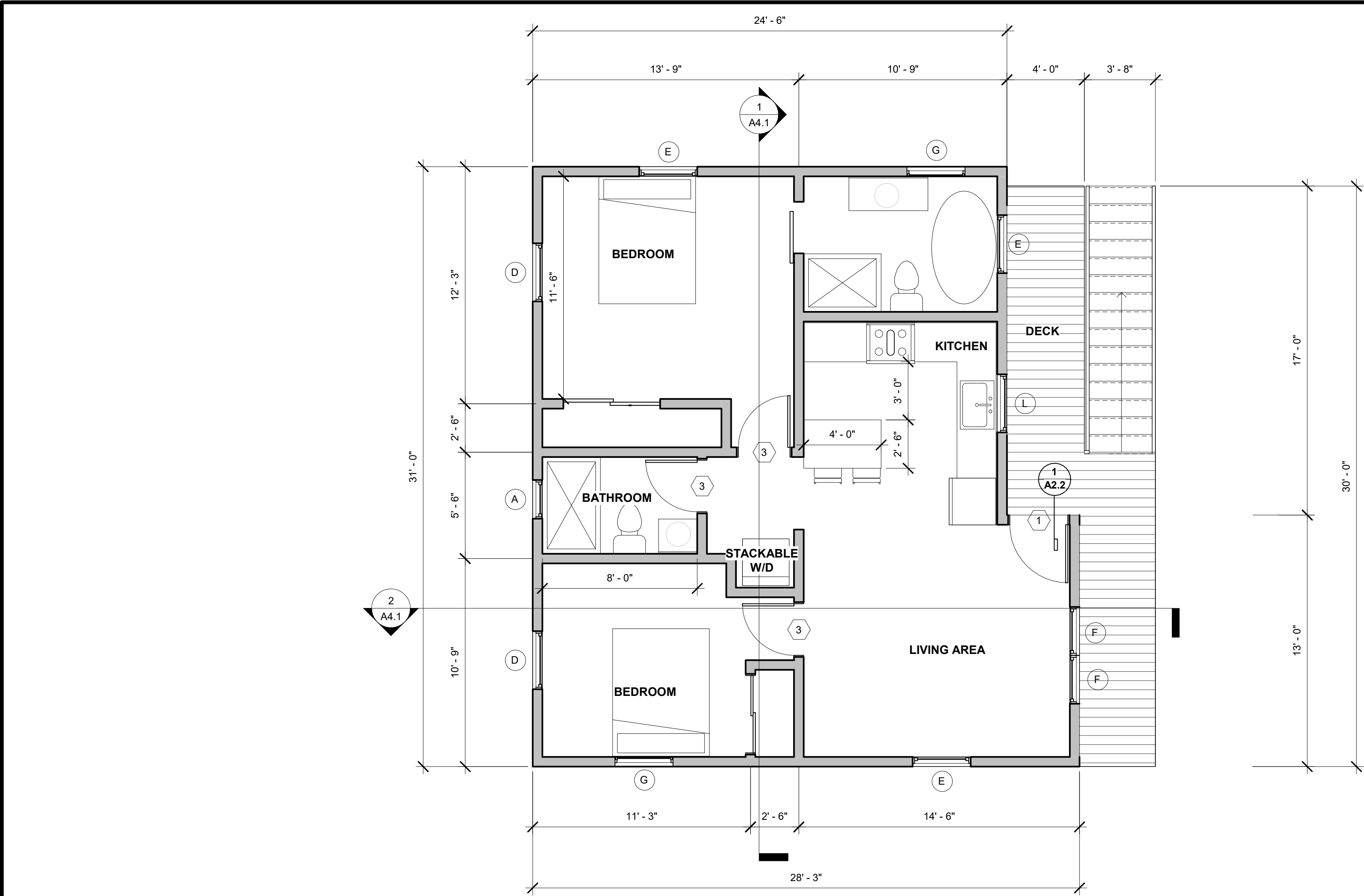


1. PROVIDE ATTIC ACCESS OPENING (22"x30" MIN.) READILY ACCESSIBLE WITH A 30" MIN. CLEAR HEAD ROOM ABOVE ACCESS. IN ALL ATTIC SPACES WITH A MINIMUM VERTICAL HEIGHT OF 30".
2. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLTS, SINGLE PHASE, 15 & 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULTED CIRCUIT INTERRUPTERS.
3. IN A CLOSET, SURFACE MOUNTED LIGHTING FIXTURES SHALL BE AT LEAST 18 INCHES FROM A STORAGE AREA AND FLUSH MOUNTED LIGHTING FIXTURES SHALL BE AT LEAST 6 INCHES FROM A STORAGE AREA.
4. GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTED ELECTRICAL RECEPTACLES SHALL BE PROVIDED AT:
 - ALL RECEPTACLES INSTALLED IN A BATHROOM.
 - ALL RECEPTACLES INSTALLED IN A GARAGE.
 - ALL OUTDOOR RECEPTACLES WHERE THERE IS DIRECT GRADE LEVEL ACCESS.
5. GLAZING IN DOORS AND WINDOWS SHALL BE PROVIDED WITH TEMPERED GLASS AS REQUIRED IN C.B.C. CHAPTER 24 INCLUDING GLAZING IN ANY PORTION OF A BUILDING WALL AND GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF TH GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET; GLAZING IN FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE TO GLAZING IS WITHIN 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. GLAZING IN WALLS ENCLOSING STAIRWAYS LANDINGS OR WITHIN 5 FEET OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE

4 HANDRAIL DETAIL



A2.0
OF SHEET



1 FLOOR PLAN 2ND
SCALE: 1/4" = 1'-0"

TYPICAL KITCHEN APPLIANCE BRANCH CIRCUITS

Type of Appliance	Branch Circuit Rating
Electrical range (240V)	50 amperes
Kitchen counter top small appliance branch circuit (120V)	20 amperes
Counter-mounted electric cooking unit (240V)	30 amperes
Dishwasher (120V)	15 - 20 amperes
Garbage Disposal (120V)	15 amperes
Wall-mounted electric oven (240V)	30 - 40 amperes
Microwave (120V)	20 amperes
Trash Compactor (120V)	15 amperes

Separate Circuit required for each of the above appliances

RECEPTACLE OUTLETS ARE REQUIRED AT EACH COUNTER SPACE WIDER THAN 12 IN. SPACED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 IN. FROM A RECEPTACLE. ISLAND AND PENINSULAR TYPE COUNTER TOPS ARE REQUIRED TO HAVE ONE RECEPTACLE FOR EACH 4 FEET OF COUNTER-TOP. COUNTER-TOP OUTLETS ARE REQUIRED TO BE GROUND FAULT CIRCUIT INTERRUPTED (GFCI) PROTECTED. OUTLETS IN THE KITCHEN ARE REQUIRED TO BE DIVIDED BETWEEN TWO 20 AMP. CIRCUITS. PRIMARY TASK LIGHTING IN THE KITCHEN MUST BE FLUORESCENT, HOWEVER; SECONDARY TASK LIGHTING MAY BE INCANDESCENT.

DOOR SCHEDULE

THE DOOR SCHEDULE DIRECTLY BELOW REFER TO A2.2

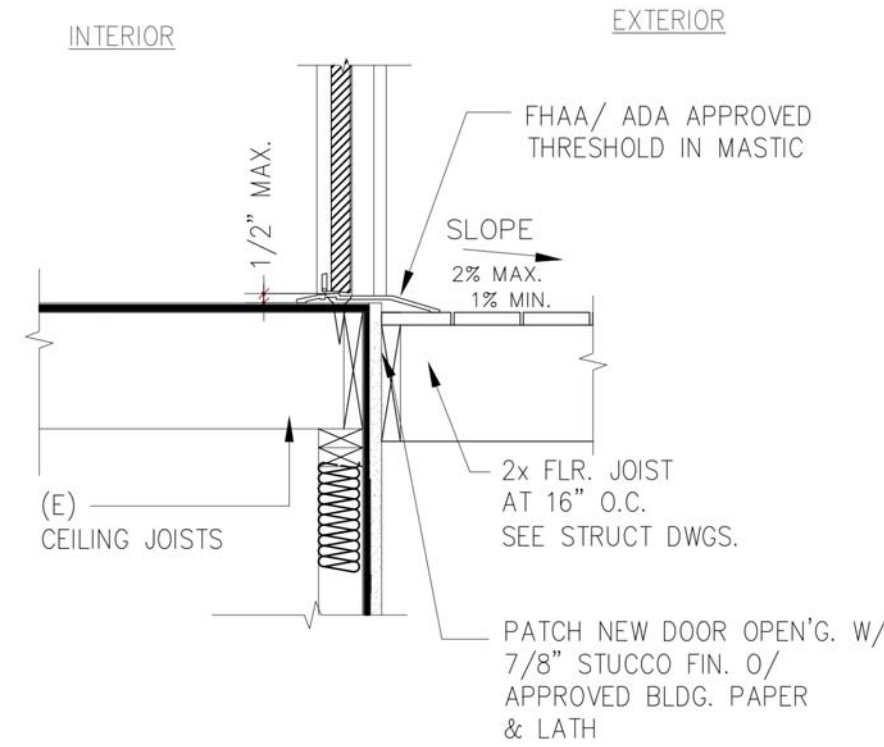
MARK	SIZE WIDTHxHEIGHT	QUANTITY	REMARKS	MANUFACTURER
1	3'-0" x 6'-8"	1	36" ENTRY DOOR PAINTED RED MATCH TO EXISTING HOUSE WOOD	
2	2'-8" x 6'-8"	1	32" BARN DOOR CUSTOM	
2	2'-8" x 6'-8"	3	32" HOLLOW CORE DOOR 6-PANEL PAINTED WHITE	

WINDOW SCHEDULE

THE WINDOW SCHEDULE DIRECTLY BELOW REFER TO A2.2

MARK	SIZE WIDTHxHEIGHT	QUANTITY	REMARKS	MANUFACTURER
A	2'-0" x 3'-0"	1	SINGLE HUNG WINDOW TEMPERED WOOD	PARAMOUNT WINDOWS & DOORS
B	3'-0" x 3'-0"	1	SINGLE HUNG WINDOW TEMPERED / OBSCURED GLAZING WOOD	PARAMOUNT WINDOWS & DOORS
C	3'-0" x 4'-0"	1	SINGLE HUNG WINDOW TEMPERED / OBSCURED GLAZING WOOD	PARAMOUNT WINDOWS & DOORS
D	3'-0" x 4'-6"	2	SINGLE HUNG WINDOW DUAL GLAZE WOOD	PARAMOUNT WINDOWS & DOORS
E	3'-0" x 4'-0"	2	SINGLE HUNG WINDOW DUAL OBSCURED GLAZING WOOD	PARAMOUNT WINDOWS & DOORS
F	2'-8" x 4'-0"	2	SINGLE HUNG WINDOW DUAL OBSCURED GLAZING WOOD	PARAMOUNT WINDOWS & DOORS
G	3'-0" x 1'-0"	2	FIXED WINDOW TEMPERED / OBSCURED GLAZING WOOD	PARAMOUNT WINDOWS & DOORS

1 THRESHOLD DETAIL



KEYNOTES

THE KEY NOTES DIRECTLY BELOW REFER THE FLOOR AND DEMO PLAN ONLY

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LEGEND

	NEW WALL
	EXISTING WALL
	DEMO WALL
	1-HR FIRE RATED WALL
	SURFACE OR PENDANT MTD. LT. FIXTURE (HIGH EFFICACY)
	WALL MTD. LT. FIXTURE (HIGH EFFICACY)
	SINGLE POLE SWITCH
	DOUBLE POLE SWITCH
	THREE WAY POLE SWITCH
	WALL OUTLET 110 VOLTS ALL OUTLETS SHALL BE TAMPERED RESISTANT TYP.
	SMOKE DETECTOR 110VOLT, WITH BATTERY BACK UP ALL SMOKE DETECTORS SHALL BE INTERCONNECTED
	CARBON MONOXIDE DETECTOR 110 VOLT, WITH BATTERY BACK UP
	50 CFM TO EXHAUST MOISTURE OF THE BUILDING MECHANICAL VENTILATION REQUIRED IN ALL BATHROOM WITH TUB OR SHOWER FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO DETERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
(E)	EXISTING
(N)	NEW
A	WINDOW TYPE PER SCHEDULE THIS SHEET
6	DOOR TYPE PER SCHEDULE THIS SHEET
29	NOTE PER KEYNOTES
	100 CFM MIN RANGE EXHAUST

PLAN NOTES

- PROVIDE ATTIC ACCESS OPENING (22"x30" MIN.) READILY ACCESSIBLE WITH A 30" MIN. CLEAR HEAD ROOM ABOVE ACCESS IN ALL ATTIC SPACES WITH A MINIMUM VERTICAL HEIGHT OF 30".
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLTS, SINGLE PHASE, 15 & 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULTED CIRCUIT INTERRUPTERS.
- ACCES PANEL 12"x12" REQUIRED FOR TUB TRAP SLIP-JOINT OR USE NON-SLIP (WELDED) JOINTS.
- PROVIDE MECHANICAL VENTILATION CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS. DUCTLESS FANS ARE NOT ACCEPTABLE. THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING.
- WATER CLOSETS (TOILETS) SHALL BE CERTIFIED TO USE A MAXIMUM OF 1.28 GALLONS PER FLUSH.
- SHOWER SHALL HAVE EITHER A PRESSURE VALVE BALANCE OR A THERMOSTATIC MIXING VALVE. SHOWER HEADS SHALL BE CERTIFIED TO USE A MAXIMUM OF 1.8 GALLONS PER MINUTE.
- SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP AND ALLOW BATTERY SIGNAL. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED.
- IN A CLOSET, SURFACE MOUNTED LIGHTING FIXTURES SHALL BE AT LEAST 18 INCHES FROM A STORAGE AREA AND FLUSH MOUNTED LIGHTING FIXTURES SHALL BE AT LEAST 6 INCHES FROM A STORAGE AREA.
- GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTED ELECTRICAL RECEPTACLES SHALL BE PROVIDED AT:
 - ALL RECEPTACLES INSTALLED IN A BATHROOM.
 - ALL RCEPTACLES INSTALLED IN A GARAGE.
 - ALL OUTDOOR RECEPTACLES WHERE THERE IS DIRECT GRADE LEVEL ACCESS.
- BATHROOM RECEPTACLES SHALL BE SERVED BY DEDICATED 20 AMP CIRCUIT.
- SHOWER WALLS SHALL BE FINISHED WITH A SMOOTH HARD, NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT TILE OR OTHER APPROVED MATERIAL. SUCH WALL FINISH SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72 IN. ABOVE THE DRAIN INLET.
- GLAZING IN DOORS AND WINDOWS SHALL BE PROVIDED WITH TEMPERED GLASS AS REQUIRED IN C.B.C. CHAPTER 24 INCLUDING GLAZING IN ANY PORTION OF A BUILDING WALL AND GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF TH GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET; GLAZING IN FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE TO THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. GLAZING IN WALLS ENCLOSING STAIRWAYS LANDINGS OR WITHING 5 FEET OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE
- THE GARAGE WILL BE RETROFITTED/REINFORCED TO BUILD THE ADU



CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK REPORT DISCREPANCIES TO THE ENGINEER. ALL CONSTRUCTION SHALL CONFORM TO THE C.B.C.

ENGINEER:

PROJECT:

CARROLL RESIDENCE
ADDITION & REMODEL

PROJECT ADDRESS:
352 CARROLL PARK W
LONG BEACH, CA 90814

MARK	DATE	REVISION

TITLE:

**FLOOR PLAN
ADU**

JOB NO. 21-220
DRAWN: GG
CHEKED: GG
DATE: 15 APR 21

SHEET NUMBER



A2.2
OF SHEETS

CHECK AND VERIFY ALL DIMENSIONS
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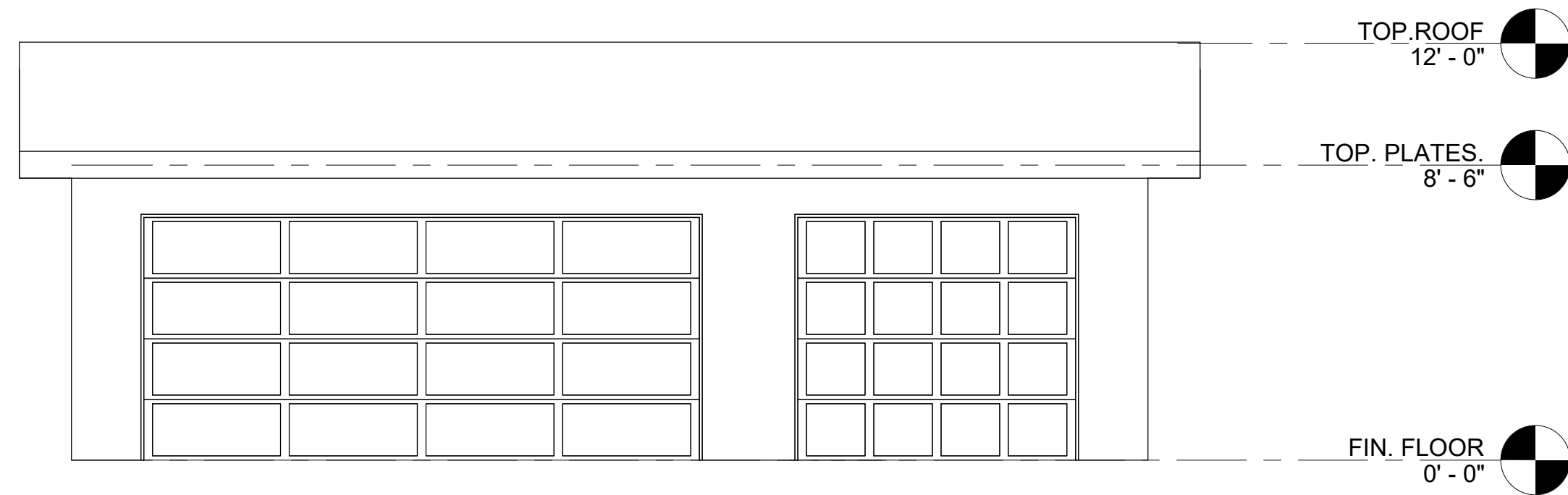
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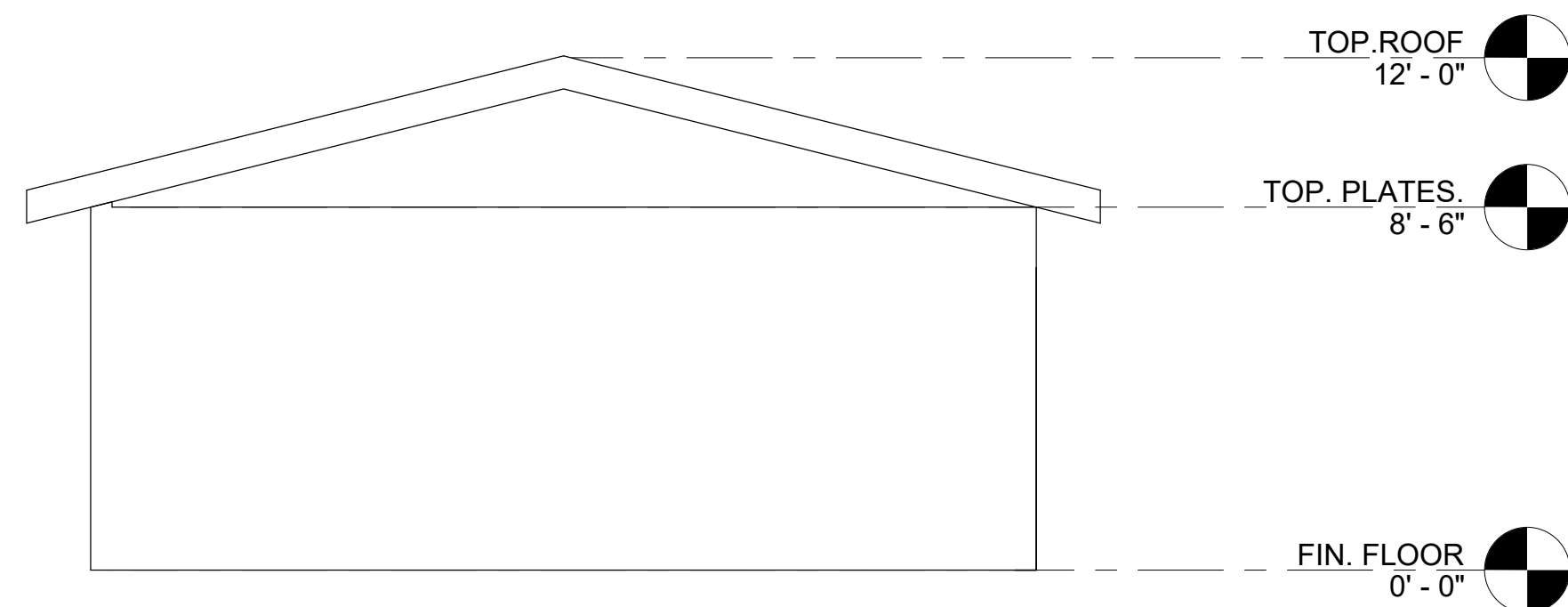
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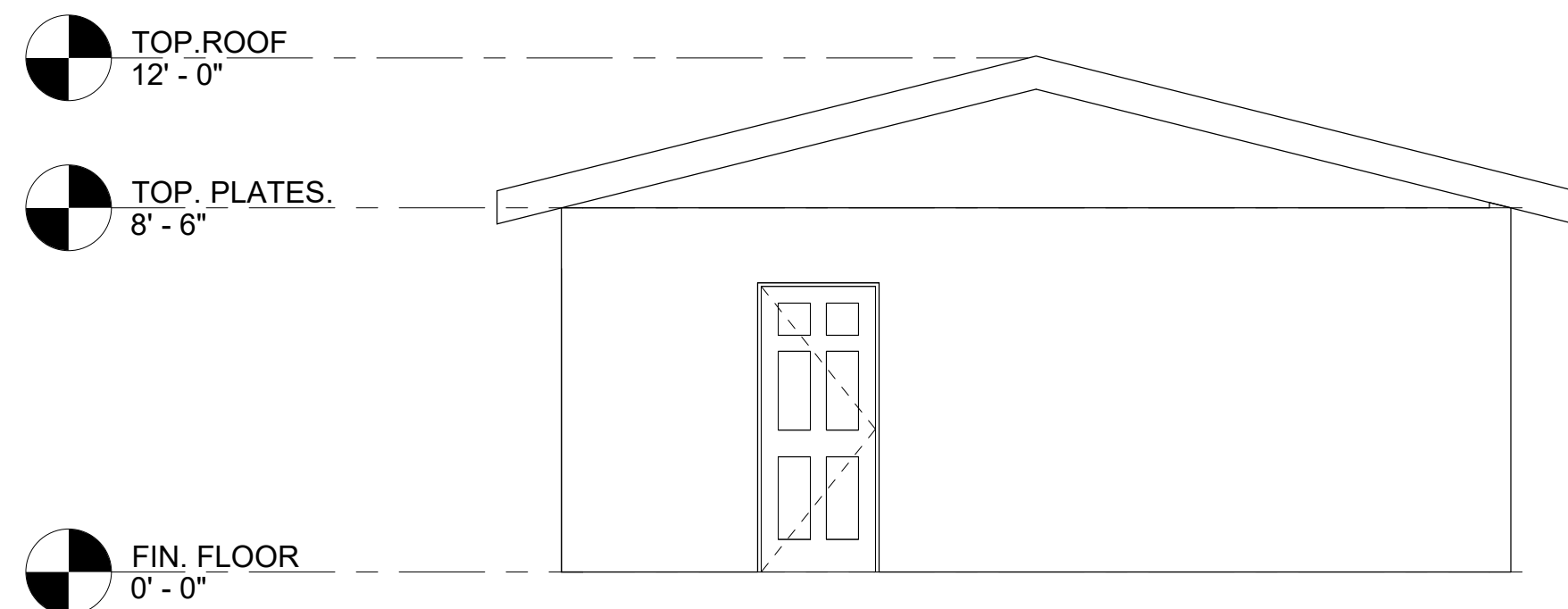
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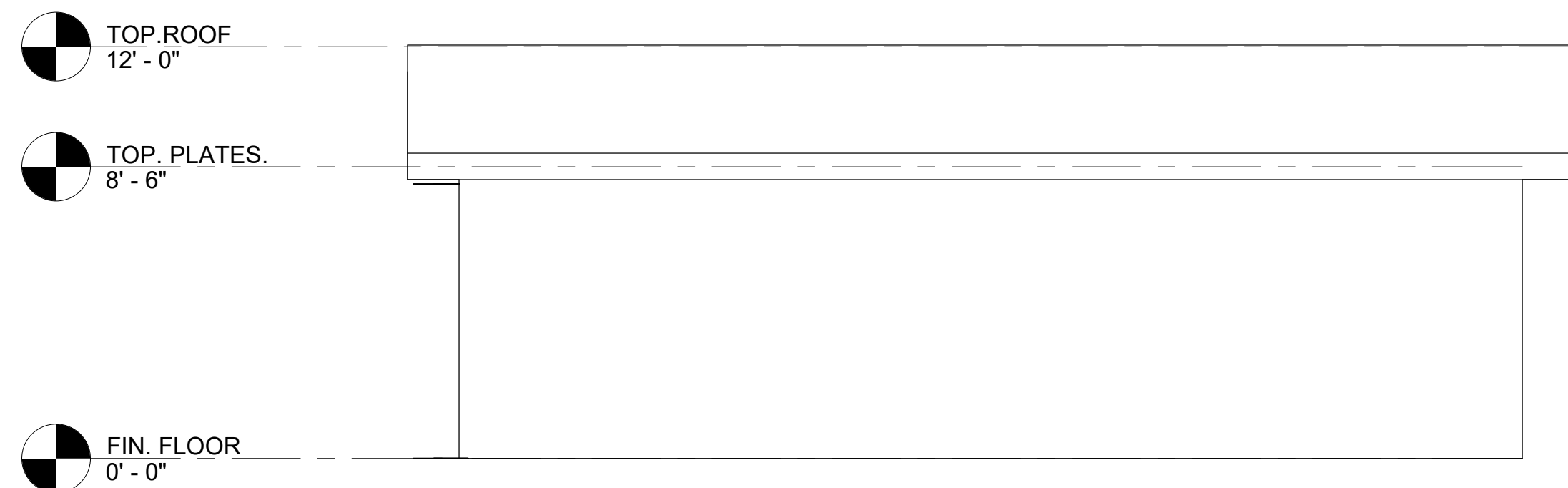
4 (E) WEST ELEVATION
SCALE: 1/4" = 1'-0"



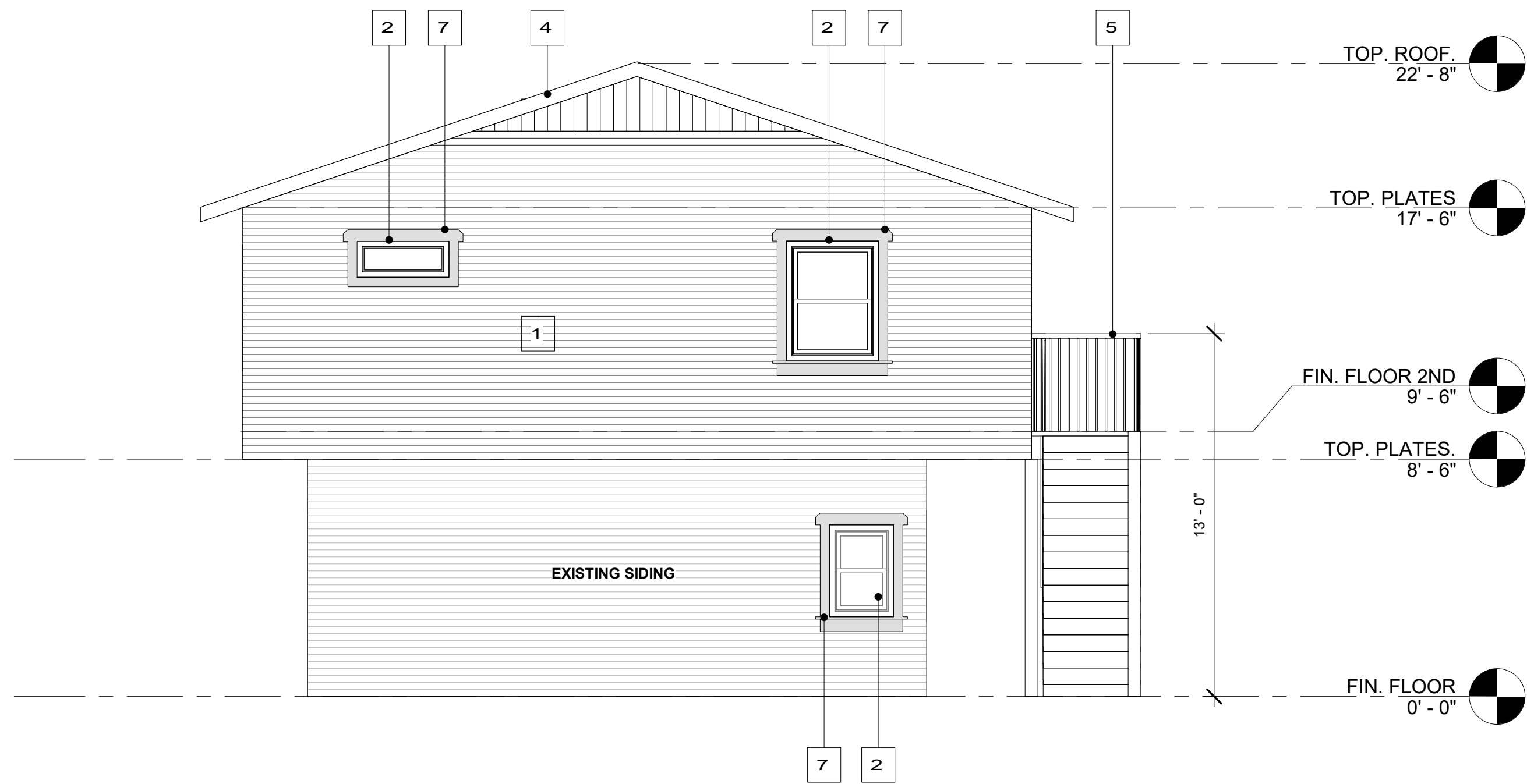
2 (E) NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 (E) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 (E) EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

KEYNOTES

THE KEY NOTES DIRECTLY BELOW REFER TO THE ELEVATIONS ONLY

1	GREEN SHERWIN WILLIAMS #2846 ROYCROFT BRONZE GREEN TO MATCH EXISTING. TEARDROP WOOD SIDING WITH 4-INCH EXPOSURE.
2	WINDOW, SEE WINDOW SCHEDULE ON PAGE A2.0 OR A2.2 FOR SIZE, TYPE, AND MFR.
3	DOOR, SEE WINDOW SCHEDULE ON PAGE A2.2 FOR SIZE, TYPE, AND MFR.
4	ROOF SEE ROOF PLAN ON SHEET A4.0 FOR ROOF TYPE, MANUFACTURER, UNDERLAYMENT, AND ADDITIONAL NOTES. (MATCH TO EXISTING)
5	42" HEIGHT METAL GUARDRAIL
6	POST SEE STRUCTURAL FOR SIZE AND MORE
7	WINDOW TRIM: LIGHT GREY - SHERWIN WILLIAMS # 2821 DOWING STORE TO MATCH EXISTING DWELING.
8	
9	
10	

EXTERIOR FINISH NOTES

ALL PRODUCTS LISTED BELOW SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS SO AS NOT TO VOID WARRANTIES.

SIDING: TEARDROP WOOD SIDING WITH 4-INCH EXPOSURE. COLOR AND TEXTURE TO MATCH EXISTING.

EXTERIOR TRIM: SHALL BE PRIMED ON ALL SIDES AND ENDS, ALL EXPOSED SIDES TO BE PAINTED TO MATCH EXISTING.

WINDOW TRIM: TO MATCH EXISTING MAIN HOME COLOR, SIZE AND TEXTURE.

DOOR TRIM: TO MATCH EXISTING MAIN HOME COLOR, SIZE AND TEXTURE.

SIDING: TO MATCH EXISTING MAIN HOME COLOR, SIZE AND TEXTURE. EXTERIOR WINDOWS/DOORS: WINDOWS AND DOOR FRAMES TO BE WOOD TO MATCH EXISTING MAIN HOME.

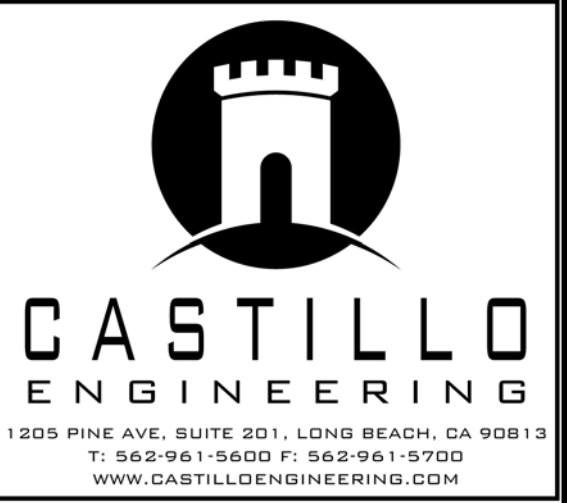
FRONT DOOR: CUSTOM WOOD DOOR, PAINT GRADE, COLOR TO MATCH EXISTING AT MAIN HOME.

ROOFING: COMPOSITION SHINGLES, COLOR TO MATCH EXISTING MAIN HOME. SEE ROOF PLAN FOR SPECS.

DECK: SEE 2ND FLOR PLAN FOR SPECS. COLOR TBD.

ROOF FASCIA: PAINT GRADE WOOD BOARDS, PRIMED ON ALL SIDES AND ENDS, ALL EXPOSED SIDES TO BE PAINTED, COLOR TO MATCH EXISTING.

EAVE AND RAKE UNDER SIDES: EXPOSED RAFTERS, EAVE UNDERSIDE TO HAVE T&G. ALL T&G BOARD MUST BE CLEAR GRAIN - NO KNOTS. CEDAR OR SPRUCE WOOD MAY BE USED. PINE SHALL NOT BE USED.



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PROJECT:

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ADDITION & REMODEL

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MARK	DATE	REVISION

TITLE:

ELEVATIONS

JOB NO.
21-220
DRAWN:
GG
CHECKED:
GG
DATE:
15 APR 21

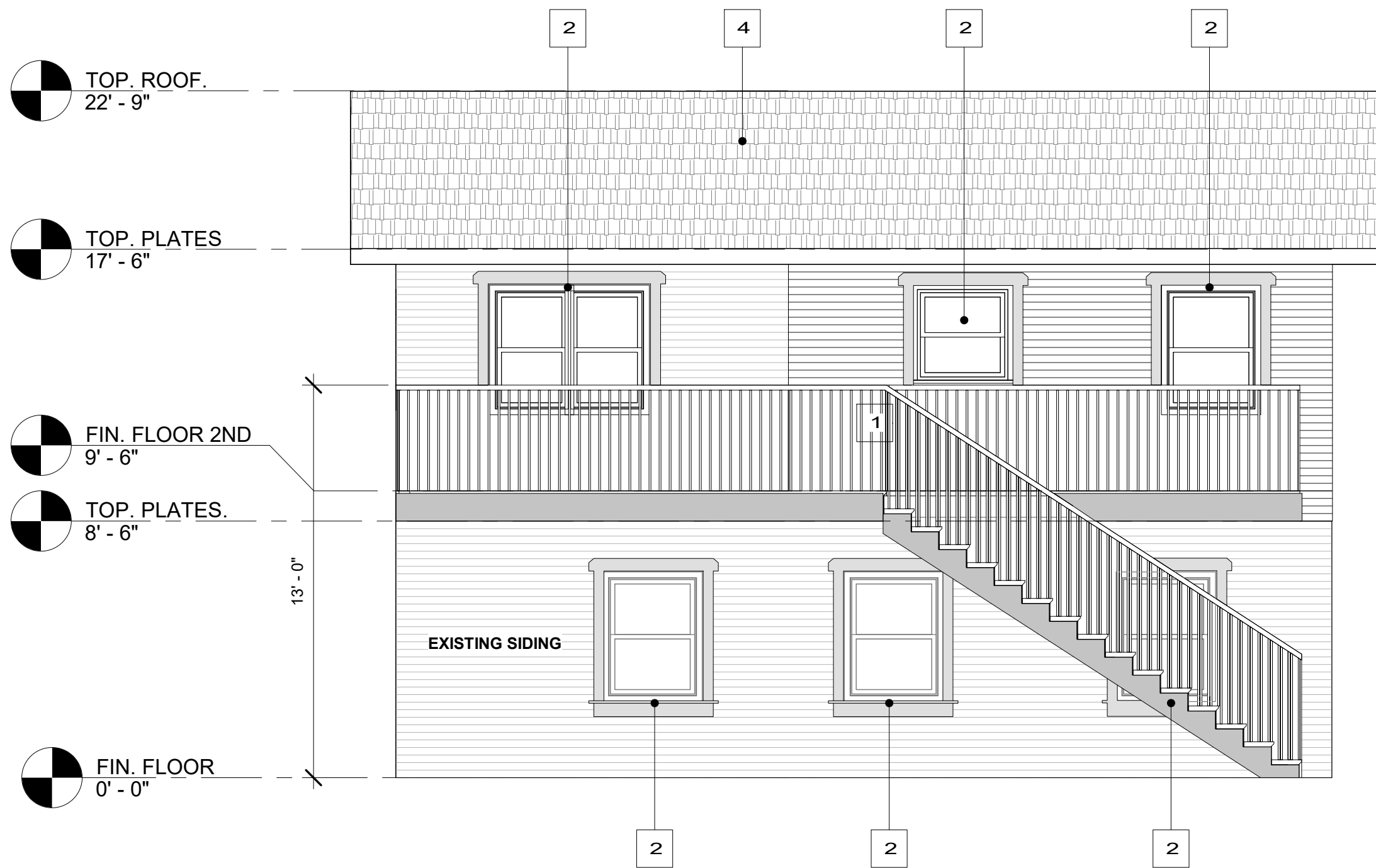
SHEET NUMBER



A3.1
OF SHEETS



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

KEYNOTES

THE KEY NOTES DIRECTLY BELOW REFER TO THE ELEVATIONS ONLY

1	GREEN SHERWIN WILLIAMS #2846 ROYCROFT BRONZE GREEN TO MATCH EXISTING. TEARDROP WOOD SIDING WITH 4-INCH EXPOSURE.
2	WINDOW, SEE WINDOW SCHEDULE ON PAGE A2.2 FOR SIZE, TYPE, AND MFR.
3	DOOR, SEE WINDOW SCHEDULE ON PAGE A2.2 FOR SIZE, TYPE, AND MFR.
4	ROOF SEE ROOF PLAN ON SHEET A4.0 FOR ROOF TYPE, MANUFACTURER, UNDERLAYMENT, AND ADDITIONAL NOTES. (MATCH TO EXISTING)
5	42" HEIGHT METAL GUARDRAIL
6	POST SEE STRUCTURAL FOR SIZE AND MORE
7	WINDOW TRIM: LIGHT GREY - SHERWIN WILLIAMS # 2821 DOWING STORE TO MATCH EXISTING DWELING.
8	
9	
10	

EXTERIOR FINISH NOTES



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MARK	DATE	REVISION

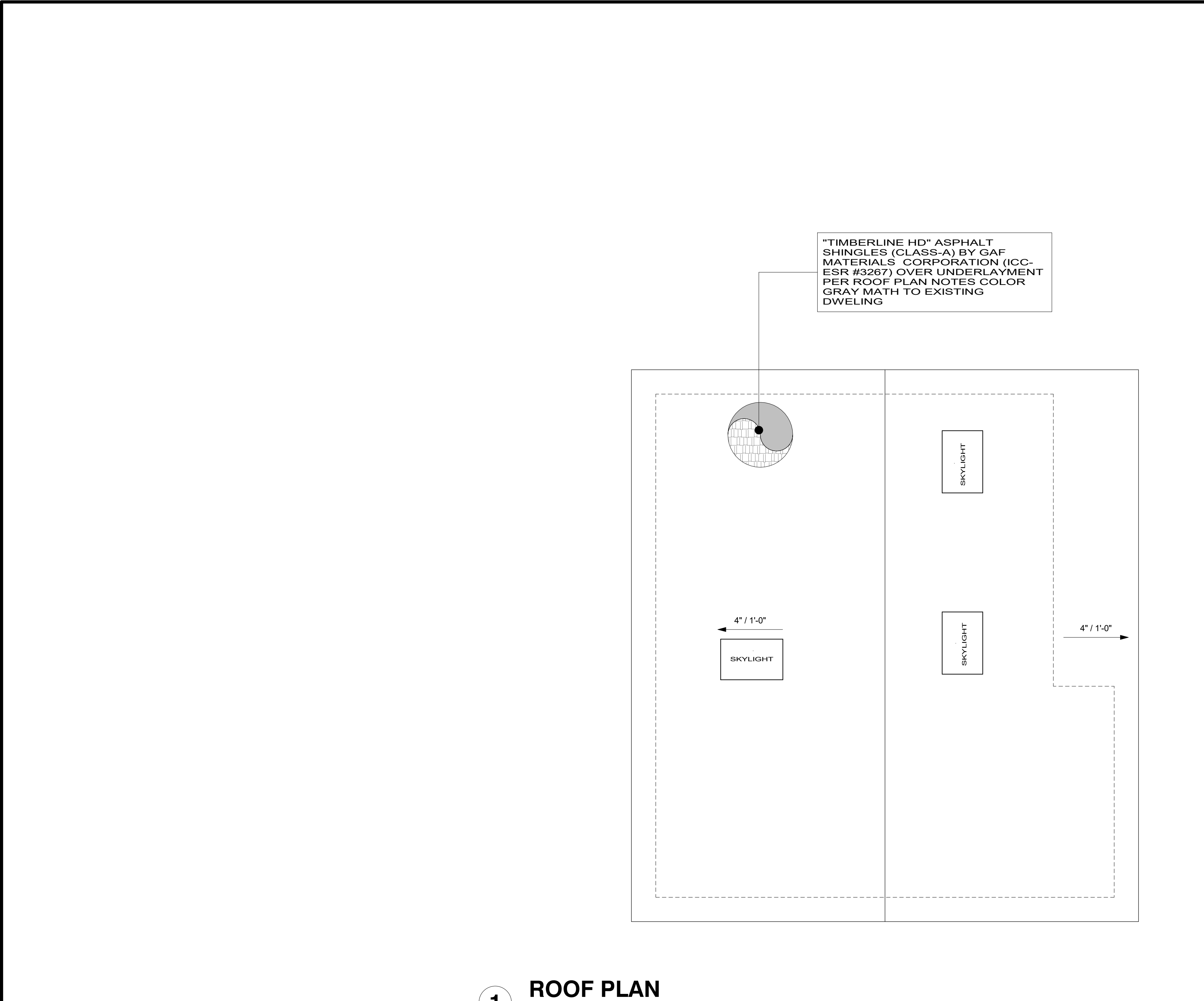
TITLE:

JOB NO.
21-220
DRAWN:
GG
CHECKED:
GG
DATE:
15 APR 21

SHEET NUMBER



A3.2
OF SHEETS



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES

THE KEY NOTES DIRECTLY BELOW REFER TO THE ROOF PLAN ONLY

- | | |
|---|---------------------------------------------------------------------------------------|
| 1 | VELUX TRADITIONAL DOUBLE DOME SKYLIGHTS-
CUSTOM 30" X 46", ICC-ESR#4108 OR SIMILAR |
| 2 | VELUX TRADITIONAL DOUBLE DOME SKYLIGHTS-
CUSTOM 30" X 46", ICC-ESR#4108 OR SIMILAR |
| 3 | |

ROOF PLAN NOTES

1. ASPHALT SHINGLES MAY BE INSTALLED IN SLOPES AS LOW AS 2 UNITS VERTICAL IN 12 UNITS HORIZONTAL, PROVIDED THE SHINGLES ARE APPROVED SELF-SEALING OR HAND SEALED AND ARE INSTALLED WITH AN UNDERLAYMENT CONSISTING OF TWO LAYERS OF NONPERFORATED TYPE 15 FELT APPLIED SHINGLE FASHION. STARTING WITH AN 18-INCH -WIDE SHEET AND A 36-WIDE SHEET OVER IT AT THE EAVES, EACH SUBSEQUENT SHEET SHALL BE LAPPED 19 INCHES HORIZONTALLY.
2. FOR SLOPES OF 4 UNITS VERTICAL IN 12 UNITS HORIZONTAL OR STEEPER, USE ONE LAYER NONPERFORATED TYPE 15 FELT LAPPED 2 INCHES HORIZONTALLY AND 4 INCHES VERTICALLY TO SHED WATER.
3. FASTEN SHINGLES WITH CORROSION-RESISTANT NAILS, MINIMUM 12-GAGE WITH 3/8 INCH HEAD, OR APPROVED CORROSION-RESISTANT STAPLES, MINIMUM 16-GAGE 15/16 CROWN WIDTH. FASTENERS SHALL BE LONG ENOUGH TO PENETRATE INTO THE SHEATHING 3/4 INCH OR THROUGH THICKNESS OF THE SHEATHING, WHICHEVER IS LESS. INSTALL FOUR FASTENERS FOR STRIP ASPHALT SHINGLES 36 INCHES TO 40 INCHES IN WIDTH.
4. THE ROOF VALLEY FLASHING SHALL NOT BE PROVIDED OF LESS THAN 0.016-INCH (No. 28 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL, AND SHALL EXTEND AT LEAST 8 INCHES (203 mm) FROM THE CENTER LINE EACH WAY. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4 INCHES. ALTERNATIVELY, THE VALLEY SHALL CONSIST OF WOVEN ASPHALT SHINGLES APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS.
5. THE ROOF VALLEY FLASHING SHALL HAVE A 36-INCH-WIDE UNDERLAYMENT DIRECTLY UNDER IT CONSISTING OF ONE LAYER OF TYPE 15 FELT RUNNING THE FULL LENGTH OF THE VALLEY, IN ADDITION TO THE UNDERLAYMENT SPECIFIED ABOVE.
6. AT THE JUNCTURE OF THE ROOF AND VERTICAL SURFACES, PROVIDE 'Z' FLASHING NOT LESS THAN 0.019-INCH (No. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL TO 1x4 BACKING. STEP COUNTER FLASHING SHALL BE INSTALLED WHERE THE 'Z' BAR FLASHING SLOPES WITH THE ROOF. 'L' METAL COUNTER FLASHING SHALL BE INSTALLED WHERE THE ROOF SLOPES AWAY FROM THE 'Z' BAR FLASHING.
7. OPENINGS FOR ATTIC VENTILATION SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS 1/16" MINIMUM AND A 1/4" MAXIMUM.
8. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

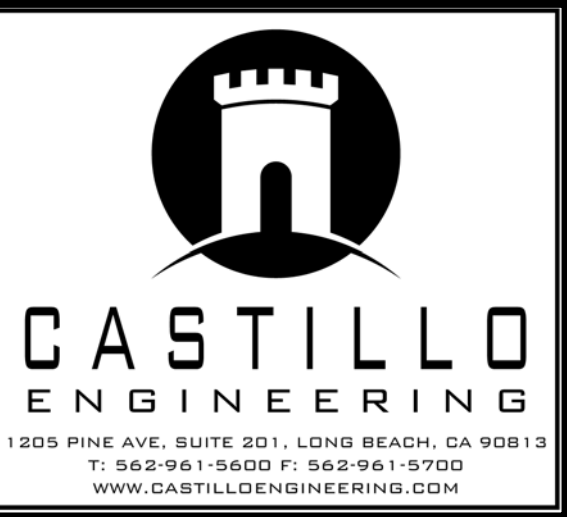
ATTIC VENTILATION

UNVENTED ATTIC AND UNVENTED ENCLOSED RAFTER ASSEMBLIES PER CRC 806.5

UNVENTED ATTICS AND UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES CREATED BY CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS AND STRUCTURAL ROOF SHEATHING APPLIED DIRECTLY TO THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS, SHALL BE PERMITTED WHERE ALL THE FOLLOWING CONDITIONS ARE MET:

THE UNVENTED ATTIC SPACE IS COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE.
NO INTERIOR CLASS I VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED ROOF FRAMING ASSEMBLY.
WHERE WOOD SHINGLES OR SHAKES ARE USED, A MINIMUM 1/4-INCH (6.4 MM) VENTED AIRSPACE SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHEATHING.
IN CALIFORNIA CLIMATE ZONES 14 AND 16, ANY AIR- IMPERMEABLEINSULATION SHALL BE A CLASS II VAPOR RETARDER, OR SHALL HAVE A CLASS II VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT WITH THE UNDERSIDE OF THE INSULATION.

4.1. A CLASS I OR CLASS II VAPOR RETARDER SHALL BE INSTALLED ON THE INDIRECTLY CONDITIONED SPACE SIDE OF ALL INSULATION IN AN UNVENTED ATTIC WITH AIR-PERMEABLE INSULATION, FOR CONDENSATION CONTROL



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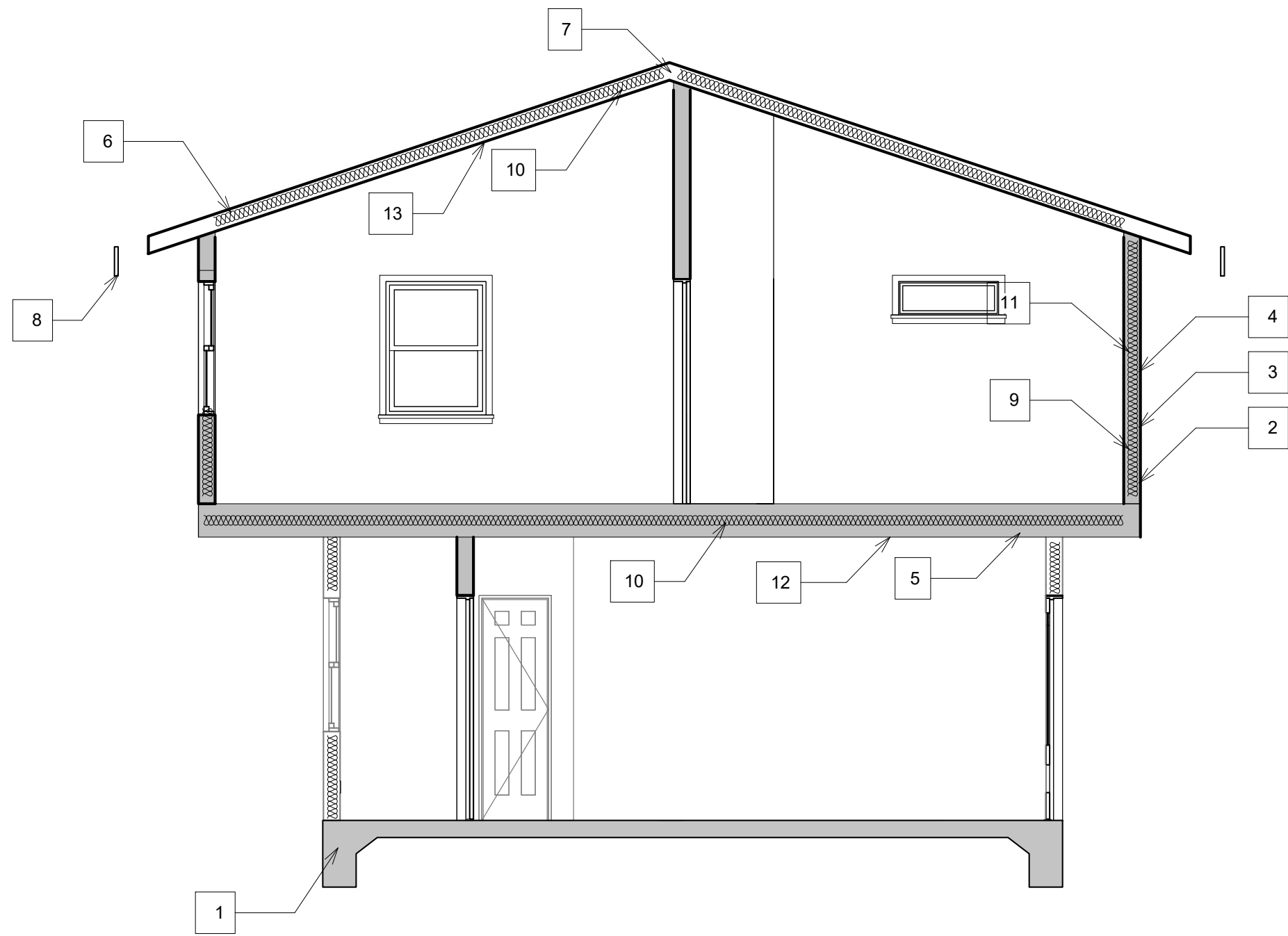
ROOF PLAN

JOB NO. 21-220
DRAWN: GG
CHEKED: GG
DATE: 15 APR 21

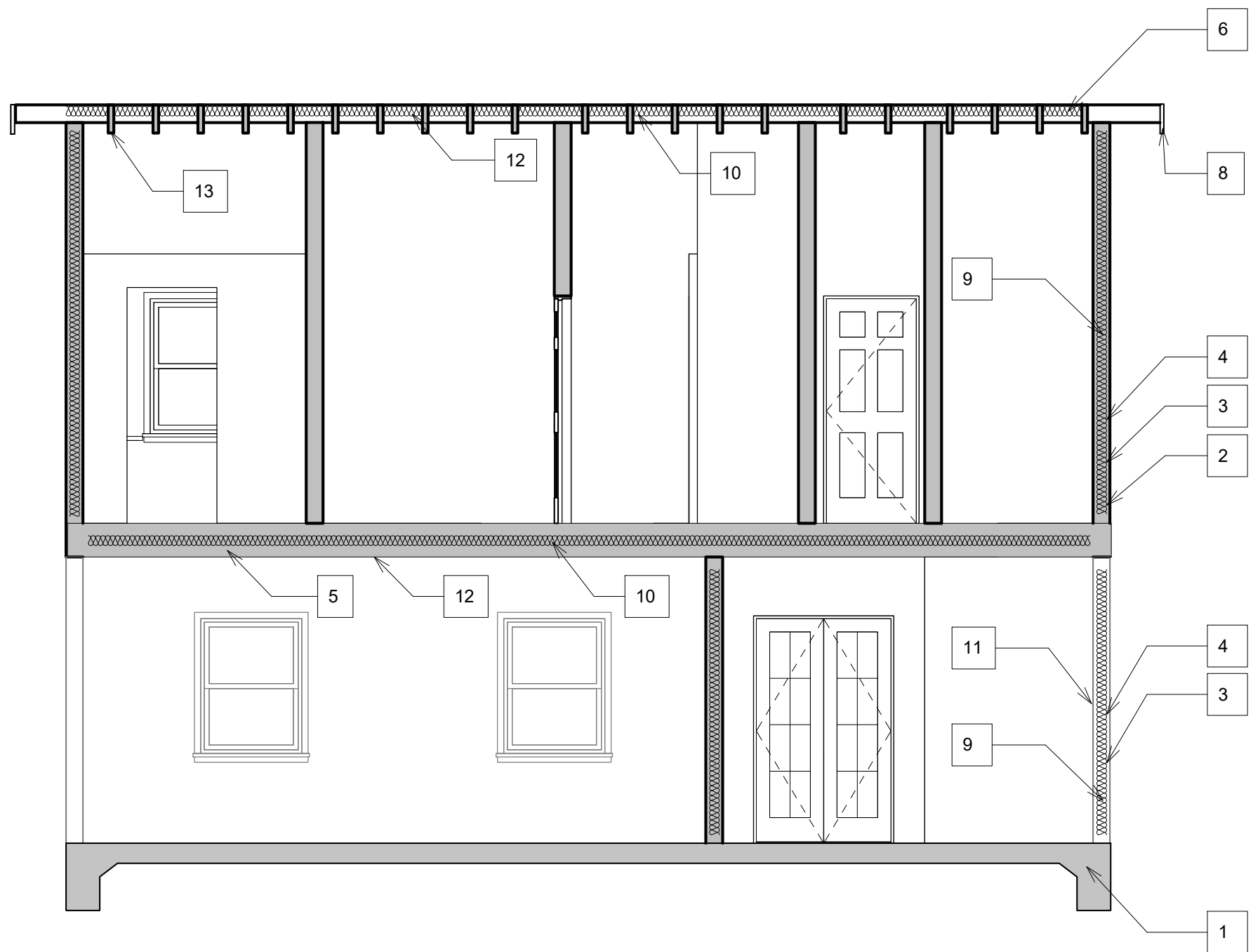
SHEET NUMBER



A4.0
OF SHEETS



2 SECTION B
SCALE: 1/4" = 1'-0"



1 SECTION A
SCALE: 1/4" = 1'-0"

KEYNOTES

THE KEY NOTES DIRECTLY BELOW REFER THE SECTION ONLY

1	EXISTING FOUNDATION, SEE STRUCTURAL.
2	GREEN SHERWIN WILLIAMS #2846 ROYCROFT BRONZE GREEN TO MATCH EXISTING. TEARDROP WOOD SIDING WITH 4-INCH EXPOSURE.
3	PLYWOOD SHEATHING, SEE STRUCTURAL.
4	STUD WALLS, SEE STRUCTURAL.
5	CEILING JOIST, SEE STRUCTURAL.
6	ROOF FRAMING, SEE STRUCTURAL. SEE ROOF FRAMING PLAN ON SHEET A4.0 FOR ROOF TYPE, MANUFACTURER, UNDERLAYMENT, AND ADDITIONAL NOTES.
7	RIDGE BOARD.
8	2x FASCIA
9	R-13 WALL INSULATION.
10	R-30 CEILING INSULATION.
11	1/2" GYPSUM BOARD AT WALL.
12	1/2" GYPSUM BOARD AT CEILING.
13	EXPOSED ROOF RAFTERS.
14	
15	
16	
17	
18	
19	
20	



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A4.1
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