



### **St. Anthony High School Athletic Field Complex** **Long Range 20 Year Development Plan**

#### **NARRATIVE:**

The St. Anthony High School Athletic Complex is a recreational facility with a long history of high school sports and academic accomplishments. This 9.6 acre Long Beach site has the potential to become the jewel of high school sports and athletic training in the area. The site provides a home for all St. Anthony High School student athletes, hosting competition for football, girls and boys soccer, girls and boys track & field, baseball, lacrosse and the future location for softball.

The school is partnering with Shea Family Charities who has generously provided a lead gift for the first phase of improvements, along with necessary project management services. Design services are led by Lloyd Sports + Engineering with architectural design support from TVS Architecture and AMA Consulting Engineers. Additional budget and estimating is provided by Ohno Construction and Slater Builders.

Previous master planning efforts proposed a facility that could not be achieved with the available funds and fundraising capacity. The resubmitted master plan approach applies critical analysis of the previous planning work, re-confirms program priorities and pivots the design to accomplish the priorities with a creative new direction with a reduced cost and scope.

The athletic campus, located eight miles from the high school's academic campus near downtown Long Beach, has a unique requirement to represent St. Anthony's mission and identity to those who only experience St. Anthony from this site. This requirement implies an approach that aesthetically connects the athletic fields and facilities to the main downtown campus with a consistent St. Anthony High School identity, honoring the school's 100 year history and tradition as Long Beach's only Catholic high school.

The 2021 Master Plan departs from previous efforts both aesthetically and functionally, identifying two distinct phases which will result in renovation of the entire site. The Long Range 20 Year Development Plan includes Phase 1 which is anchored around a new running track and athletic field roughly situated over the existing location. The proposed improvements include a six lane, rubberized track and synthetic turf field for football, soccer and lacrosse with a 1,200 seat grandstand, pressbox and sports lighting. The first phase also incorporates combined restroom/concessions/ticketing building and a centralized 6,000 sf team building that will replace the existing team building which will be demolished in Phase 2. The new team building will feature men's and women's locker rooms, coed training room, coaches offices, equipment storage, a multi-purpose room and attached outdoor weight studio and student patio. Site improvements include parking lot repavement, entry plaza, pathways, lighting, fencing, landscaping and upgraded utility services.

Phase 2 of the Long Range Development Plan will include renovation of the existing baseball field and the addition of a softball field on the north end of the property to accommodate women athletes on our site. Phase 2 includes seating, backstops, dugouts, bullpens and batting cages.

The 2021 Long Range 20 Year Master Plan incorporates all the critical programming elements required for a successful co-educational high school athletic program into a beautiful, safe, modern, multifunctional facility. The combined focus and effort of invested staff and stakeholders has provided direction to enable efficient use of funding, enabling the creation of an outstanding training and competition facility.

### **PHASED MASTER PLAN:**

St. Anthony High School's Athletic Field property is an extension of the high school's main campus located near downtown Long Beach. Thus, design solutions require an approach that aesthetically connects the site and facilities to the main campus and expresses the unique St. Anthony brand. Multiple structures will work to serve all aspects and phases utilized at the site for athletes, students, coaches, parents and fans as a part of the high school's extracurricular and recreational programming.

The approach for The Long Range 20 Year Development Plan for the athletic complex identifies two phases for total project completion. Space is limited at the site, so the Development Plan applies creative design approaches that maximize multi-use, shared space, flexibility and functionality. Phase 1 is anchored around a new running track situated closely to the existing

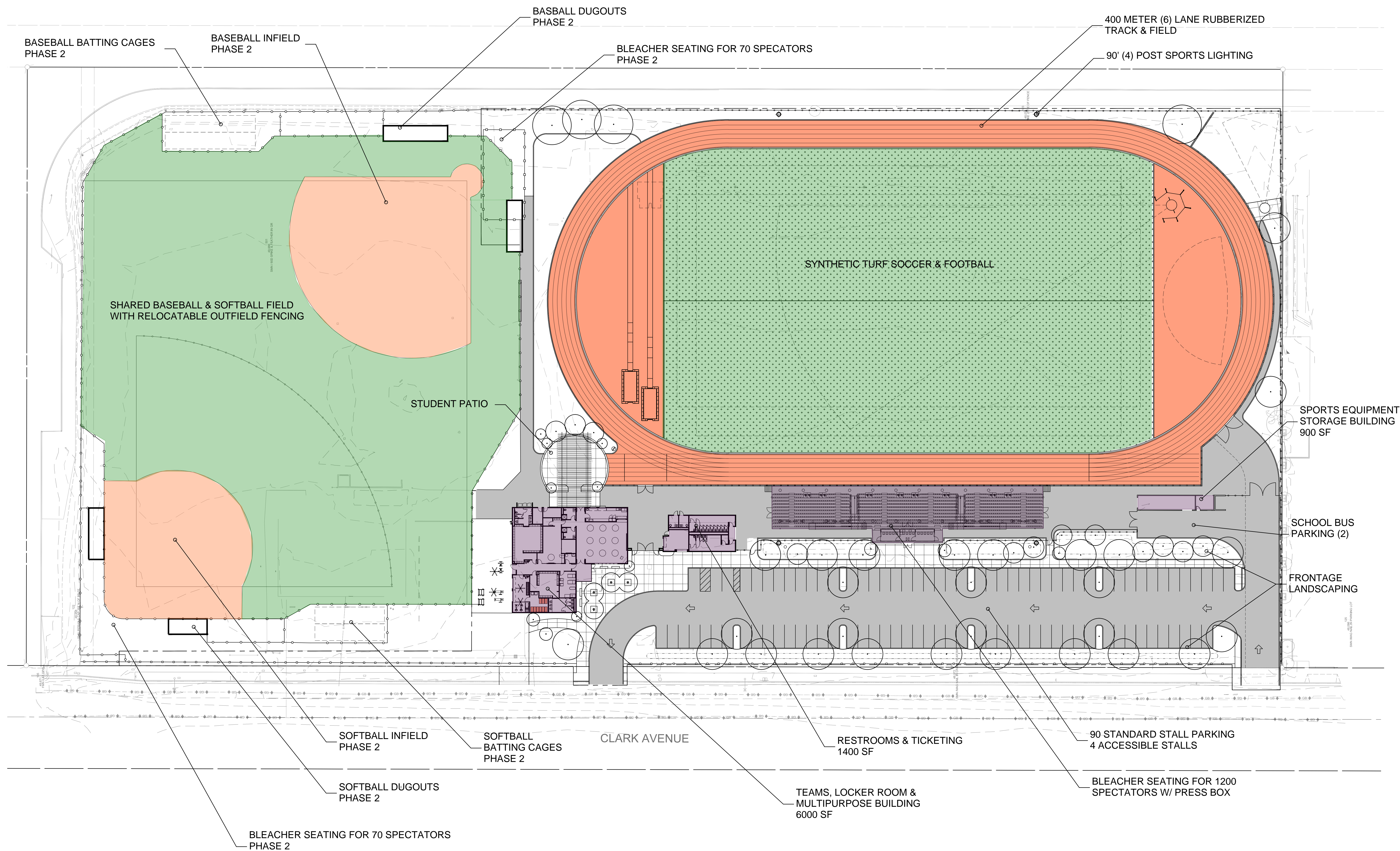
location on the southeast portion of the site. The track will align with current standards with space for jump and throw areas and a wider turf area within its perimeter to accommodate a combined football/soccer/lacrosse field. Centered at midfield, on the west side of the track, is new structured stadium seating (a.k.a grandstands) with pressbox, providing a west-facing façade with a visual presence and identity along Clark Avenue.

In addition to the new track and grandstands, a combined new restroom/concessions/ticketing building and a new locker/multipurpose team building will be placed to frame the main entry off of Clark Avenue. This will create an arrival and hinge point at the northwest corner of the track. This hinge point at the main entry, between the track and baseball and softball fields, centralizes daily gathering spaces for student athletes. It also allows for accessible common spaces and a flow for dropping off and picking up students. Site elements such as a parking lot, an entry plaza, perimeter fencing and landscaping will elevate the curbside appeal of the complex and round out Phase 1 improvements.

Phase 2 is anticipated to demolish the existing locker room/restroom building to enable reconfiguration of the baseball field and the addition of a new softball field on the northern portion of the site, including backstops, dugouts, bullpens, batting cages and seating for each field. The baseball and softball would ultimately share the outfield and utilize movable fence systems for game days. Placement of the two new fields is accommodated in the Master Plan for the property eliminating the need for any change in Phase 1 reconfiguration or reconstruction as Phase 2 moves forward, ensuring a smooth transition and unity within the overall site. The existing baseball field will function as it is today throughout Phase 1 construction, until Phase 2 begins, providing benefit to high school sports.

These plans accommodate St. Anthony High School's long-term 20 year vision for the redevelopment of the Athletic Complex as outlined in the Strategic Plan, approved by the school's Consultative School Board and the Archdioceses of Los Angeles Department of Catholic Schools.

# 20 YEAR LONG RANGE DEVELOPMENT - SITE PLAN

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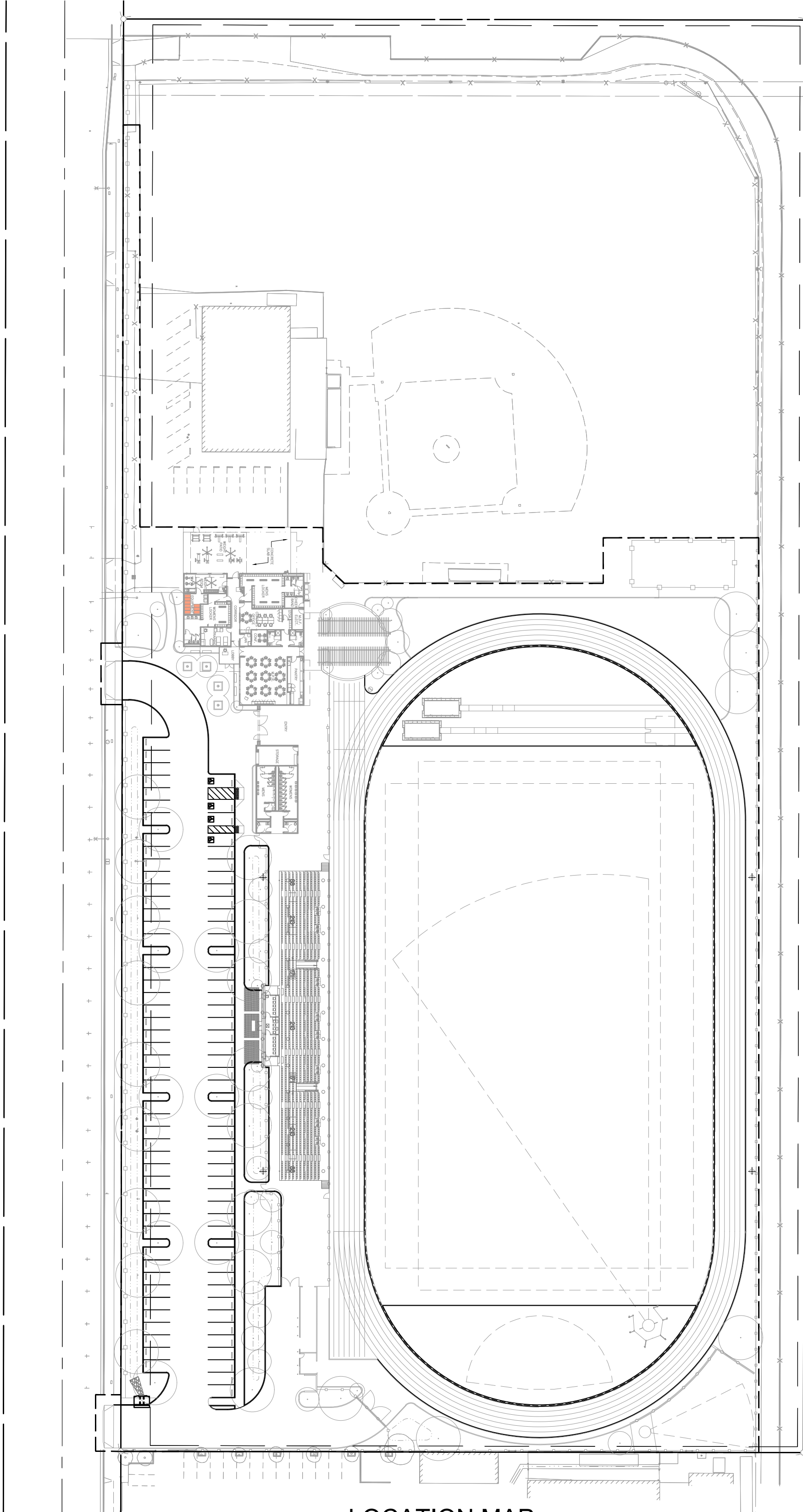
STANDARD ENGINEERING NOTES

1. THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES UPON THEMSELVES THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
3. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, LIGHTS, IRRIGATION ETC.
5. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CONFLICT WITH ADA OR PLAYING FIELD REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
6. ALL EXISTING UTILITIES MAY NOT BE SHOWN. CALL UNDERGROUND SERVICE ALERT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER OR NOT SHOWN IN THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN KIND.
7. THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
8. ANY INSPECTION BY ANY JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
9. ANY HAULING PERMITS REQUIRED ARE TO BE OBTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
10. ANY CONSTRUCTION WATER ACCESS IS TO BE OBTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. FIRE HYDRANT ACCESS MUST BE PERMITTED AND METERED BY THE LOCAL WATER DISTRICT AT NO ADDITIONAL COST TO THE OWNER.
11. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL STORM DRAIN PIPES AND DRAINAGE FACILITIES FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION.
12. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
13. WORK SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 33 OF THE CBC & CFC, "FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION."

DESIGN ABBREVIATIONS

AL =	AREA LIGHT	GND =	GROUND
AC =	ASPHALT	INV =	INVERT OF DRAIN/PIPE
AD =	AREA DRAIN	IR =	IRRIGATION
BLCHR =	BLEACHER	ICV =	IRRIGATION CONTROL VALVE
BLDG =	BUILDING	LF =	LINEAR FEET
BC =	BUILDING CORNER	LG =	LIP OF GUTTER
BM =	BENCHMARK	MH =	MANHOLE
BNCH =	BENCH	(N) =	NEW
BOL =	BOLLARD	N.T.S. =	NOT TO SCALE
BW =	BACK OF WALK	OC =	ON CENTER
CAB =	CABINET	POC =	POINT OF CONNECTION
CB =	CATCH BASIN	R =	RADIUS
CLF =	CHAIN LINK FENCE	REC WB =	RECYCLED WATER BOX
CL =	CENTER LINE	RIM =	RIM OF DRAIN
CTR =	CENTER	SD =	STORM DRAIN
CO =	CLEAN OUT	SDDI =	STORM DRAIN DROP INLET
COL =	COLUMN	DB =	STORM DRAIN BASIN
COMM =	COMMUNICATIONS	SDMH =	STORM DRAIN MANHOLE
CONC =	CONCRETE	SS =	SANITARY SEWER
COND =	CONDUIT	SSCO =	SANITARY SEWER CLEAN OUT
CNTNR =	CONTAINER	SSMH =	SANITARY SEWER MANHOLE
CULV =	CULVERT	STRC =	STRUCTURE
DG =	DECOMPOSED GRANITE	STD =	STANDARD
EB =	ELECTRIC BOX	TC =	TOP OF CURB
ELEC =	ELECTRICAL	TG =	TOP OF GRATE
EW =	EDGE OF WALK	TOP =	TOP OF PIPE
EP =	EDGE OF PAVEMENT	TH =	THRESHOLD
EQ =	EQUAL	UNK =	UNKNOWN
ES =	EVENLY SPACED	V.I.F. =	VERIFY IN FIELD
EV =	ELECTRIC VAULT	VLT =	VAULT
EX =	EXISTING	W =	WATER
FF ELEV =	FINISHED FLOOR ELEVATION	W-T =	WALL TOP
FG =	FINISHED GRADE SYN. TURF & LANDSCAPE FLOW LINE	WV =	WATER VALVE
FL =	FLOW LINE		
FOC =	FACE OF CURB		
FS =	FINISHED PAVED SURFACE		
GR =	GRATE		
GAL =	GALLON		

ST. ANTHONY HIGH SCHOOL ATHLETIC COMPLEX  
ATHLETIC COMPLEX IMPROVEMENTS  
LONG BEACH, CALIFORNIA



LOCATION MAP  
SCALE: 1" = 60'

SCOPE OF WORK

REDEVELOP AND MODERNIZE EXISTING OFF-CAMPUS HIGH SCHOOL ATHLETIC FACILITIES ON A 10 ACRE SITE. COMPLEX INCLUDES NEW 1,200 SEAT STADIUM FOR FOOTBALL, TRACK & FIELD, SOCCER AND LACROSSE, ADJACENT TO NEW BASEBALL AND SOFTBALL FIELDS. NEW CENTRALIZED 6,000 SF TEAM BUILDING WITH LOCKER ROOMS, COED TRAINING ROOM, COACHES OFFICES, EQUIPMENT STORAGE, A MULTI-PURPOSE ROOM AND ATTACHED OUTDOOR WEIGHT STUDIO AND STUDENT PATIO. SITE IMPROVEMENTS INCLUDE NEW SURFACE PARKING, ENTRY PLAZA AND UPGRADED UTILITY SERVICE.

BASIS OF BEARINGS

THE HORIZONTAL BASIS FOR THIS SURVEY IS THE CENTERLINE OF CLARK AVE BEING N 00°05'55" E AS SHOWN ON LOS ANGELES CITY TRACT MAP 16219, MAP BOOK 364 PAGE 2 OF 3.

BENCHMARK

THE VERTICAL BASIS FOR THIS SURVEY FROM THE CITY OF LAKEWOOD & LOS ANGELES COUNTY L&DPW TAG IN E CB 20' S/O BCR @ SE COR CLARK AVE & ARBOR RD.

(BM AY12344, YEAR 2005)  
ELEVATION = 43.75'

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OWNER

ST. ANTHONY HIGH SCHOOL  
620 OLIVE AVE  
LONG BEACH, CA 90802

ARCHITECT

CHRIS LAMBERTH  
THOMPSON, VENTULETT, STAINBACK & ASSOCIATES, INC ARCHITECTS  
1230 PEACHTREE STREET NE, SUITE 2700  
ATLANTA, GEORGIA 30309  
(404) 888-6600  
EMAIL:

STRUCTURAL ENGINEER

KEVIN TOWERS  
LABIB FUNK AND ASSOCIATES

MEP ENGINEER

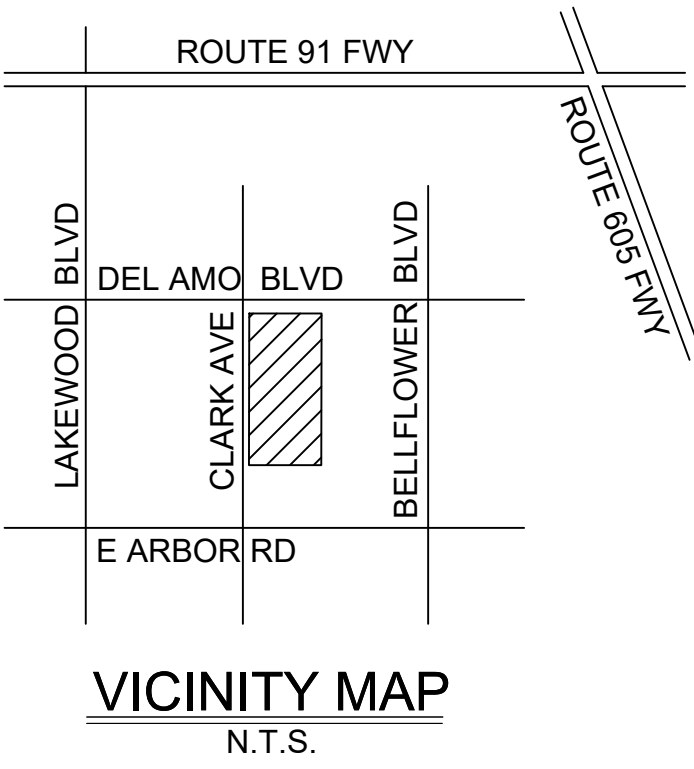
DAWN MACFADYEN  
AMA CONSULTING ENGINEERS, PC

CIVIL ENGINEER

ANTHONY STEVENSON  
LLOYD SPORTS + ENGINEERING, LLC  
7349 N. VIA PASEO DEL SUR, SUITE 515-324  
SCOTTSDALE, AZ 85258  
(480) 330-6248  
EMAIL: astevenson@lloydengineers.com

LANDSCAPE ARCHITECT

BRETT LONG  
LLOYD SPORTS + ENGINEERING, LLC  
885 PATROL ROAD  
WOODSIDE, CA 94062  
(408) 338-6048  
EMAIL: blong@lloydengineers.com



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DESIGN

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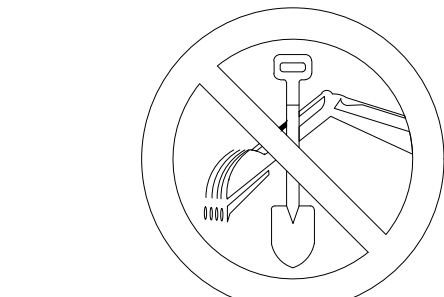
ST. ANTHONY  
HIGH SCHOOL  
SPORTS COMPLEX

DESIGNED:	BL
DATE:	MAY 14, 2021
DRAWN:	J/ITL
PROJ.	20-112
SCALE:	1" = 60'

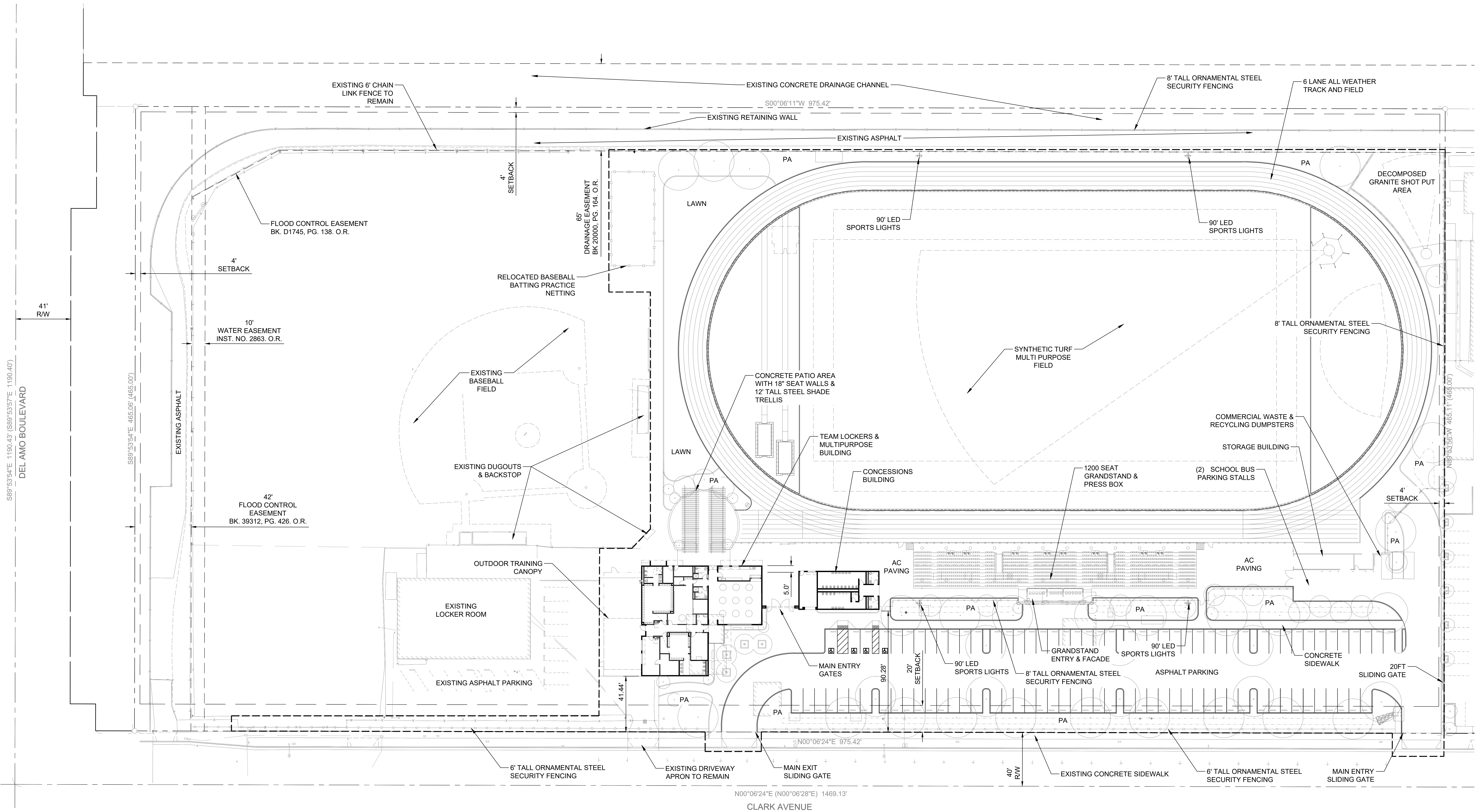
COVER SHEET

DWG. NO.

G0.0



Section 4216/4217 of the government code requires a dig alert identification number be issued before a "permit to excavate" will be valid.  
Call (2) working days before you dig.



#### LEGEND

CENTER LINE	
BOUNDARY LINE	
RIGHT OF WAY LINE	
EASEMENT LINE	
C/L FENCE LINE	
BUILDING LINE	
TREE	
PA	
	PLANTING AREA

#### SITE INFORMATION

LOT SIZE: 453,653 SF  
LOT COVERAGE: 35.78%  
BUILDING AREA: 15,272  
FLOOR AREA RATIO: 3.36%  
TOTAL PARKING SPACES: 119  
90 - 8.5'x18' EVENT PARKING SPACES  
4 - 9'x18' ADA PARKING SPACES  
25 - EXISTING PARKING SPACES TO REMAIN

#### SCHEMATIC DESIGN

PRELIMINARY NOT  
FOR CONSTRUCTION

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#### ST. ANTHONY HIGH SCHOOL SPORTS COMPLEX

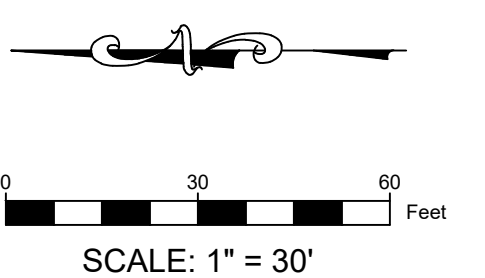
CLARK AVENUE  
LONG BEACH, CA

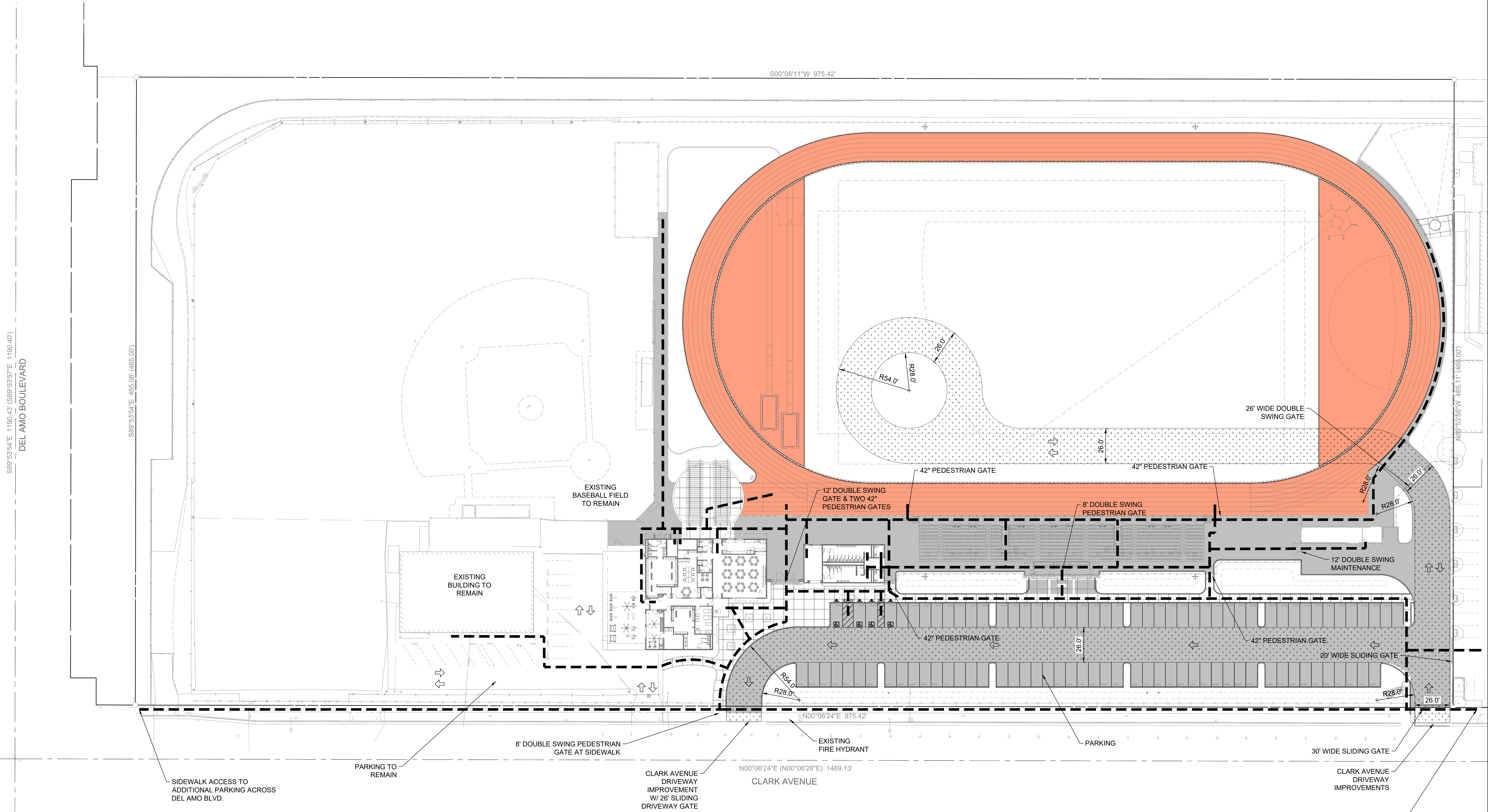
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DATE: MAY 14, 2021  
DRAWN: JI/TL  
PROJ. 20-112  
SCALE: 1" = 30'

#### OVERALL SITE PLAN

DWG. NO.

G0.1





SCHEMATIC  
DESIGN

PRELIMINARY NOT  
FOR CONSTRUCTION

REV.	

ST. ANTHONY  
HIGH SCHOOL  
SPORTS COMPLEX

CLARK AVENUE  
LONG BEACH, CA

DESIGNED:	BL
DATE:	MAY 14, 2021
DRAWN:	JIT/L
PROJ.	20-112
SCALE:	#####

TRANSPORTATION -  
EMERGENCY  
ACCESS PLAN  
DWG. NO.

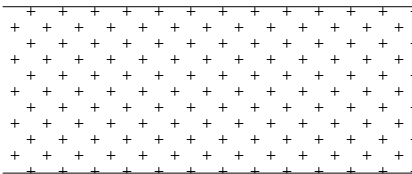
G0.2

ONSITE PARKING CALCULATIONS		
PARKING SPACE TYPE	COUNT	USE
EXISTING TOTAL PARKING SPACES	121	EVENT PARKING
EXISTING ACCESSIBLE SPACES PROVIDED	2	ACCESSIBLE PARKING
EXISTING PARKING SPACES TO REMAIN	25	COACHES AND STAFF PARKING
TOTAL STANDARD PARKING SPACES	90	EVENT PARKING
ACCESSIBLE SPACES PROVIDED	4	ACCESSIBLE PARKING
ST. CYPRIAN EXISTING STANDARD PARKING SPACES	165	EVENT PARKING
ST. CYPRIAN ACCESSIBLE SPACES	4	ACCESSIBLE PARKING
TOTAL PROPOSED ONSITE	290	

OFFSITE PARKING CALCULATIONS		
PARKING SPACE TYPE	COUNT	USE
CLARK AVE. EXISTING PARKING SPACES	80	EVENT PARKING
ARBOR RD. EXISTING PARKING SPACES	37	EVENT PARKING
TOTAL EXISTING OFFSITE	117	

#### LEGEND

FIRE ACCESS LANE



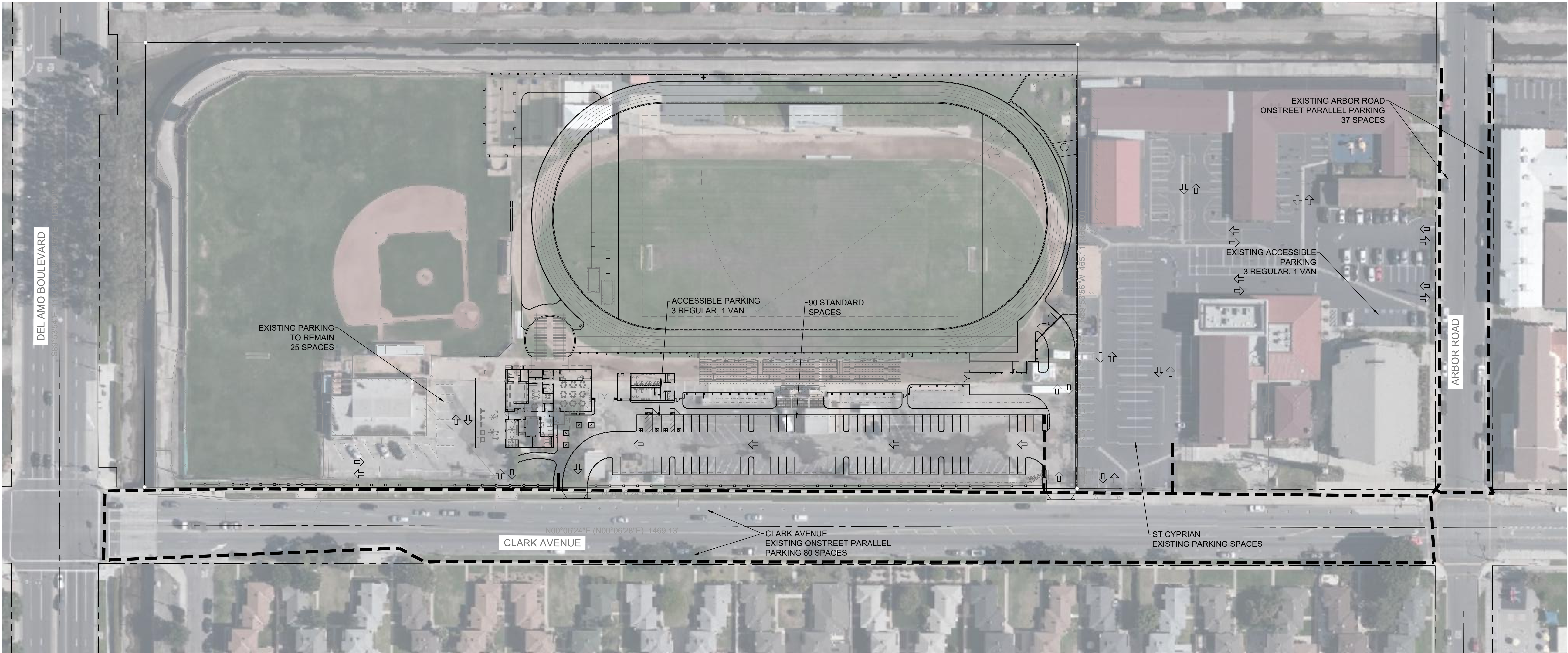
VEHICULAR TRAFFIC DIRECTION



PEDESTRIAN CIRCULATION



0 20 40 Feet  
SCALE: #####



ONSITE PARKING CALCULATIONS		
PARKING SPACE TYPE	COUNT	USE
EXISTING PARKING AT ATHLETIC COMPLEX	121	EVENT PARKING
EXISTING ACCESSIBLE SPACES PROVIDED	2	ACCESSIBLE PARKING
EXISTING PARKING SPACES TO REMAIN	25	COACHES AND STAFF PARKING
TOTAL STANDARD PARKING SPACES	90	EVENT PARKING
ACCESSIBLE SPACES PROVIDED	4	ACCESSIBLE PARKING
ST. CYPRIAN EXISTING STANDARD PARKING SPACES	165	EVENT PARKING
ST. CYPRIAN ACCESSIBLE SPACES	4	ACCESSIBLE PARKING
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PARKING SPACE TYPE	COUNT	USE
CLARK AVE. EXISTING PARKING SPACES	80	EVENT PARKING
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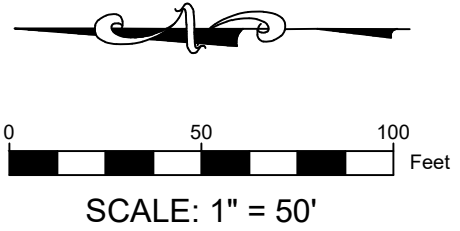
TOTAL REQUIRE PARKING FOR 1200 SPECTATORS 365

TOTAL ON AND OFSITE PARKING 407

LEGEND

VEHICULAR TRAFFIC DIRECTION ↔

PEDESTRIAN CIRCULATION - - - - -



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DESIGN

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ST. ANTHONY  
HIGH SCHOOL  
SPORTS COMPLEX

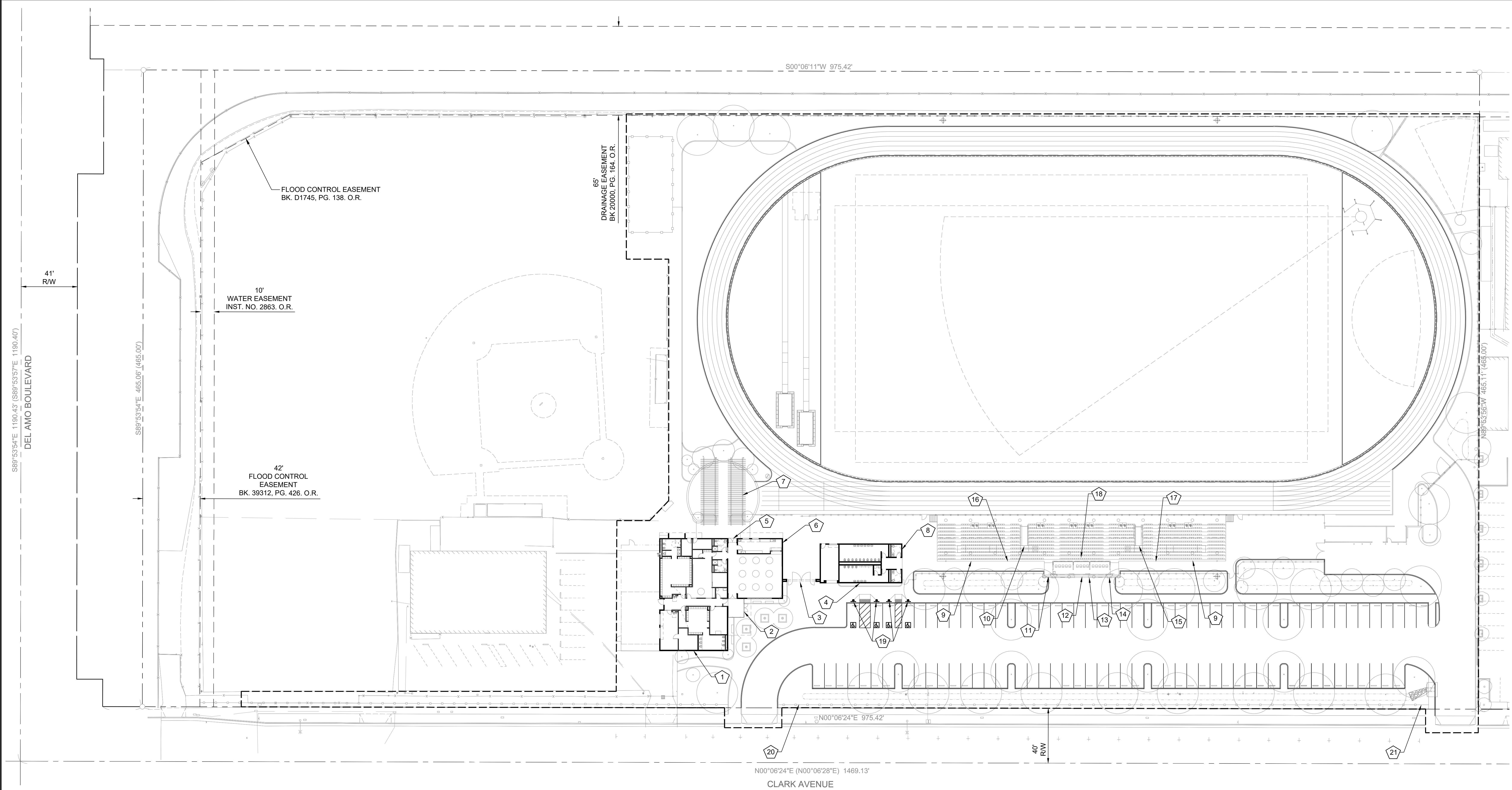
CLARK AVENUE  
LONG BEACH, CA

DESIGNED:	BL
DATE:	MAY 14, 2021
DRAWN:	JIT/L
PROJ.	20-112
SCALE:	1" = 50'

OVERALL PARKING  
PLAN

DWG. NO.

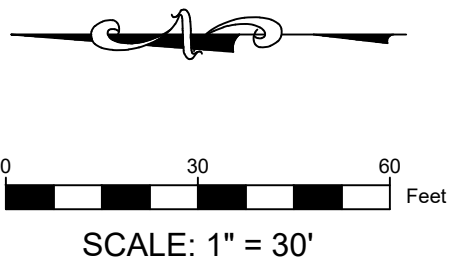
G0.3



LEGEND

CENTER LINE	---
BOUNDARY LINE	---
RIGHT OF WAY LINE	---
EASEMENT LINE	---
C/L FENCE LINE	---
BUILDING LINE	---
TREE	---

ST. ANTHONY HIGH SCHOOL ATHLETIC COMPLEX SIGNAGE TABLE											
SIGN	BUILDING	PLACEMENT	DESCRIPTION / MESSAGE	TYPE	HEIGHT	WIDTH	AREA (SF)	MATERIALS	COLORS	LIGHTING	LIGHTING TYPE
1	TEAM BLDG	NW CORNER, WEST FACE	BUILDING NAME	IDENTITY	1'-6"	30'-0"	45.0	TBD	TBD	Y	FRONT
2	TEAM BLDG	ENTRY, SOUTH FACE	FACILITY NAME / BRAND	WAYFINDING	2'-0"	11'-0"	22.0	TBD	TBD	TBD	
3	ENTRY ARCH	CENTER, EAST FACE	FACILITY NAME / BRAND	IDENTITY	4'-0"	25'-0"	100.0	TBD	TBD	Y	CHANNEL
4	RESTROOM BLDG	CENTER, EAST FACE	MURAL WALL	MURAL	14'-0"	30'-0"	420.0	PAINT	PURPLE, WHITE	Y	FRONT
5	TEAM BLDG	ENTRY DOORS, WEST FACE		WAYFINDING	2'-0"	2'-0"	4.0	METAL	TBD	N	
6	TEAM BLDG	CORNER, SOUTH FACE		WAYFINDING				TBD	TBD		
7	STUDENT PATIO	ON FASCIA, SOUTH FACE	"SAINTS"	IDENTITY	1'-6"	1'-6"	3.0	TBD	TBD	Y	TBD
8	RESTROOM BLDG	ENTRY DOORS, SOUTH FACE		WAYFINDING				TBD	TBD		
9	GRAND STAND	GUARDRAIL, WEST FACE		IDENTITY				TBD	TBD		
10	GRAND STAND	VOMITORY		WAYFINDING				TBD	TBD		
11	GRAND STAND	TICKETS, WEST FACE		IDENTITY				TBD	TBD		
12	GRAND STAND	FACADE WALL, WEST FACE		IDENTITY				TBD	TBD		
13	GRAND STAND	FACADE WALL, WEST FACE		MURAL				TBD	TBD	Y	
14	GRAND STAND	TICKETS, WEST FACE		IDENTITY				TBD	TBD	Y	
15	GRAND STAND	VOMITORY		WAYFINDING				TBD	TBD		
16	GRAND STAND	AISLE, GUARDRAIL, EAST FACE		WAYFINDING				TBD	TBD		
17	GRAND STAND	AISLE, GUARDRAIL, EAST FACE		WAYFINDING				TBD	TBD		
18	GRAND STAND	PRESSBOX, EAST FACING		IDENTITY				TBD	TBD		
19		POST MOUNTED IN FRONT OF ACCESSIBLE PARKING SPACES	INTERNATIONAL SYMBOL OF ACCESSIBILITY "PARKING ONLY" "MINIMUM FINE \$250"	IDENTITY	1'-0"	2'-0"	2.0	METAL	TYPICAL		
20		FENCE MOUNTED AT EXIT GATE	"ST ANTHONY HIGH SCHOOL ATHLETIC COMPLEX EXIT ONLY"	IDENTITY	2'-0"	10'-0"	20.0	TBD	PURPLE, WHITE		
21		FENCE MOUNTED AT ENTRANCE GATE	"ST ANTHONY HIGH SCHOOL ATHLETIC COMPLEX"	IDENTITY	2'-0"	10'-0"	20.0	TBD	PURPLE, WHITE		



SCHEMATIC  
DESIGN

PRELIMINARY NOT  
FOR CONSTRUCTION

REV.	

ST. ANTHONY  
HIGH SCHOOL  
SPORTS COMPLEX

DESIGNED:	BL
DATE:	MAY 14, 2021
DRAWN:	JIT/L
PROJ.	20-112
SCALE:	1" = 30'

SIGN PLAN

DWG. NO.

G0.4

S89°53'54"E 1190.43' (S89°53'57"E 1190.40')

DEL AMO BOULEVARD

S89°53'54"E 465.05' (465.00')

EXISTING ASPHALT

FLOOD CONTROL EASEMENT  
BK. D1745, PG. 138, O.R.

10'  
WATER EASEMENT  
INST. NO. 2863, O.R.

42'  
FLOOD CONTROL  
EASEMENT  
BK. 39312, PG. 426, O.R.

65'  
DRAINAGE EASEMENT  
BK 20000, PG. 164, O.R.

EXISTING  
BATTING  
CAGE

EXISTING  
WEIGHT  
AREA

EXISTING  
CONCESSION  
SHED

EXISTING  
BLEACHERS

EXISTING 6' TALL  
CHAIN LINK FENCE

EXISTING  
DG TRACK

TRACT NO. 8084  
M.B. 171/24-30

EXISTING  
BASEBALL  
FIELD

EXISTING DUGOUTS  
& BACKSTOP

EXISTING  
FOOTBALL  
FIELD

EXISTING  
LOCKER  
ROOM

EXISTING  
RESIDENTIAL  
STRUCTURE

EXISTING  
GARAGE

EXISTING AC  
PARKING LOT

EXISTING  
RESTROOMS

EXISTING  
STORAGE BINS

EXISTING AC  
PARKING LOT

EXISTING OVERHEAD  
POWER LINES

EXISTING 5'  
CONCRETE SIDEWALK

CLARK AVENUE

## LEGEND

CENTER LINE	---
BOUNDARY LINE	- - - -
RIGHT OF WAY LINE	=====
EASEMENT LINE	-----
O/L FENCE LINE	- x - x -
CONTOUR LINE	- - - 49.5 - - -
BUILDING LINE	
TREE	○

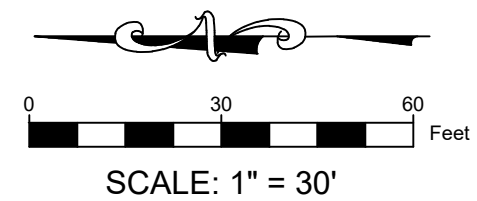
## BASIS OF BEARINGS

THE HORIZONTAL BASIS FOR THIS SURVEY IS THE  
CENTERLINE OF CLARK AVE BEING N 00°05'55" E  
AS SHOWN ON LOS ANGELES CITY TRACT MAP  
16219, MAP BOOK 364 PAGE 2 OF 3.

## BENCHMARK

THE VERTICAL BASIS FOR THIS SURVEY FROM THE  
CITY OF LAKEWOOD &  
LOS ANGELES COUNTY L&DPW TAG IN E CB 20' S/O  
BCR @ SE COR CLARK AVE & ARBOR RD.

(BM AY12344, YEAR 2005)  
ELEVATION = 43.75'



SCHEMATIC  
DESIGN

PRELIMINARY NOT  
FOR CONSTRUCTION

REV.	

ST. ANTHONY  
HIGH SCHOOL  
SPORTS COMPLEX

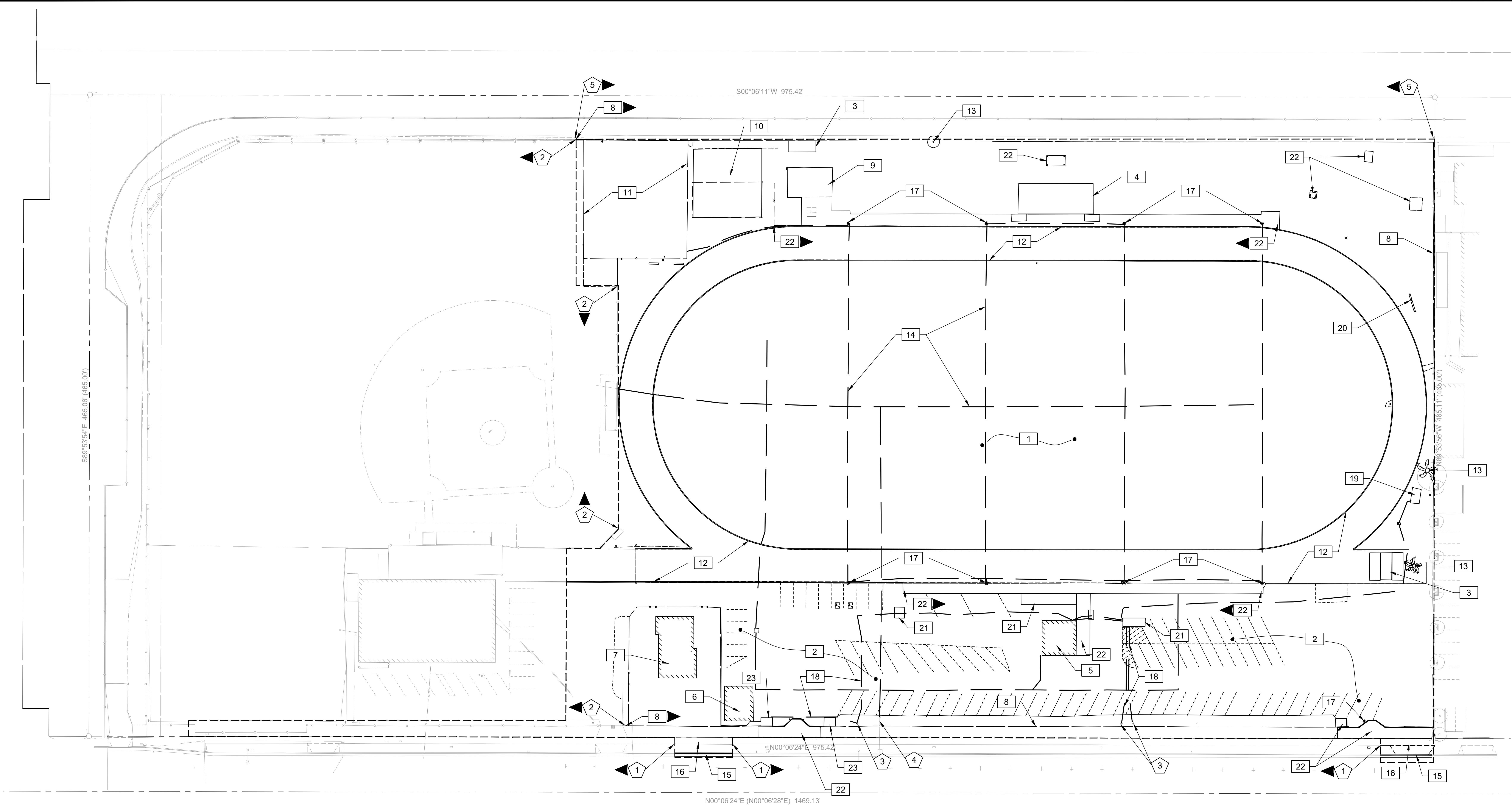
CLARK AVENUE  
LONG BEACH, CA

DESIGNED:	BL
DATE:	MAY 14, 2021
DRAWN:	J/I/T/L
PROJ.	20-112
SCALE:	1" = 30'

EXISTING  
CONDITIONS

DWG. NO.

C1.1



## PROTECT IN PLACE KEYNOTES:

1. PROTECT IN PLACE EXISTING SIDEWALK IN CLARK AVENUE.
2. PROTECT IN PLACE EXISTING 6' TALL CHAIN LINK FENCE.
3. PROTECT IN PLACE EXISTING POWER POLE.
4. PROTECT IN PLACE EXISTING BACK FLOW PREVENTION DEVICE.
5. PROTECT IN PLACE EXISTING ASPHALT ALONG EAST BOUNDARY LINE.

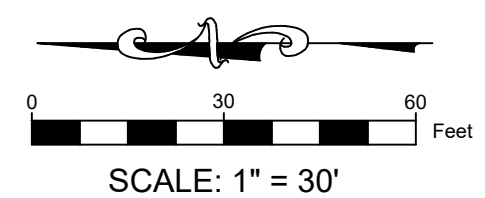
## DEMOLITION KEYNOTES:

1. STRIP SOD AND ANY ADDITIONAL DEPTH AS NECESSARY TO CLEAR EXCESSIVE ORGANICS OR OTHER UNSUITABLE MATERIAL FOR COMPACTED SUBGRADE. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND APPROXIMATE DEPTH.
2. REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS & APPROXIMATE DEPTH.
3. SALVAGE AND RETURN TO OWNER EXISTING STORAGE CONTAINERS.
4. REMOVE AND DISPOSE OF EXISTING BLEACHERS.
5. REMOVE AND DISPOSE OF EXISTING RESTROOM BUILDING.
6. REMOVE AND DISPOSE OF EXISTING GARAGE STRUCTURE.
7. REMOVE AND DISPOSE OF EXISTING RESIDENTIAL STRUCTURE.
8. REMOVE AND DISPOSE OF EXISTING CHAIN LINK FENCE.
9. REMOVE AND DISPOSE OF EXISTING CONCESSION SHED.
10. REMOVE AND DISPOSE OF EXISTING WEIGHT AREA AND CONCRETE SLAB.
11. REMOVE AND DISPOSE OF EXISTING BATTING CAGE.
12. REMOVE AND DISPOSE EXISTING DG TRACK & CURBING.
13. REMOVE AND DISPOSE OF EXISTING TREE.

14. REMOVE AND DISPOSE OF ALL EXISTING IRRIGATION MAINLINE OR DRAINAGE PIPES AND ABANDON IRRIGATION LATERALS WITHIN THE CONSTRUCTION LIMITS. THE CONTRACTOR MUST VERIFY ALL EXISTING IRRIGATION AND/OR DRAINAGE SOURCES. CONTRACTOR IS RESPONSIBLE TO MAINTAIN BOTH FLOW AND AUTOMATED CONTROL SERVICE TO ANY ADJACENT LANDSCAPE OR DRAINAGE AREAS DURING AND AFTER CONSTRUCTION. CONTRACTOR MUST REPLACE ANY AND ALL CONTROL WIRES THAT ARE ROUTED THROUGH DEMOLITION AREA TO VALVES THAT ARE TO REMAIN OUTSIDE OF DEMOLITION AREA. ALL NEW WIRES TO BE INSTALLED IN NEW MAINLINE TRENCH.
15. SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE VERTICAL CURB AND GUTTER. IF SAWCUT LINE IS CLOSE TO AN EXISTING JOINT, REMOVE TO THE JOINT.
16. SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK. IF SAWCUT LINE IS CLOSE TO AN EXISTING JOINT, REMOVE TO THE JOINT.
17. SALVAGE AND RETURN TO OWNER EXISTING AREA LIGHT.
18. REMOVE AND DISPOSE OF EXISTING OVERHEAD AND UNDERGROUND ELECTRICAL LINES AND RELATED EQUIPMENT WITHIN LIMIT OF WORK, EXCEPT WHERE NOTED TO BE PROTECTED IN PLACE.
19. REMOVE AND DISPOSE OF EXISTING SCOREBOARD.
20. REMOVE AND DISPOSE OF EXISTING BILLBOARD.
21. REMOVE AND DISPOSE OF EXISTING SHED.
22. REMOVE AND DISPOSE OF EXISTING CONCRETE SLAB OR SIDEWALK.
23. REMOVE AND DISPOSE OF EXISTING TICKET BOOTH.

## GENERAL NOTES:

1. \_\_\_\_\_



SCHEMATIC  
DESIGN

PRELIMINARY NOT  
FOR CONSTRUCTION

ST. ANTHONY  
HIGH SCHOOL  
SPORTS COMPLEX

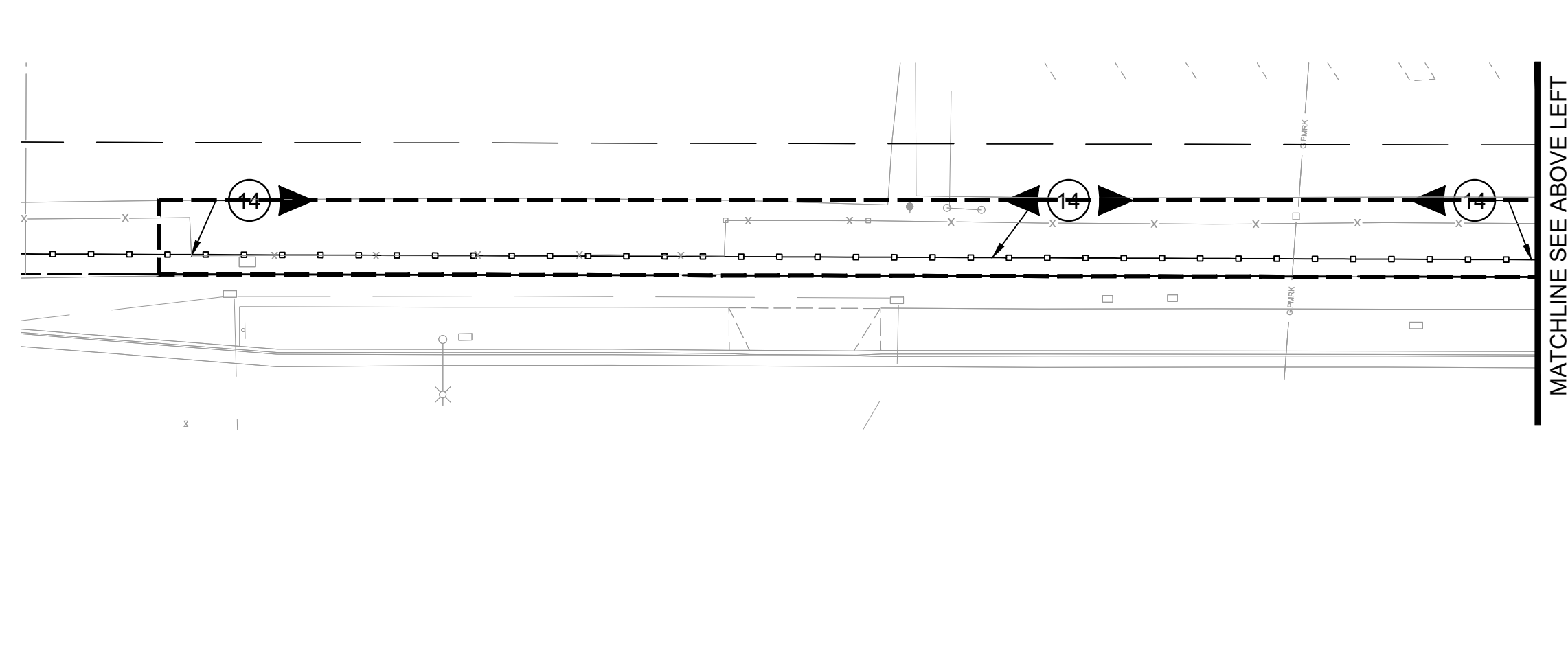
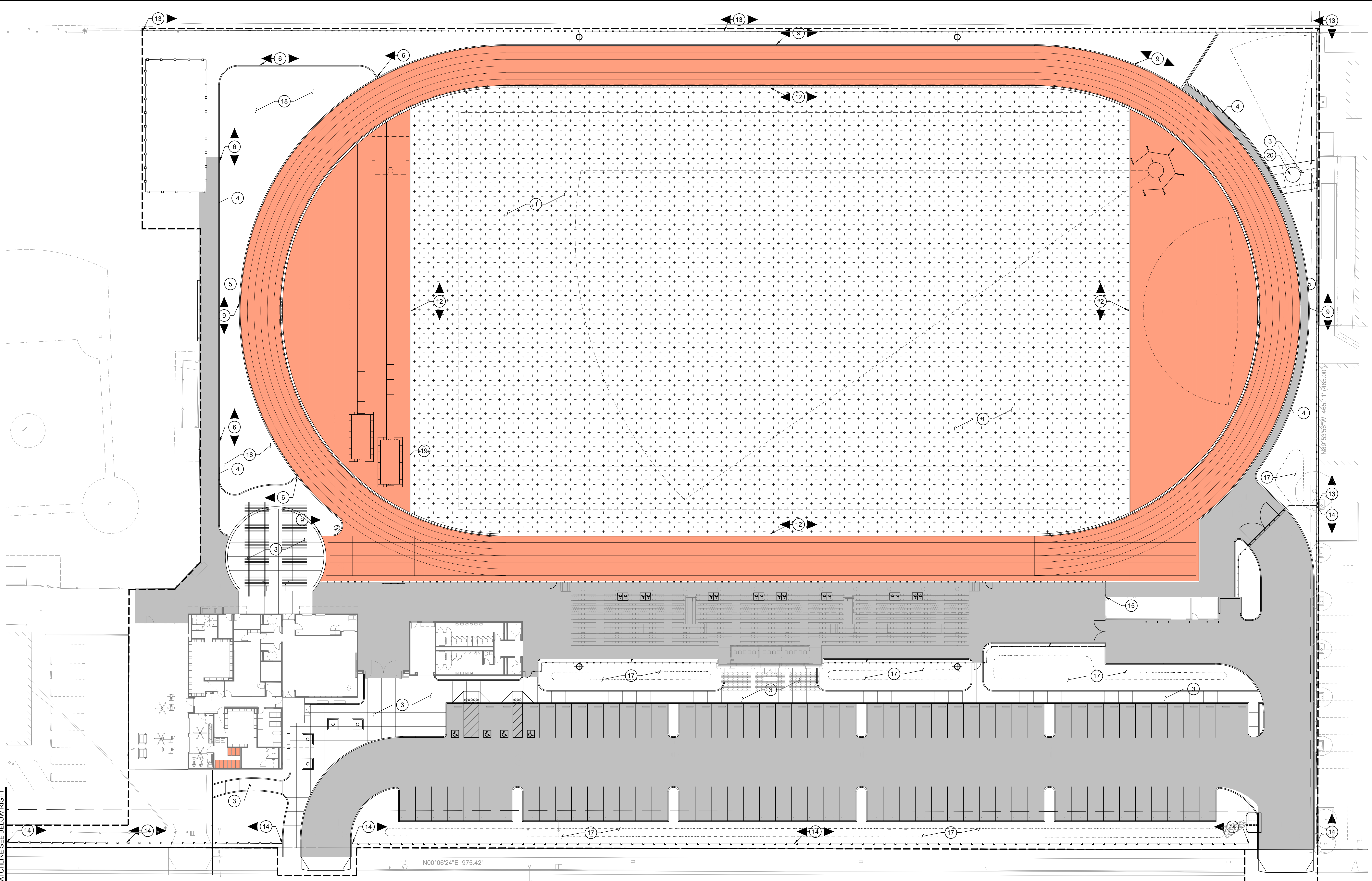
CLARK AVENUE  
LONG BEACH, CA

DESIGNED: BL  
DATE: MAY 14, 2021  
DRAWN: JI/TL  
PROJ. 20-112  
SCALE: 1" = 30'

DEMOLITION  
PLAN

DWG. NO.

C2.1

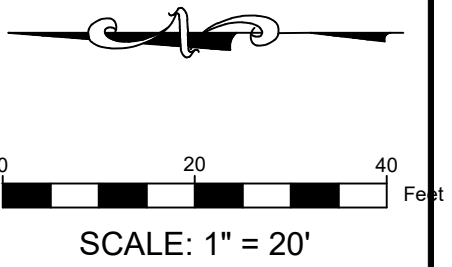


**SURFACING KEY NOTES:**

- |    |   |    |  |
|----|---|----|--|
| 1  | INSTALL SYNTHETIC TURF SYSTEM, SHOCK/RAIN PAD AND PERMEABLE BASE PER DETAIL XX, SHEET XXX | 11 | INSTALL 6" X 48" PRE-CAST CONCRETE WHEEL STOP PER DETAIL XX, SHEET X |
| 2  | INSTALL 6" X 12" CONCRETE CURB & NAILER AT TURF PERIMETER PER DETAIL XX, SHEET XXX        | 12 | INSTALL 6" SLOTTED DRAIN PER DETAIL XX, SHEET XXX                    |
| 3  | INSTALL NATURAL GRAY CONCRETE PAVING WITH LIGHT BROOM FINISH PER DETAIL XX, SHEET XXX     | 13 | INSTALL 8" TALL TUBULAR STEEL FENCING PER DETAIL XX, SHEET XXX       |
| 4  | INSTALL GRAY VEHICULAR A.C. PAVEMENT PER DETAIL XX, SHEET XXX                             | 14 | INSTALL 6" TALL TUBULAR STEEL FENCING PER DETAIL XX, SHEET XXX       |
| 5  | INSTALL TRACK A.C. PAVEMENT PER DETAIL XX, SHEET XXX                                      | 15 | INSTALL 42" TUBULAR STEEL FENCE PER DETAIL XX, SHEET XXX             |
| 6  | INSTALL 6" X 6" CONCRETE EDGE BAND CURB PER DETAIL XX, SHEET XXX                          | 16 | INSTALL 20" WIDE TUBULAR STEEL GATE PER DETAIL X, SHEET XXX          |
| 7  | INSTALL 6" VERTICAL CONCRETE CURB PER DETAIL XX, SHEET XXX                                | 17 | INSTALL BIORETENTION BASIN PER DETAIL XX, SHEET XXX                  |
| 8  | INSTALL 6" FLUSH CONCRETE CURB PER DETAIL XX, SHEET XXX                                   | 18 | INSTALL NATURAL SOD PER PLANTING PLAN                                |
| 9  | INSTALL 6" X 12" CONCRETE CURB AT TRACK PERIMETER PER DETAIL XX, SHEET XXX                | 19 | INSTALL LONG JUMP SAND CATCHERS PER DETAIL XX, SHEET XXX             |
| 10 | INSTALL 6" VERTICAL CURB & GUTTER PER DETAIL XX, SHEET XXX                                | 20 | INSTALL SHOT PUT RING & TOE BOARD PER DETAILS XX SHEET XXX           |
|    |   | 21 | INSTALL DISCUS RING PER DETAILS XX, SHEET XXX                        |

**SURFACING LEGEND**

- |  |  |
|--|--|
|  | PERMEABLE & SYNTHETIC TURF SYSTEM.               |
|  | NATURAL GRASS                                    |
|  | NATURAL GRAY CONCRETE W/ LIGHT BRC CONTROL JOINT |
|  | TRACK ASPHALT PAVEMENT                           |



SCHEMATIC  
DESIGN

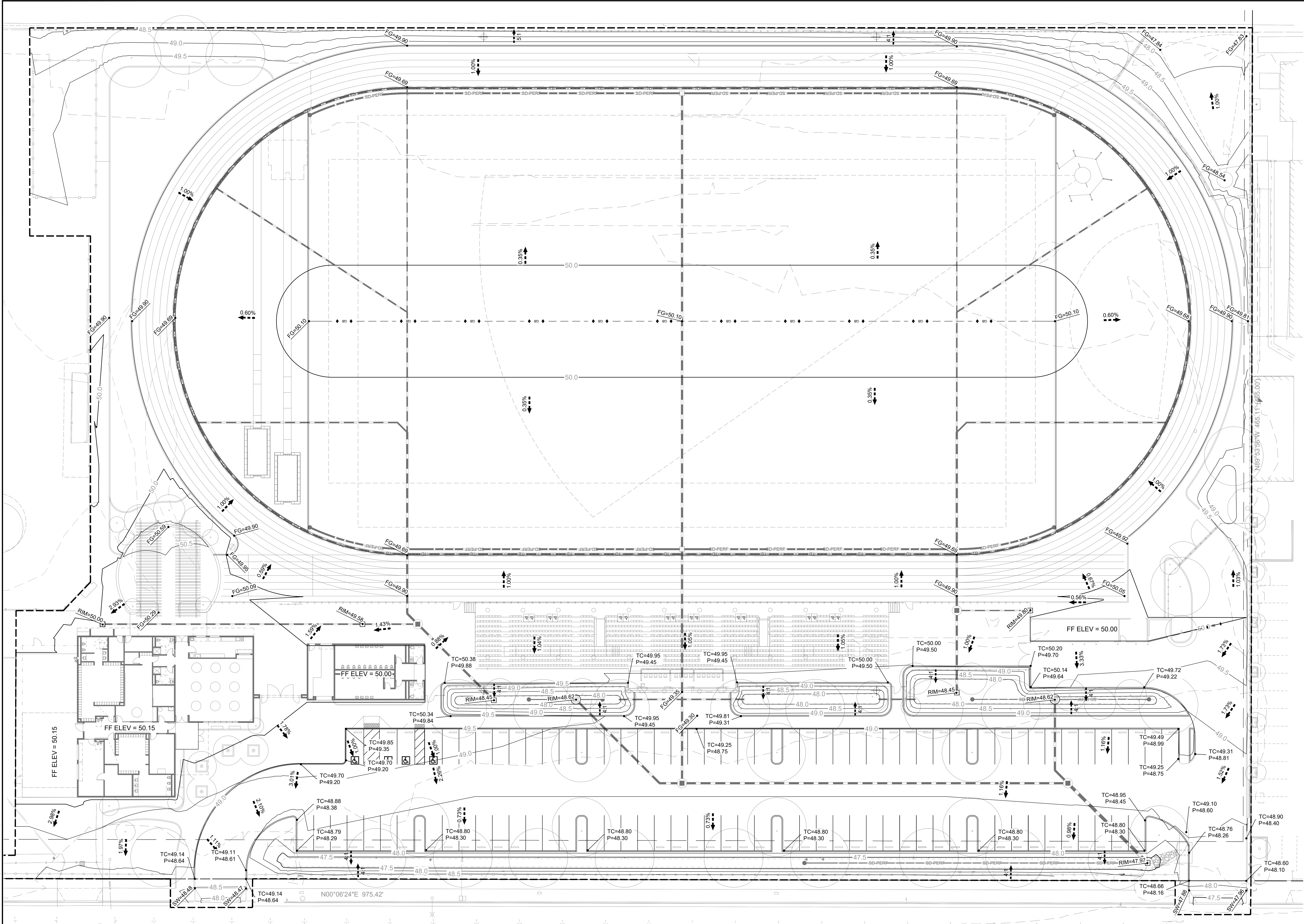
PRELIMINARY NOT  
FOR CONSTRUCTION

REV.	

ST. ANTHONY  
HIGH SCHOOL  
SPORTS COMPLEX

DESIGNED:	BL
DATE:	MAY 14, 2021
DRAWN:	JIT/L
PROJ.	20-112
SCALE:	1" = 20'

SURFACING  
PLAN  
DWG. NO.  
**C3.1**



### GRADING KEYNOTES

- 1 FINISHED SURFACE ELEVATION TO MATCH EXISTING GRADE.

### GRADING LEGEND

- LIMITS OF CONSTRUCTION  
--- SURFACE FLOW DIRECTION  
--- SWALE  
\*SEE C0.0 FOR ABBREVIATIONS

### GRADING NOTES:

1. FINISHED GRADE (FG) AND FINISHED SURFACE (FS) ELEVATIONS SHOWN ARE FINISHED GRADE, TOP OF SYNTHETIC TURF INFILL, TOP FINISHED LANDSCAPE GRADES.
2. SUBGRADE MUST BE PREPARED AND COMPACTED IN ACCORDANCE WITH ALL RECOMMENDATIONS AND REQUIREMENTS PER GEOTECHNICAL REPORT.
3. FIELD CONTRACTOR MUST ACCEPT SUBGRADE CONDITIONS PRIOR TO FIELD CONSTRUCTION.

### EARTHWORK CALCULATIONS

	CUT	FILL
ORGANIC AND MILLING OFFHAUL	3.987 CY	
RAW CUT	2.594 CY	
RAW FILL		2.297 CY
TOTAL EXPORT	4.284 CY	

NOTE: THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.

NOTE: EARTHWORK QUANTITIES WERE CALCULATED USING EXISTING SURFACE ELEVATIONS AND PROPOSED SUBGRADE. HOWEVER FOOTING AND FOUNDATION EXCAVATIONS, TRENCHING, SHRINK AND SWELL WERE NOT CONSIDERED.

### SCHEMATIC DESIGN

PRELIMINARY NOT  
FOR CONSTRUCTION

REV.

### ST. ANTHONY HIGH SCHOOL SPORTS COMPLEX

CLARK AVENUE  
LONG BEACH, CA  
DESIGNED: BL  
DATE: MAY 14, 2021  
DRAWN: JI/TL  
PROJ. 20-112  
SCALE: 1" = 20'

### GRADING PLAN

DWG. NO.

C6.1



0 20 40 Feet  
SCALE: 1" = 20'

SCHEMATIC  
DESIGN

PRELIMINARY NOT  
FOR CONSTRUCTION

REV.

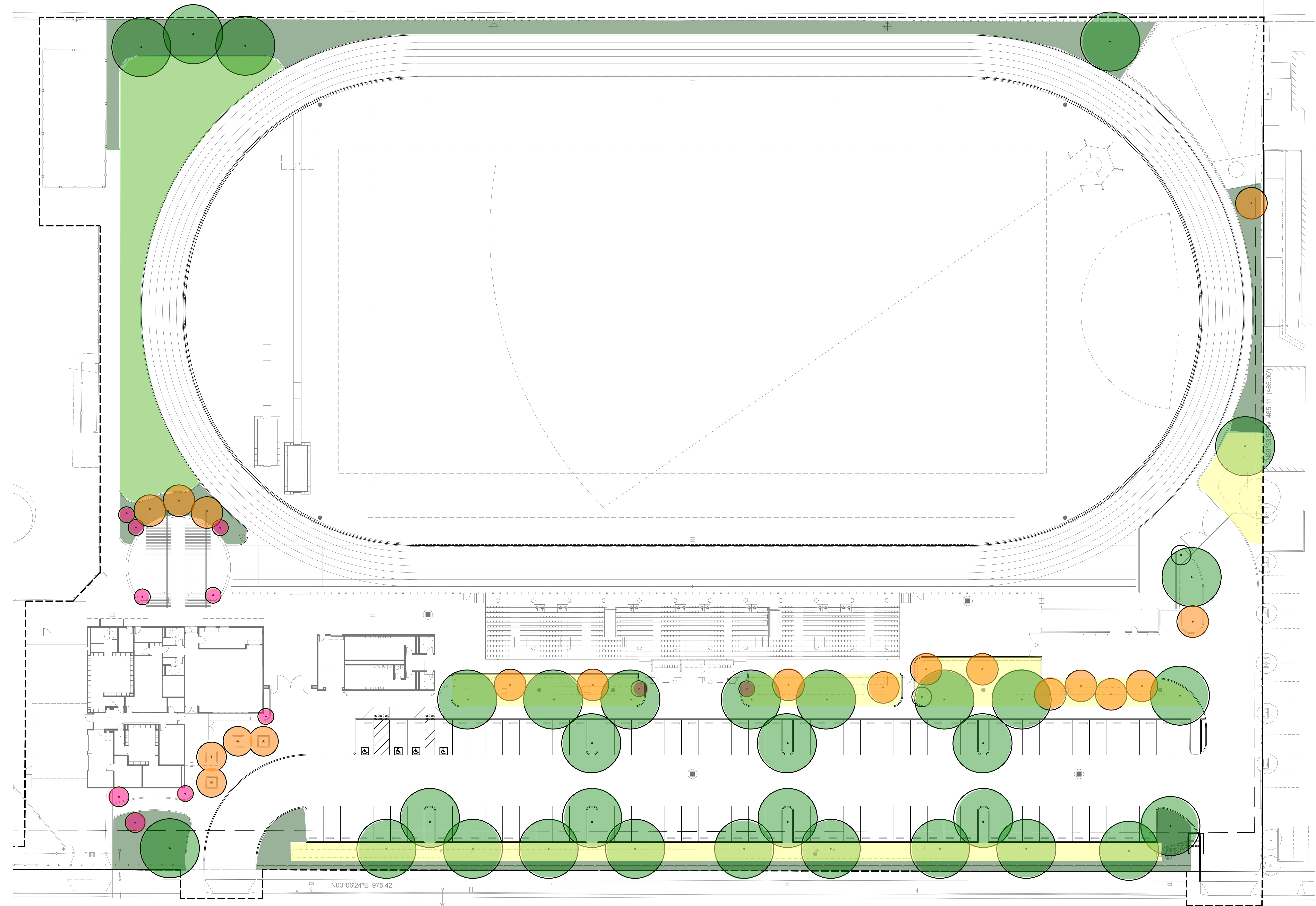
ST. ANTHONY  
HIGH SCHOOL  
SPORTS COMPLEX

CLARK AVENUE  
LONG BEACH, CA

DESIGNED: BL  
DATE: MAY 14, 2021  
DRAWN: JI/TL  
PROJ: 20-112  
SCALE: 1" = 20'

PLANTING  
PLAN  
DWG. NO.

C8.1



PRELIMINARY PLANT LIST

SHADE TREES					31
CC	<i>Cinnamomum camphora</i>	Camphor Tree	36" BOX	PER PLAN	30' Min mature spread
GP	<i>Geijera parvifolia</i>	Australian Willow	36" BOX	PER PLAN	30' Min mature spread
JM	<i>Jacaranda mimosafolia</i>	Jacaranda	36" BOX	PER PLAN	30' Min mature spread
PR	<i>Platanus racemosa</i>	California Sycamore	36" BOX	PER PLAN	30' Min mature spread
UP	<i>Ulmus parvifolia</i>	Chinese Elm	36" BOX	PER PLAN	30' Min mature spread

ACCENT TREES					29
AM	<i>Arbutus 'Marina'</i>	Strawberry Tree	24" BOX	PER PLAN	MULTI TRUNK
CO	<i>Cercis occidentalis</i>	Redbud	24" BOX	PER PLAN	
DV	<i>Doedenae viscosa</i>	Hopseed Bush	15 Gallon	PER PLAN	
LI	<i>Lagerstromia indica 'Tuscarora'</i>	Crape Myrtle	36" BOX	PER PLAN	
PC	<i>Prunus cerasifera 'Krauter Vesuvius'</i>	Purple Leaf Plum	36" BOX	PER PLAN	

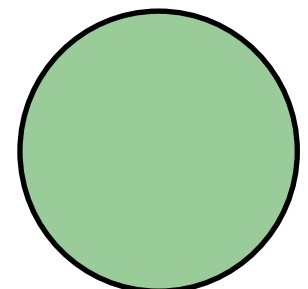
SHRUBS & PERENNIALS					
AB	<i>Anigozanthos 'Big Red'</i>	Big Red Kagaroo Paw	5 GALLON	36" OC	5%
AP	<i>Arctostaphylos 'Pacific Mist'</i>	Pacific Mist Manzanita	1 GALLON	48" OC	10%
CA	<i>Calamagrostis x. 'Karl Foerster'</i>	Feather Reed Grass	1 GALLON	30" OC	10%
CC	<i>Cotinus coggygria 'Royal Purple'</i>	Purple Smoke Bush	5 GALLON	Accent	5%
DV	<i>Dietes vegeta</i>	Fortnight Lily	5 GALLON	Accent	5%
HH	<i>Hemerocallis 'Hyperion'</i>	Yellow Daylily	1 GALLON	24" OC	5%
LA	<i>Lananta m. "Radiation"</i>	Orange Lantana	1 GALLON	36" OC	10%
LV	<i>Lavendula dentata</i>	French Lavender	1 GALLON	36" OC	5%
MR	<i>Muhlenbergia rigens</i>	Deer Grass	5 GALLON	48" OC	10%
PT	<i>Phormium tenax</i>	New Zealand Flax	5 GALLON	Accent	5%
RC	<i>Rosa californica</i>	California Wild Rose	5 GALLON	Accent	5%

BIORETENTION PLANTING					
JP	<i>Juncus patens</i>	Blue Rush	1 GALLON	18" OC	25%
SL	<i>Salvia leucophylla</i>	Purple Sage	1 GALLON	30" OC	10%
NF	<i>No-Mow Fescue Blend</i>	No-mow Sod		SOD	35%

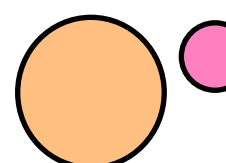
LAWN AREA		
LAWN	<i>Ryegrass Fescue Blend</i>	Lawn Sod
		SOD

Note: Perennial and shrub planting percentage indicates planter area estimated coverage of area by plant species. Uncovered or mulched area is estimated at 30% of the landscape area.

PLANTING PLAN LEGEND



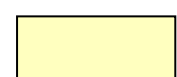
SHADE TREES



ACCENT TREES



PERENNIAL & SHRUB PLANTING AREAS



BIORETENTION PLANTING AREA



LAWN AREA



0 20 40 Feet

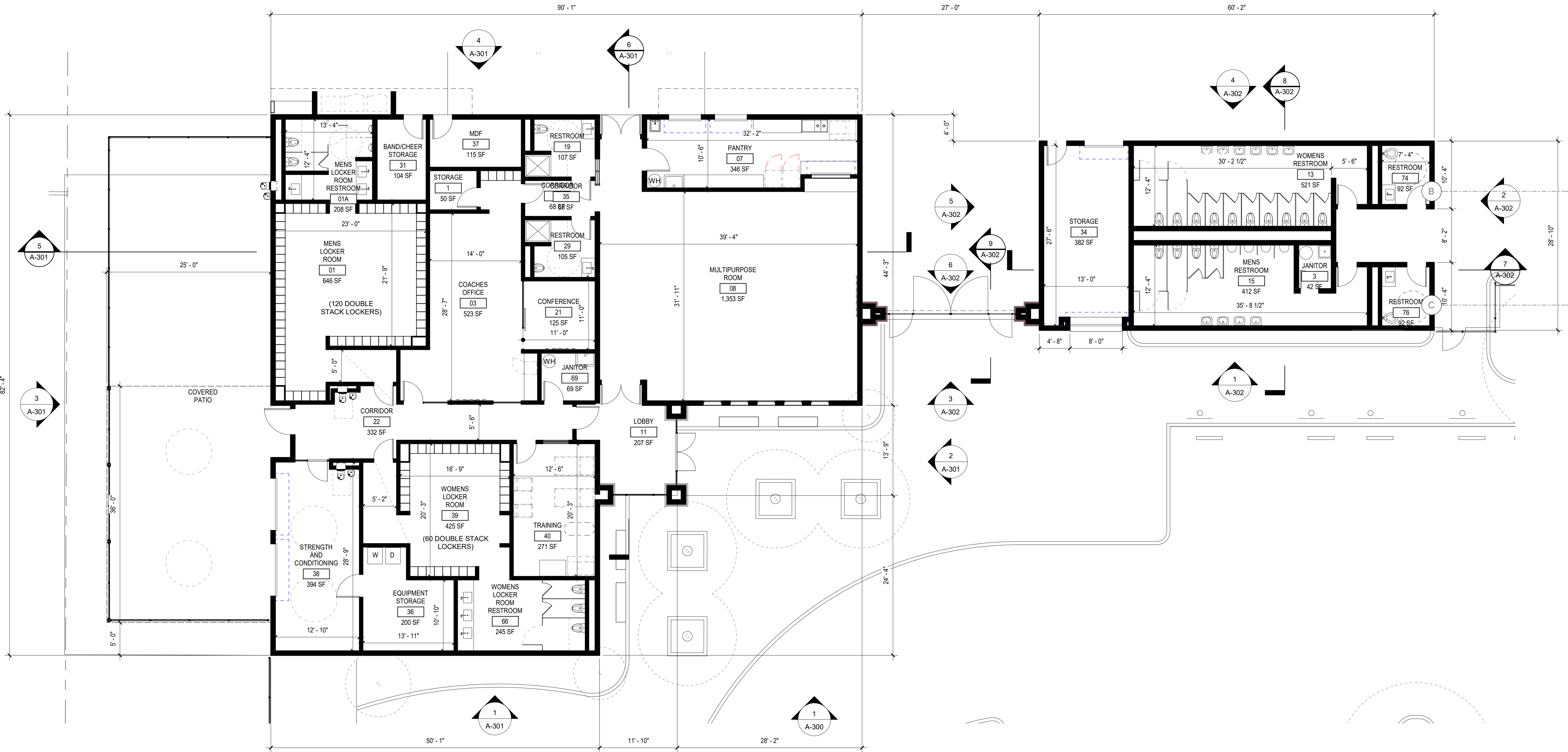
SCALE: 1" = 20'

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1

FLOOR PLAN TEAM BUILDING

1/8" = 1'-0"



SHEET KEYNOTE LEGEND

DESIGNATION KEYNOTE DESCRIPTION



7349 N. VIA PASEO DEL SUR  
SUITE 515-324  
SCOTTSDALE, ARIZONA 85258  
PH 602.635.4226

tvdsdesign

THOMPSON, VENTULETT, STANNACK & ASSOCIATES, INC., ARCHITECTS  
12700 McDowell Street SE, Suite 200, Atlanta, Georgia 30349  
404.888.5000 Fax 404.888.1760 thvdesign.com

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THOMPSON, VENTULETT, STANNACK & ASSOCIATES, INC., ARCHITECTS

SHEET SPECIFIC NOTES

VALUE NOTE

PARTITION PLAN  
GENERAL NOTES

- A. Openings in rated, walls, floors, ceilings and roof assemblies shall be fire-stopped with UL approved material for its intended purpose to maintain rating requirements.
- B. Maintain the fire rating of construction around cabinets, panels, and boxes recessed in fire-rated wall, floor or ceiling assemblies.
- E. Provide stiffeners, bracing, backing plates and/or fire-treated wood blocking as required for secure installation of toilet partitions, doors, accessories, hardware, equipment, millwork, shelving, etc. including but not limited to wall-mounted door stops, handrails, wall-mounted shelves, cabinets, operable partitions, equipment, brackets, etc.
- F. Provide and coordinate base and housekeeping pads with mechanical, plumbing, electrical equipment.
- H. Plan dimensions at partitions are to face of partition unless otherwise noted.
- I. Locate access panels as indicated on Drawings. For access panels not shown but required by other provisions of the Contract Documents and/or required in accordance with applicable codes, submit proposed locations to the Architect for review and approval prior to installation.
- J. Partitions to be Type xxxxx unless otherwise noted.

PRELIMINARY NOT  
FOR CONSTRUCTION

REV.

DESIGNED:

DATE: 2016.02.01

DRAWN:

PROJ.

SCALE: AS NOTED

FLOOR PLANS

DWG. NO.

A-201

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1	CEILING PLAN TEAM BUILDING
1/8" = 1'-0"	



SHEET KEYNOTE LEGEND	
DESIGNATION	KEYNOTE DESCRIPTION

7349 N. VIA PASEO DEL SUR  
SUITE 515-324  
SCOTTSDALE, ARIZONA 85258  
PH 602.635.4226

tvdsdesign

THOMPSON, VENTULETT, STANNACK & ASSOCIATES, INC., ARCHITECTS  
12775 McDowell Street SE, Suite 200, Atlanta, Georgia 30349  
404.888.5000 fax 404.888.1760 tvdsdesign.com

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SHEET SPECIFIC NOTES	
VALUE	NOTE

CEILING LEGEND	
CEILING TYPES	

CEILING HEIGHT

CEILING TYPE

10'-0" 12345

Ceiling Finish Nos.

CEILING FINISH

G = GYPSUM BOARD CEILING

GG = GFRG CEILING

A = ACOUSTICAL PANEL CEILING

S = STUCCO SOFFIT

E = EXISTING CEILING TO REMAIN

CEILING GRAPHICS

○ RECESSED LIGHT FIXTURE

● EXISTING LIGHT FIXTURE TO REMAIN

----- LIGHT COVE

■ NOT IN SCOPE

#### CEILING GENERAL NOTES:

- A. Building systems, fixtures and devices shown on the Reflected Ceiling Plans and Interior Elevations, such as alarm devices, light fixtures, air diffusers, speakers and sprinkler heads, etc. are shown on the Architectural Drawings to show location and layout pattern. The Architectural Drawings do not represent complete systems that may be required by other Contract Documents.
- B. In finished ceiling areas, sprinkler locations indicated on the Architectural Reflected Ceiling Plans and Interior Elevations provide design intent of visual pattern / layout. Supplemental heads may be required to provide overall system compliance with specified standards, coverage criteria and other requirements. Additional locations as may be required to meet code shall be provided and reviewed with Architect prior to with installation.
- C. Light fixtures, alarm devices and exit signs may be shown on the Architectural Reflected Ceiling Plans for layout clarity only. See interior elevations for heights and placement. See Electrical and Lighting Drawings for quantities and other requirements.
- D. Where an item is mounted on the ceiling, dropped soffitted opening, etc., it shall be centered on the element (ceiling tile, gypsum board band, etc.) in which it is placed unless otherwise noted.
- E. Tolerance for sprinkler head locations is within a one inch radius of the dimensioned location or the center of ceiling tile while maintaining a code compliant layout. Sprinkler heads shall be aligned in directions, unless noted otherwise.
- F. Dimensions are to the centerline of devices, typical.
- G. Soffits / cased openings, etc. are to align with finished face of adjacent walls typical, unless otherwise noted.
- H. Ceiling devices shall not be located closer than 12" to any finished vertical wall typical, unless otherwise noted.
- I. Downlights / wallwashers located at entry doors are to be centered on individual doors, typical, unless otherwise noted.
- J. Refer to Electrical Drawings for back-of-house lighting, unless otherwise noted.
- K. Light fixtures, ducts, devices suspended from structure above, sprinkler heads, speakers, piping, etc as located in areas designated to be open to structure above shall provide a minimum 8' - 0" clear above Finish Floor.
- L. Provide support (braced and anchored) to structure above - including miscellaneous steel, metal framing, treated wood blocking as required for mounting of devices and equipment located within the ceiling and/or ceiling plenum area.
- M. Devices, conduits, wiring, etc. shall not be supported from ceiling grid, tile or ceiling attachments.
- N. Light fixtures, life safety devices, speakers, etc. shall be located at the center of ceiling tiles - in which they occur - in both direction, unless otherwise noted.
- O. Means of access shall be provided at specific, approved locations in ceiling systems to allow for maintenance of equipment located within or above the ceiling.

PRELIMINARY NOT FOR CONSTRUCTION

REV.	

DESIGNED:	
DATE:	05/26/21
DRAWN:	
PROJ.	
SCALE:	AS NOTED

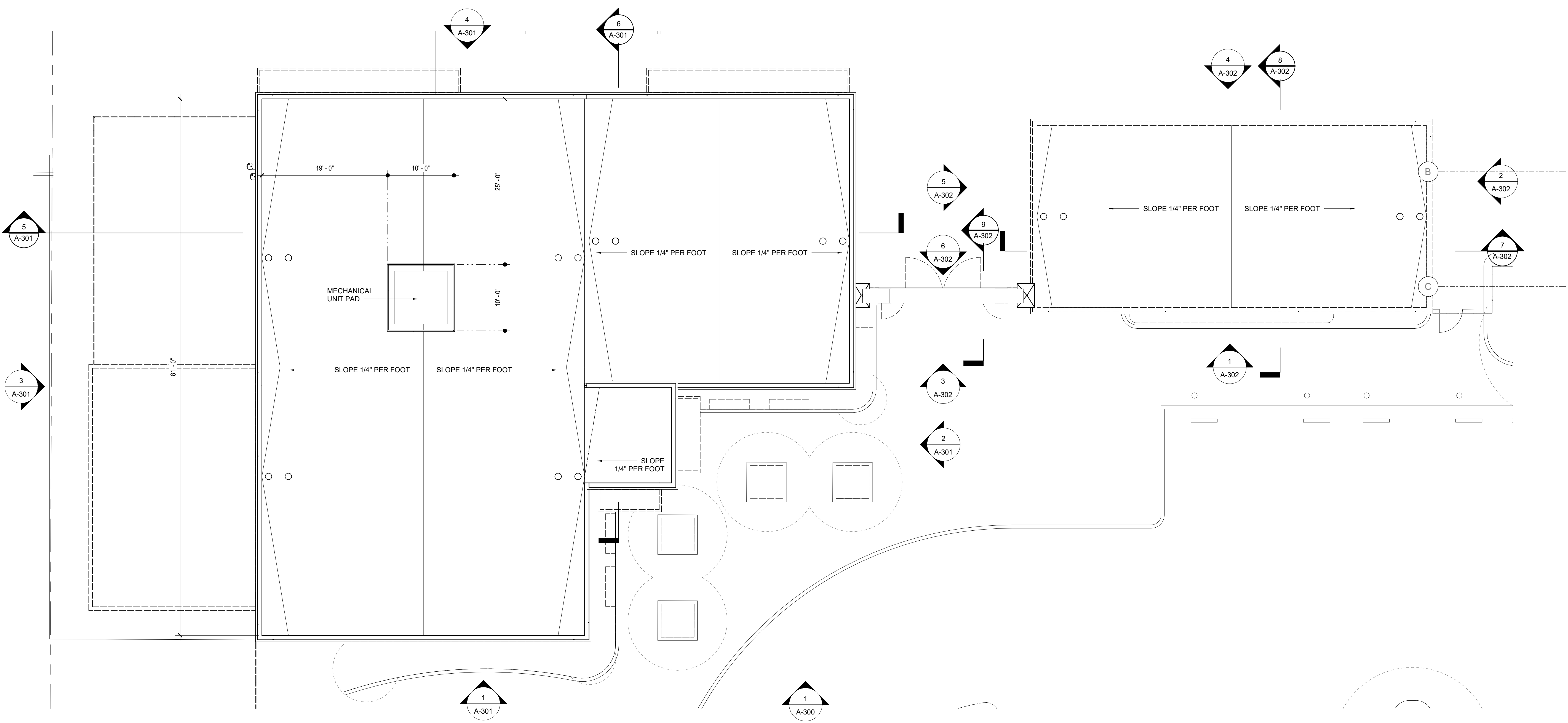
CEILING PLAN

DWG. NO.  
A-202

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1  
1/8" = 1'-0"

ROOF PLAN



SHEET KEYNOTE LEGEND	
DESIGNATION	KEYNOTE DESCRIPTION

7349 N. VIA PASEO DEL SUR  
SUITE 515-324  
SCOTTSDALE, ARIZONA 85258  
PH 602.635.4226

THOMPSON, VENTULETT, STANNACK & ASSOCIATES, INC., ARCHITECTS  
12275 McDowell Street SE, Suite 200, Aliso Viejo, CA 92656  
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SHEET SPECIFIC NOTES	
VALUE	NOTE

PRELIMINARY NOT FOR CONSTRUCTION

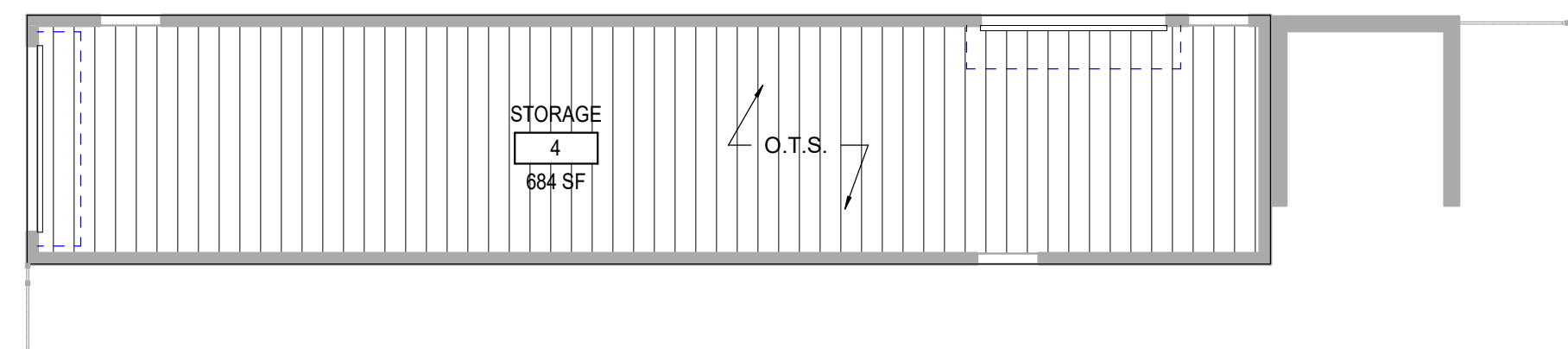
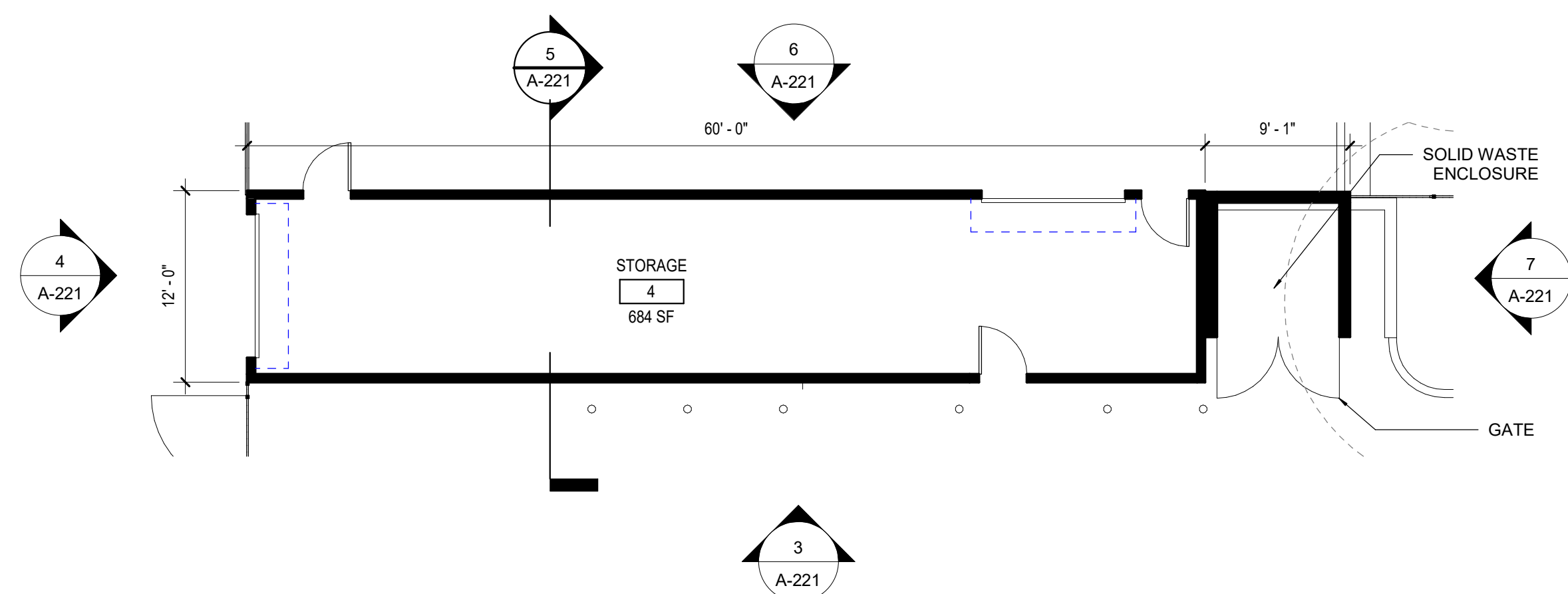
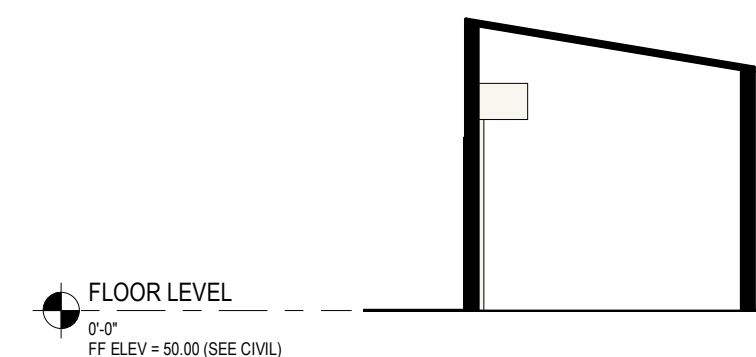
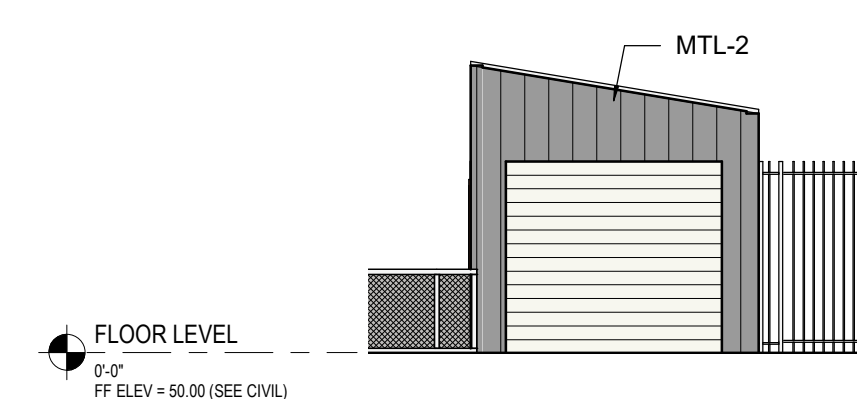
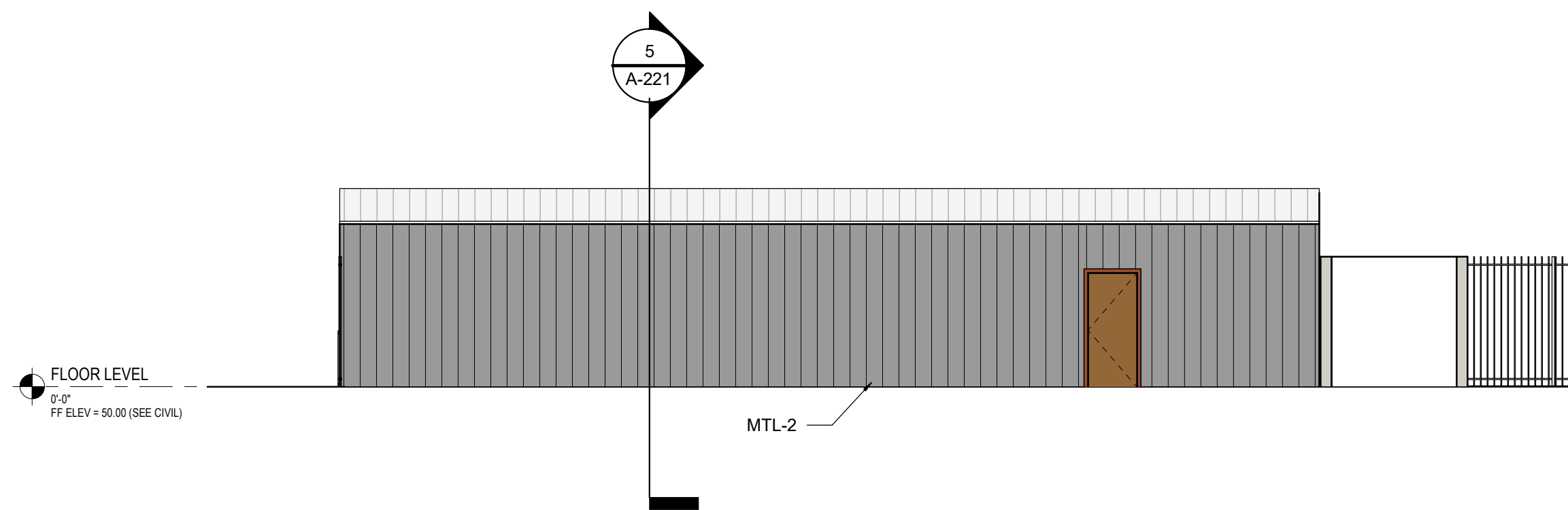
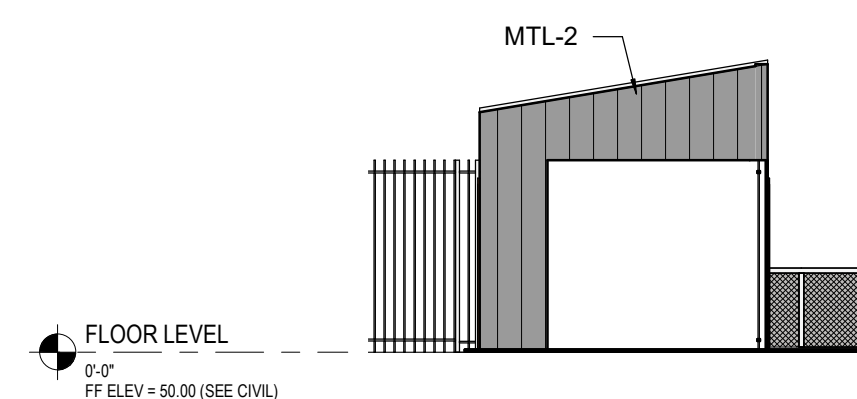
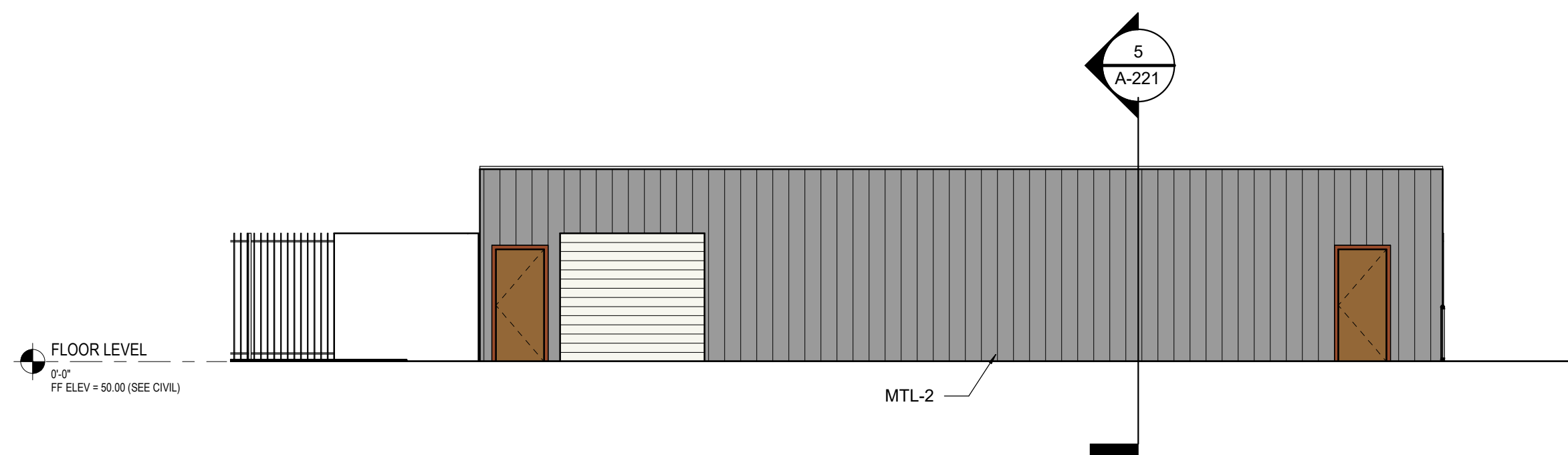
REV.	

DESIGNED:	
DATE:	05/19/21
DRAWN:	
PROJ.	
SCALE:	AS NOTED

ROOF PLANS

DWG. NO.  
A-203





SHEET KEYNOTE LEGEND	
DESIGNATION	KEYNOTE DESCRIPTION



7349 N. VIA PASEO DEL SUR  
SUITE 515-324  
SCOTTSDALE, ARIZONA 85258  
PH 602.635.4226

tvsign

THOMPSON, VENTURETT, STAINBACK & ASSOCIATES, INC., ARCHT

Scales as stated herein are valid as the original drawing, the dimensions of which are 30x42 inches. These scales noted herein are hereby changed by ratio of the overall sheet dimensions of the print to the corresponding

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### CEILING LEGEND

### CEILING TYPES

CEILING HEIGHT ——— CEILING TYPE

10'-0" 12345

Ceiling Finish Note

CEILING FINISH

G = GYPSUM BOARD CEILING

GG = GFRG CEILING

A = ACOUSTICAL PANEL CEILING

S = STUCCO SOFFIT

E = EXISTING CEILING TO REMAIN

## CEILING GRAPHICS

- RECESSED LIGHT FIXTURE
- EXISTING LIGHT FIXTURE TO REMAIN
- LIGHT COVE
- NOT IN SCOPE

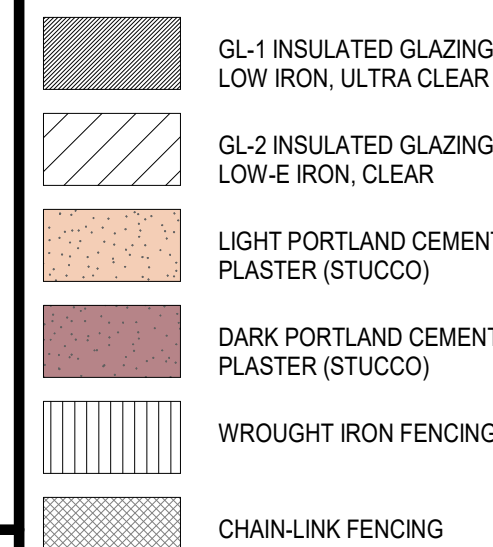
**CEILING GENERAL NOTES:**

- |    |  |
|----|--|
| A. | Building systems, fixtures and devices shown on the Reflected Ceiling Plans and Interior Elevations, such as alarm devices, light fixtures, air diffusers, speakers and ceiling needs, etc. shall be shown on the Architectural Drawings to show location and layout pattern. The Architectural Drawings do not represent complete systems that may be required by other Contract Documents.   |
| B. | In finished ceiling areas, sprinkler locations indicated on the Architectural Reflected Ceiling Plans and Interior Elevations provide design intent of visual pattern / layout. Supplemental heads may be required to provide overall system compliance with specified standards, coverage criteria and other requirements. Additional locations as may be required to meet code shall be provided and reviewed with Architect prior to with installation. |
| C. | Light fixtures, alarm devices and exit signs may be shown on the Architectural Reflected Ceiling Plans for layout clarity only. See interior elevations for heights and locations. See Electrical Lighting Drawings for quantities and other requirements.   |
| D. | Where an item is mounted on the ceiling, dropped soffits/cased opening, etc., it shall be centered on the element (ceiling tile, gypsum board panel, etc.) in which it is placed unless otherwise noted.   |
| E. | Tolerance for sprinkler head locations is within one (1) foot of the dimension shown. The head shall be centered of the ceiling tile while maintaining a code compliant layout. Sprinkler heads shall be aligned in directions, unless noted otherwise.  |
| F. | Dimensions are to the centerline of devices, typical.  |
| G. | Soffits / cased openings, etc. are to align with finished face of adjacent walls typical, unless otherwise noted.  |
| H. | Ceiling devices shall not be located closer than 12" to any finished vertical wall typical, unless otherwise noted.  |
| I. | Downlights / wallwashes located at entry doors are to be centered on individual doors, typical, unless otherwise noted.  |
| J. | Refer to Electrical Drawings for back-of-house lighting, unless otherwise noted.   |
| K. | Light fixtures, ducts, devices suspended from structure shall provide a minimum 9" clearance above the structure in areas designated to be open to structure above shall provide a minimum 9" - 0" clear above Finish Floor.   |
| L. | Provide support (braced and anchored) to structure above – including miscellaneous steel, metal framing, steel wood blocking as required for mounting of devices and equipment located within the ceiling and/or ceiling plenum area.  |
| M. | Devices, conduits, wiring, etc. shall not be supported from ceiling grid, tile or ceiling attachments.   |
| N. | Light fixtures, life safety devices, speakers, etc. shall be located at the center of ceiling tiles - in which they occur - in both direction, unless otherwise noted.   |
| O. | Means of access shall be provided at specific, approved locations in ceiling systems to provide maintenance of equipment located within or above the ceiling.  |

## PARTITION PLAN GENERAL NOTES

- A. Openings in rated, walls, floors, ceilings and roof assemblies shall be fire-stopped with UL approved material for its intended purpose to maintain rating requirements.
- B. Maintain the fire rating of construction around cabinets, panels, and boxes rendered in fire-rated wall, floor or ceiling assemblies.
- E. Provide stiffeners, bracing, backing plates and/or fire-treated wood blocking as required for secure installation of toilet partitions, doors, accessories, hardware, equipment, milnoork, sheathing, etc. including but not limited to walls, suspended door stops, handrails, wall-mounted shelves, cabinets, operable partitions, equipment, brackets, etc.
- F. Provide and coordinate base and housekeeping pads with mechanical, plumbing, electrical equipment.
- H. Plan dimensions at partitions are a face of partition unless otherwise noted.
- I. Locate access panels as indicated on Drawings. For access panels not shown but required by other provisions of the Contract Documents and/or required in accordance with applicable codes, submit proposed location to the Architect for review and approval prior to installation.
- J. Partitions to be Type xxxxxx unless otherwise noted.

## EXTERIOR FINISH



<b>MTL-1</b>	ALUMINUM COMPOSITE METAL PANEL, FR CORE; 3-COAT CUSTOM COLORS (X3)
<b>MTL-2</b>	FORMED METAL PANEL, 3-COAT CUSTOM COLORS (X3)

\*PROVIDE TEMPERED GLASS AT ALL ENTRANCE DOORS AND LOCATIONS MEASURING 30 INCHES FROM A WALKIN SURFACE

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FOR CONSTRUCTION

REV

DESIGNED:

DATE: 2016.02.01

DRAWN

PROJ.

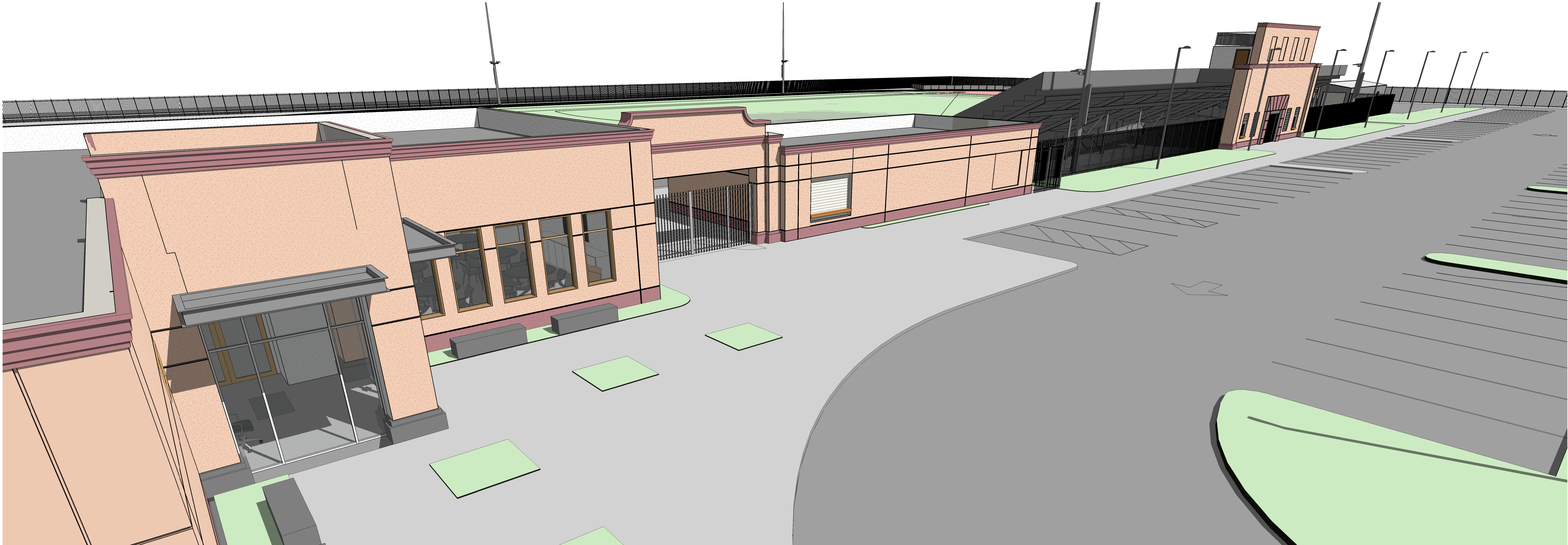
SCALE: AS NOTED

STORAGE  
BUILDING

DWG. NO.

A-221

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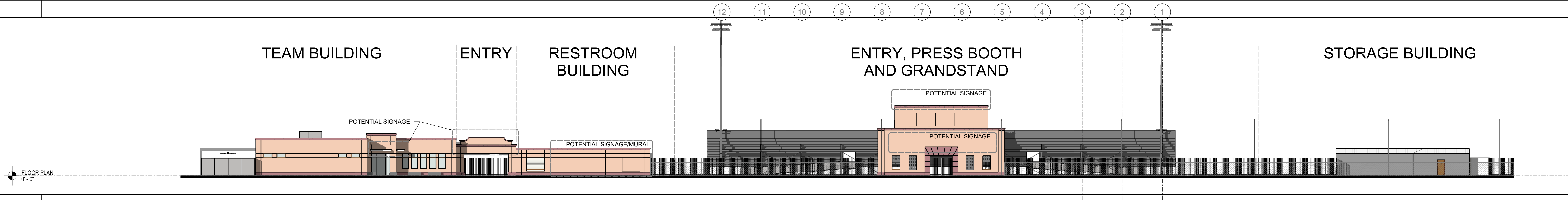
3

3D PERSPECTIVE BUILDING AND GRANDSTAND



2

3D PERSPECTIVE TEAM AND RESTROOM BUILDINGS



1

OVERALL WEST BUILDING ELEVATION

1" = 20'-0"

**EXTERIOR FINISH**

- GL-1 INSULATED GLAZING, LOW IRON, ULTRA CLEAR
- GL-2 INSULATED GLAZING, LOW-E IRON, CLEAR
- LIGHT PORTLAND CEMENT PLASTER (STUCCO)
- DARK PORTLAND CEMENT PLASTER (STUCCO)
- WROUGHT IRON FENCING
- CHAIN-LINK FENCING
- MTL-1** ALUMINUM COMPOSITE METAL PANEL, FR CORE, 3-COAT CUSTOM COLORS (X3)
- MTL-2** FORMED METAL PANEL, 3-COAT CUSTOM COLORS (X3)

\*PROVIDE TEMPERED GLASS AT ALL ENTRANCE DOORS AND LOCATIONS MEASURING 30 INCHES FROM A WALKING SURFACE


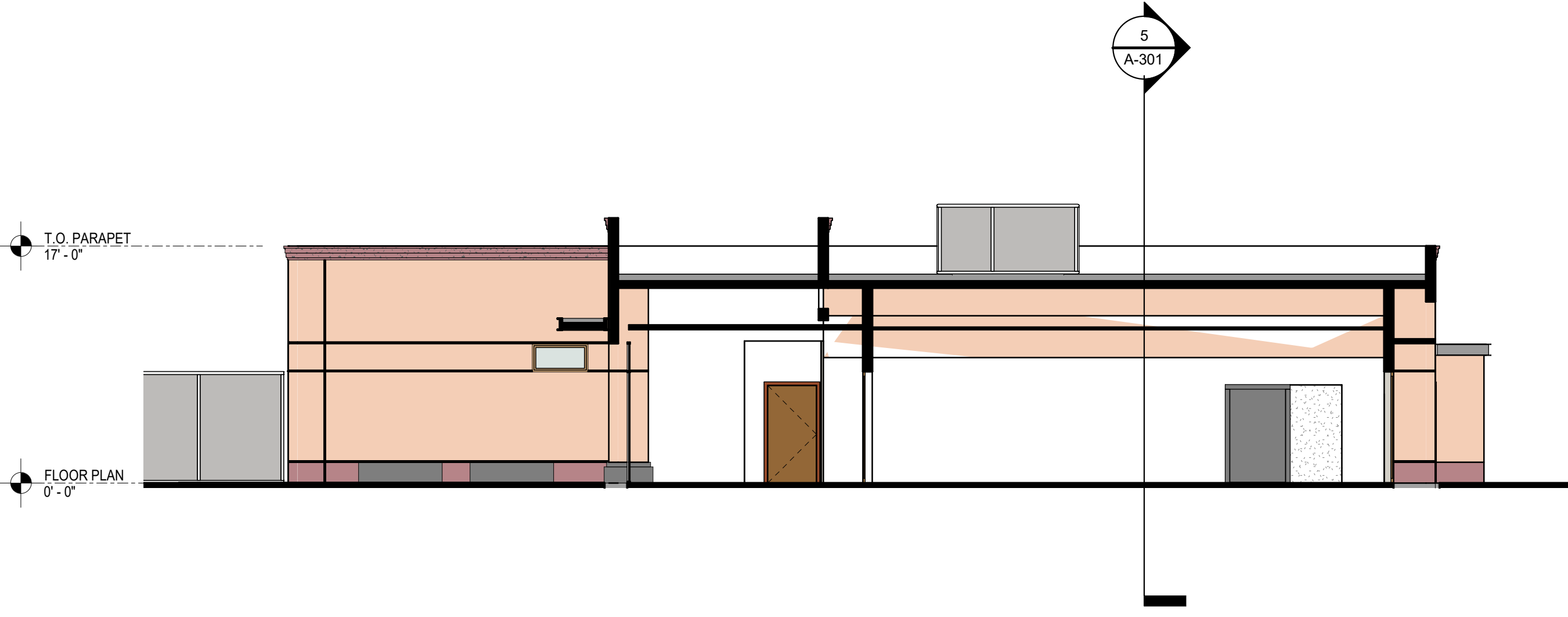
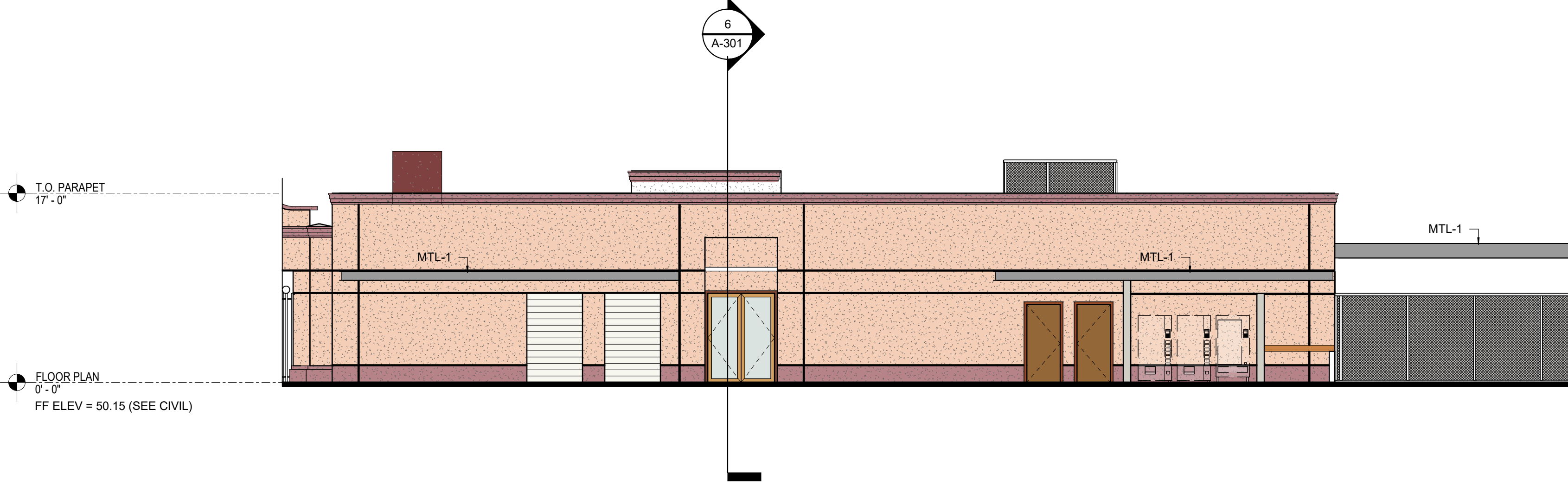
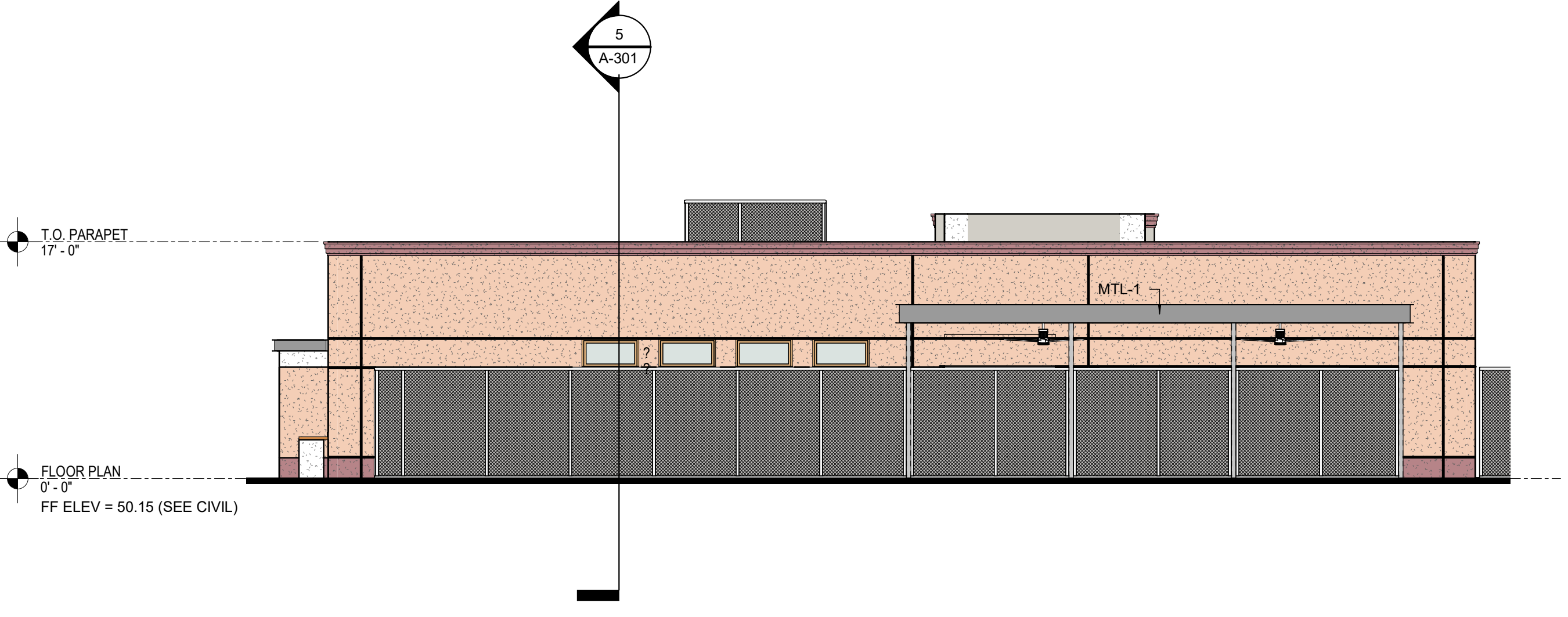
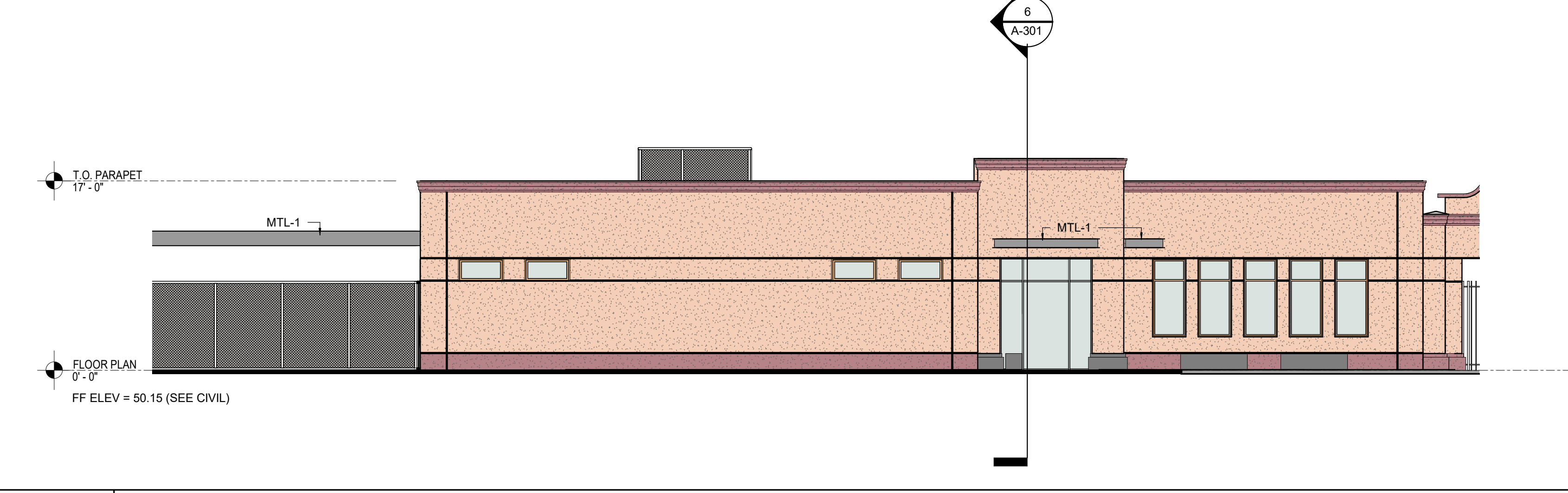
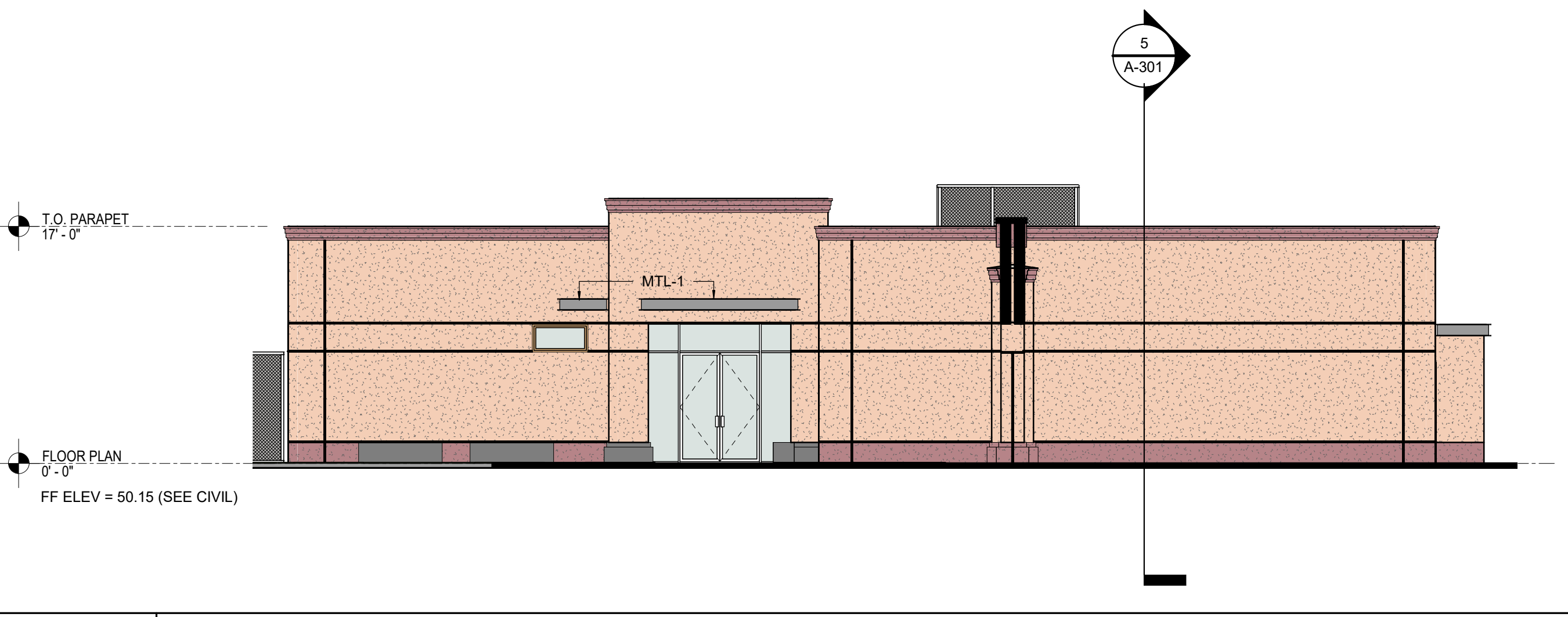
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REV.

DESIGNED:	05/19/21
DATE:	
DRAWN:	
PROJ.	
SCALE:	AS NOTED

OVERALL  
ELEVATION  
DWG. NO.  
**A-300**

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5	SECTION TEAM BUILDING 1	6	SECTION TEAM BUILDING 2
NOT TO SCALE		1/8" = 1'-0"	
			
4	EAST ELEVATION TEAM BUILDING	3	NORTH ELEVATION TEAM BUILDING
1/8" = 1'-0"		1/8" = 1'-0"	
			
1	WEST ELEVATION TEAM BUILDING	2	SOUTH ELEVATION TEAM BUILDING
1/8" = 1'-0"		1/8" = 1'-0"	

SHEET KEYNOTE LEGEND

DESIGNATION	KEYNOTE DESCRIPTION

LLOYD

SPORTS + ENGINEERING

7349 N. VIA PASEO DEL SUR  
SUITE 515-324  
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tvdsdesign

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Notes on related sheets are valid as the original drawing, the dimensions of 2000 and 2000 are valid. Dimensions and notes are valid. Changes to the dimensions of the original drawing.

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EXTERIOR FINISH

GL-1 INSULATED GLAZING, LOW IRON, ULTRA CLEAR

GL-2 INSULATED GLAZING, LOW-E IRON, CLEAR

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DARK PORTLAND CEMENT PLASTER (STUCCO)

WROUGHT IRON FENCING

CHAIN-LINK FENCING

MTL-1 ALUMINUM COMPOSITE METAL PANEL, FR CORE, 3-COAT CUSTOM COLORS (X3)

MTL-2 FORMED METAL PANEL, 3-COAT CUSTOM COLORS (X3)

\*PROVIDE TEMPERED GLASS AT ALL ENTRANCE DOORS AND LOCATIONS MEASURING 30 INCHES FROM A WALKING SURFACE

SHEET SPECIFIC NOTES

VALUE	NOTE

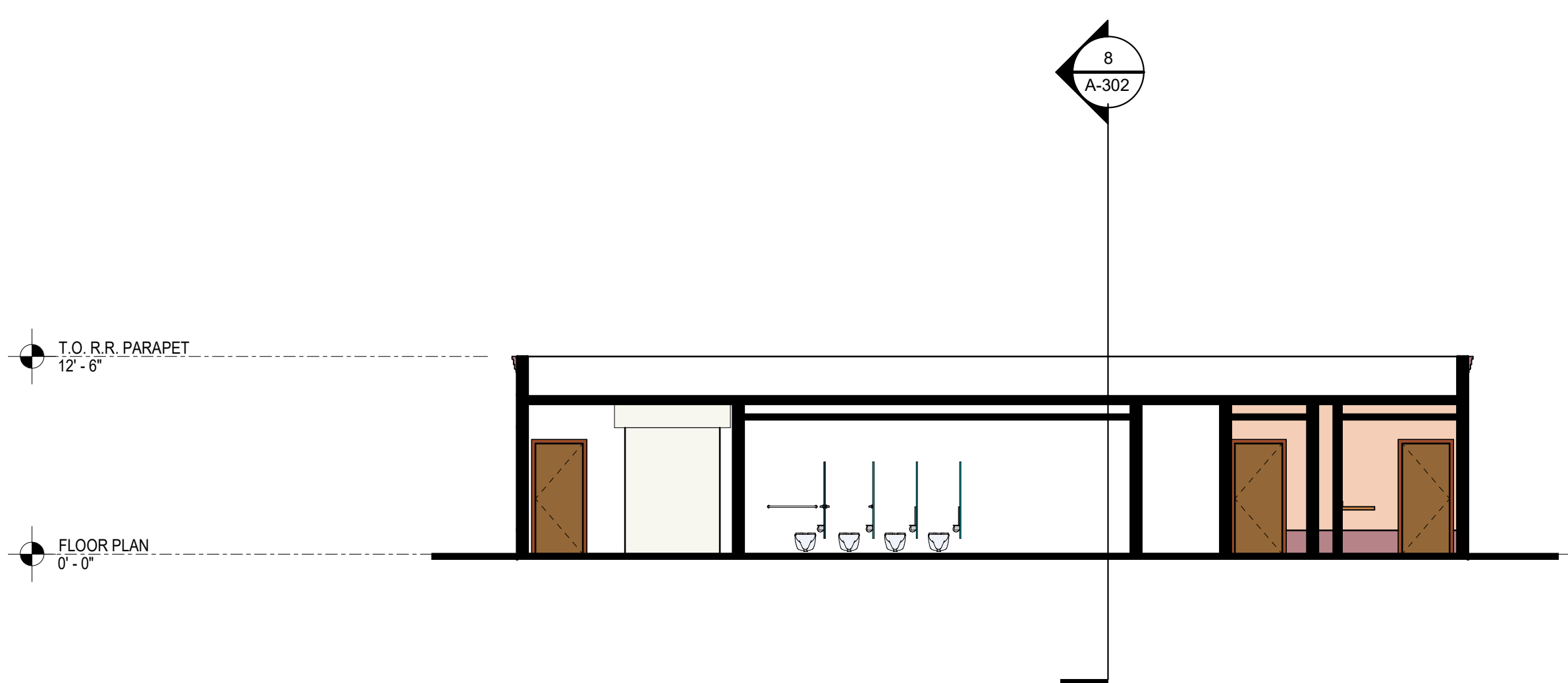
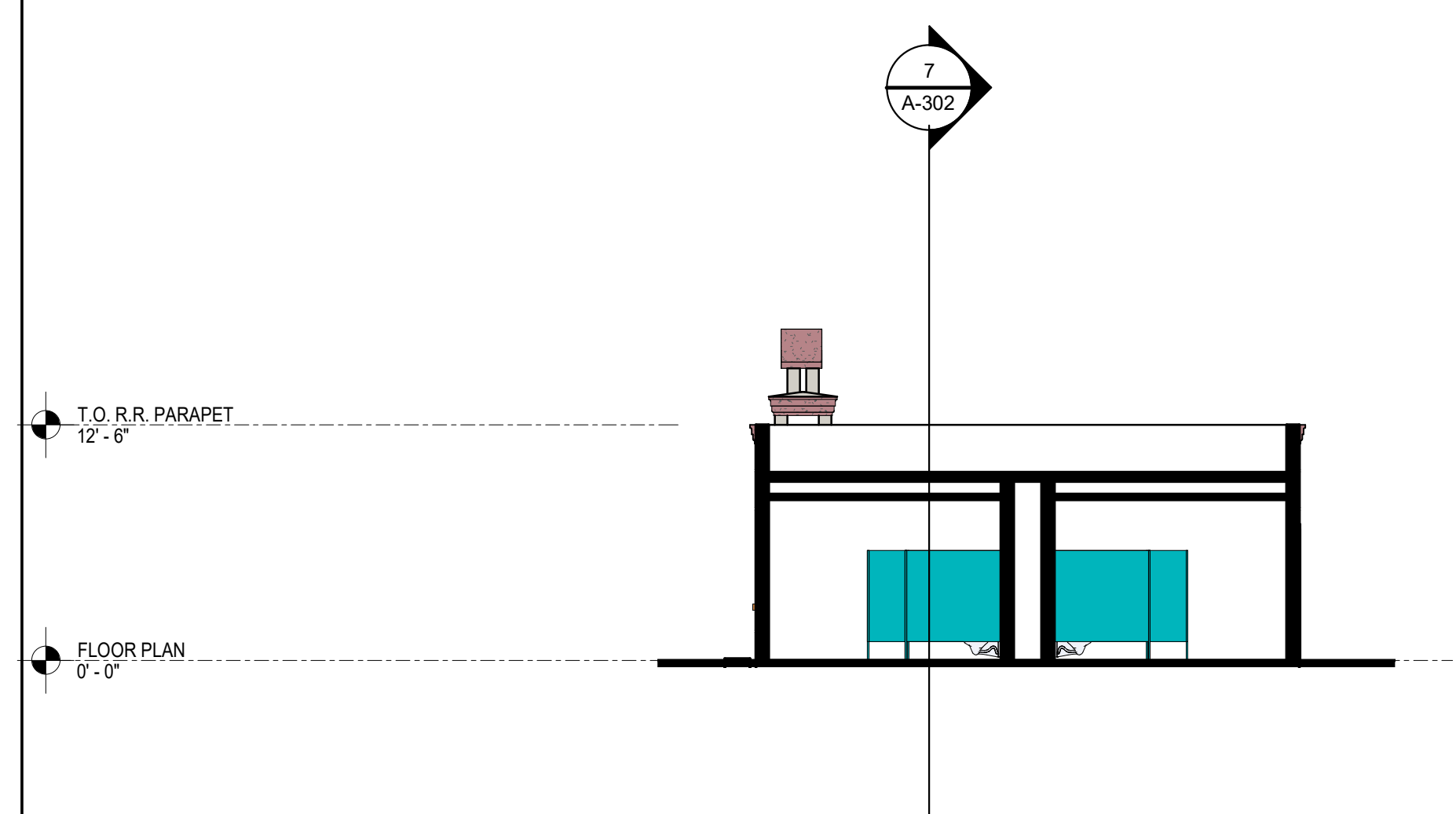
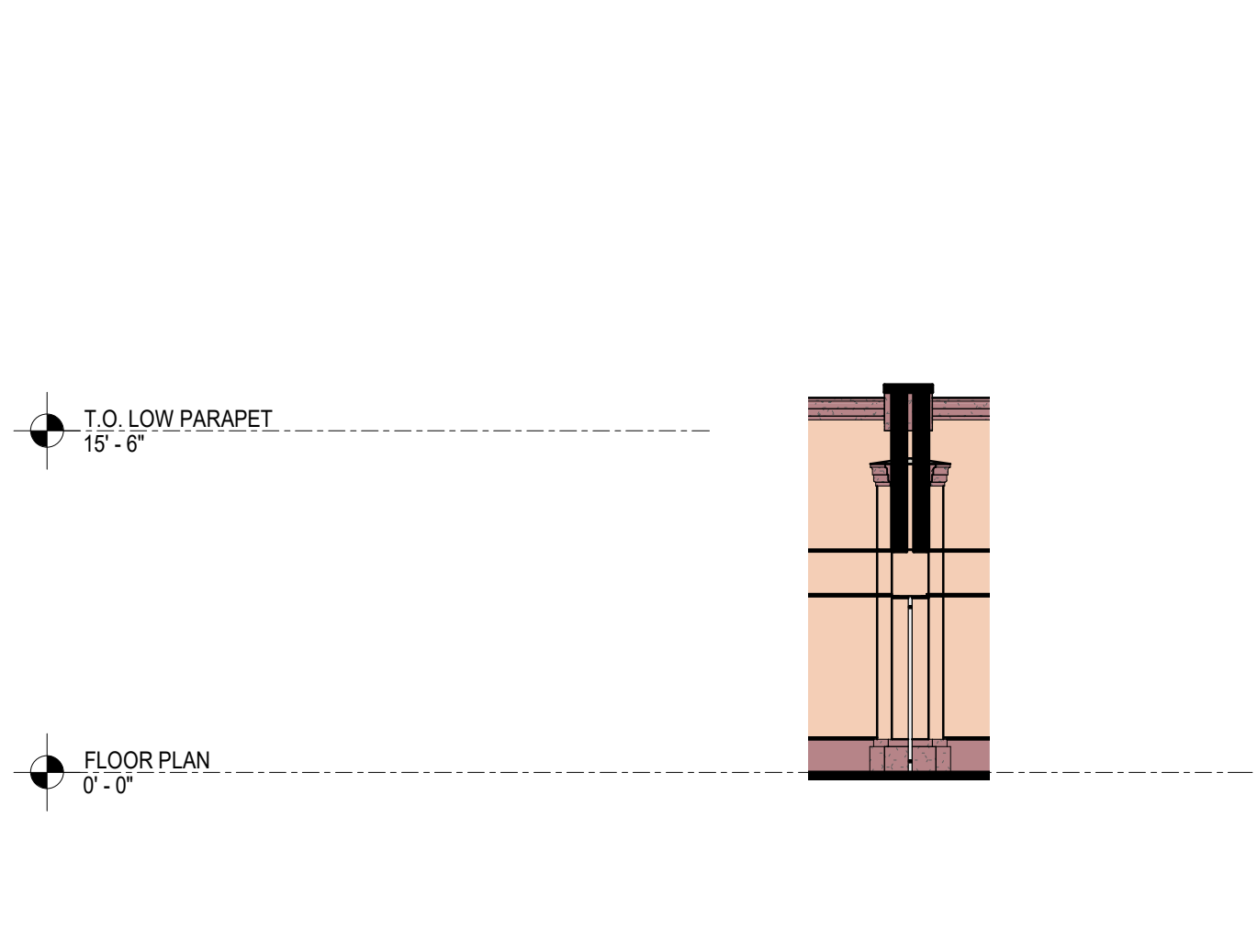
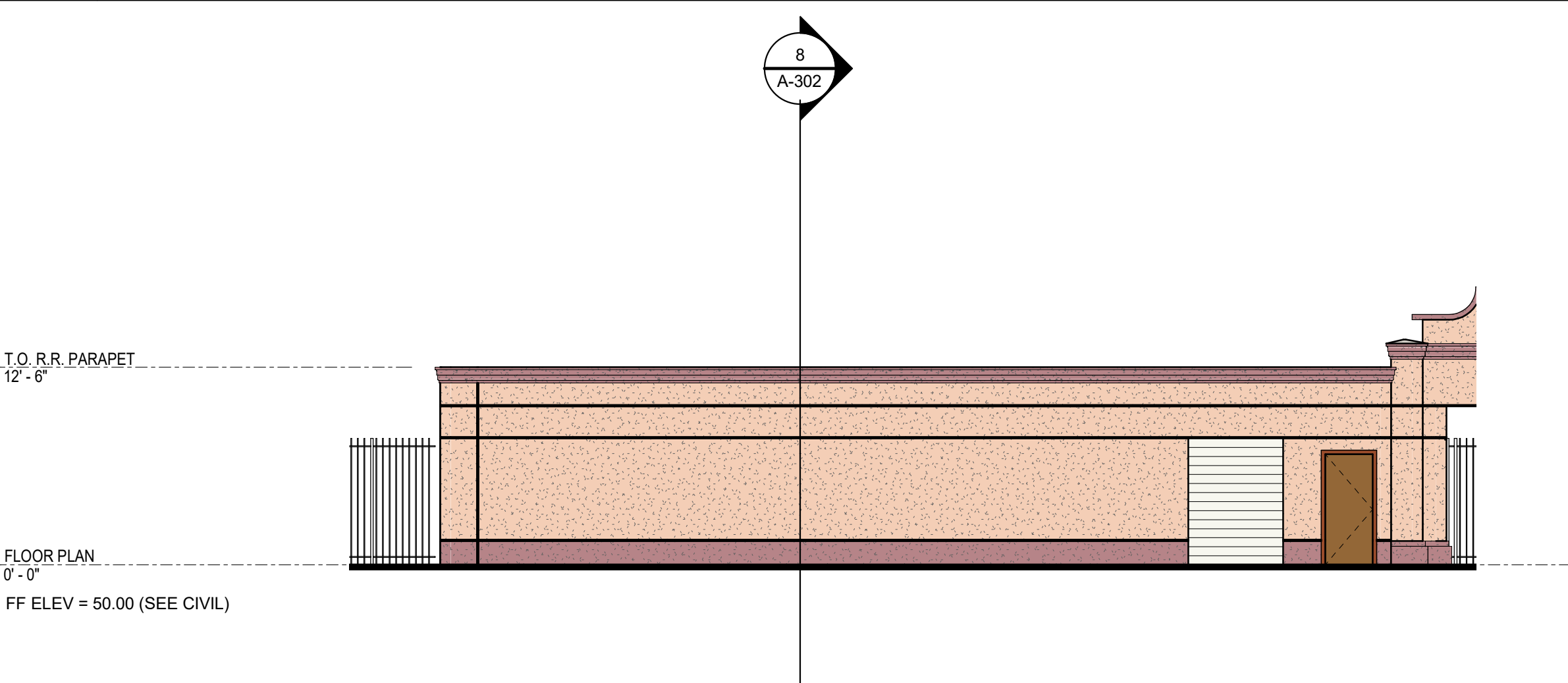
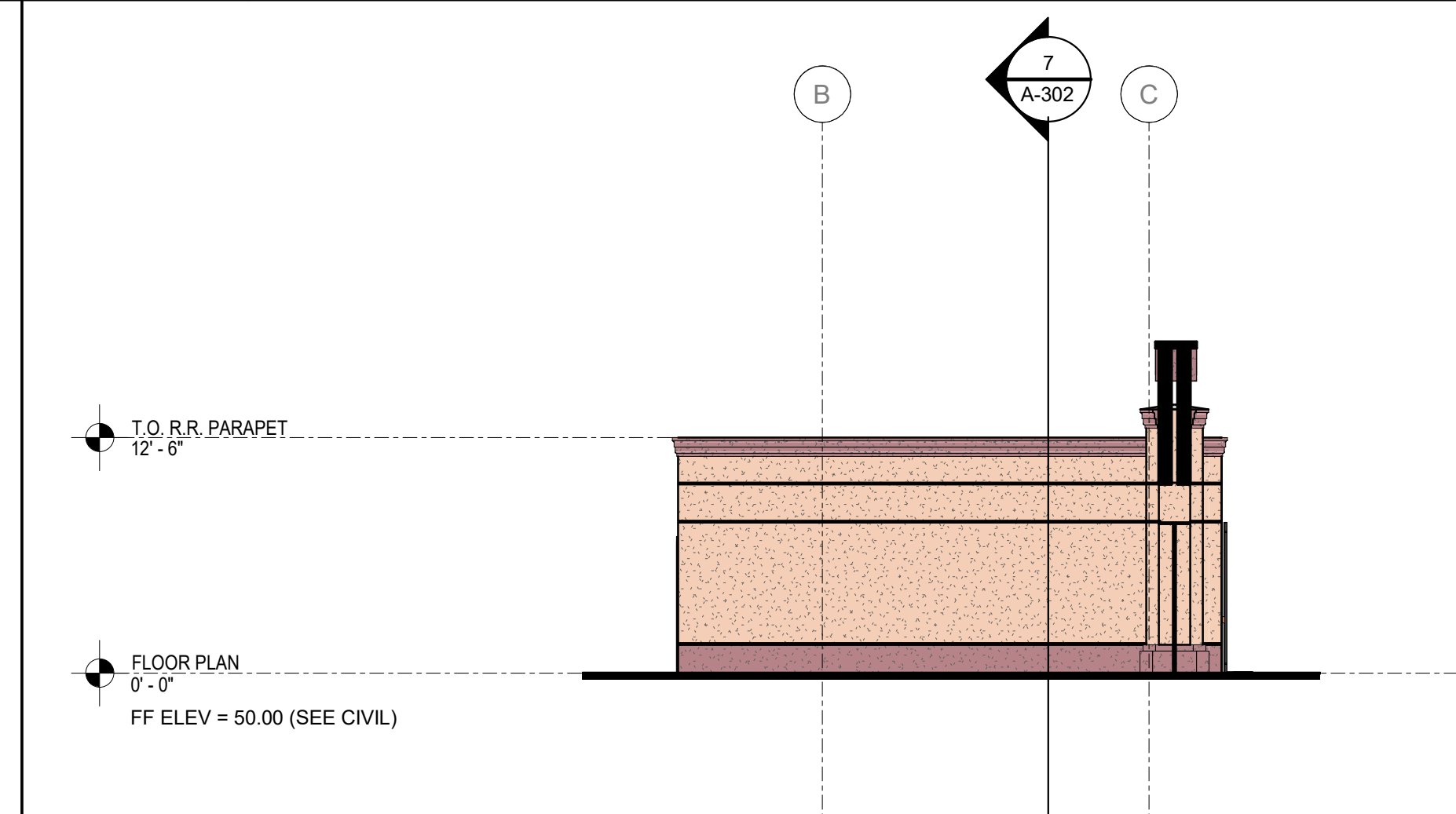
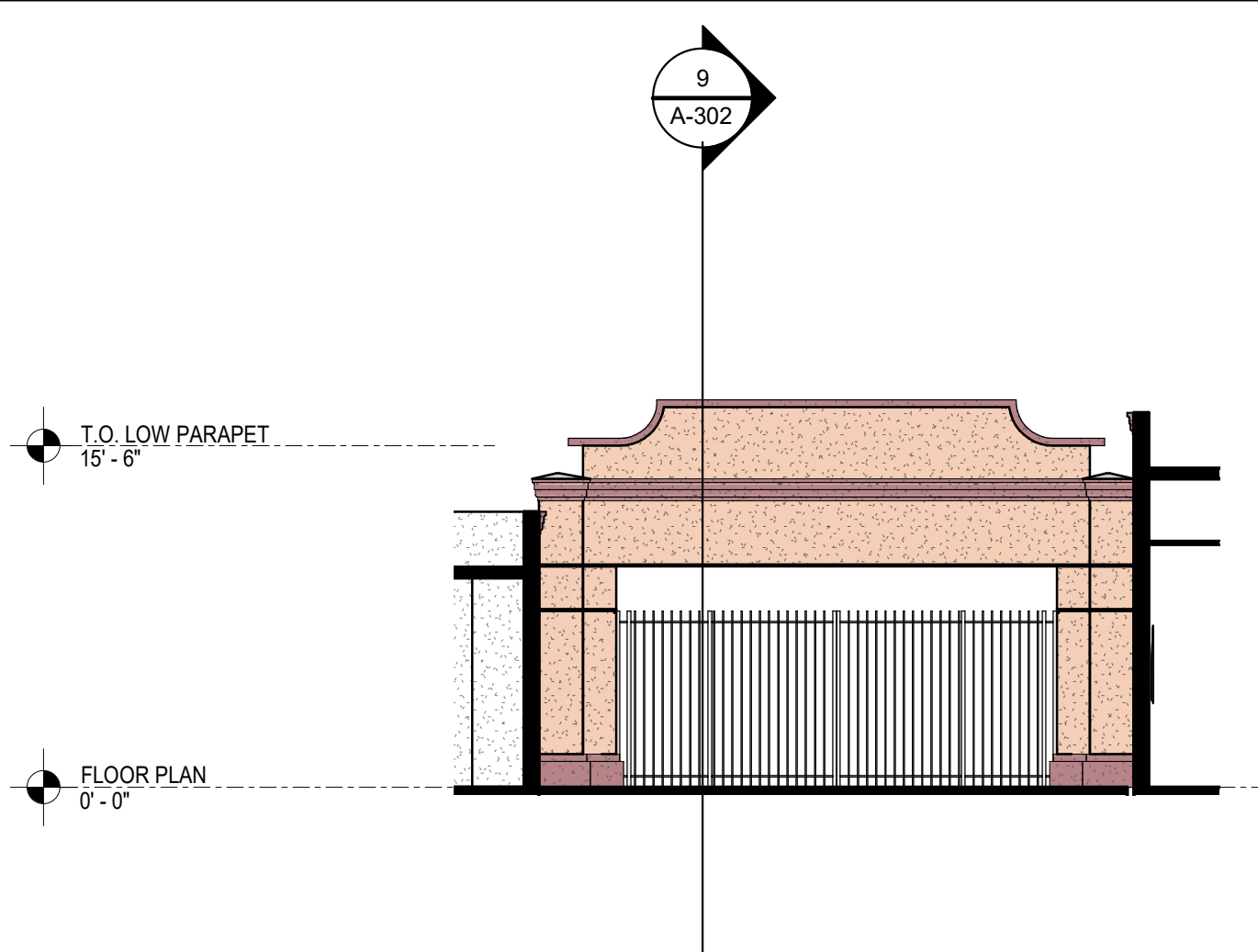
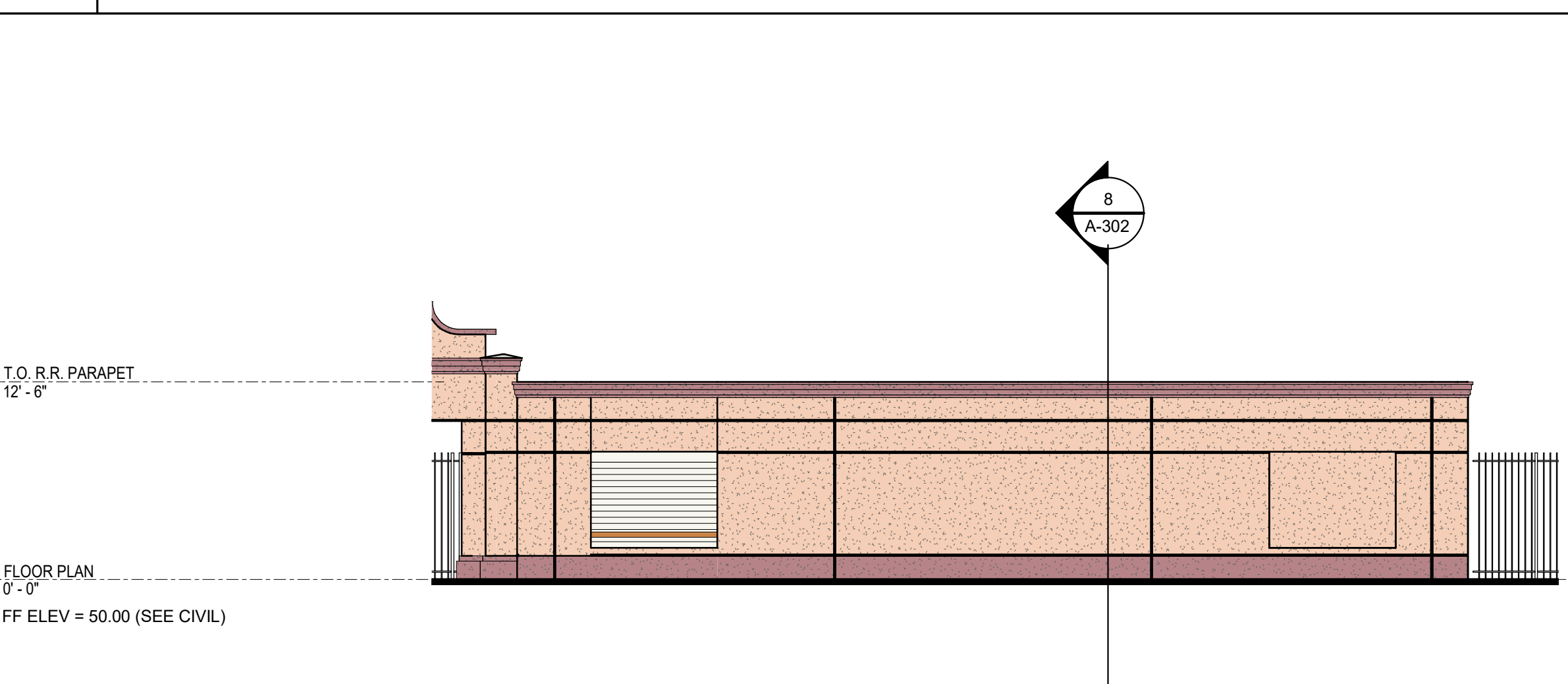
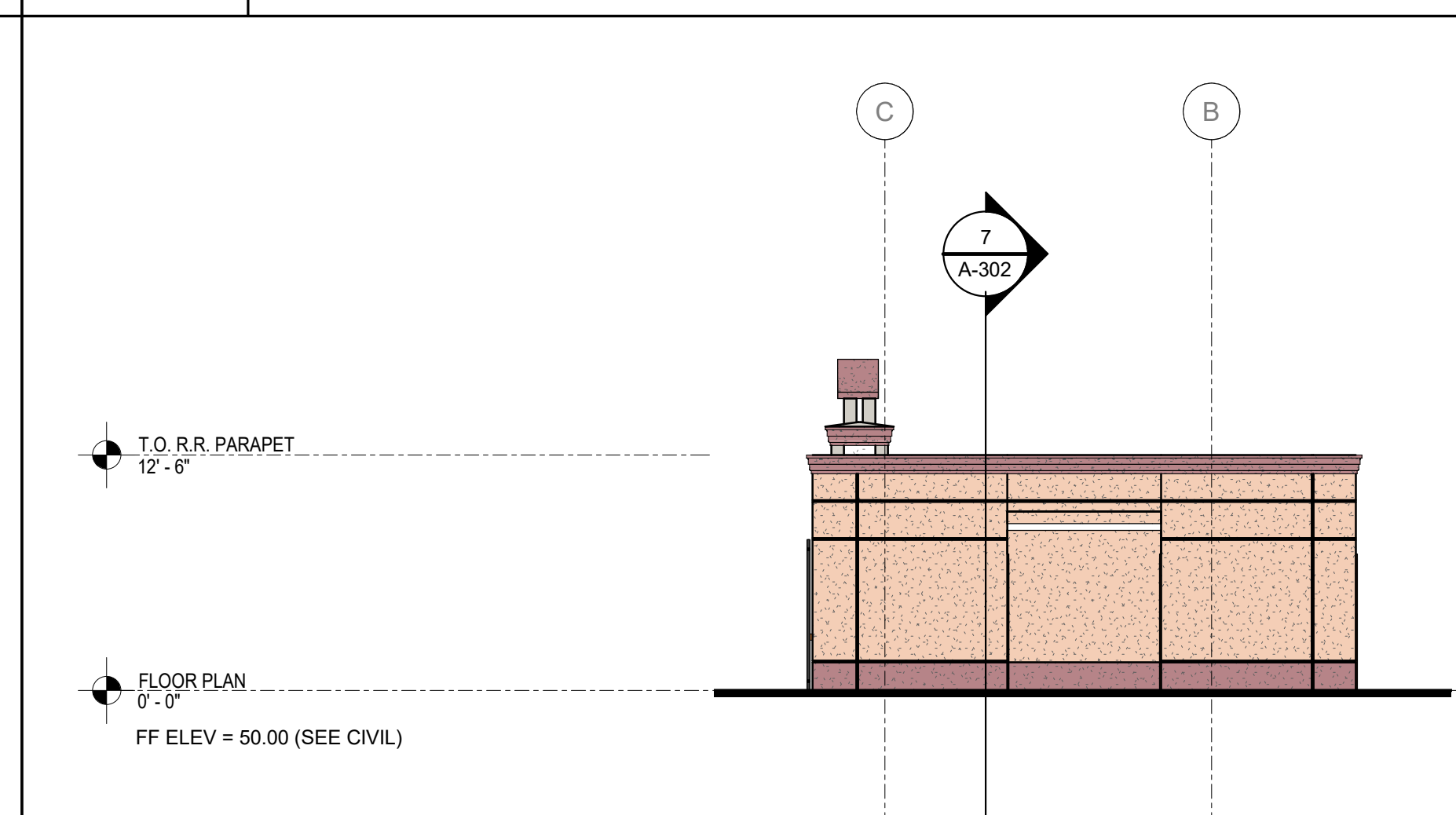
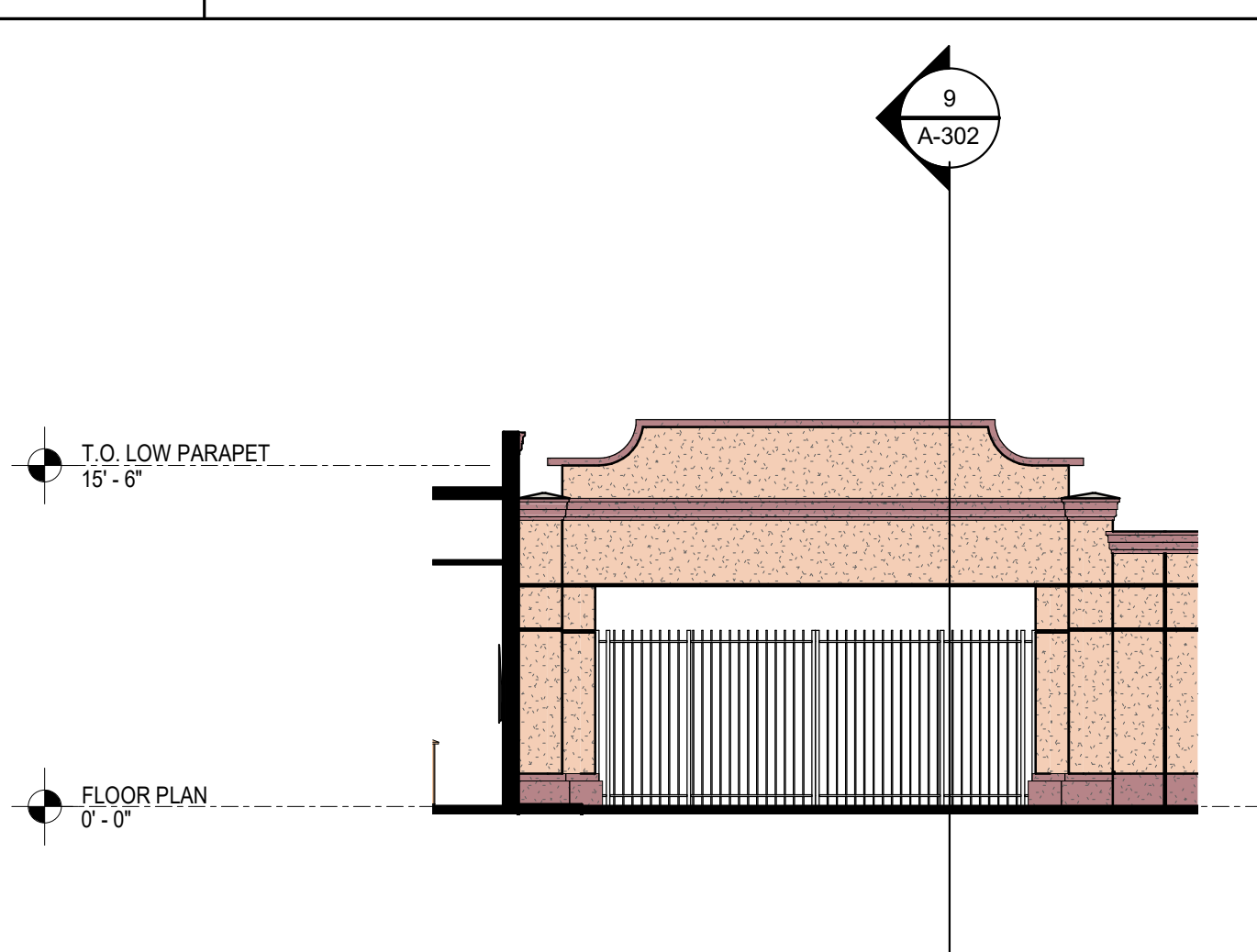
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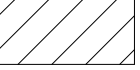
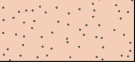



REV.	

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DATE:	05/19/21
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PROJ.	
SCALE:	AS NOTED

ELEVATIONS AND SECTION  
DWG. NO.  
A-301

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7	SECTION RESTROOM BUILDING 1	8	SECTION RESTROOM BUILDING 2	9	SECTION ALTERNATE ENTRY
1/8" = 1'-0"		1/8" = 1'-0"		1/8" = 1'-0"	
					
4	EAST ELEVATION - RESTROOM BUILDING	5	NORTH ELEVATION - RESTROOM BUILDING	6	EAST ELEVATION ALTERNATE ENTRY
1/8" = 1'-0"		1/8" = 1'-0"		1/8" = 1'-0"	
					
1	WEST ELEVATION - RESTROOM BUILDING	2	SOUTH ELEVATION - RESTROOM BUILDING	3	WEST ELEVATION ALTERNATE ENTRY
1/8" = 1'-0"		1/8" = 1'-0"		1/8" = 1'-0"	

SHEET KEYNOTE LEGEND	
DESIGNATION	KEYNOTE DESCRIPTION
	
	
	
	
	
	
<b>MTL-1</b> ALUMINUM COMPOSITE METAL PANEL, FR CORE, 3-COAT CUSTOM COLORS (X3)	
<b>MTL-2</b> FORMED METAL PANEL, 3-COAT CUSTOM COLORS (X3)	
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SHEET SPECIFIC NOTES	
VALUE	NOTE

LLOYD

SPORTS + ENGINEERING

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SUITE 515-324  
SCOTTSDALE, ARIZONA 85258  
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DATE:	2016.02.01
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SCALE:	AS NOTED

ELEVATION AND SECTION  
DWG. NO.  
A-302