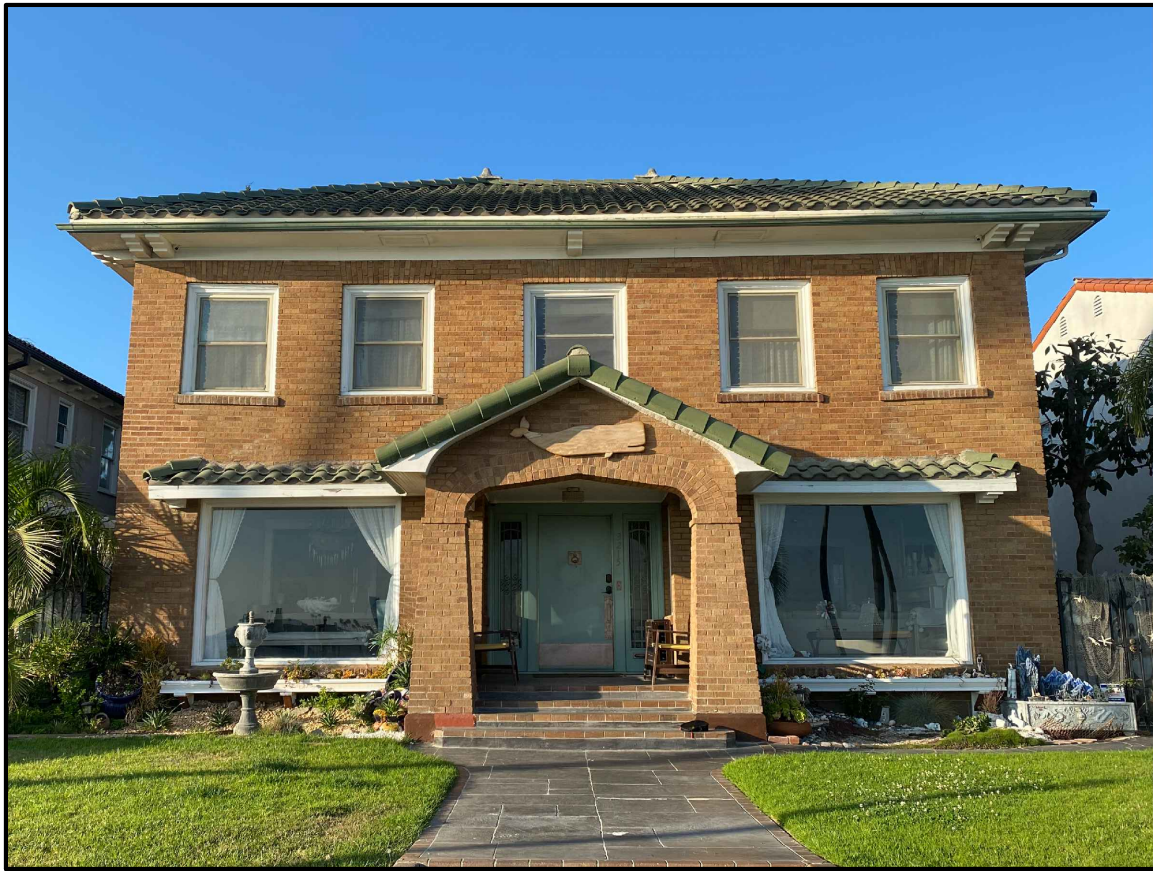


WINDOW SCHEDULE							
SYM.	SIZE	TYPE	FRAME	GLAZING	U-FACTOR	SHGC	NOTES
A	2'-0" x 3'-0"	CASEMENT	WOOD	CLEAR	-	-	
B	2'-0" x 7'-0"	FIXED	WOOD	CLEAR	-	-	
C	2'-6" x 4'-0"	CASEMENT	WOOD	CLEAR	-	-	
D	3'-0" x 2'-0"	FIXED	WOOD	CLEAR	-	-	
E	3'-0" x 2'-0"	AWNING	WOOD	CLEAR	-	-	
F	3'-0" x 4'-0"	CASEMENT	WOOD	CLEAR	-	-	
G	3'-0" x 4'-0"	FIXED	WOOD	CLEAR	-	-	
H	4'-0" x 3'-6"	FRENCH CASEMENT	WOOD	CLEAR	-	-	

DOOR SCHEDULE								
SYM.	SIZE	TYPE	THICKNESS	CORE	MATERIALS	U-FACTOR	SHGC	NOTES
1	3'-0" x 7'-0"	ENTRY	-	-	WOOD/GLASS	-	-	
2	3'-0" x 7'-0"	ENTRY	-	-	WOOD/GLASS	-	-	
3	2'-8" x 7'-0"	ENTRY	-	-	WOOD/GLASS	-	-	
4	2'-8" x 7'-0"	FRENCH	-	-	WOOD/GLASS	-	-	
5	6'-0" x 7'-0"	SLIDING	-	-	WOOD/GLASS	-	-	
6	18'-0" x 8'-0"	OVERHEAD ROLL-UP	-	-	WOOD	-	-	

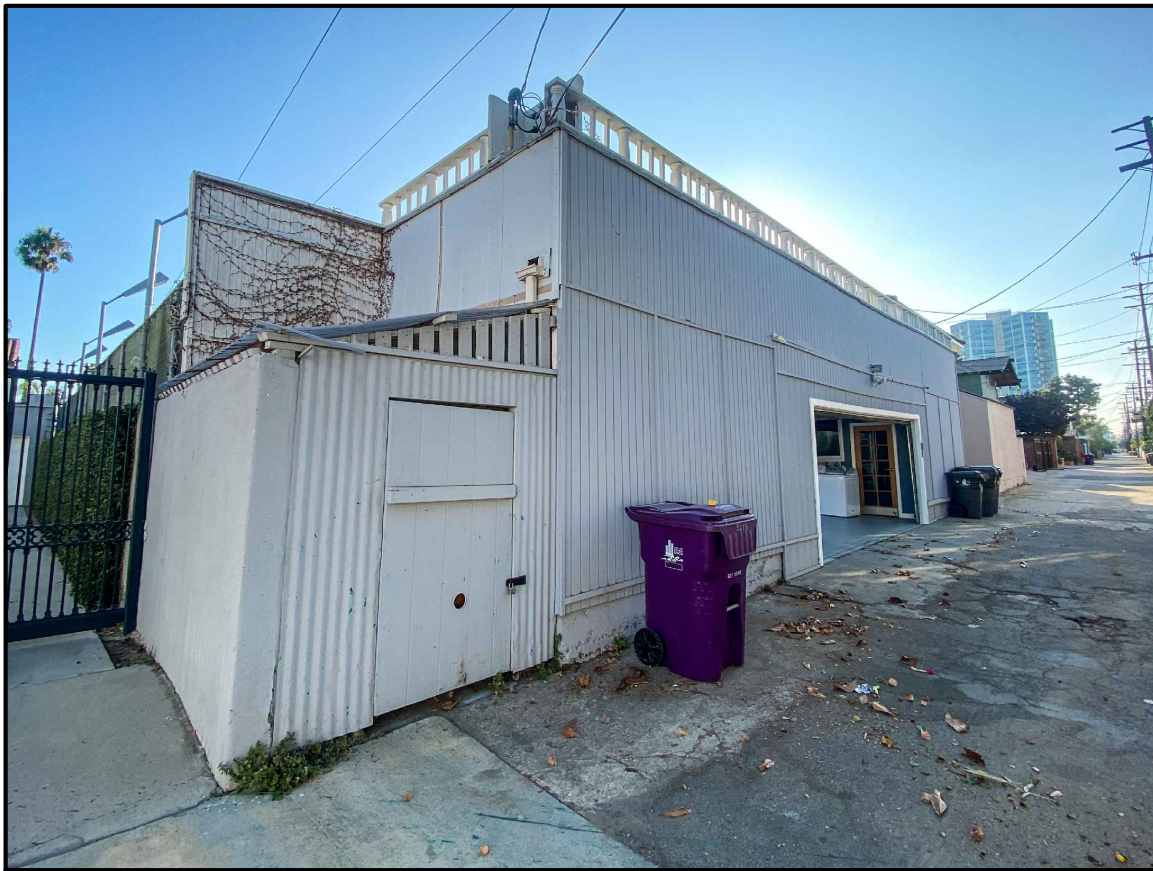


FRONT ELEVATION



BACKYARD ELEVATION

EXISTING MAIN RESIDENCE (TO REMAIN AS IS)



ALLEY ELEVATION

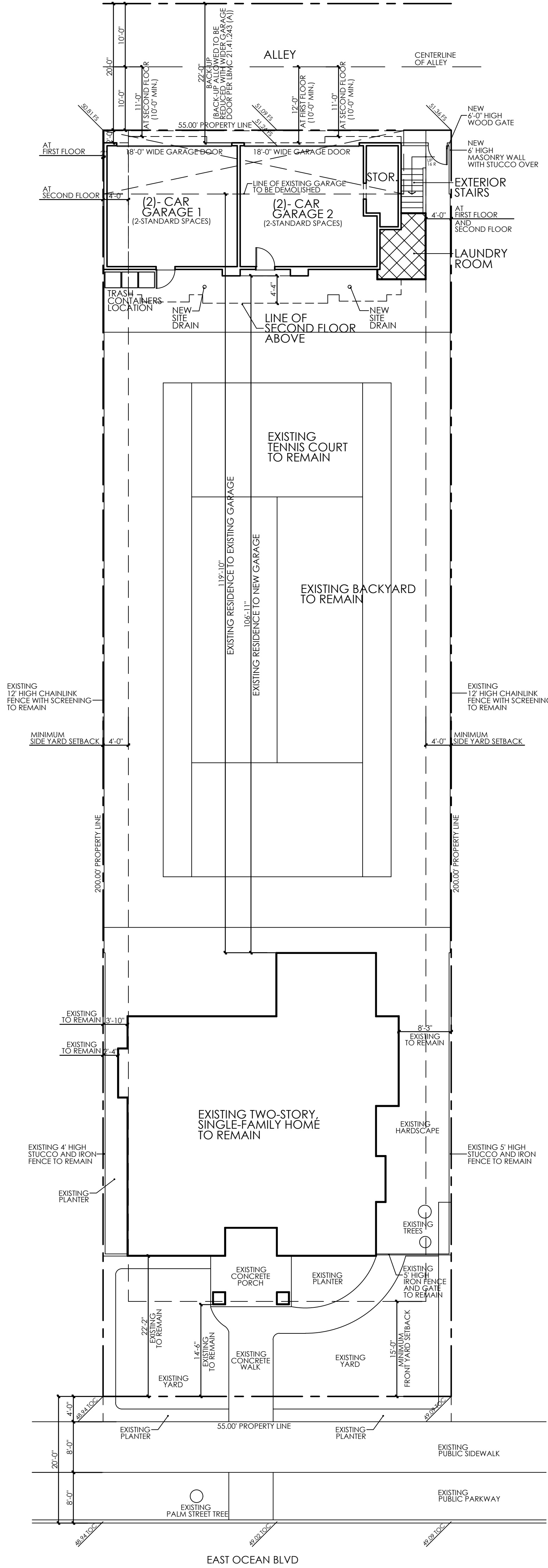


BACKYARD ELEVATION

EXISTING GARAGE TO BE DEMOLISHED

PHOTOS OF EXISTING

Attachment C



SITE PLAN

SCALE : 3/32"=1'-0"

OWNERS

JOANNE LE AND MINH NGUYEN
3215 EAST OCEAN BLVD
LONG BEACH, CALIFORNIA 90803

PROJECT ADDRESS

3215 EAST OCEAN BLVD
LONG BEACH, CALIFORNIA 90803

ASSESSOR PARCEL NUMBER

7264-015-015

SITE PLAN DATA

LOT SIZE: 55.00' X 200.00' = 11,000.00 SF

DEVELOPMENT STANDARDS:

DISTRICT: R-2-L

SETBACKS: FRONT 15'
SIDES 4'
REAR 10'

HEIGHT: 35' / (2-STORY)

LOT COVERAGE:

ALLOWABLE = 40.00% = 4400.00 SF
PROPOSED = 20.44% = 2248.88 SF
(INCLUDES EXISTING RESIDENCE AND COVERED PORCH, NEW STORAGE AND LAUNDRY, NEW ADU COVERED DECK, AND 198.36 SF OF ADU)

MIN. USEABLE OPEN SPACE:

REQUIRED = 8.00% PER UNIT = 1760.00 SF
PROPOSED = 31.28% PER UNIT = 6881.85 SF
(BACKYARD & ROOF DECK)

PROJECT SQUARE FOOTAGES

FIRST FLOOR:
(2)-CAR GARAGE 1 = 420.84 SF
(2)-CAR GARAGE 2 = 426.78 SF
STORAGE = 69.89 SF
LAUNDRY ROOM = 68.02 SF
TOTAL FIRST FLOOR = 985.53 SF

SECOND FLOOR:
ACCESSORY DWELLING UNIT = 998.36 SF
COVERED EXTERIOR DECK = 96.44 SF

ROOF:
ROOF DECK = 624.35 SF

EXISTING SINGLE-FAMILY RESIDENCE = 3264.00 SF
EXISTING GARAGE TO BE DEMOLISHED = 474.16 SF

PROJECT DISCRIPTION

DEMOLISH EXISTING SUBSTANDARD GARAGE.

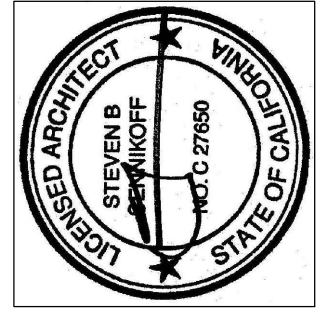
CONSTRUCT (2)-NEW (2)-CAR GARAGES AND LAUNDRY ROOM AT FIRST FLOOR, AND ACCESSORY DWELLING UNIT WITH ROOF DECK ABOVE AT SECOND FLOOR.

EXISTING MAIN RESIDENCE STYLE IS NEO-GEORGIAN. NEW GARAGES AND APARTMENT TO BE A SIMPLIFIED VERSION OF NEW GEORGIAN.

NEW GARAGE WITH ADU ABOVE

LE / NGUYEN

3215 EAST OCEAN BLVD
LONG BEACH, CALIFORNIA 90803



SET REVISIONS

PLAN CHECK NUMBER

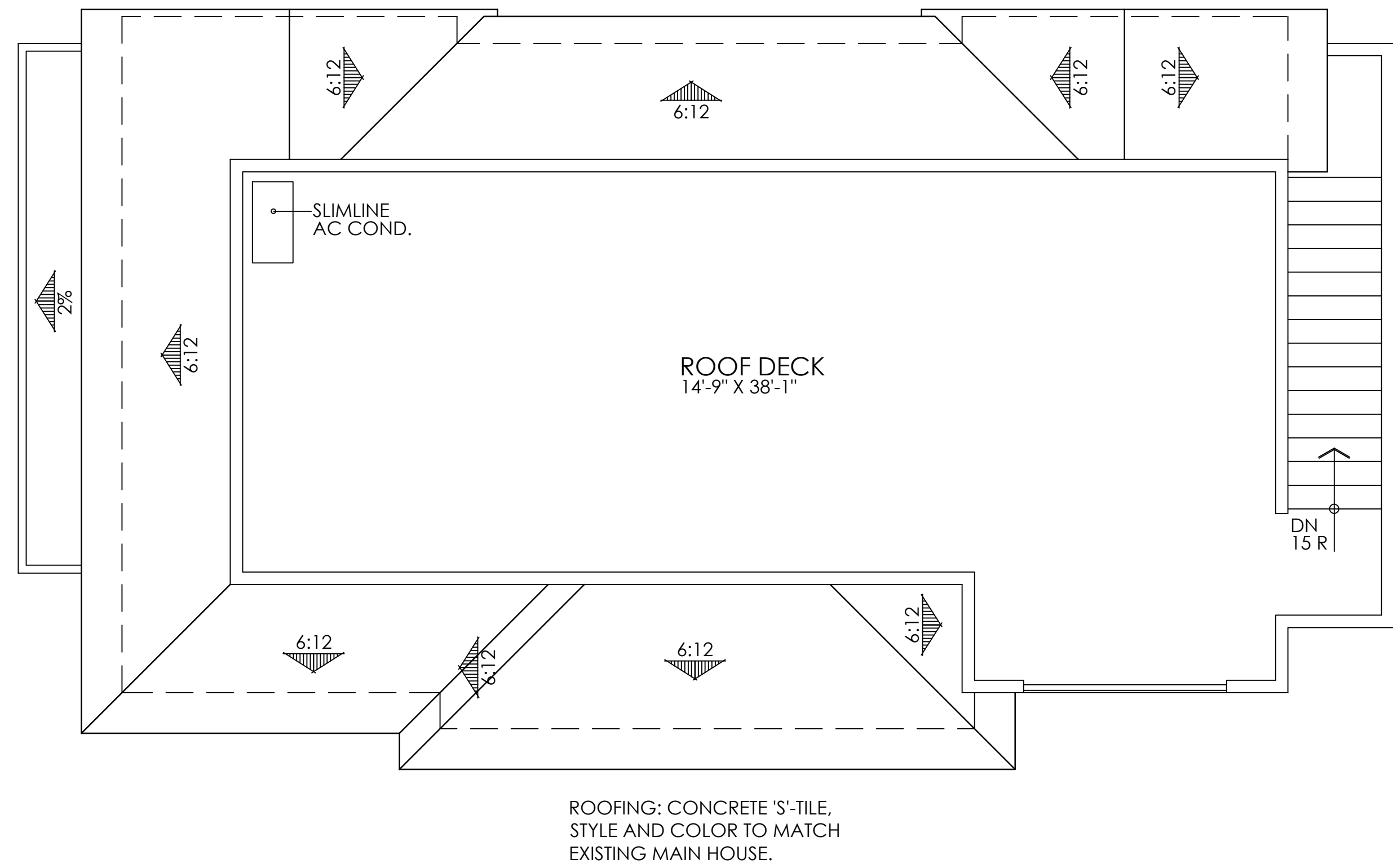
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17 AUG 21

SHEET NUMBER
A1

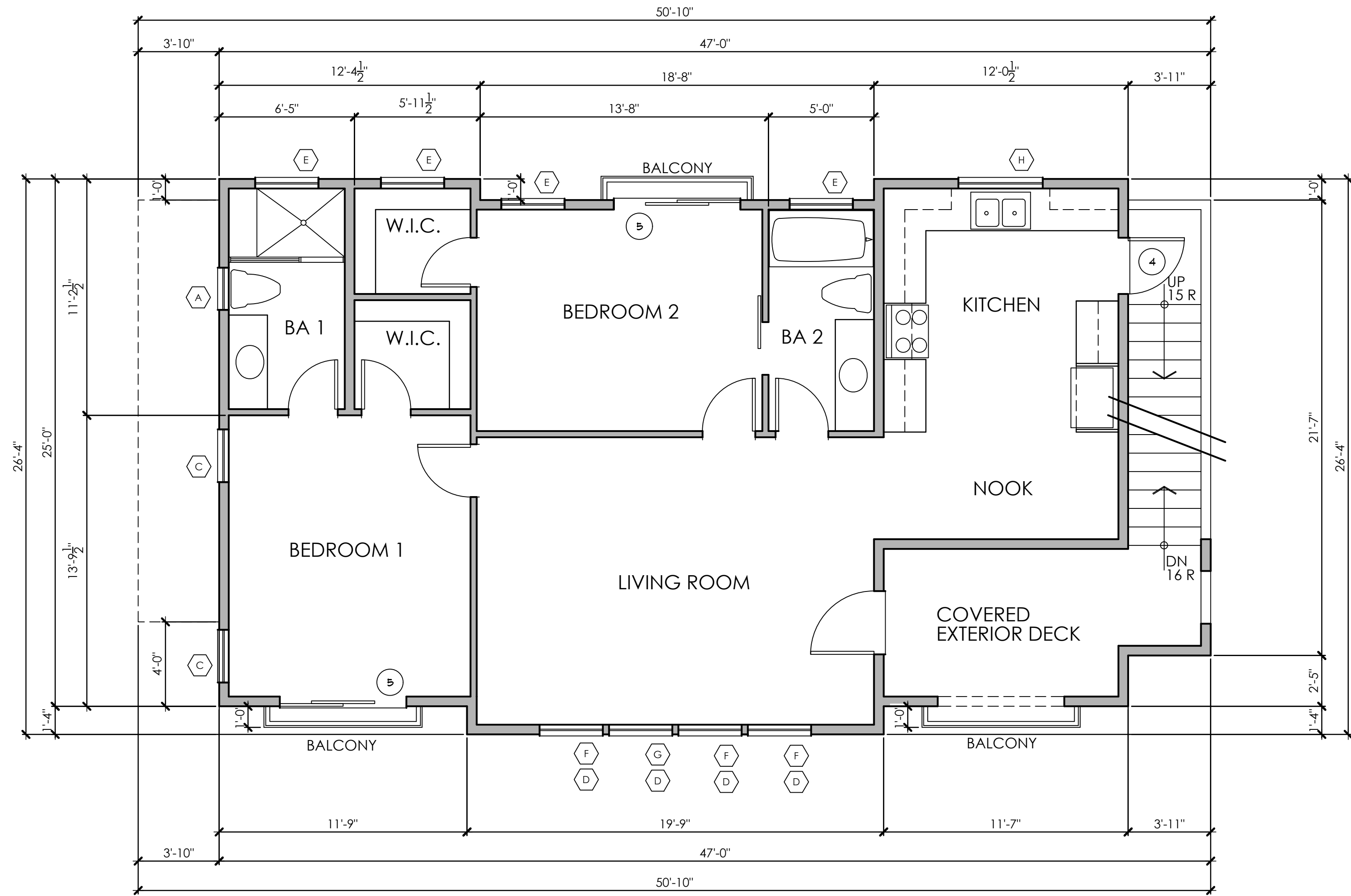
PURPOSE
CULTURAL
SUBMITTAL

PROJECT NUMBER
1910

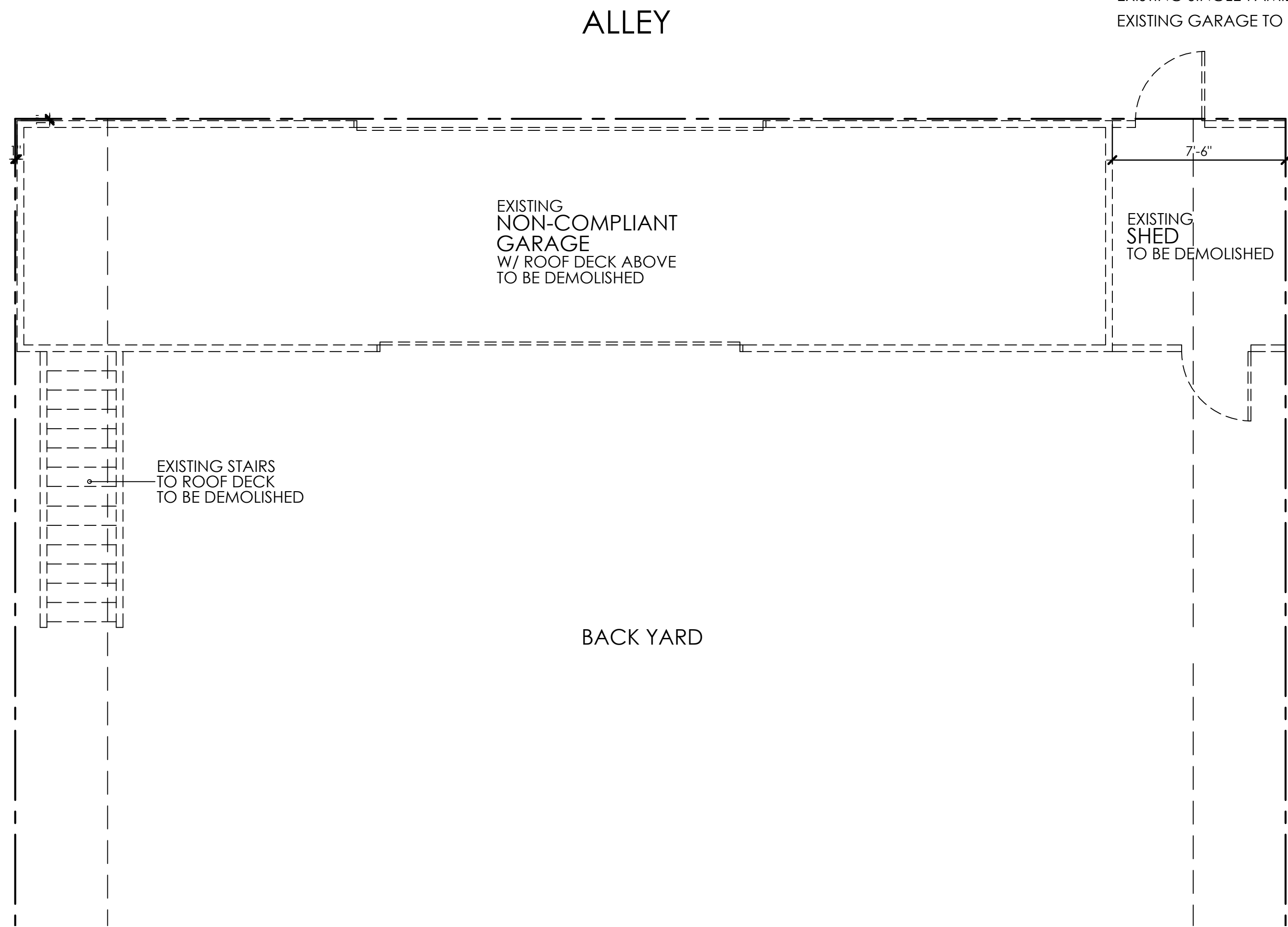
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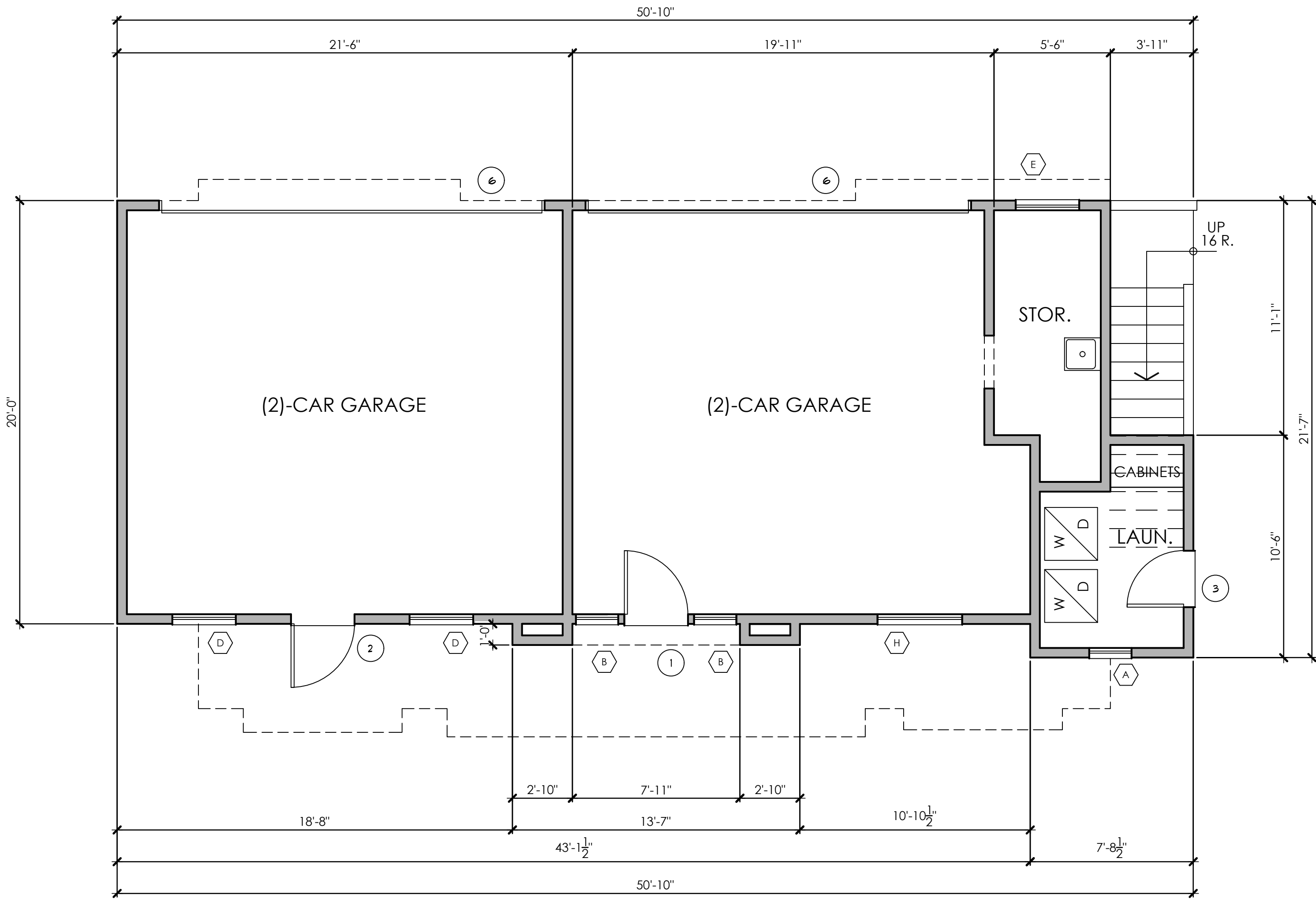
ROOF PLAN
SCALE : 1/4"=1'-0"



SECOND FLOOR PLAN - ACCESSORY DWELLING UNIT
SCALE : 1/4"=1'-0"



DEMOLITION PLAN
SCALE : 1/4"=1'-0"

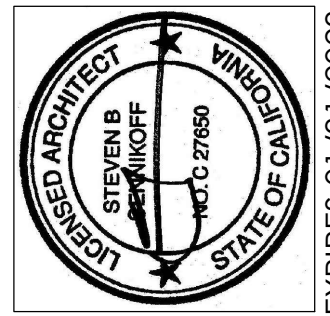


FIRST FLOOR PLAN - TWO (2)-CAR GARAGES
SCALE : 1/4"=1'-0"

PROJECT SQUARE FOOTAGES

FIRST FLOOR:		
(2)-CAR GARAGE 1	=	420.84 SF
(2)-CAR GARAGE 2	=	426.78 SF
STORAGE	=	69.89 SF
LAUNDRY ROOM	=	68.02 SF
TOTAL FIRST FLOOR	=	985.53 SF
SECOND FLOOR:		
ACCESSORY DWELLING UNIT	=	998.36 SF
COVERED EXTERIOR DECK	=	96.44 SF
ROOF:		
ROOF DECK	=	624.35 SF
EXISTING SINGLE-FAMILY RESIDENCE	=	3264.00 SF
EXISTING GARAGE TO BE DEMOLISHED	=	474.16 SF

NEW GARAGE WITH ADU ABOVE
LE / NGUYEN
3215 EAST OCEAN BLVD
LONG BEACH, CALIFORNIA 90803



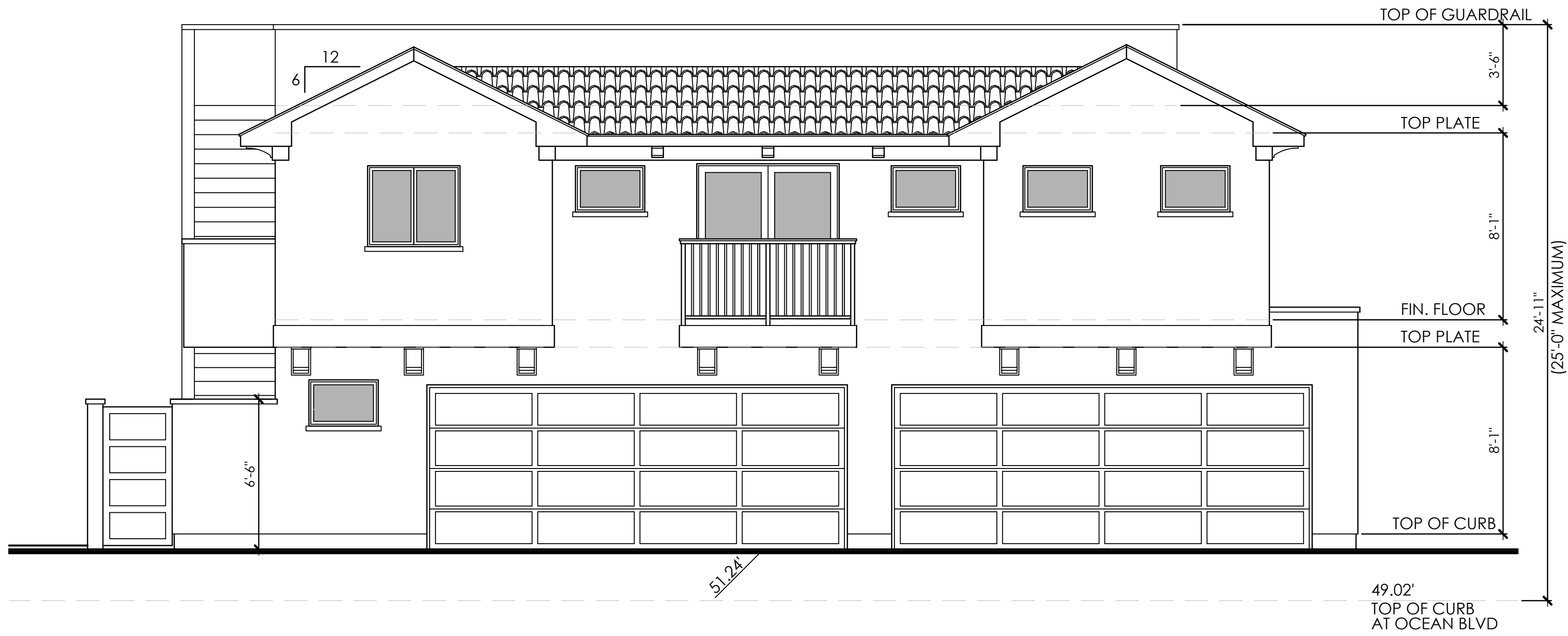
SHEET NUMBER	SET ISSUE DATE	PLAN CHECK NUMBER	SET REVISIONS
A2	17 AUG 21	-	
PROJECT NUMBER	PURPOSE		
1910	CULTURAL SUBMITAL		

562.344.5438

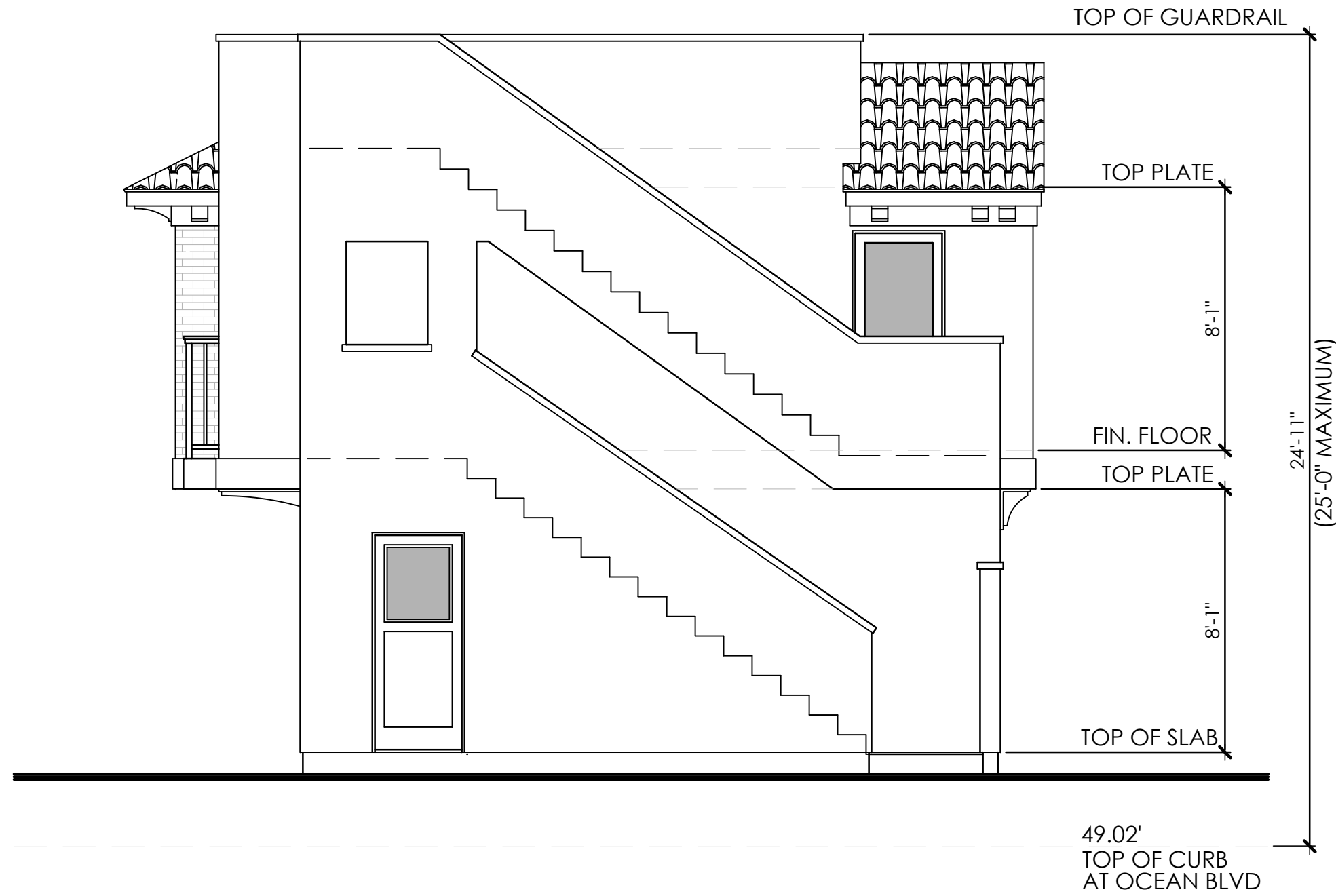
5500 East 2nd Street, Suite 1A
Long Beach, California 90803

Sennikoff
ARCHITECTS

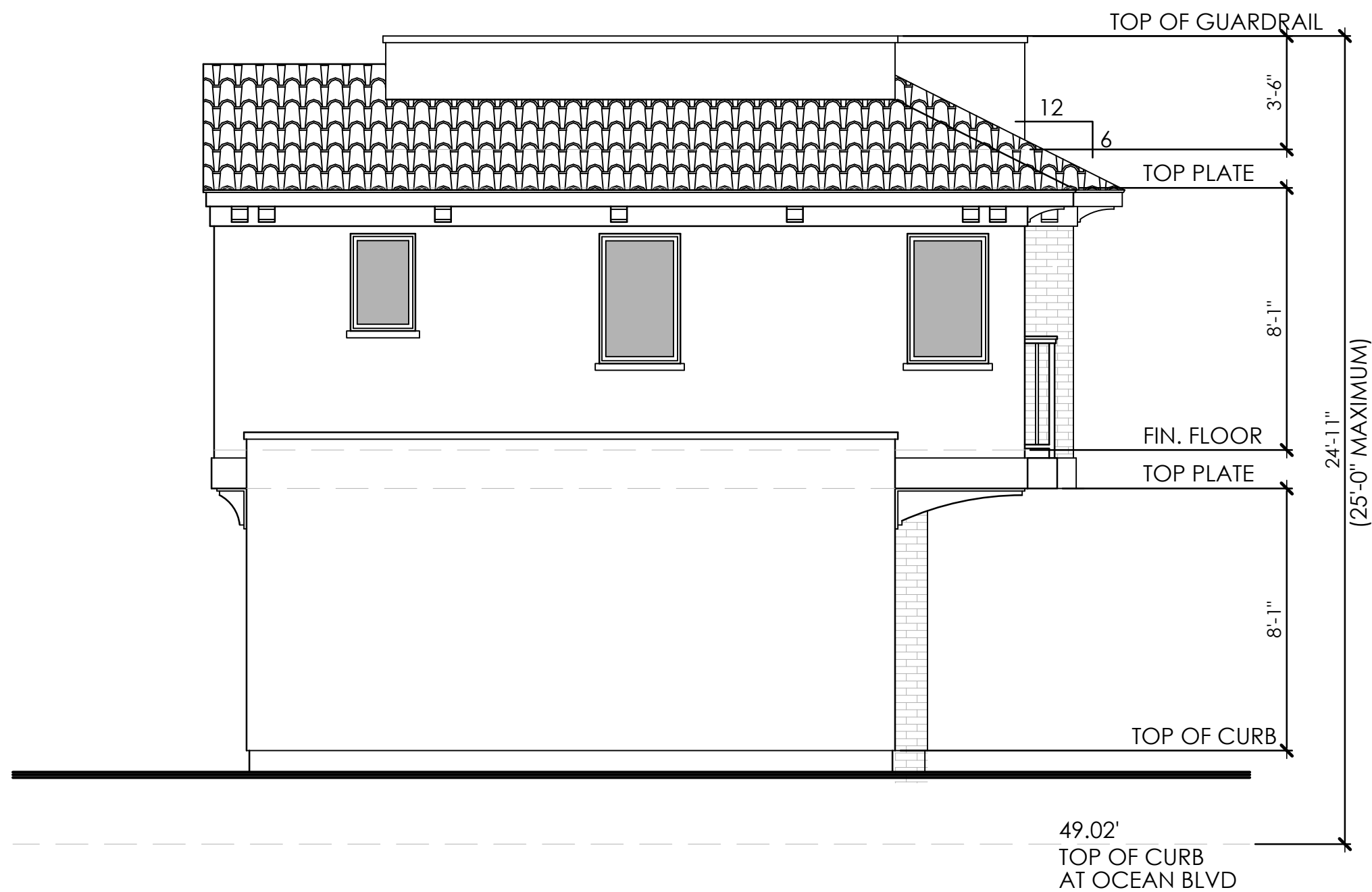
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NORTH ELEVATION (ALLEY ELEVATION)
SCALE : 1/4"=1'-0"



EAST ELEVATION
SCALE : 1/4"=1'-0"



WEST ELEVATION
SCALE : 1/4"=1'-0"



SOUTH ELEVATION (BACKYARD ELEVATION)
SCALE : 1/4"=1'-0"

ELEVATION MATERIALS AND COLORS

- NEW ROOF: CONCRETE S'-TILE: EAGLE BRAND, CAPISTRANO STYLE, 3523 DARK TERRA COTTA
- NEW WOOD FASCIA: PAINTED, WHITE
- NEW STUCCO: SEMI-SMOOTH, 3-COAT, WHITE
- NEW BRICK VENEER: ELDORADO STONE BRAND, TUNDRABRICK, RIVERBED
- NEW WINDOWS: PELLA BRAND, WOOD RESERVE STYLE, PAINTED WHITE
- NEW FRENCH DOORS: PELLA BRAND, WOOD RESERVE STYLE, PAINTED WHITE
- NEW IRON RAILING: PAINTED BLACK
- NEW GARAGE DOOR: WOOD ROLL-UP, TIMBERLINE BRAND, CLASSIC COLLECTION 203, WHITE

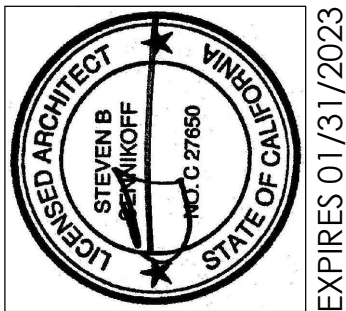
EXTERIOR ELEVATIONS

SHEET NUMBER SET ISSUE DATE PLAN CHECK NUMBER SET REVISIONS

17 AUG 21

PROJECT NUMBER 1910

PURPOSE CULTURAL SUBMITAL



NEW GARAGE WITH ADU ABOVE

LE / NGUYEN

3215 EAST OCEAN BLVD
LONG BEACH, CALIFORNIA 90803

562.344.5438

5500 East 2nd Street, Suite 1A
Long Beach, California 90803

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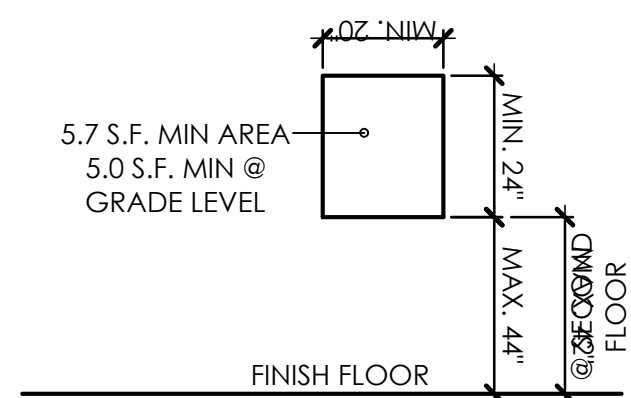
WINDOW SCHEDULE							
SYM.	SIZE	TYPE	FRAME	GLAZING	U-FACTOR	SHGC	NOTES
A	2'-0" x 3'-0"	CASEMENT	WOOD	CLEAR	-	-	
B	2'-0" x 7'-0"	FIXED	WOOD	CLEAR	-	-	
C	2'-6" x 4'-0"	CASEMENT	WOOD	CLEAR	-	-	
D	3'-0" x 2'-0"	FIXED	WOOD	CLEAR	-	-	
E	3'-0" x 2'-0"	AWNING	WOOD	CLEAR	-	-	
F	3'-0" x 4'-0"	CASEMENT	WOOD	CLEAR	-	-	
G	3'-0" x 4'-0"	FIXED	WOOD	CLEAR	-	-	
H	4'-0" x 3'-6"	FRENCH CASEMENT	WOOD	CLEAR	-	-	

DOOR SCHEDULE								
SYM.	SIZE	TYPE	THICKNESS	CORE	MATERIALS	U-FACTOR	SHGC	NOTES
1	3'-0" x 7'-0"	ENTRY	-	-	WOOD/GLASS	-	-	
2	3'-0" x 7'-0"	ENTRY	-	-	WOOD/GLASS	-	-	
3	2'-8" x 7'-0"	ENTRY	-	-	WOOD/GLASS	-	-	
4	2'-8" x 7'-0"	FRENCH	-	-	WOOD/GLASS	-	-	
5	6'-0" x 7'-0"	SLIDING	-	-	WOOD/GLASS	-	-	
6	18'-0" x 8'-0"	OVERHEAD ROLL-UP	-	-	WOOD	-	-	

EMERGENCY ESCAPE AND RESCUE OPENINGS (R310)

1. BASEMENTS, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. (R310.1)
2. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. (R310.1.1)
3. THE EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. (R310.1.1)
4. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES. R310.1.2)
5. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. R310.1.3)
6. EMERGENCY ESCAPE AND RESUCE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. (R301.1.4)

MEANS OF EGRESS DIAGRAM



WINDOW AND DOOR NOTES

1. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
2. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION (R308.3 AND R308.4)

A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES.

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACES.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

i. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

ii. BOTTOM OF EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.

iii. TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.

iv. ONE OF THE MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

D. GLAZING IN RAILINGS.

E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.

G. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.

3. ALL NEW WINDOWS AND DOORS SHALL HAVE A LABEL INDICATING THE U-FACTOR AND SHGC.

4. ALL NEW WINDOWS AND DOORS SHALL HAVE A U-FACTOR OF 0.32, AND A SHGC OF 0.28 PER THE TITLE-24 COMPLIANCE REPORT.

5. NEW EXTERIOR DOORS WITH MORE THAN 50% GLAZING SHALL BE INCLUDED IN THE PENETRATION CALCULATIONS.

6. WINDOW WELLS 4\"/>

7. ALL DOORS SHALL BE SOLID WOOD paneled doors

8. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.7.

ROOM FINISH NOTES

1. ALL FINISHES AND MATERIALS TO BE SELECTED AND APPROVED BY THE OWNERS
2. REFER TO FLOOR PLAN AND SECTIONS FOR TYPE 'X' GYPBOARD REQUIREMENTS AT GARAGE
3. INTERIOR COVERINGS AND WALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER R702 AND TABLE R702.1 (1) OF THE 2010 CALIFORNIA RESIDENTIAL CODE.
4. ALL GYPSUM BOARD MATERIALS AND ACCESSORIES SHALL CONFORM TO ASTM C36, C79, C475, C514, C630, C1002, C 1047, C1177, C1178, C1278, C1395, C1396, OR C1658, AND SHALL BE INSTALLED IN ACCORDANCE TO R702.3, 2010 CRC.
5. SCREWS FOR ATTACHING GYPSUM BOARD TO WOOD FRAMING SHALL BE TYPE W OR TYPE S IN ACCORDANCE WITH ASTM C1002 AND SHALL PENETRATE THE WOOD NOT LESS THAN 5/8"
6. MAXIMUM SPACING OF SUPPORTS AND THE SIZE AND SPACING OF FASTENERS USE TO ATTACH GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5, 2010 CRC.
7. TYPE 'X' GYPSUM BOARD FOR GARAGE CEILINGS BENEATH HABITABLE ROOMS SHALL BE INSTALLED PERPENDICULAR TO THE CEILING FRAMING AND SHALL BE FASTENED AT MAXIMUM 8' O.C. BY MINIMUM 1 7/8", 6d COATED NAILS OR EQUIVALENT DRYWALL SCREWS.
8. CORK INSULATION TO BE USED UNDER ALL HARDWOOD FLOORING.

DOOR AND WINDOW SCHEDULES

SHEET NUMBER

A4

SET ISSUE DATE

17 AUG 21

PLAN CHECK NUMBER

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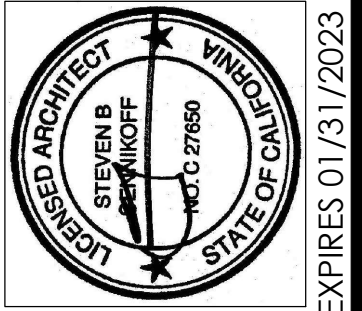
SET REVISIONS

PROJECT NUMBER

1910

PURPOSE

CULTURAL SUBMITTAL



NEW GARAGE WITH ADU ABOVE

LE / NGUYEN

3215 EAST OCEAN BLVD
LONG BEACH, CALIFORNIA 90803

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5500 East 2nd Street, Suite 1A
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