

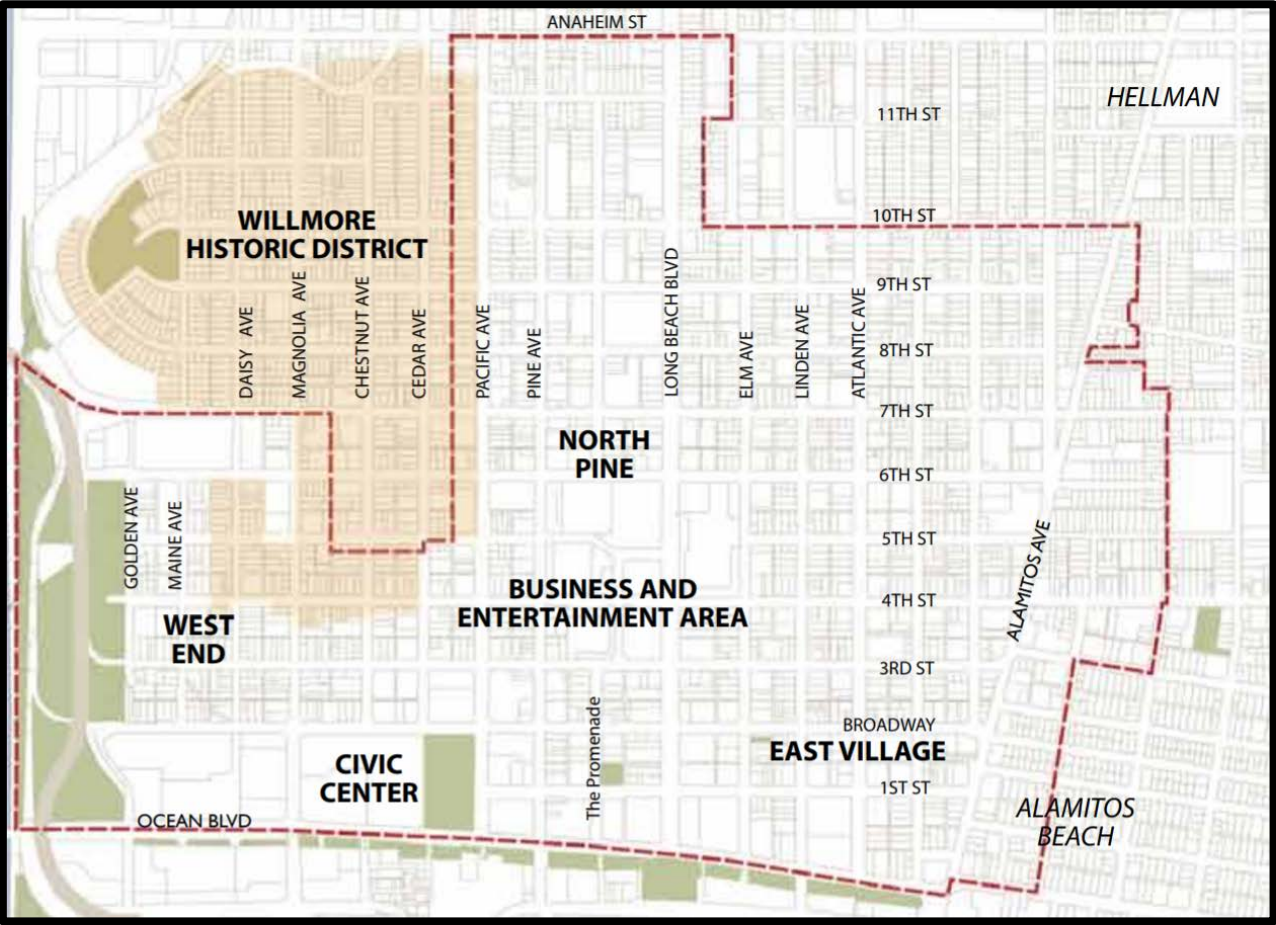


PD-30 Land Use Equivalency Program

**Application No. 2004-11
September 16, 2021**

BACKGROUND

DOWNTOWN PLAN (PD-30)



PROGRAM EIR

Land Use	Buildout Assumed 2035
Residential Units	5,000
Commercial SF	480,000
Office SF	1,500,000
Hotel Rooms	800
SF = Square Feet	

DOWNTOWN PLAN

Land Use	Buildout Assumed 2035	Development Entitled and/or Constructed to Date	% Built Out
Residential Units	5,000	5,252	105%
Commercial SF	480,000	203,710	42%
Office SF	1,500,000	490,000	32%
Hotel Rooms	800	223	27%
SF = Square Feet			

DOWNTOWN PLAN

EQUIVALENCY PROGRAM FOR THE DOWNTOWN PLAN

LAND USE	EXCHANGE RATE PER RESOURCE AREA EVALUATED			
	Traffic/Noise	Air Quality	GHG	
Commercial	0.082	0.060	0.022	KSF per DU
Office	0.315	0.170	0.059	KSF per DU
Hotel	0.629	0.311	0.078	Rooms per DU
KSF = thousand square feet; DU = dwelling unit				

DOWNTOWN PLAN

EQUIVALENCY PROGRAM FOR THE DOWNTOWN PLAN

Land Use	Capacity Remaining	Equivalency Program Reduction	Adjusted Capacity
Commercial SF	276,290	-140,970	135,320
Office SF	1,010,000	-417,060	592,940
Hotel Rooms	577	-177	400
SF = Square Feet KSF = thousand square feet; DU = dwelling unit			

3,260
Residential
Units *

DOWNTOWN PLAN

EQUIVALENCY PROGRAM FOR THE DOWNTOWN PLAN

LAND USE	EXCHANGE RATE <u>EXAMPLE</u>	
	Traffic/Noise	100 Residential Units Proposed = 31,500 SF of Office
	Commercial	
	Office	
	Hotel	
SF = Square Feet; KSF = thousand square feet; DU = dwelling unit		

Recommendation

- **RECEIVE AND FILE REPORT**





Thank you

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DOWNTOWN PLAN

EQUIVALENCY PROGRAM FOR THE DOWNTOWN PLAN

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