



# Certificate of Appropriateness 3728 California Avenue

Cultural Heritage Commission  
November 24, 2020



# VICINITY MAP





# BACKGROUND

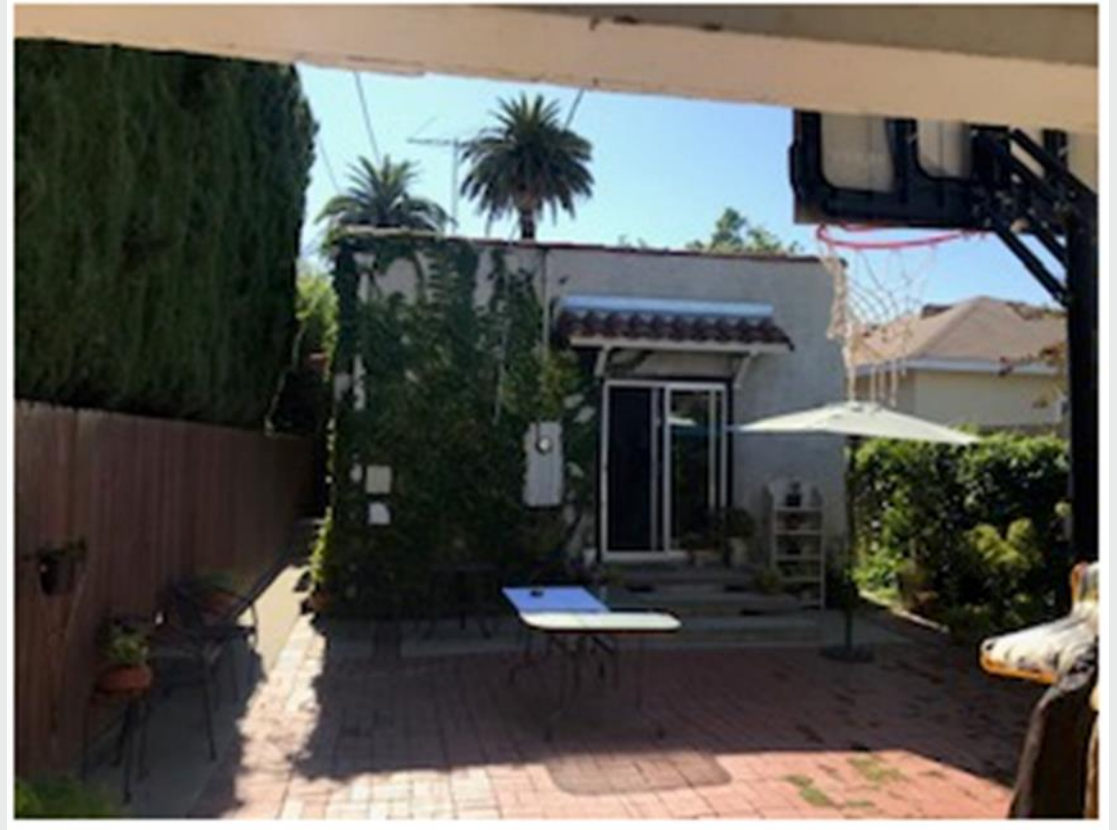
- Existing 929-square foot residence and a two-car garage.
- Built in 1929
- Lot Size: 3,187 S.F.
- Zone: R-1-N (Single Family Residential District, Standard Lots) California Heights Historic District – Contributing Structure



# EXISTING RESIDENCE



**Front View**



**Rear View**



# EXISTING GARAGE



**Front View**



**Rear View**



# EXISTING GARAGE



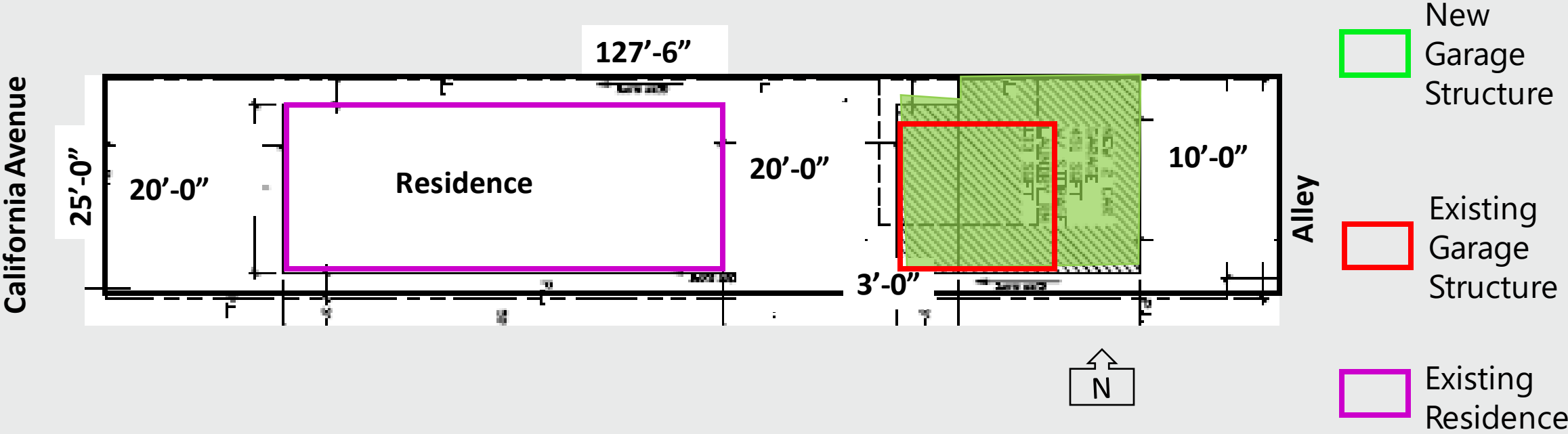
**Cracked concrete slab**



**Dry Rot**

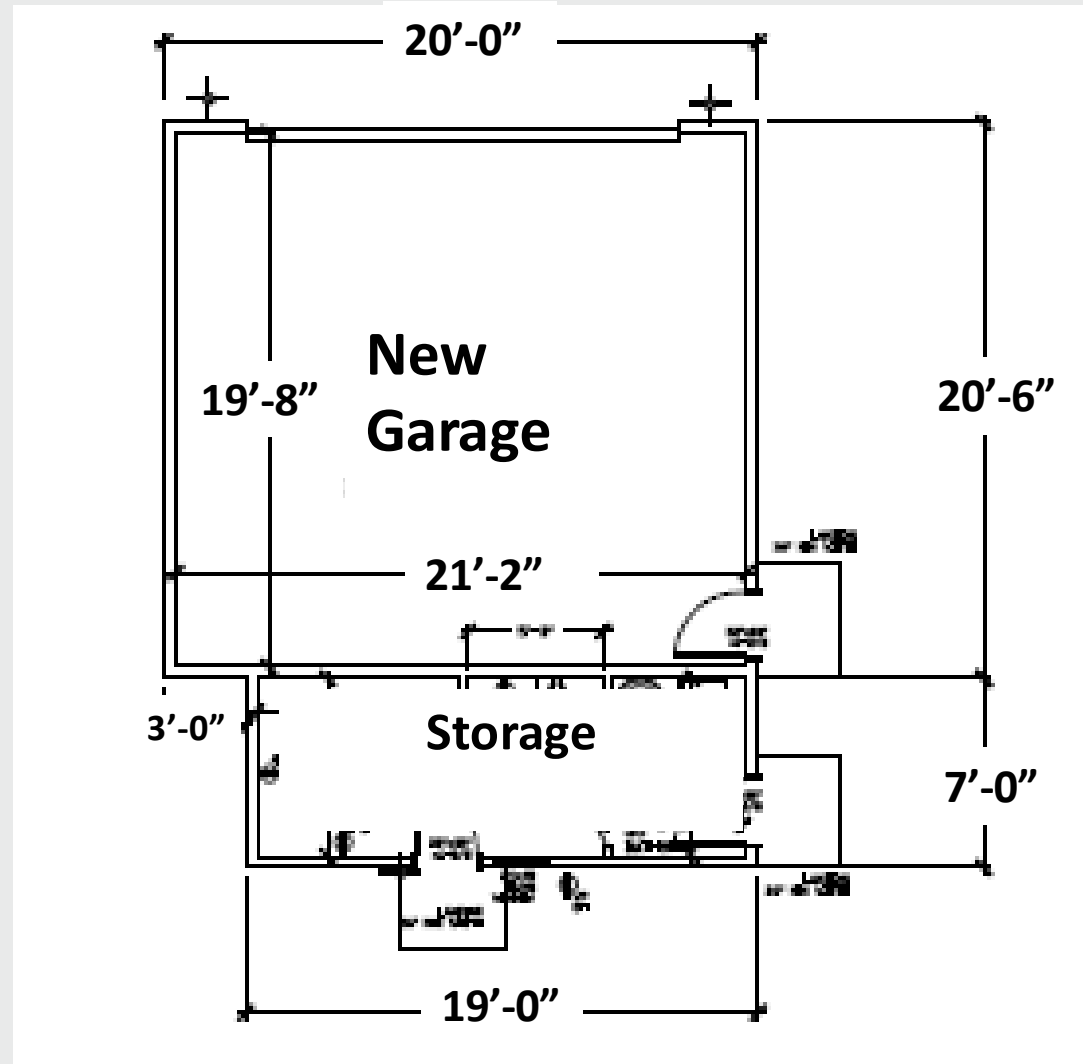


# PROPOSED SITE PLAN



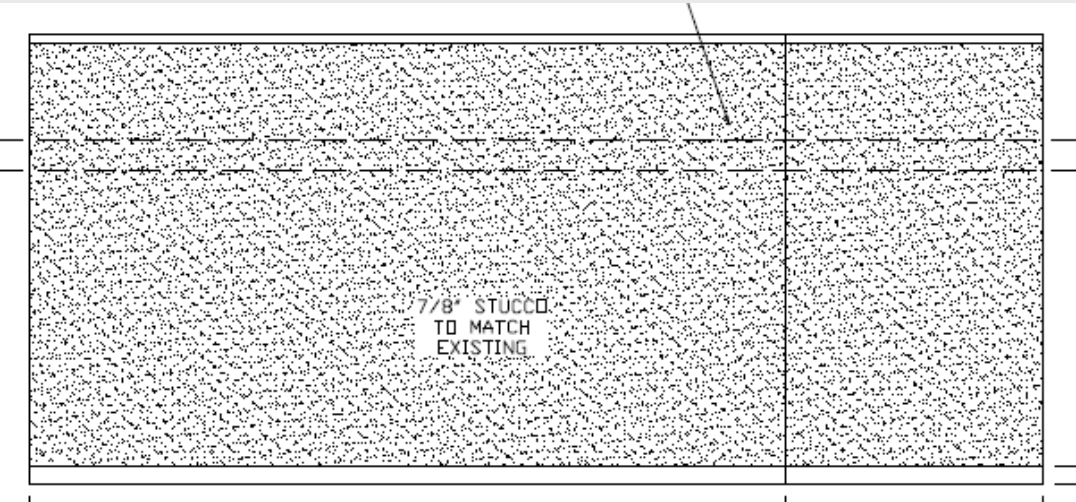


# PROPOSED FLOOR PLAN

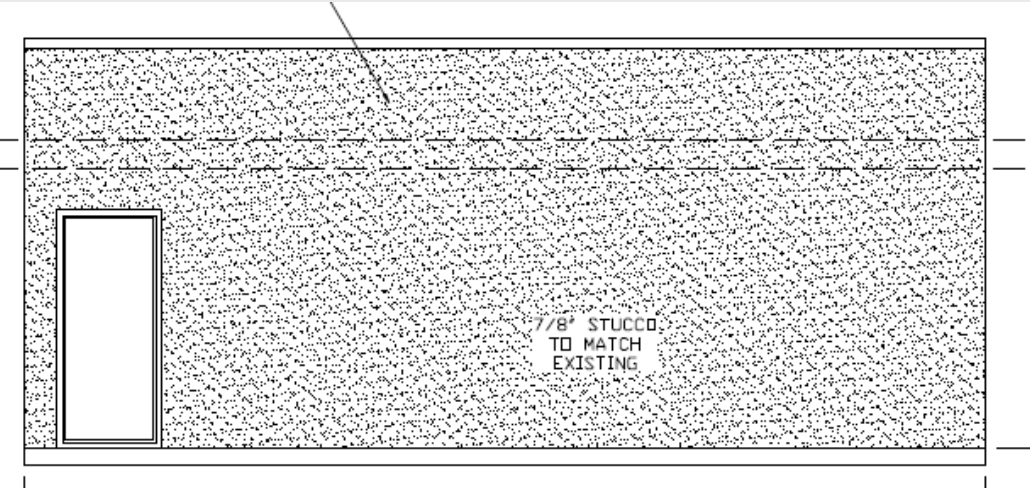




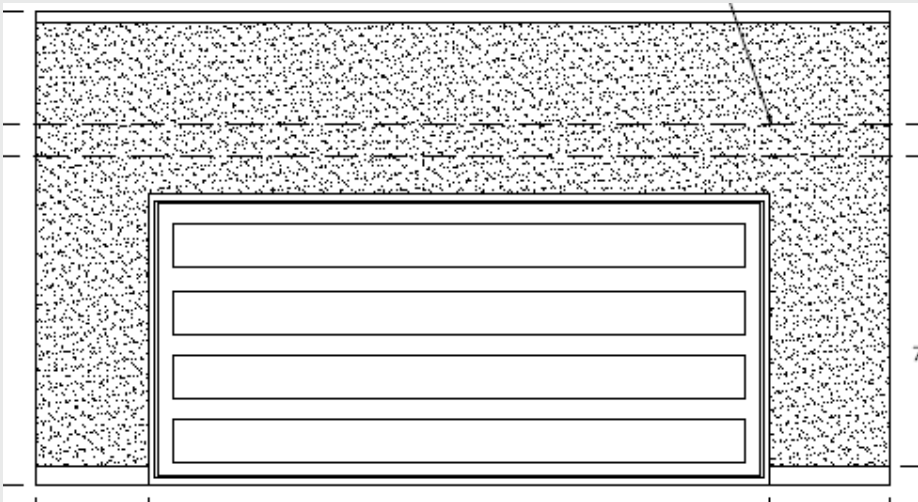
# PROPOSED ELEVATIONS



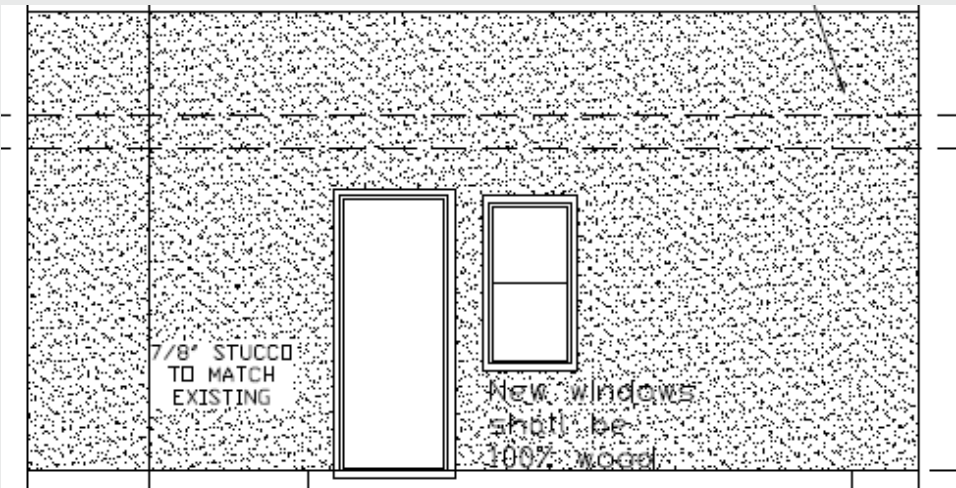
North Elevation



South Elevation



Rear Elevation / Alley facing



West Elevations



## As proposed, the new primary residence is:

1. In compliance with the Zoning Code;
2. California Heights Historic District Design Guidelines;
3. Secretary of Interior's Standards;
4. Ordinances C-7702 – California Heights Historic District
5. Spanish Colonial Architectural Style Guide
6. Certificate of Appropriateness Findings



# RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness to:

- Demolish the existing garage.
- Construct a new 451-square-foot, two-car garage with an attached 133-square-foot storage room.





Thank you

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