

Cultural Heritage Commission

October 27, 2020

201 Pine Avenue Certificate of Appropriateness COAC2010-02

ONGBEACH

OPMENT





Aerial Map

Location



Northwest corner of Broadway and Pine Ave Broadway to South Pine Ave to the East Pacific Avenue to the West





Property Background

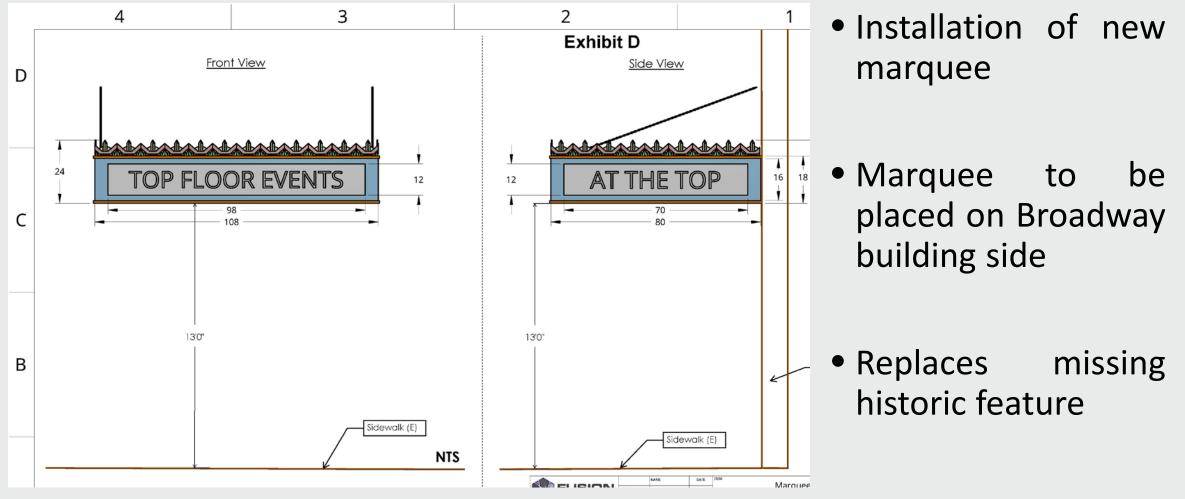
Background

- Two-story commercial building constructed in 1930
- Landmark Rowan Bradley Building (1981)
- Architectural Style Art Deco
- Lot Size: 6,000 S.F.
- Zone: PD-30 (Downtown Zoning district)



Proposed Plans

Scope of Work





CITY OF

201 Pine Avenue

Existing Conditions

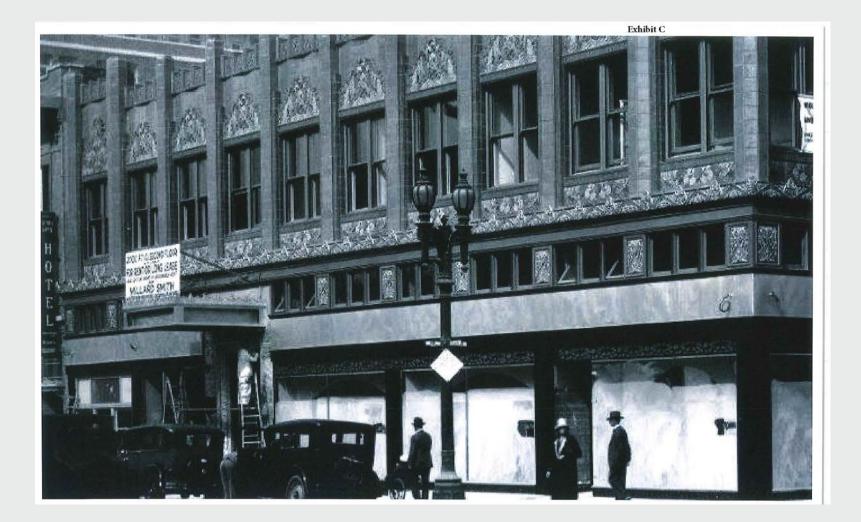








Historic Photo







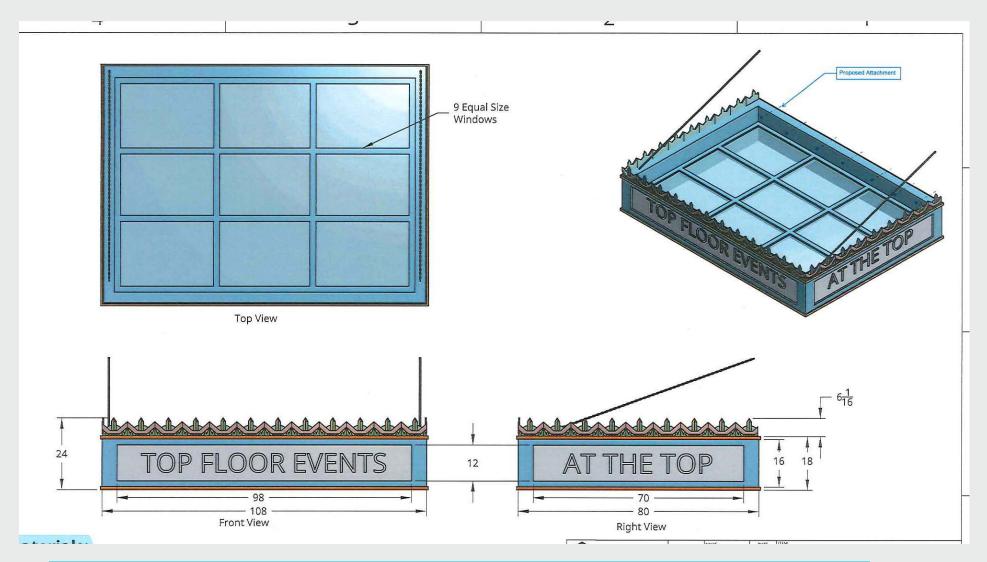
• Standard No. 6:

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in <u>design</u>, <u>color</u>, <u>texture</u>, <u>and other visual qualities</u> and, where possible, <u>materials</u>. Replacement of missing features shall be substantiated by <u>documentary</u>, <u>physical</u>, <u>or pictorial evidence</u>.



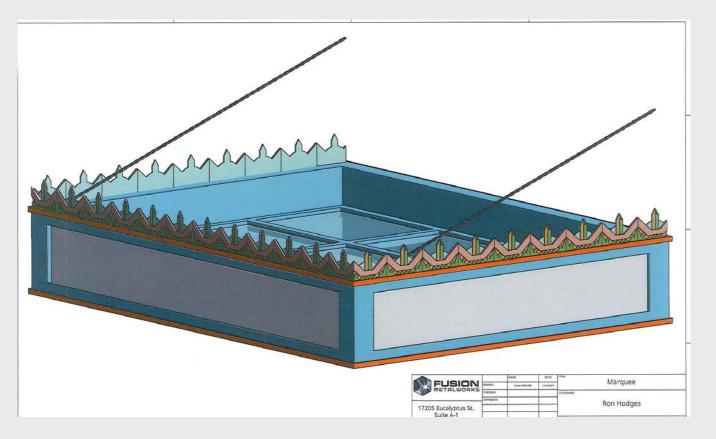


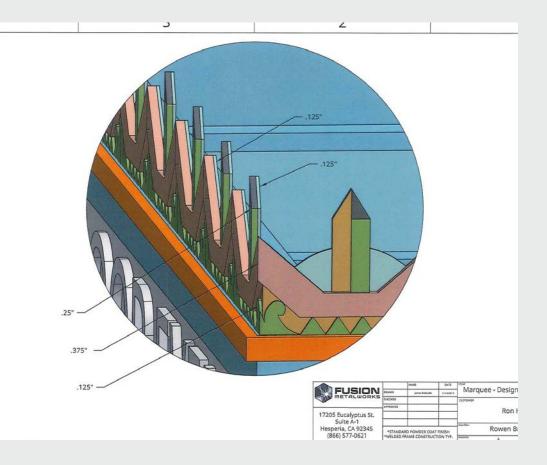
Proposed Plans





Proposed Plans

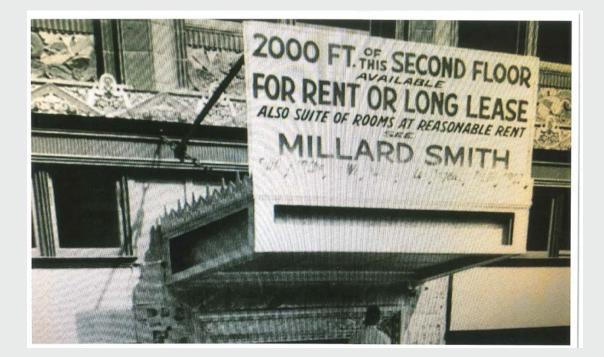


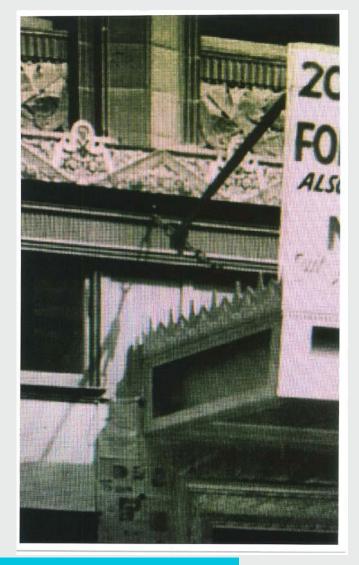


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Historic Photos

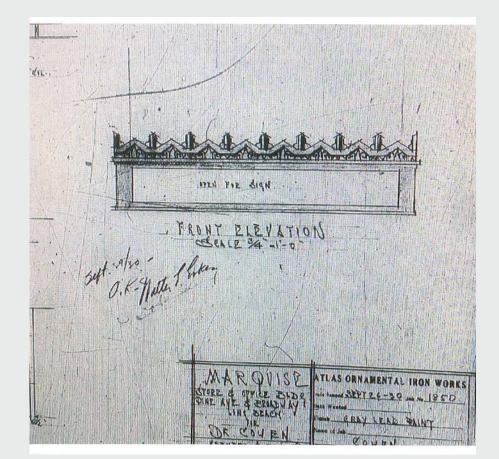


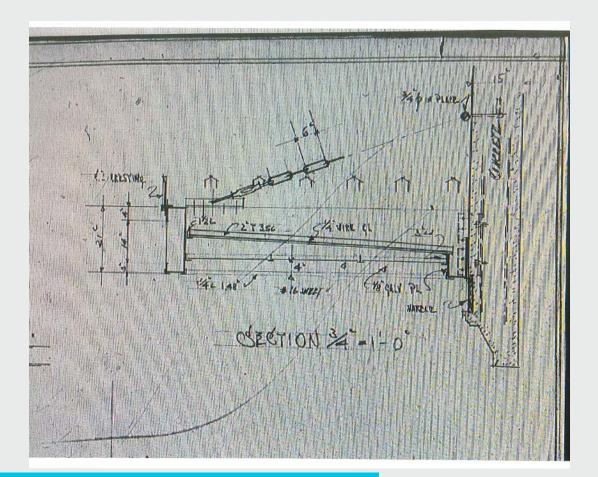






Historic Plans

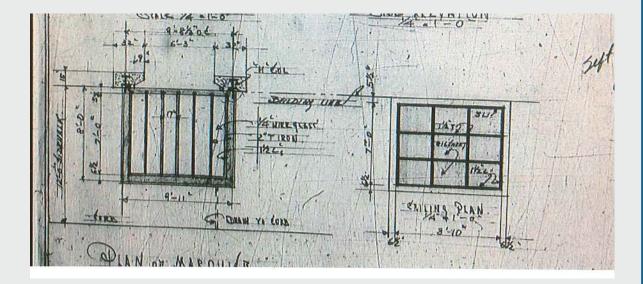


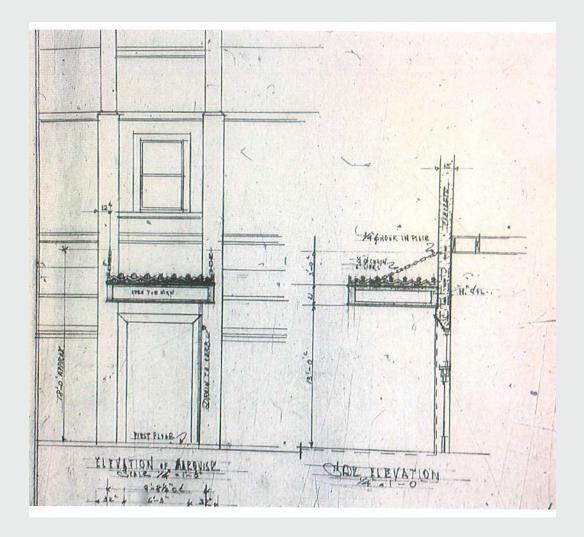






Historic Plans









Marquee Comparison Table

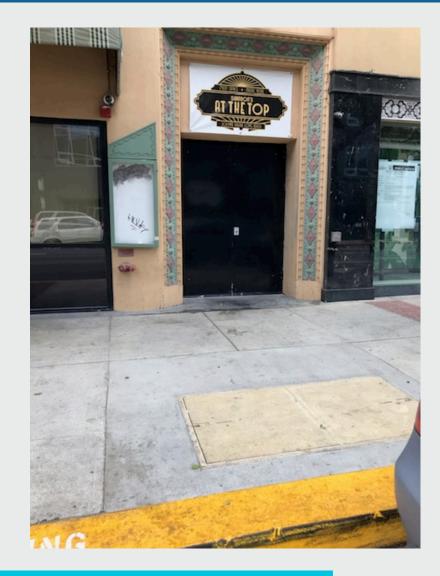
	1930 PLANS	PROJECT PLANS
Width	9 feet 11 inches	9 feet
Depth	8 feet	6 feet 6 inches
Height Without Metalwork	21 inches	18 inches
Total Height With Metalwork	No dimension included	24 inches
Vertical Clearance from Sidewalk	13 feet	13 feet
Materials	Iron	Aluminum



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Colors and Constraints











1. In compliance with the Zoning Code;

2. Secretary of Interior's Standards;

As proposed, the proposed project is:

 Certificate of Appropriateness Findings.





With conditions, Staff recommends approval of a Certificate of Appropriateness to install a new aluminum metal marquee over the entry located on the Broadway street side of the building. This entry leads directly to the 2nd floor of the building. The proposed marquee is planned to match the original marquee and uses both historic photo documentation and original architectural drawings to replicate the original design and appearance. on a property located at 201 Pine Avenue in the Downtown Plan Area (PD-30) Zoning District (District 2)





Thank you

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