5331 E. SECOND STREET

INTERIOR IMPROVEMENTS

GENERAL NOTES

1. REVIEW OF THE CONTRACT DOCUMENTS BY CONTRACTOR: THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH AS-BUILT DRAWINGS PROVIDED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES, OR OMISSIONS, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR AND HAS CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK.

THE INTENT OF THE CONTRACT DOCUMENTS IS TO ALLOW FOR THE PERFORMANCE OF THE WORK. EVERY ITEM NECESSARILY REQUIRED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. UNLESS EXPRESSLY STATED, ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETED AND APPROPRIATELY OPERABLE. FURNISH AND INSTALL ALL SPECIFIED AS APPROPRIATE ITEMS, AND ALL INCIDENTAL, ACCESSORY, AND OTHER ITEMS NOT SPECIFIED BUT REQUIRED FOR A COMPLETE AND FINISHED ASSEMBLY

NO WORK DEFECTIVE IN WORKMANSHIP OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

4. AS-BUILT DRAWINGS: DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATIONS OF CONSTRUCTION ITEMS DENOTED IN THE CONSTRUCTION DOCUMENTS SHALL BE INDICATED TO SCALE IN CONTRASTING INK ON THE DRAWINGS FOR ALL RUNS OF MECHANICAL, SPRINKLER, PLUMBING, AND ELECTRICAL WORK; INCLUDING SITE UTILITIES AND CONCEALED DEVIATIONS

IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND THAT ANY OMISSIONS IN THESE NOTES OR THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY THE SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.

6. UNENFORCEABLE WORK: SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE, FOR WHATEVER REASON, UNENFORCEABLE, SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT NOR SHALL IT VOID ANY OTHER PROVISIONS OF THE

5. CONTRACTOR'S RESPONSIBILITY:

THE CONTRACTOR IS RESPONSIBLE FOR REVIEW AND VERIFICATION OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION, IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR SHALL SUBMIT THEM IN WRITING TO THE ARCHITECT AND IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION, OR RELATED WORK.

8. WORK SHOULD COMPLY WITH APPLICABLE CODES: EXECUTE WORK IN ACCORDANCE TO ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, MANUFACTURER'S RECOMMENDATIONS, AND TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO: CBC, SEISMIC CODES, CMC, CEC, CPC, CFC. AND NFPA (LATEST ENFORCED EDITIONS).

9. DIMENSIONS: DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS, WRITTEN SPECIFICATIONS SHALL GOVERN OVER ALL.

10. DRAWING DISTRIBUTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION.

11. CHANGES IN WORK: DO NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. FAILURE TO OBTAIN WRITTEN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.

ALL MATERIALS SHALL BE NEW, UNUSED, OR THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS OTHERWISE NOTED.

13. COORDINATION: VERIFY IN THE FIELD THAT NO CONFLICTS EXIST WHICH WOULD PROHIBIT THE LOCATION OF ANY AND ALL MECHANICAL, ELECTRICAL, TELEPHONE, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, CONDUIT AND DUCTWORK), AND THAT ALL REQUIRED

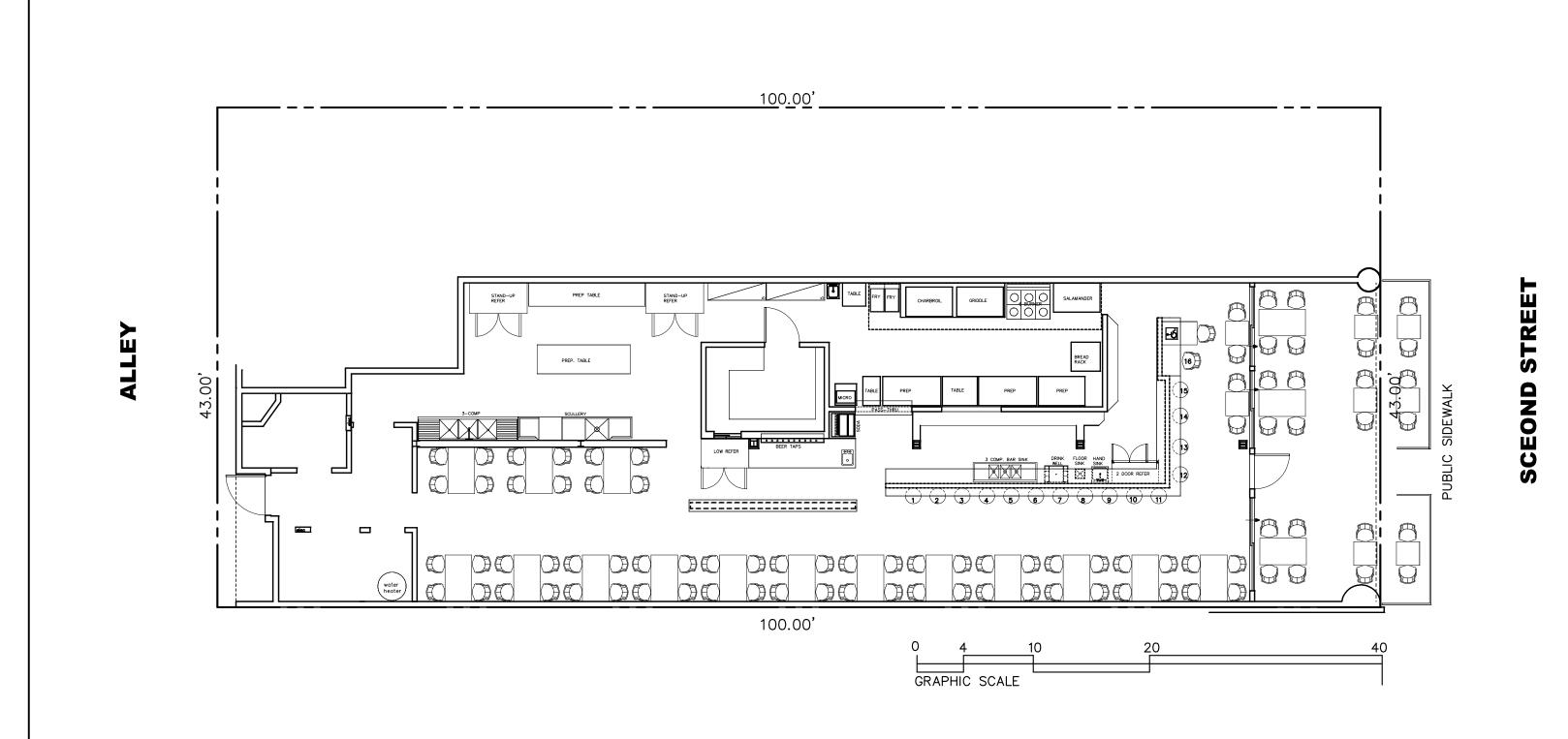
CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. PROVIDE PROTECTION OF ALL EXISTING FINISHES IN ALL SPACES WITHIN OR ADJACENT TO THE AREA OF WORK AND THE TENANT'S SPACE. THE CONTRACTOR SHALL PATCH, REFINISH, AND REPAIR ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS. MATCH EXISTING

ADJACENT FINISH, OR AS NOTED HEREIN. CORRECT ANY DEFECTS FOUND IN EXISTING BUILDING CONSTRUCTION WHICH AFFECTS THE SCOPE OF WORK. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AT GYPSUM BOARD OR DAMAGED FIREPROOFING. PATCH AND REPAIR SURFACES TO MATCH ADJACENT,

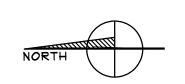
16. EXISTING CONDITIONS: CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT INDICATED ON THE CONTRACT DOCUMENTS.

17. CONTRACT DOCUMENTS: ALL CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE AS BINDING AS IF CALLED FOR BY ALL. ALL WORK SHOWN OR REFERRED TO ON ANY CONTRACT DOCUMENT SHALL BE PROVIDED AS THOUGH THEY ARE ON ALL RELATED DOCUMENTS.

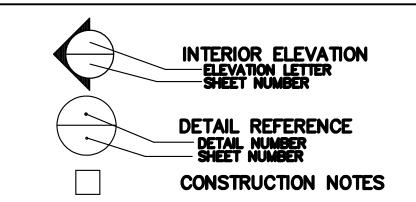
18. CONTRACTOR RESPONSIBILITY TO THE ARCHITECT: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY CONFLICTS HEREIN-EITHER APPARENT OR OBVIOUS-PRIOR TO THE START OF NEW WORK ON THAT ITEM, OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.



SITE PLAN APN 7249-018-030



SYMBOLS



PROJECT DIRECTORY

OWNER: JOHN MALLINGER 5331 E. SECOND ST. LONG BEACH, CA 90803 562.856-1612

ARCHITECT: HMR ARCHITECTURE, INC. 221 MAIN STREET, SUITE HUNTINGTON BEACH, CA. 92648 714-536-2009

CODE REFERENCES

2019 CALIFORNIA BUILDING CODE WITH LONG BEACH AMENDMENTS 2019 CALIFORNIA MECHANICAL CODE AND LOCAL AMENDMENTS 2019 CALIFORNIA ELECTRICAL CODE AND LOCAL AMENDMENTS 2019 CALIFORNIA PLUMBING CODE AND LOCAL AMENDMENTS 2019 CALIFORNIA ENERGY CODE AND LOCAL AMENDMENTS 2019 CALIFORNIA FIRE CODE AND LOCAL AMENDMENTS

2019 NFPA 72 (FIRE ALARMS) 2019 NFPA 13 (FIRE SPRINKLERS)

2019 ADA REGULATION FOR TITLE III, CODE OF FEDERAL REGULATIONS 2019 ADA REGULATION FOR TITLE II, CODE OF FEDERAL REGISTER

STATISTICS

INTERIOR IMPROVEMENTS TO AN EXISTING FOOD-SCOPE OF WORK: SERVICE SPACE. NEW BAR COUNTER.

OCCUPANCY GROUP:

CONSTRUCTION TYPE: TYPE V-B, NON-SPRINKLERED

LEASE SPACE AREA: 2668 S.F. IMPROVED AREA: NOT APPLICABLE

NUMBER OF STORIES:

OCCUPANT LOAD FACTOR: 15-TABLES & CHAIRS, 200-KITCHEN OCCUPANT LOAD: 56-TABLES & CHAIRS, 6-KITCHEN, 62 TOTAL

EXIT TRAVEL DISTANCE ALLOWED: 200'

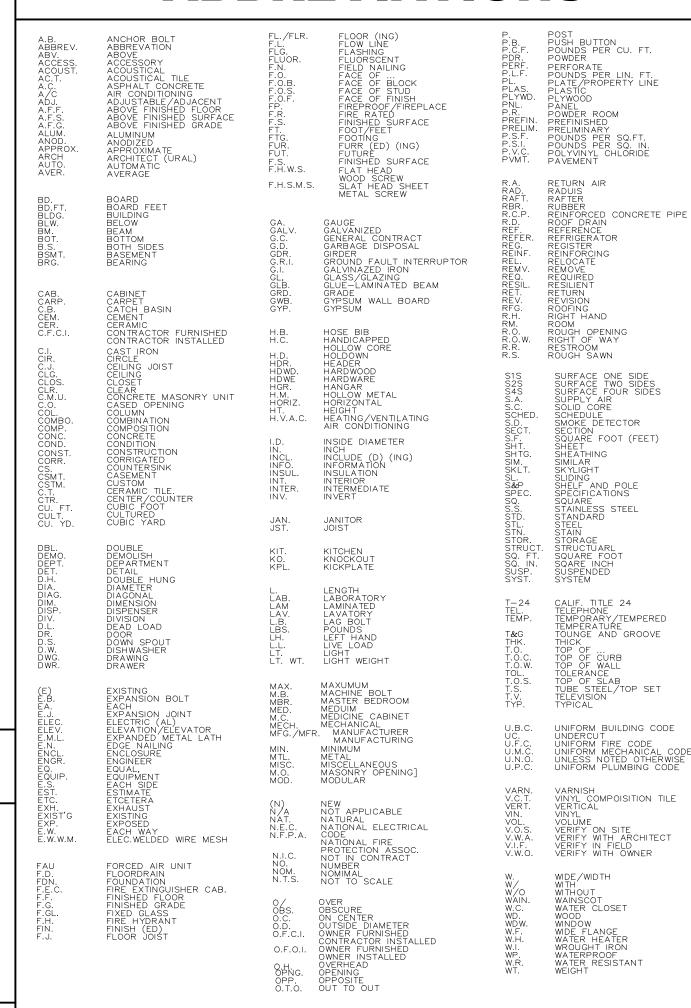
COMMON PATH TRAVEL DISTANCE ALLOWED: 75'

NOTE: ALL INTERIOR FINISHES SHALL COMPLY WITH THE REFERENCED CODE REQUIREMENTS FOR FLAMMABILITY AND SMOKE DEVELOPED RATINGS AS WELL AS TOXICITY.

FLAME SPREAD: 76-200 SMOKE DEVELOPED: 0-450

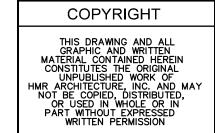
PER ASTM E648, CLASS A CRITICAL RADIANT FLUX OF NOT LESS THAN 0.45 WATTS PER SQUARE CENTIMETER

ABBREVIATIONS



SHEET INDEX

STATISTICS, GENERAL NOTES, SITE PLAN EXISTING AND REMODEL FLOOR PLANS



PRELIMINARY DOCUMENTS NOT FOR CONSTRUCTION

BEEN COMPLETELY REVIEWED BY
HMR ARCHITECTURE, INC. OR BY
THE BUILDING OFFICIAL. THESE
DOCUMENTS ARE SUBJECT TO
REVISION. FUTURE REVISIONS MADE MAY NOT BE CLEARLY INDICATED AS SUCH. ANY BIDS MADE OR CONSTRUCTION PERFORMED BASED ON THESE DOCUMENTS IS THE REPONSIBILITY OF THOSE MAKING THE BID OR PERFORMING THE CONSTRUCTION. THESE DOCUMENTS
HAVE BEEN ISSUED AS A PROGRESS
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REVISIONS

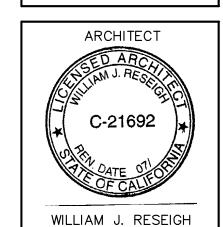
REVISION

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221 MAIN ST. SUITE HUNTINGTON BEACH, CA 92648

714-536-2009 HMRAIA.COM



PROJECT NAME RILEY'S BELMONT SHORE INTERIOR REMODEL 5331 E.

> SECOND ST. LONG BEACH CALIFORNIA

DATE: 3/23/2020

JOB NO.

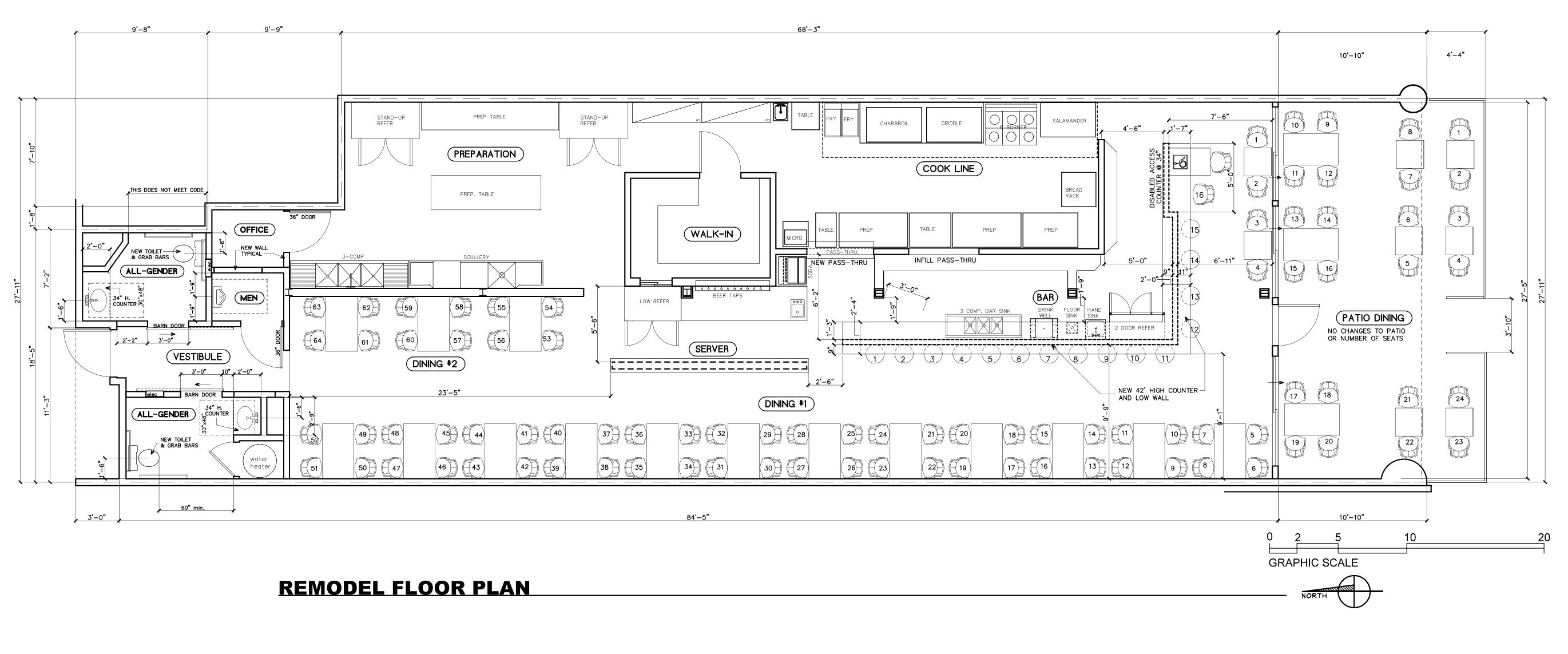
CADD FILE: 219129—COVER SHEET

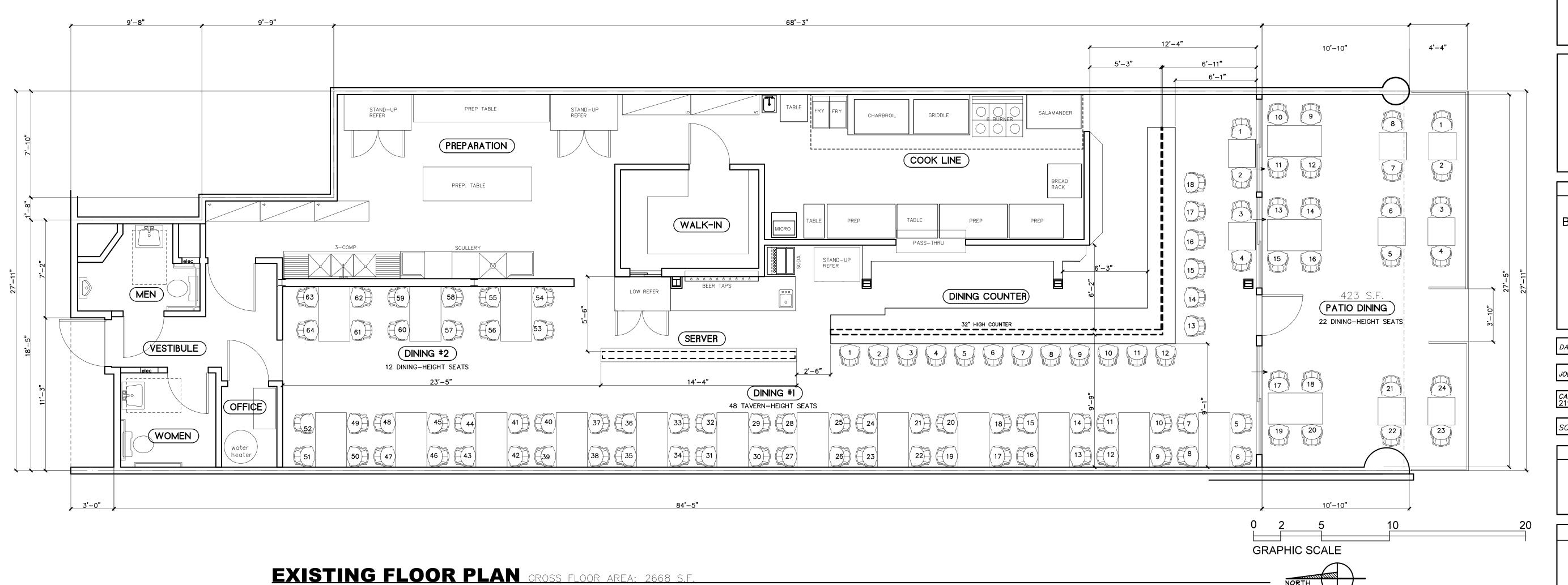
SCALE:

COVER SHEET STATISTICS SITE PLAN

SHEET NAME

SHEET NUMBER





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SUITE I HUNTINGTON BEACH, CA 92648

714-536-2009 HMRAIA.COM



PROJECT NAME

RILEY'S
BELMONT SHORE
INTERIOR
REMODEL

5331 E.
SECOND ST.

LONG BEACH
CALIFORNIA

ā: 3/23/2020

JOB NO.

CADD FILE: 219129-A1.0 SCALE: 1/4" = 1'-0" ON SCALE: 24"X36' PAPER ONLY

SHEET NAME

EXISTING
FLOOR PLAN

REMODEL
FLOOR PLAN

SHEET NUMBER

A1.0