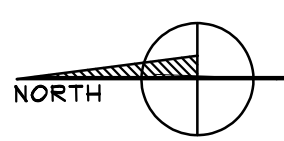
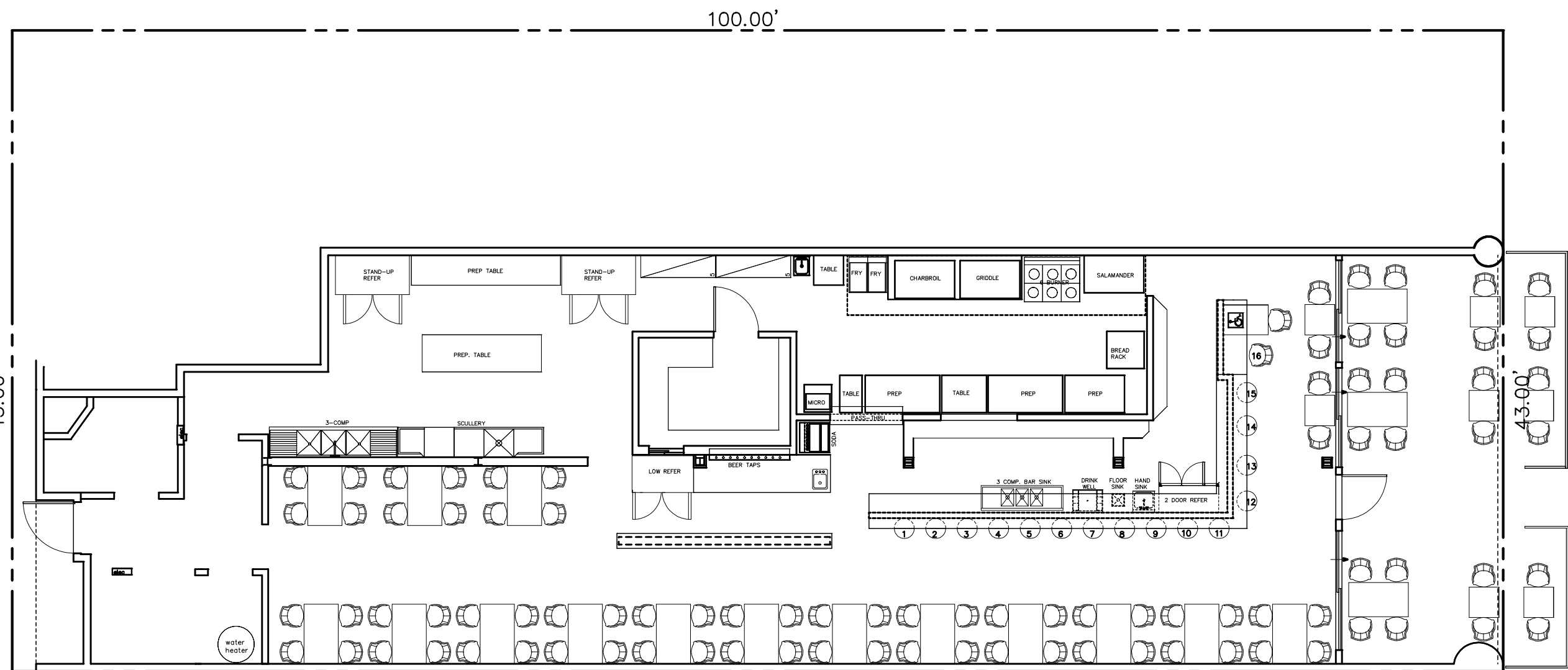


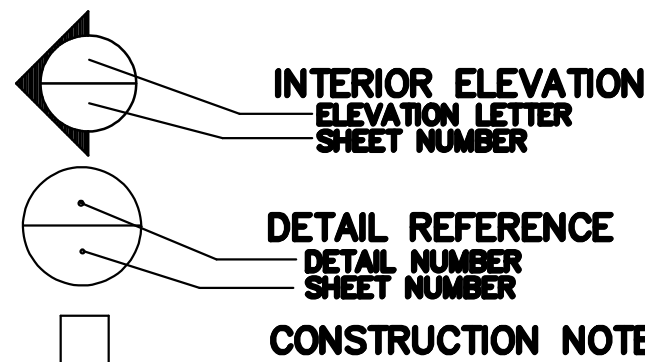
GENERAL NOTES

- # ALLEY



SACLE: 1/8" = 1'-0"

SYMBOLS



PROJECT DIRECTORY

OWNER:	ARCHITECT:
JOHN MALLINGER	HMR ARCHITECTURE, INC.
5331 E. SECOND ST.	221 MAIN STREET, SUITE 1
LONG BEACH, CA 90803	HUNTINGTON BEACH, CA. 92648
562.856-1612	714-536-2009

CODE REFERENCES

APPLICABLE CODES:

2019 CALIFORNIA BUILDING CODE WITH LONG BEACH AMENDMENTS

2019 CALIFORNIA MECHANICAL CODE AND LOCAL AMENDMENTS

2019 CALIFORNIA ELECTRICAL CODE AND LOCAL AMENDMENTS

2019 CALIFORNIA PLUMBING CODE AND LOCAL AMENDMENTS

2019 CALIFORNIA ENERGY CODE AND LOCAL AMENDMENTS

2019 CALIFORNIA FIRE CODE AND LOCAL AMENDMENTS

2019 NFPA 72 (FIRE ALARMS)

2019 NFPA 13 (FIRE SPRINKLERS)

2019 ADA REGULATION FOR TITLE III, CODE OF FEDERAL REGULATIONS

2019 ADA REGULATION FOR TITLE II, CODE OF FEDERAL REGULATIONS

STATISTICS

SCOPE OF WORK:	INTERIOR IMPROVEMENTS TO AN EXISTING FOOD-SERVICE SPACE. NEW BAR COUNTER.
OCCUPANCY GROUP:	A2
CONSTRUCTION TYPE:	TYPE V-B, NON-SPRINKLERED
LEASE SPACE AREA:	2668 S.F.
IMPROVED AREA:	NOT APPLICABLE
NUMBER OF STORIES:	1
OCCUPANT LOAD FACTOR:	15-TABLES & CHAIRS, 200-KITCHEN
OCCUPANT LOAD:	56-TABLES & CHAIRS, 6-KITCHEN, 62 TOTAL
EXIT TRAVEL DISTANCE ALLOWED:	200'
COMMON PATH TRAVEL DISTANCE ALLOWED:	75'

NOTE: ALL INTERIOR FINISHES SHALL COMPLY WITH THE REFERENCED CODE REQUIREMENTS FOR FLAMMABILITY AND SMOKE DEVELOPED RATINGS AS WELL AS TOXICITY.

FLAME SPREAD:	76-200
SMOKE DEVELOPED:	0-450
FLOORING:	PER ASTM E648, CLASS A
CRITICAL RADIANT FLUX	OF NOT LESS THAN 0.45 WATTS PER SQUARE CENTIMETER

ABBREVIATIONS

[illegible]

SHEET INDEX

A0.0	STATISTICS, GENERAL NOTES, SITE PLAN
A1.0	EXISTING AND REMODEL FLOOR PLANS

COPYRIGHT

THIS DRAWING AND ALL
GRAPHIC AND WRITTEN
MATERIAL CONTAINED HEREIN
CONSTITUTES THE ORIGINAL
UNPUBLISHED WORK OF
HMR ARCHITECTURE, INC. AND MAY
NOT BE COPIED, DISTRIBUTED,
OR USED IN WHOLE OR IN
PART WITHOUT EXPRESSED
WRITTEN PERMISSION

PRELIMINARY
DOCUMENTS

NOT FOR CONSTRUCTION

THESE DOCUMENTS HAVE NOT BEEN COMPLETELY REVIEWED BY HMR ARCHITECTURE, INC. OR BY THE BUILDING OFFICIAL. THESE DOCUMENTS ARE SUBJECT TO REVISION. FUTURE REVISIONS MADE MAY NOT BE CLEARLY INDICATED AS SUCH. ANY BIDS MADE OR CONSTRUCTION PERFORMED BASED ON THESE DOCUMENTS IS THE RESPONSIBILITY OF THOSE MAKING THE BID OR PERFORMING THE CONSTRUCTION. THESE DOCUMENTS HAVE BEEN ISSUED AS A PROGRESS SET FOR THE USE OF THE BUILDING OFFICIAL.

REVISIONS

△ REVISION
DATE:
TYPE:

△ REVISION
DATE: _____
TYPE: _____

△ REVISION
DATE: _____
TYPE: _____

△ REVISION
DATE:
TYPE:

△ REVISION
DATE:
TYPE:

△ REVISION
DATE:
TYPE:
△ REVISION

DATE: _____
TYPE: _____



HMR
ARCHITECTURE
INC.

221 MAIN ST
SUITE I
HUNTINGTON
BEACH, CA
92648

714-536-2009
HMRAIA.COM

ARCHITECT



WILLIAM J. RESEIGH

PROJECT NAME

BELMONT SHORE
INTERIOR
REMODEL
5331 E.
SECOND ST.
LONG BEACH
CALIFORNIA

DATE: 3/23/2020

JOB NC

CADD FILE:
219129-COVER SHEET

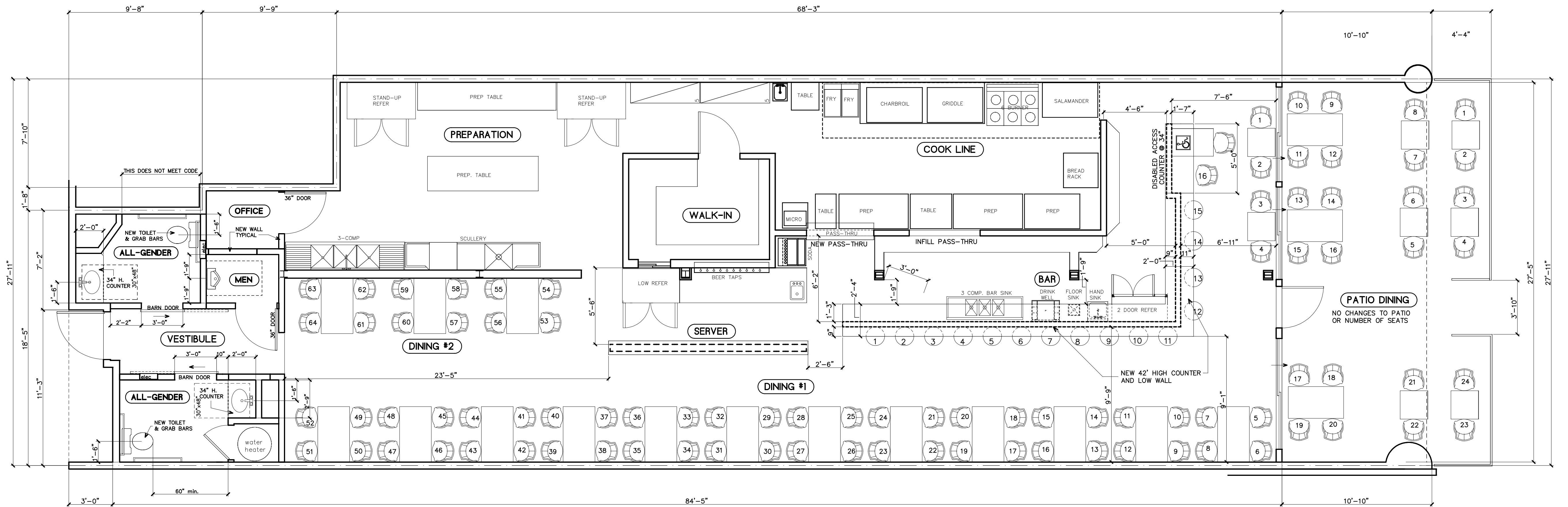
SCALE

SHEET NAME

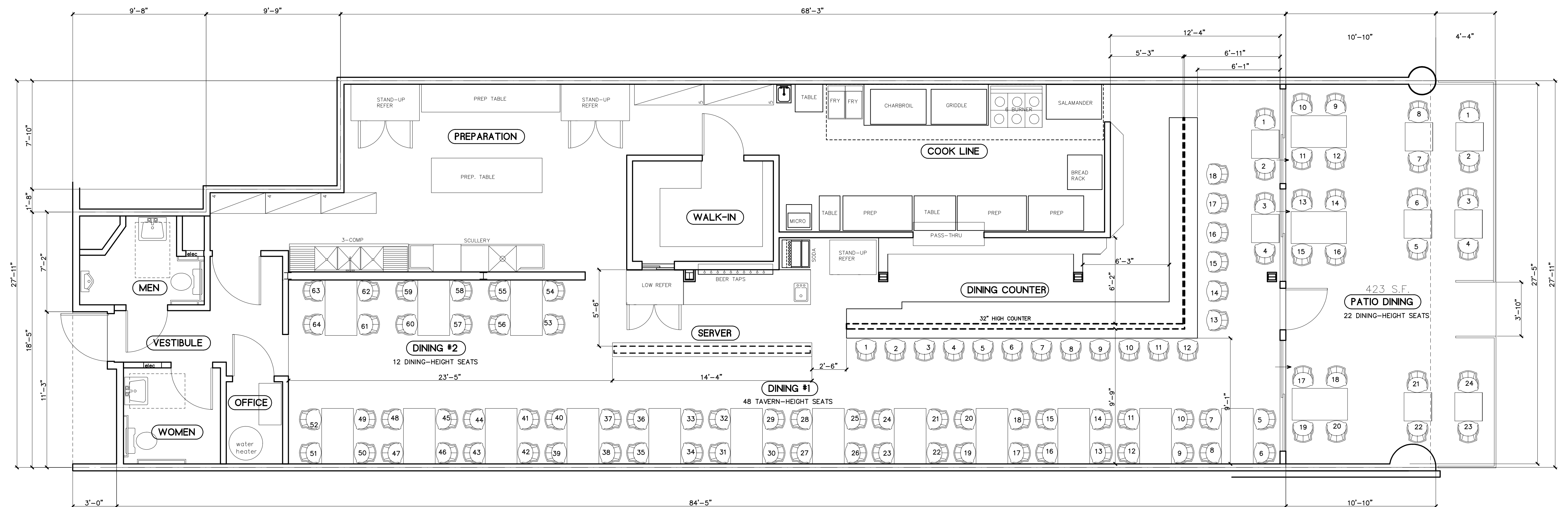
COVER SHEET STATISTICS SITE PLAN

SHEET NUMBER

A0.0



REMODEL FLOOR PLAN



EXISTING FLOOR PLAN GROSS FLOOR AREA: 2668 S.F.

COPYRIGHT

THIS DRAWING AND ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES THE ORIGINAL UNPUBLISHED WORK OF HMR ARCHITECTURE, INC. AND MAY NOT BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART WITHOUT EXPRESSED WRITTEN PERMISSION.

PRELIMINARY DOCUMENTS

NOT FOR CONSTRUCTION

THESE DOCUMENTS HAVE NOT BEEN COMPLETELY REVIEWED BY HMR ARCHITECTURE, INC. OR BY THE BUILDING OFFICIAL. THESE DOCUMENTS ARE SUBJECT TO REVISION. FUTURE REVISIONS MADE MAY NOT BE CLEARLY INDICATED AS SUCH. ANY BIDS MADE OR CONSTRUCTION PERFORMED BASED ON THESE DOCUMENTS IS THE RESPONSIBILITY OF THOSE MAKING THE BID OR PERFORMING THE CONSTRUCTION. THESE DOCUMENTS HAVE BEEN ISSUED AS A PROGRESS SET OR FOR THE USE OF THE BUILDING OFFICIAL.

REVISIONS	
REVISION	
DATE: 03/23/20	TYPE: bar seat total
REVISION	
DATE: TYPE:	
REVISION	
DATE: TYPE:	
REVISION	
DATE: TYPE:	
REVISION	
DATE: TYPE:	
REVISION	
DATE: TYPE:	

HMR ARCHITECTURE INC.

221 MAIN ST. SUITE I HUNTINGTON BEACH, CA 92648

714-536-2009 HMRAIA.COM

ARCHITECT

WILLIAM J. RESEIGH

C-21692

STATE OF CALIFORNIA

PROJECT NAME

RILEY'S BELMONT SHORE INTERIOR REMODEL

5331 E. SECOND ST. LONG BEACH CALIFORNIA

DATE: 3/23/2020

JOB NO.

CADD FILE: 219129-A1.0

SCALE: 1/4" = 1'-0" ON 24"x36" PAPER ONLY

SHEET NAME

EXISTING FLOOR PLAN
REMODEL FLOOR PLAN

SHEET NUMBER

A1.0