



Building 700 | 7 Plex

Building 800 | 8 Plex

Building 800 | 8 Plex

OUR TEAM

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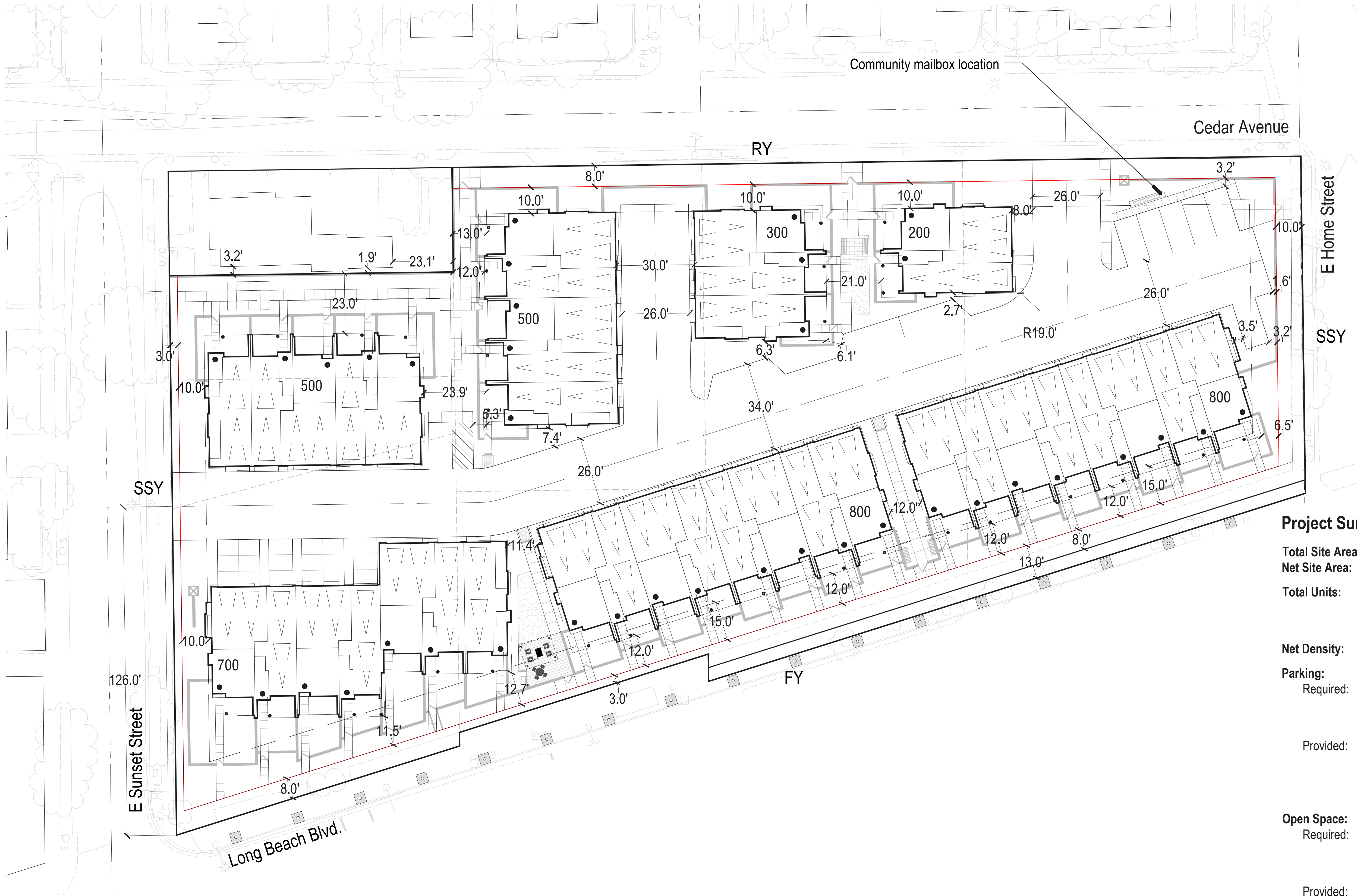
C&V CONSULTING, INC.
Contact: Marco Midence
6 Orchard, Suite 200, Lake Forest, CA 92630
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C2 COLLABORATIVE
Contact: Niki Wu
416 North El Camino Real, San Clemente, CA
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AT DESIGN CONSULTING, INC.
Contact: Annie Tutunjian
2211 Michelson Drive, Suite 450, Irvine, CA 92162
949.724.1619 | www.atdesignconsulting.com

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Zoning Summary

Existing General Plan:	8A & 1
Proposed General Plan:	3A
Existing Zoning:	CCA & R-1-N
Proposed Zoning:	CCN
Max. Density:	44 Homes per Acre
Building Setbacks:	Front Yard (FY): 15' Street Side Yard (SSY): 10' Side Yard (SY): 10' Rear Yard (RY): 10'
Building Encroachments:	2.5' for architectural protrusions into the Front setback 5' for decks and balconies into the Front and Street Side setbacks 3' for decks into Side setbacks
Building Separation:	8' minimum
Max. Building Height:	38' and 3 Stories
Max. Lot Coverage:	N/A
Street Dedications:	

Notes:

1. Site plan is for conceptual purposes only.
2. Site plan must be reviewed by planning, building, and fire departments for code compliance.
3. Base information per civil engineer.
4. Civil engineer to verify all setbacks and grading information.
5. Building Footprints might change due to the final design elevation style.
6. Open space area is subject to change due to the balcony design of the elevation.
7. Building setbacks are measured from property lines to building foundation lines.



Project Summary

Total Site Area:	+ 1.805 Acres
Net Site Area:	+ 1.606 Acres
Total Units:	38 Homes <ul style="list-style-type: none">▪ (21) Plan 1: + 1,411 S.F., 3 Bedroom, 3 Bath▪ (17) Plan 2: + 1,747 S.F., 3 Bedroom, 3 Bath, Den
Net Density:	23.66 Homes per Acre
Parking:	
Required:	86 Spaces (2.26 spaces per home) <ul style="list-style-type: none">▪ (38) Homes x 2.0 Spaces = 76 Spaces▪ (38) Guest x 0.25 Spaces = 10 Spaces
Provided:	86 Spaces (2.26 spaces per home) <ul style="list-style-type: none">▪ Garage: 76 Spaces▪ Head In: 7 Spaces (9' x 18')▪ Parallel: 3 Spaces (8' x 22')
Open Space:	
Required:	5,700 S.F. Total (150 S.F. per home) <ul style="list-style-type: none">▪ Common: 2,850 S.F. (75 S.F. per home; 12' min. dim.)▪ Private: 2,850 S.F. (75 S.F. per home; 8' min. dim.)
Provided:	12,735 S.F. Total (+ 335 S.F. per home) <ul style="list-style-type: none">▪ Common: 4,729 S.F. (12' Min. Dimension)▪ Private: 8,006 S.F. (8' Min. Dimension)

CONCEPTUAL SITE PLAN

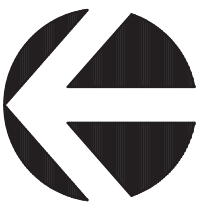


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Project Summary

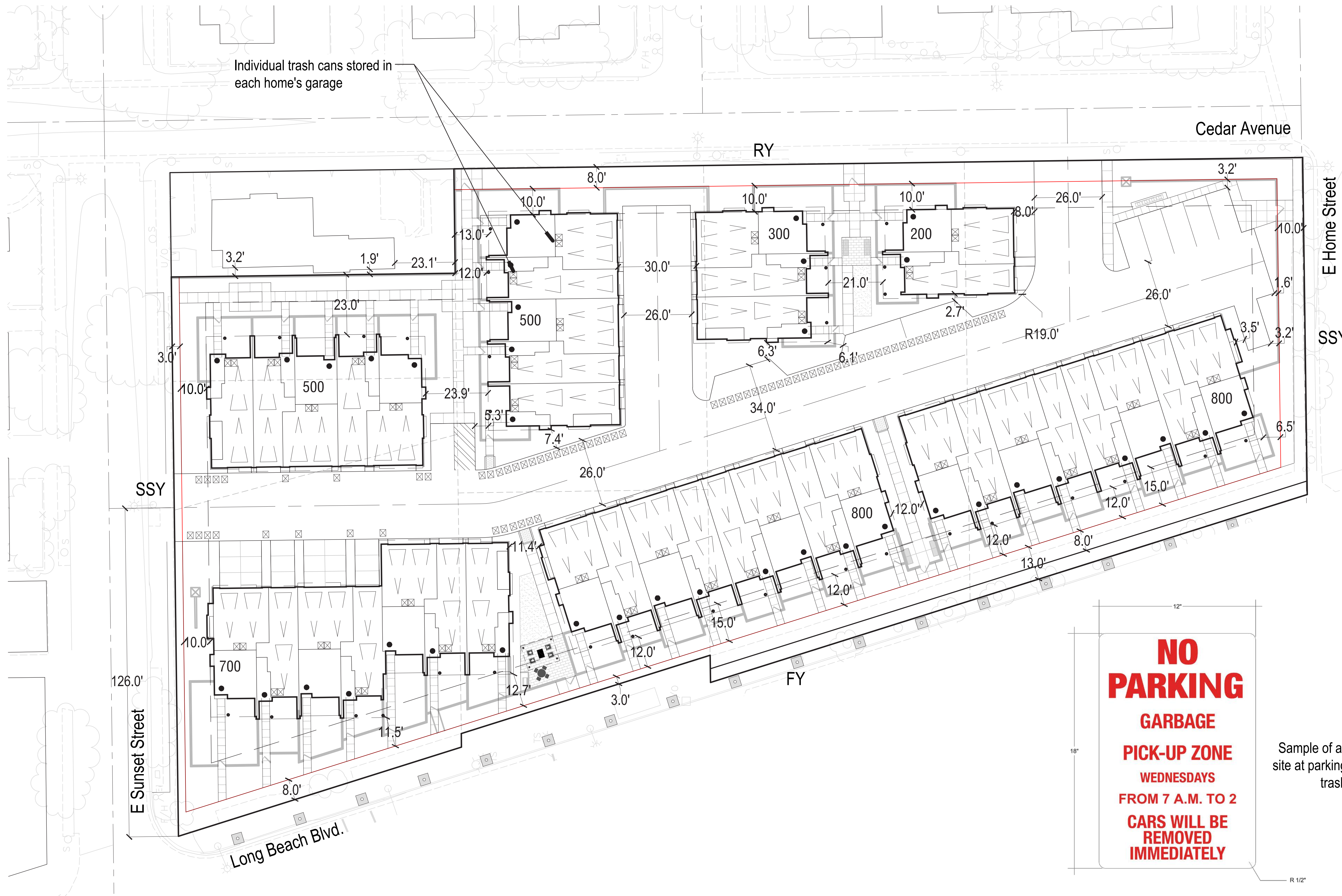
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Provided:	12,735 S.F. Total (+ 335 S.F. per home) <ul style="list-style-type: none">▪ Common: 4,729 S.F. (12' Min. Dimension)▪ Private: 4,125 S.F. (8' Min. Dimension)▪ Deck: 3,881 S.F. (8' Min. Dimension)*

* Decks have a full depth of 8', with a 2-3' encroachment into setback area allowed per code. Area counted towards open space numbers is only the area behind the setback lines. Please see architectural floor plans for deck dimensions and details.

CONCEPTUAL OPEN SPACE PLAN

5100 Long Beach Boulevard

LONG BEACH, CA



Project Summary

Total Site Area: ± 1.805 Acres

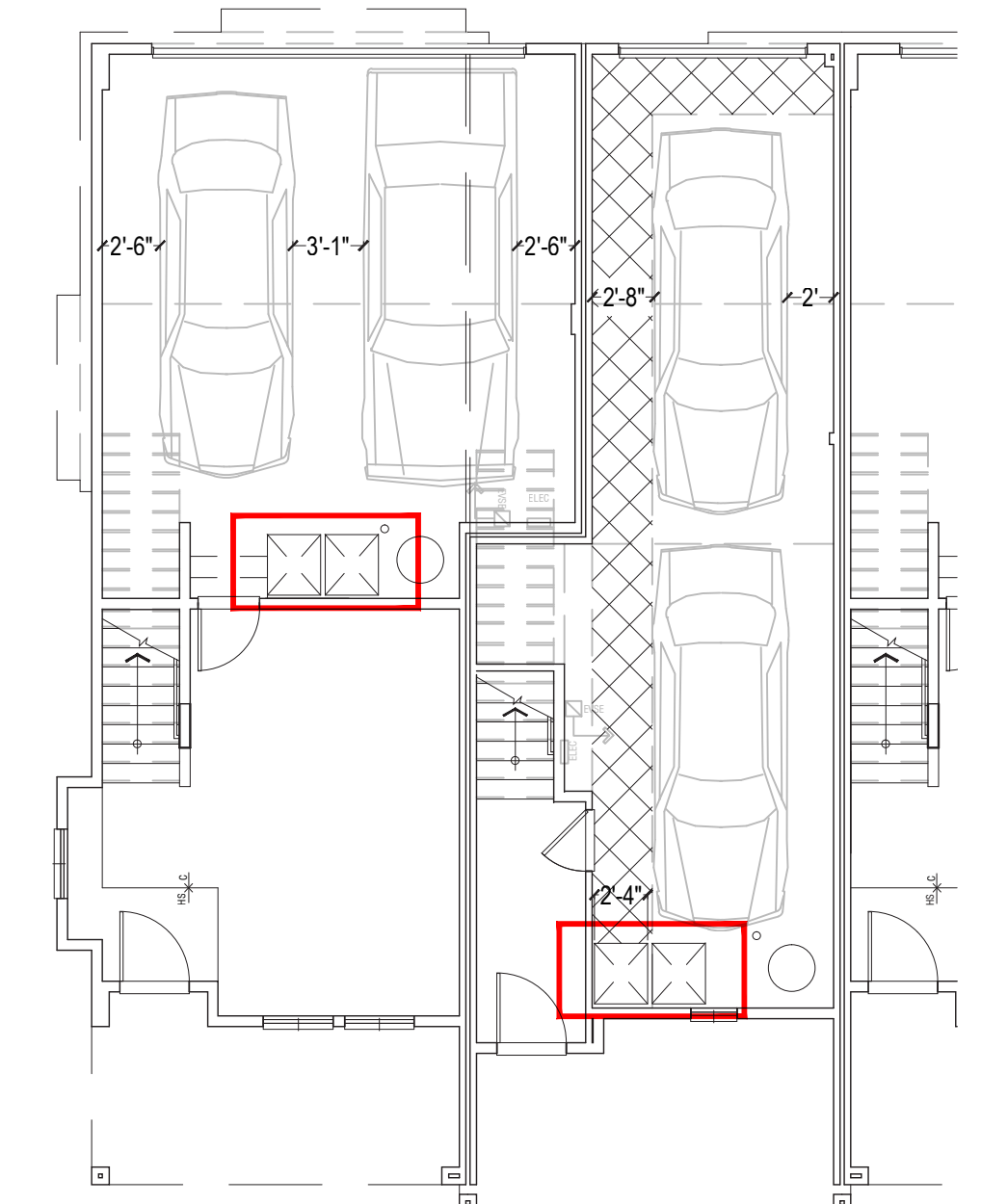
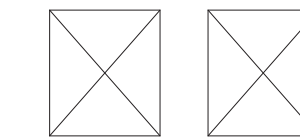
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Total Units: 38 Homes

- (21) Plan 1: ± 1,411 S.F., 3 Bedroom, 3 Bath
- (17) Plan 2: ± 1,747 S.F., 3 Bedroom, 3 Bath, Den

Net Density: 23.66 Homes per Acre

Trash: 2 bins per home, stored in garage



Typical trash clearances in garages
(varies based on car type)



Sample of a sign to be posted on site at parking stalls blocked due to trash bin staging.

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CONCEPTUAL OPEN SPACE PLAN

5100 Long Beach Boulevard

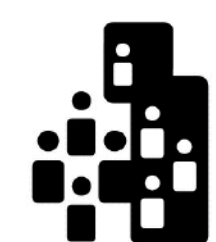
LONG BEACH, CA

A.SP3

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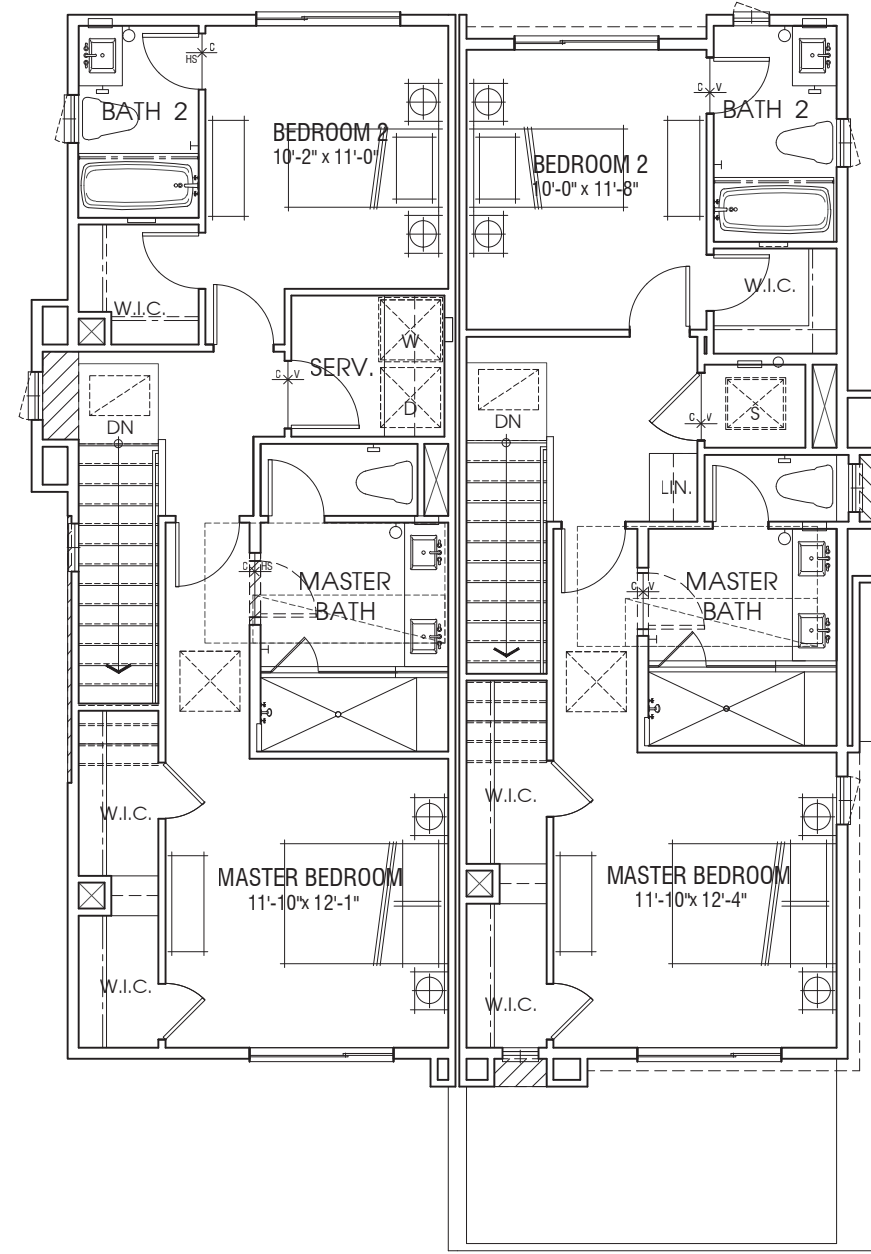


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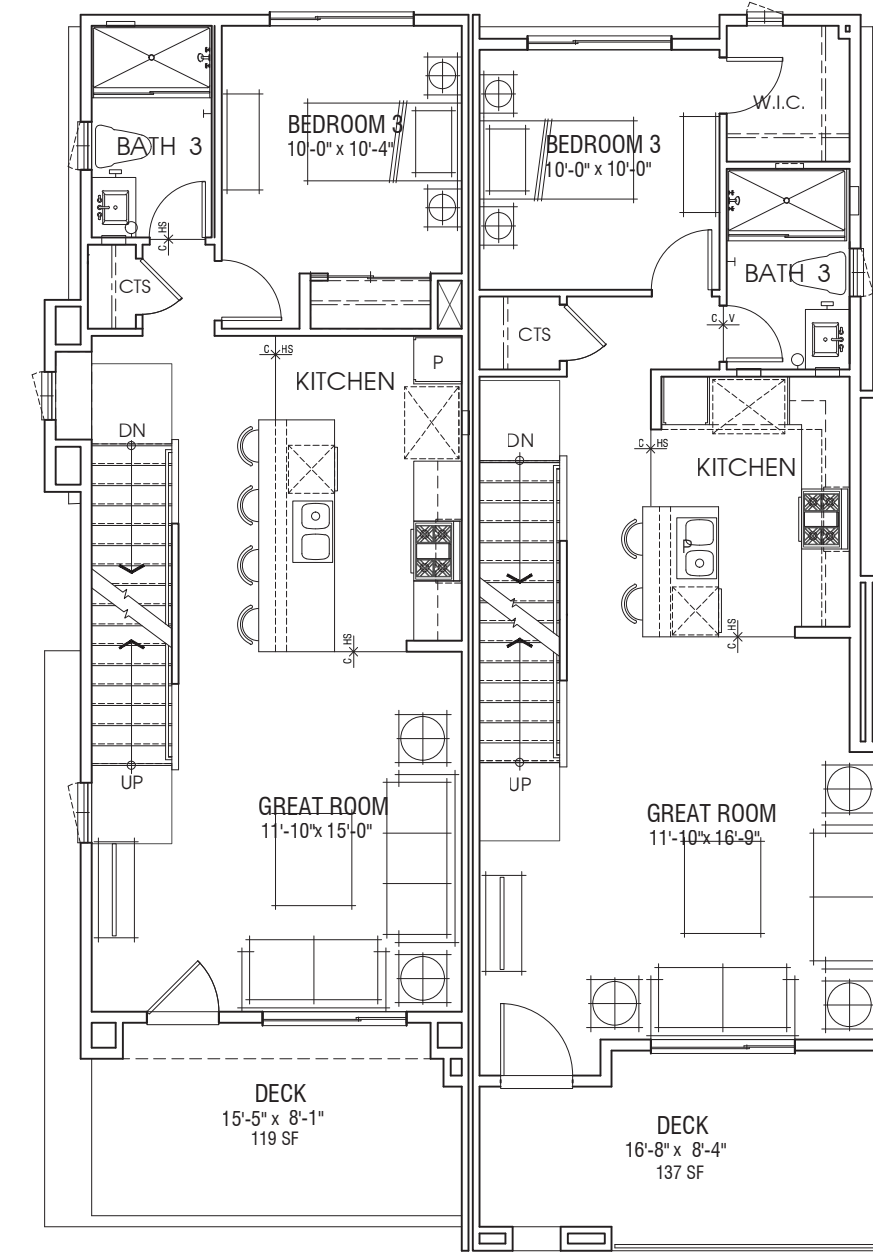
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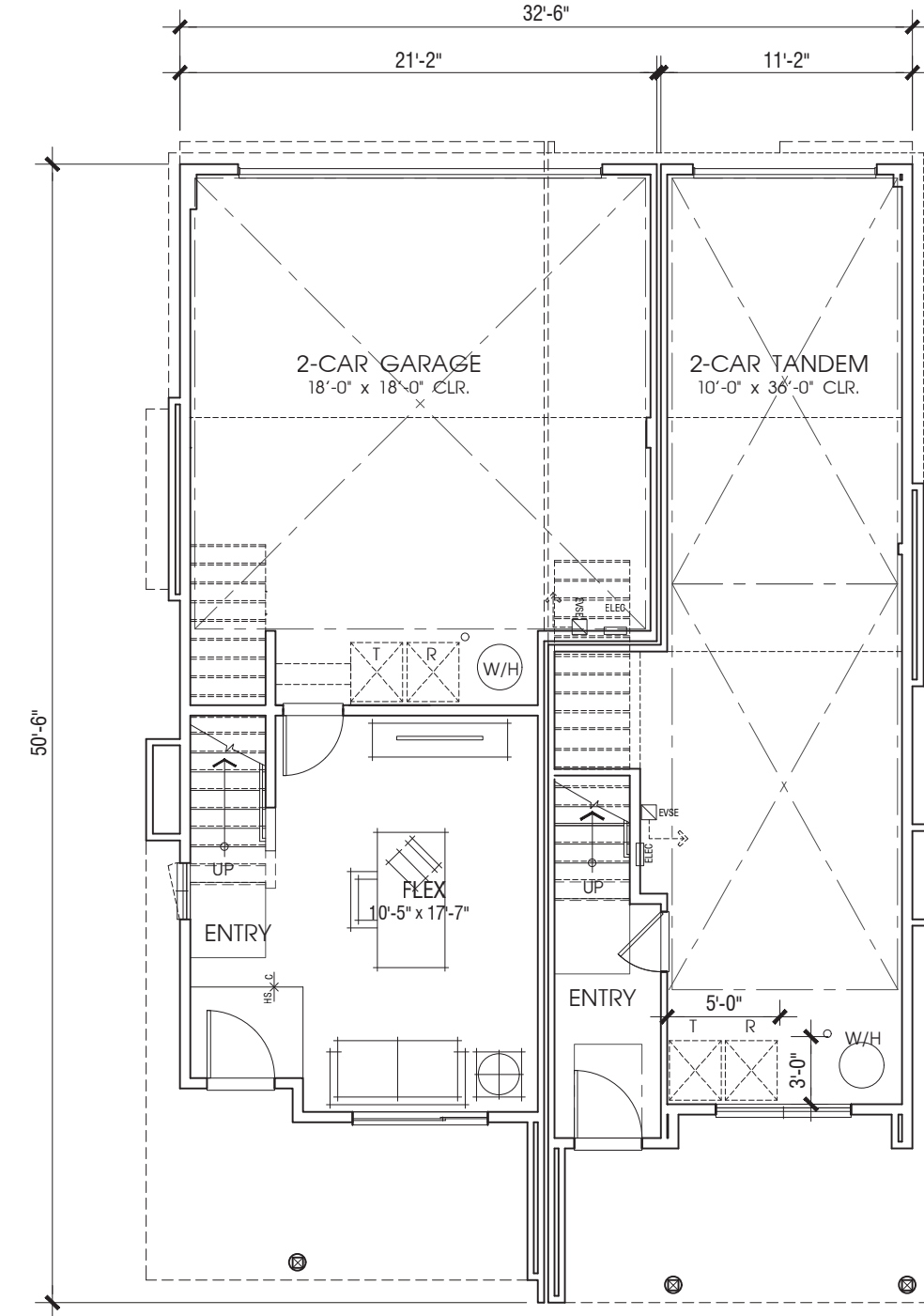
ORANGE COUNTY . LOS ANGELES . BAY AREA



THIRD FLOOR



SECOND FLOOR



Plan 1
3 BEDROOM / 3 BATH
+/-1,457 SF

Plan 2
3 BEDROOM / 3 BATH
/ FLEX
+/-1,734 SF

FIRST FLOOR

OCCUPANCY: R3
CONSTRUCTION TYPE: VB
SPRINKLER SYSTEM: 13D

NOTES:
1. SQUARE FOOTAGE MAY VARY DUE TO
METHOD OF CALCULATION.

BLDG 200 | Duplex Conceptual Building Plans

5100 Long Beach Boulevard

LONG BEACH, CA

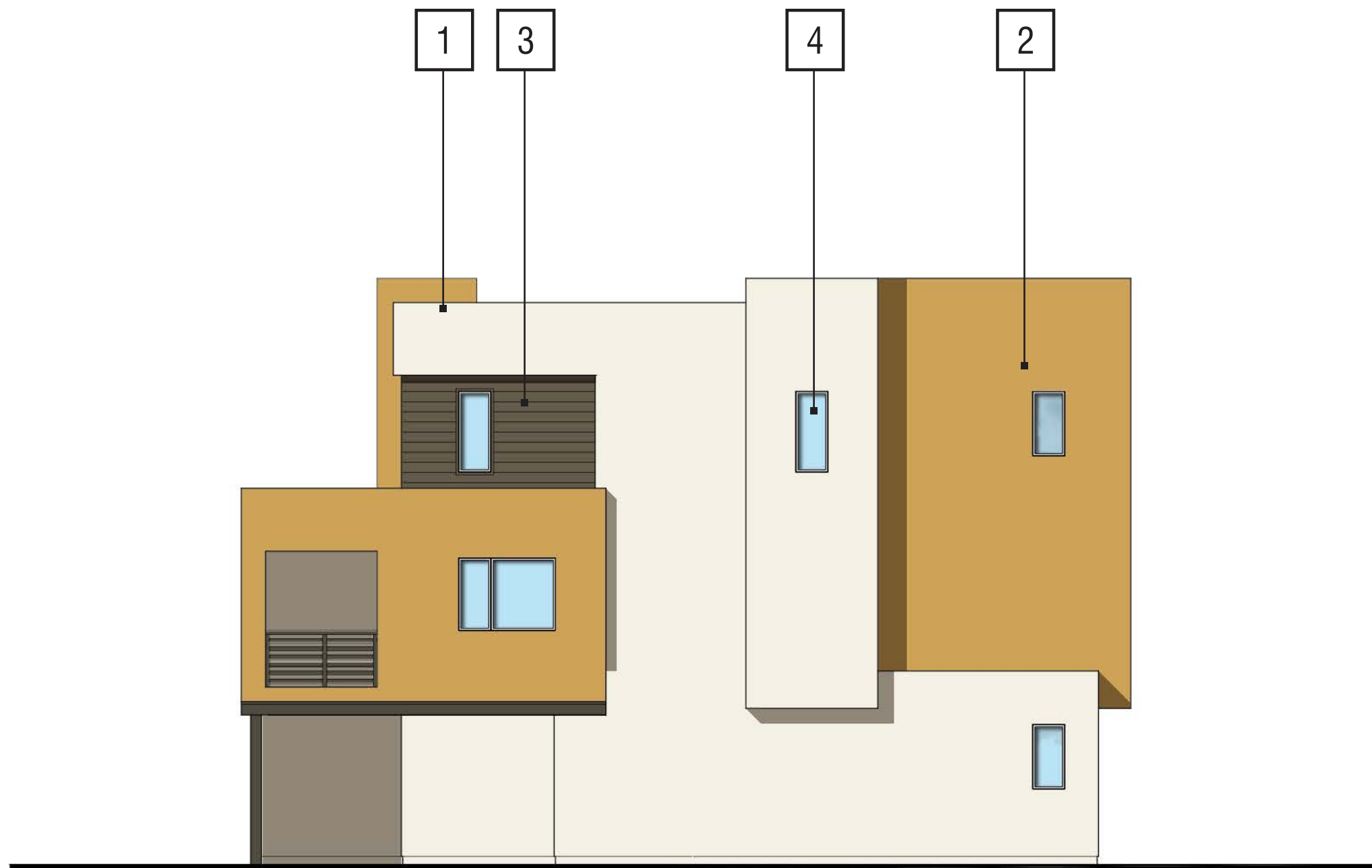


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0 4 8 16

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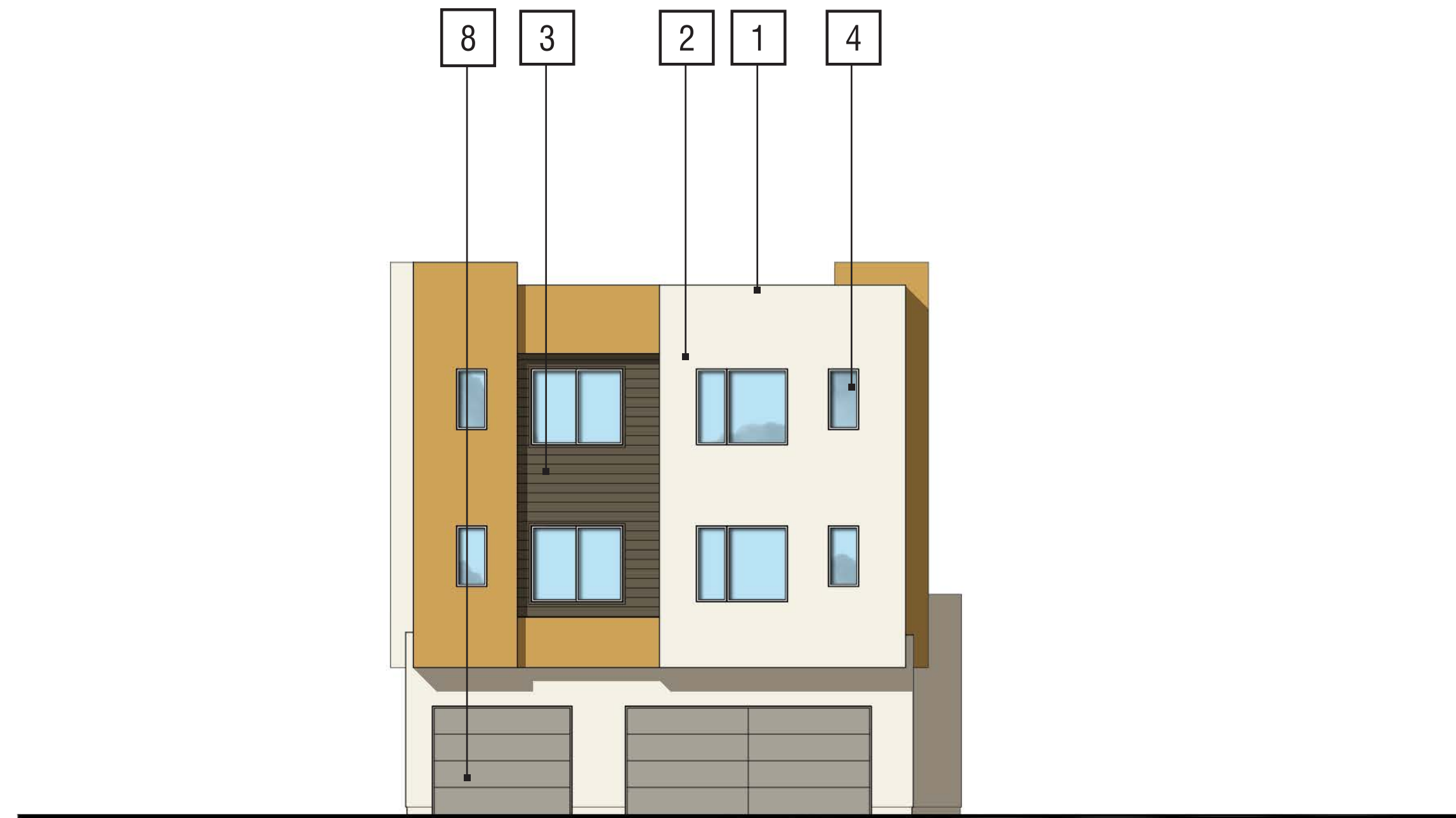




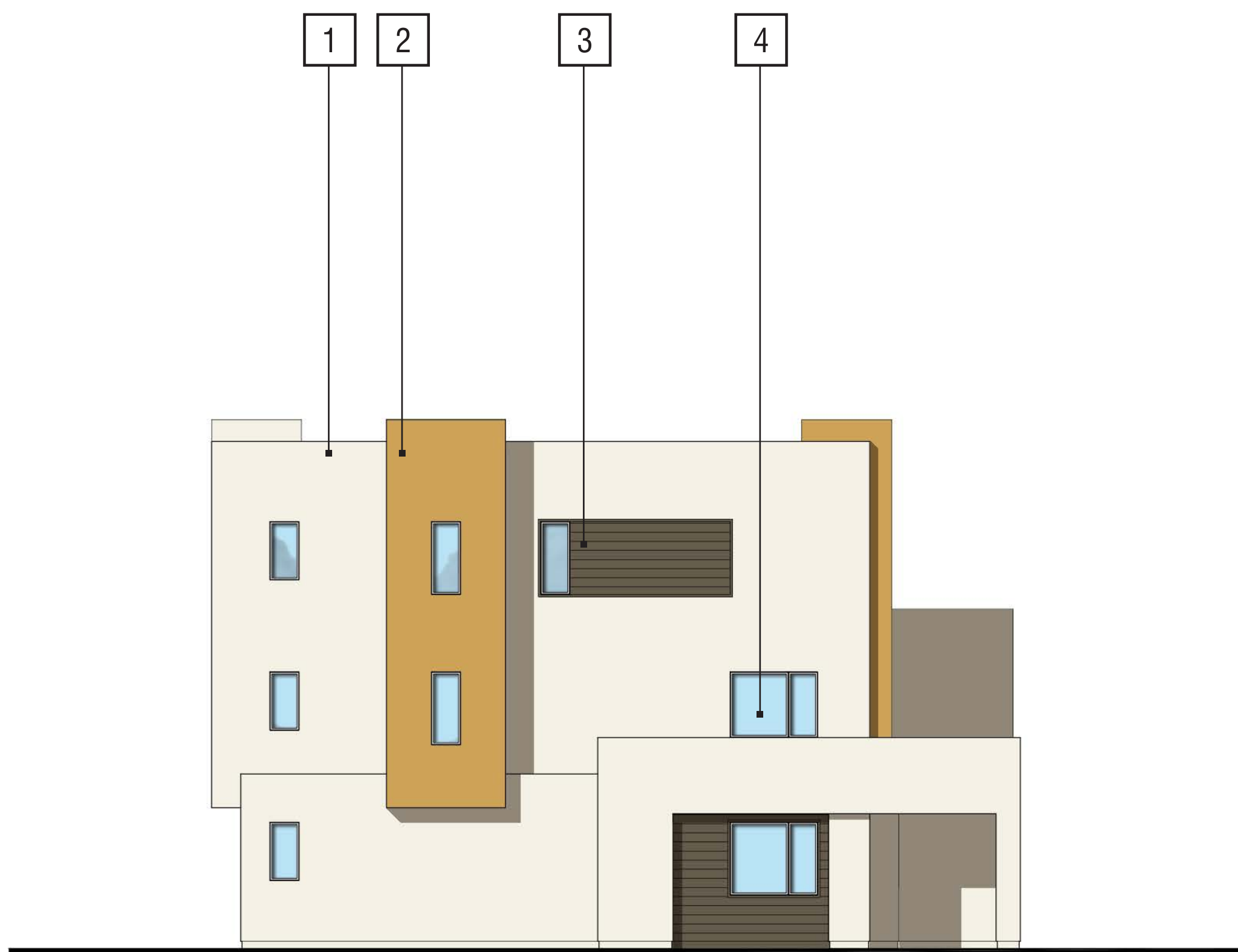
Note: Artist's conception, colors, materials and application may vary.

Right Elevation

- MATERIALS:**
- 1 Roof: Flat With Parapet
 - 2 Stucco
 - 3 Horizontal Lap Siding
 - 4 Vinyl Windows
 - 5 Entry Door
 - 6 Stucco Column
 - 7 Horizontal Railing
 - 8 Metal Sectional Roll-Up Garage Door
 - 9 Coach Light And Illuminated Address Panel
 - 10 Utility Cabinet
 - 11 Decorative Light Fixture



Rear Elevation



Refer to Landscape Drawings for wall, tree, shrubs and patio wall locations

Left Elevation



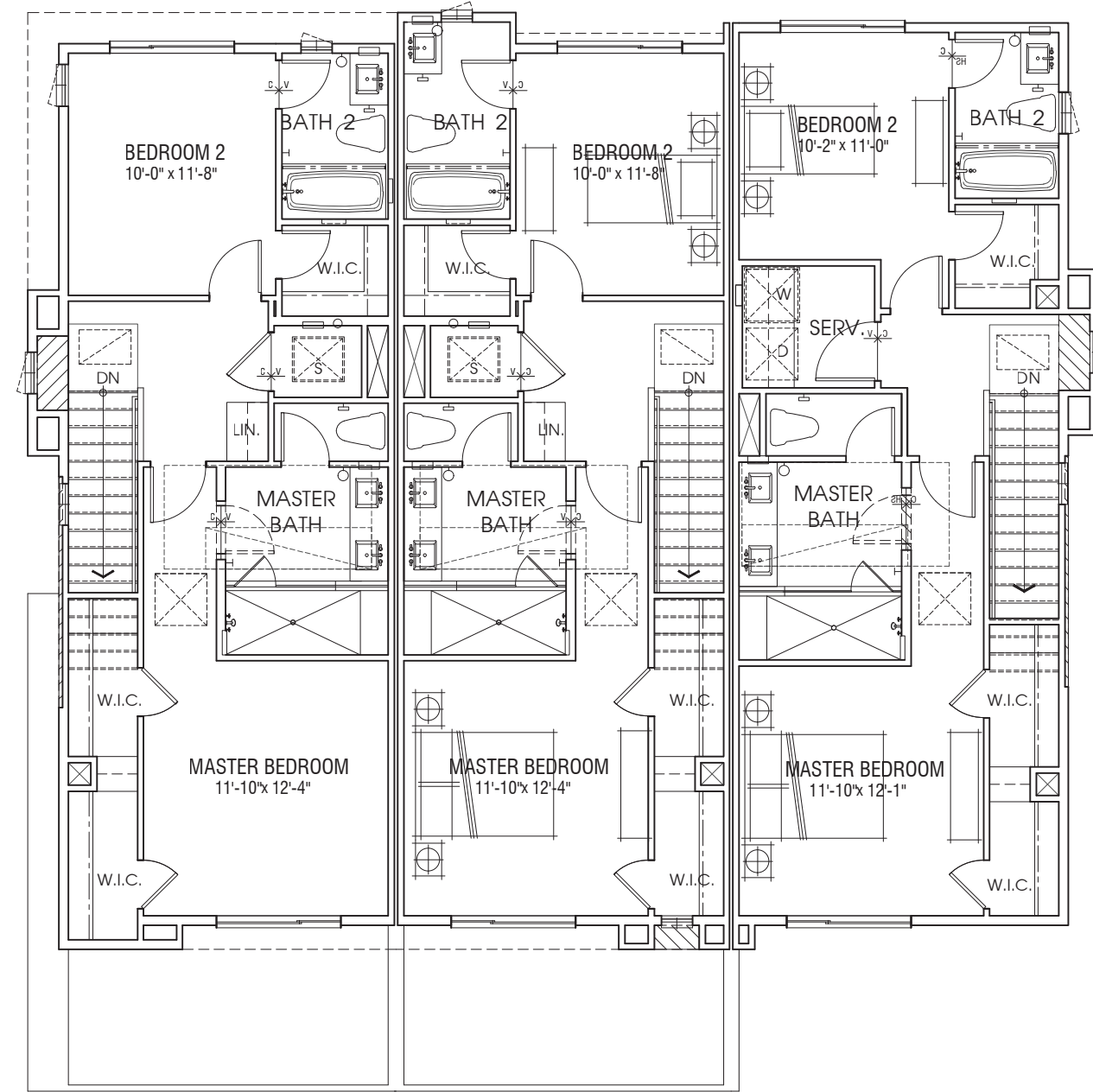
Front Elevation

Scheme 2

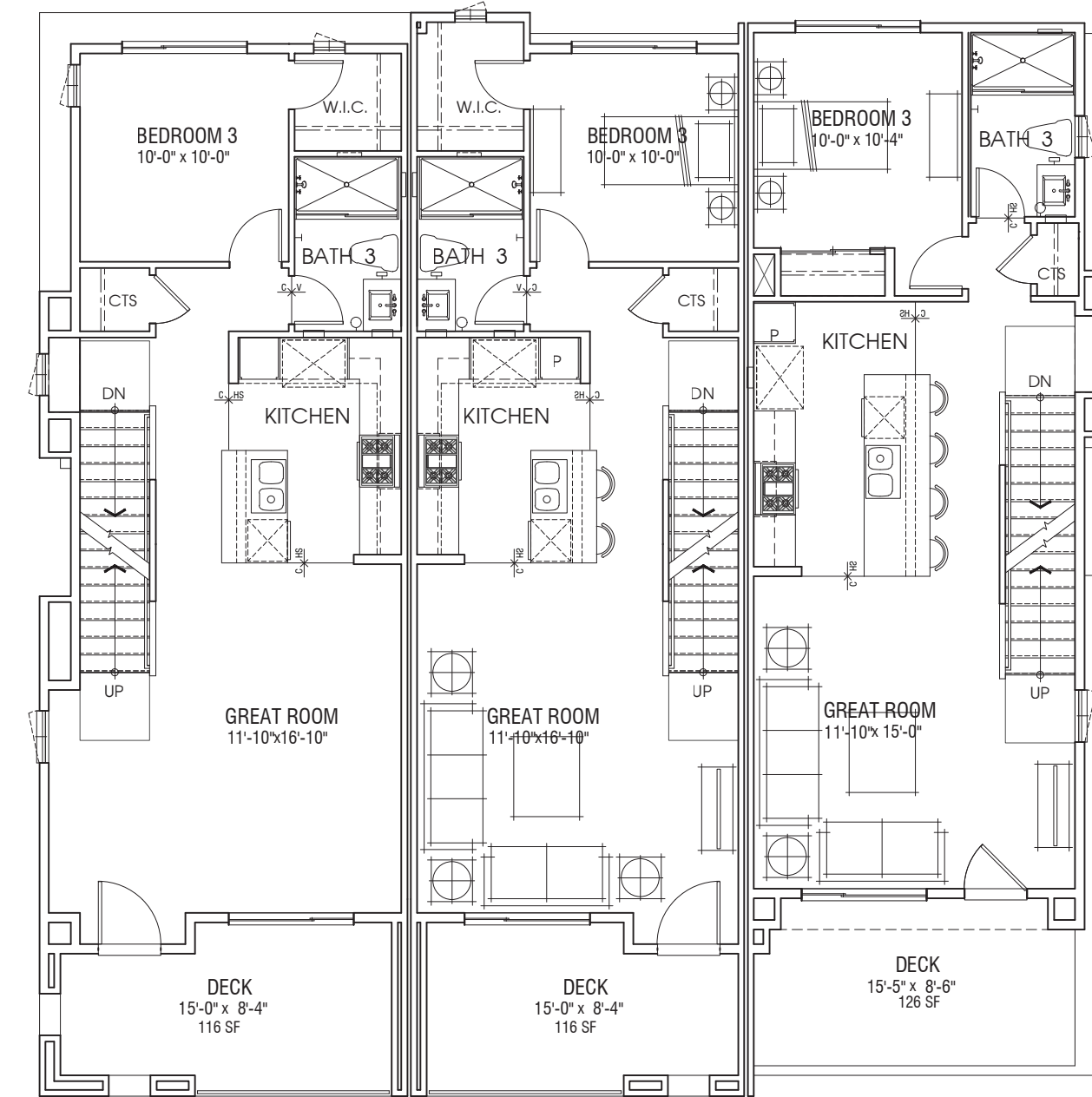
BLDG 200 | Conceptual Building Plans

5100 Long Beach Boulevard

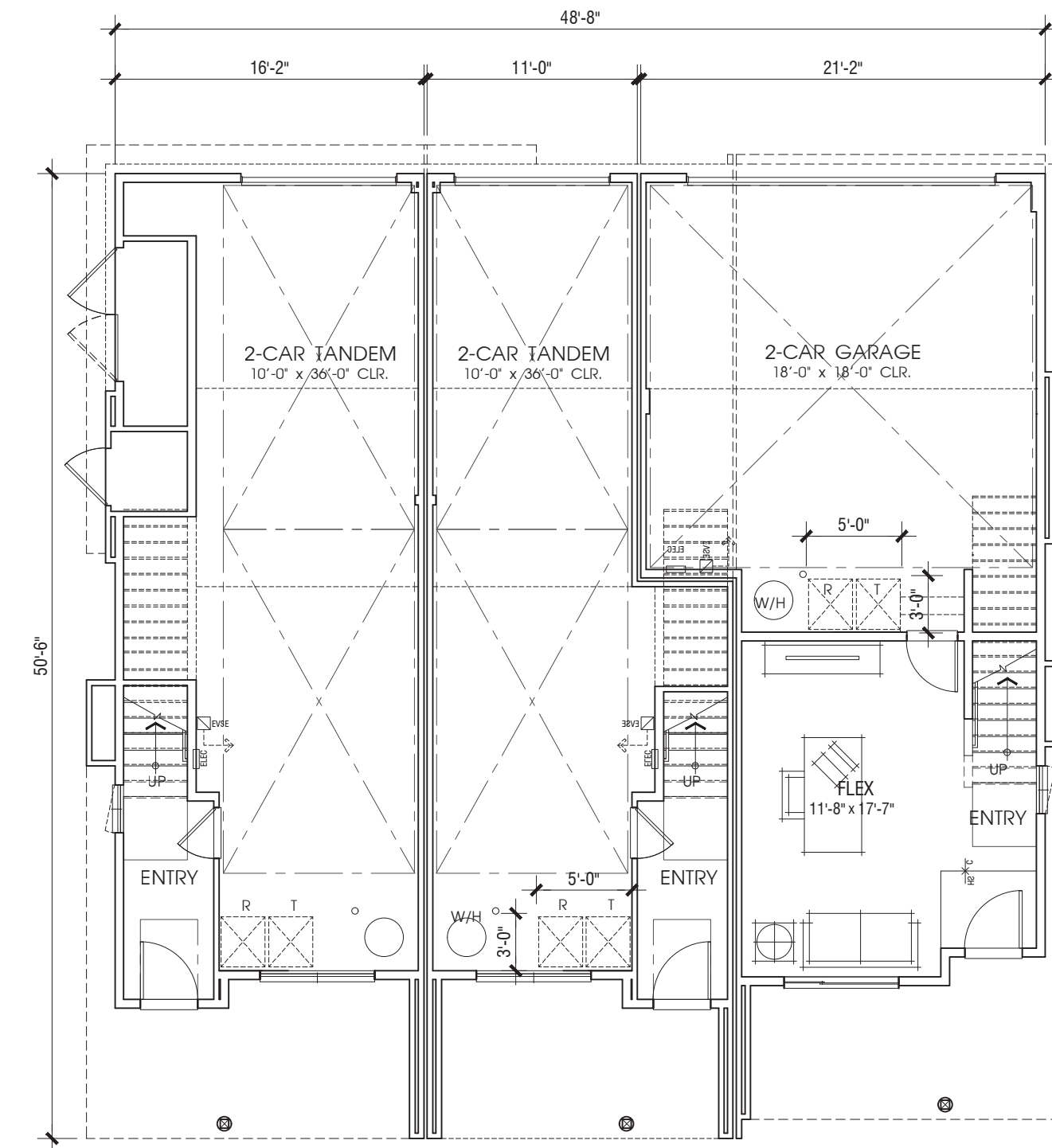
LONG BEACH, CA



THIRD FLOOR



SECOND FLOOR



Plan 1 Plan 2
3 BEDROOM / 3 BATH 3 BEDROOM / 3 BATH
+/-1,457 SF / FLEX
 +/-1,734 SF

FIRST FLOOR

OCCUPANCY: R3
CONSTRUCTION TYPE: VB
SPRINKLER SYSTEM: 13D

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BLDG 300 | Conceptual Building Plans

5100 Long Beach Boulevard

LONG BEACH, CA

0 4 8 16

A.3

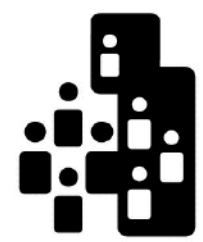
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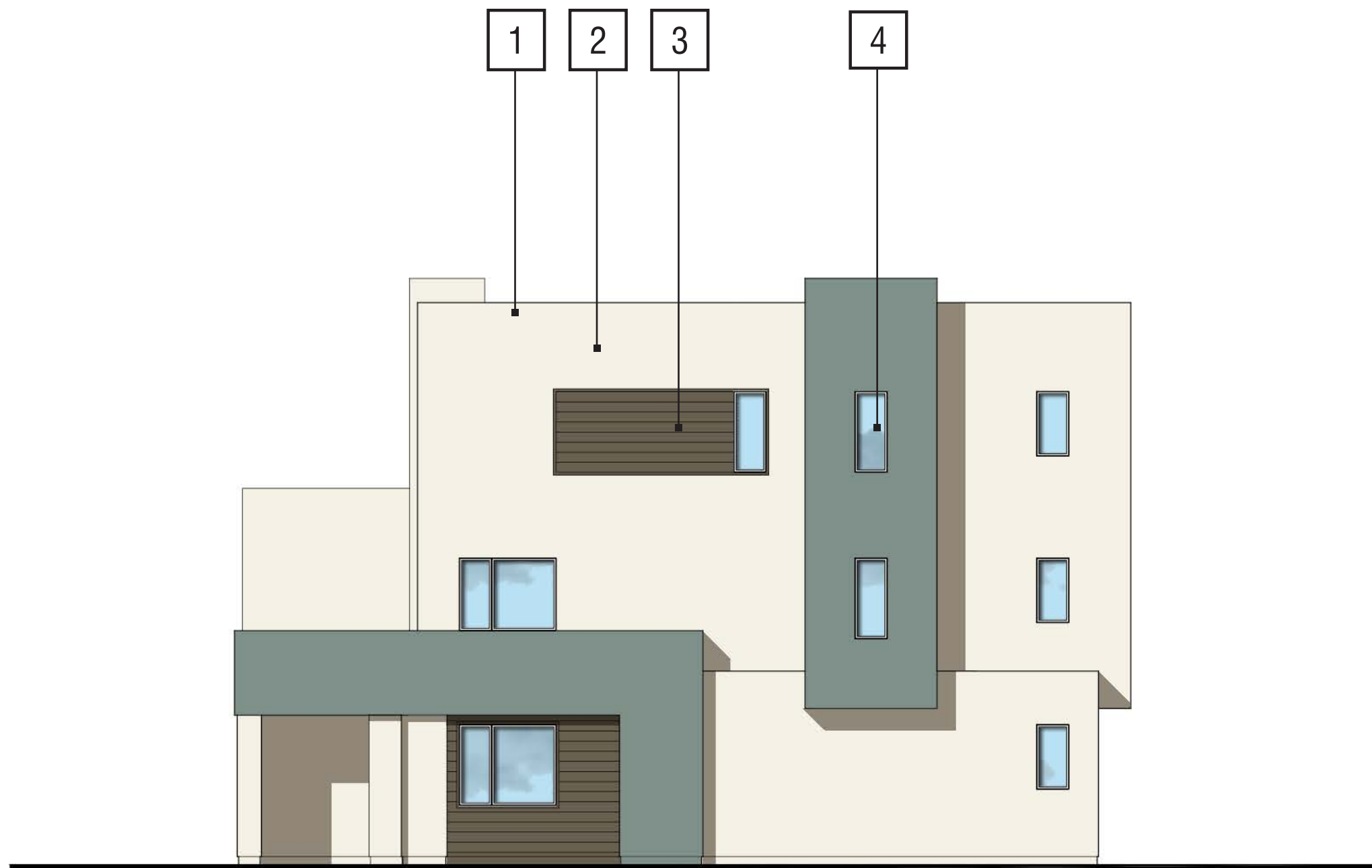
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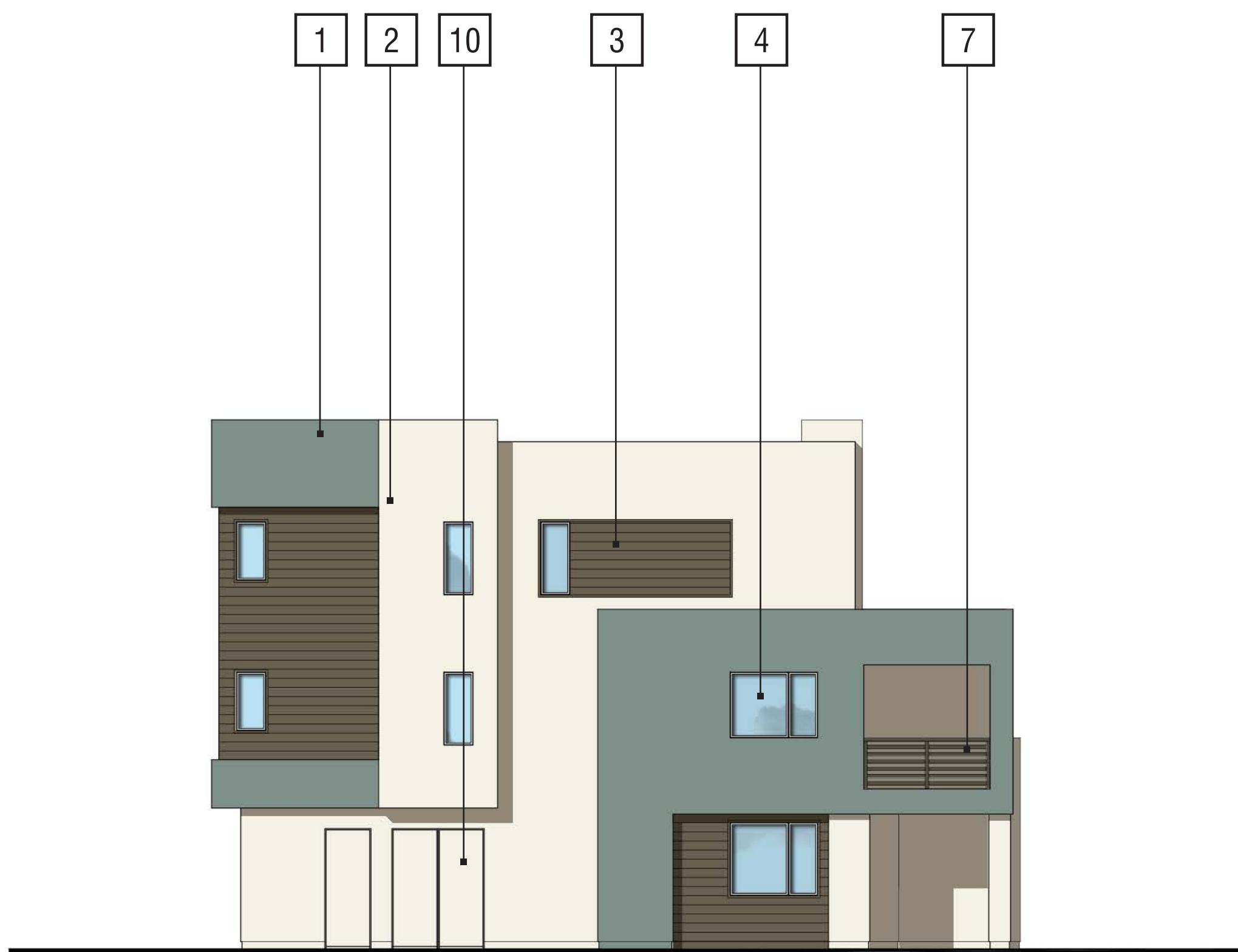
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Rear Elevation



Refer to Landscape Drawings for wall, tree, shrubs and patio wall locations

Left Elevation



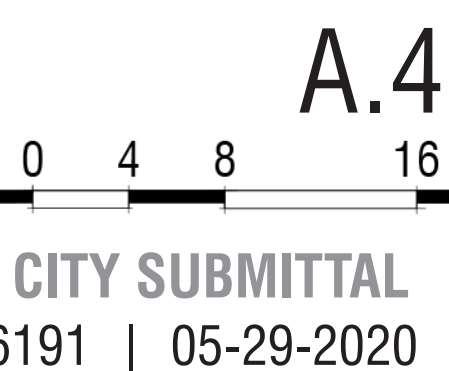
Front Elevation

Scheme 1

BLDG 300 | Conceptual Building Plans

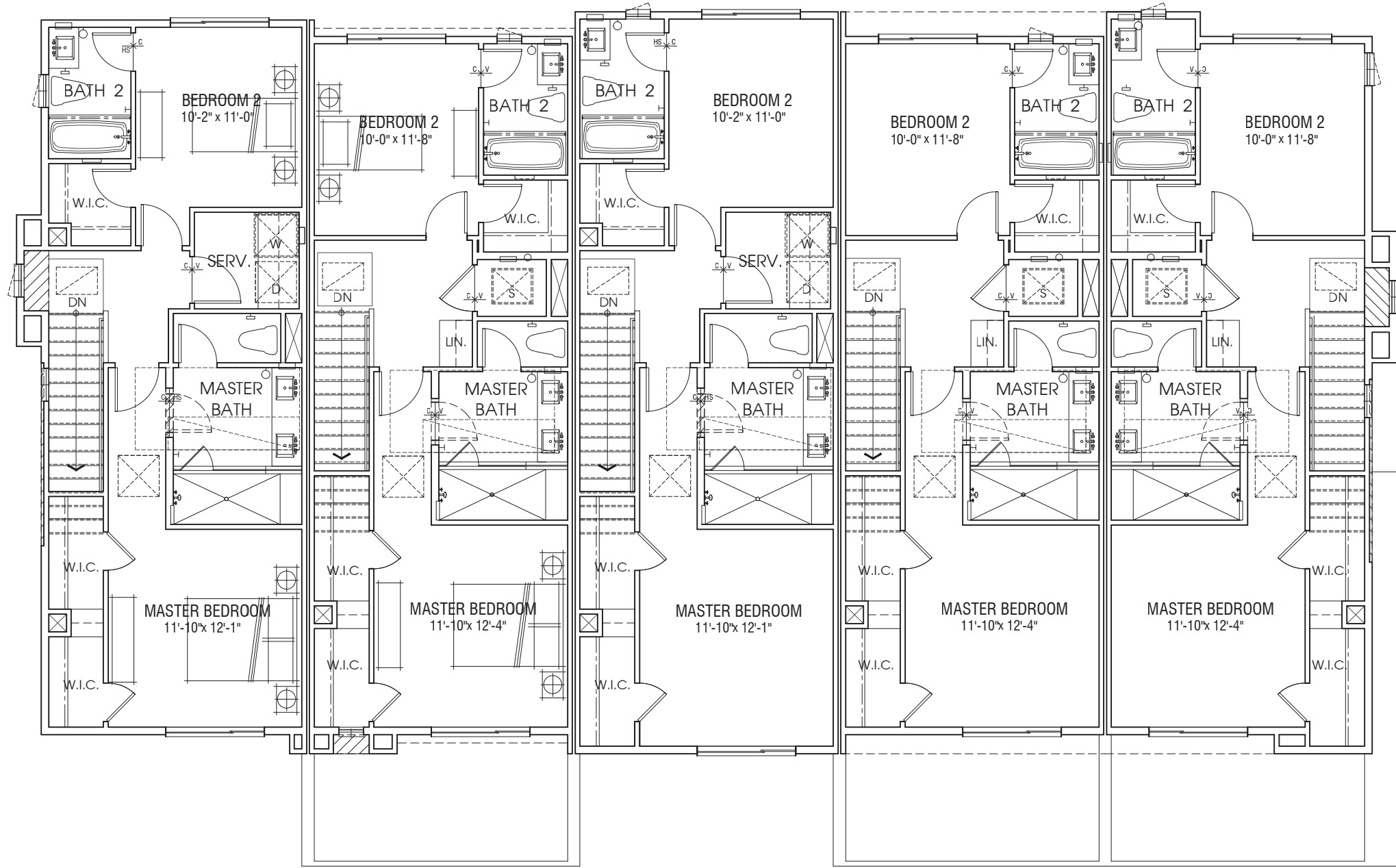
5100 Long Beach Boulevard

LONG BEACH, CA

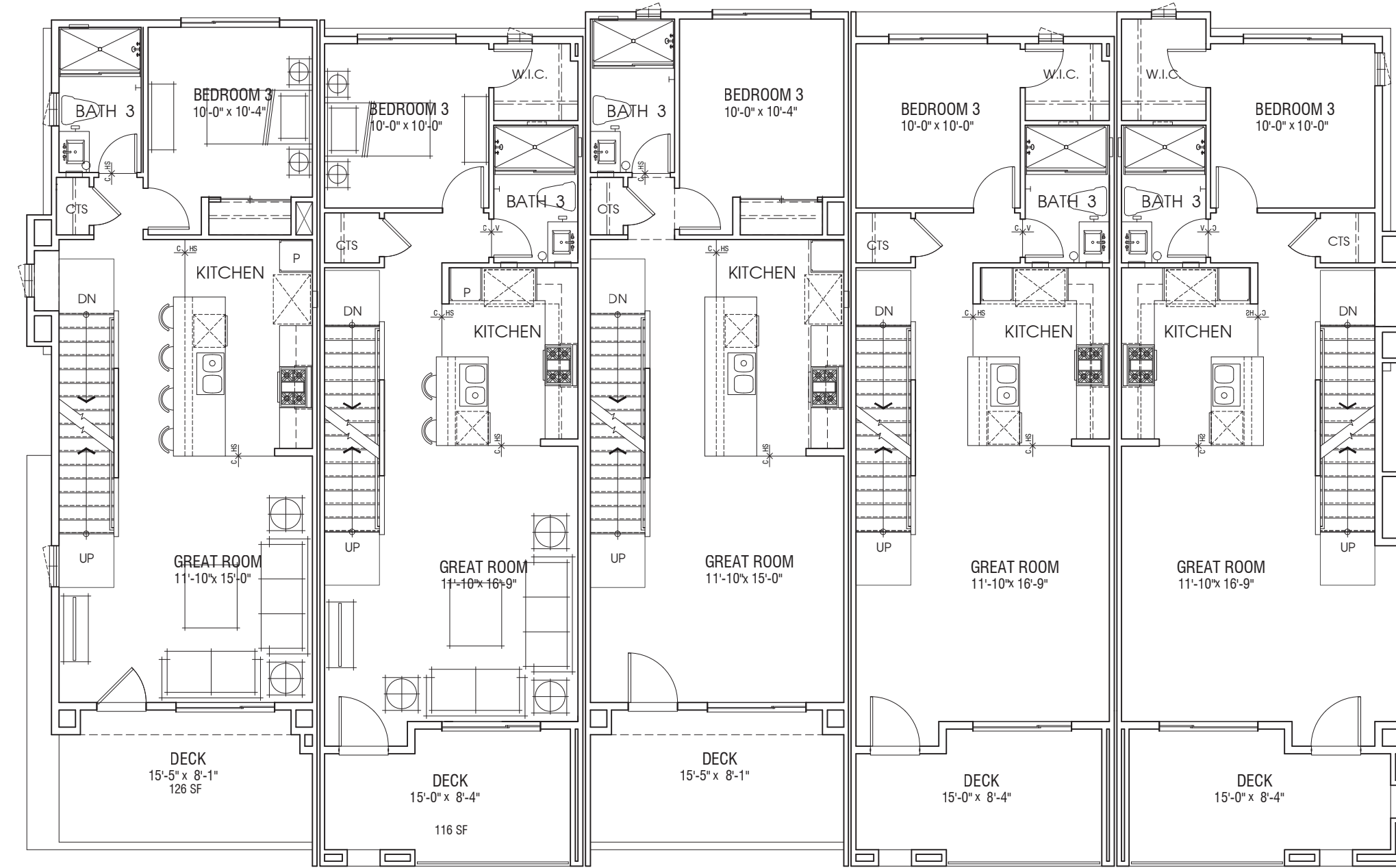


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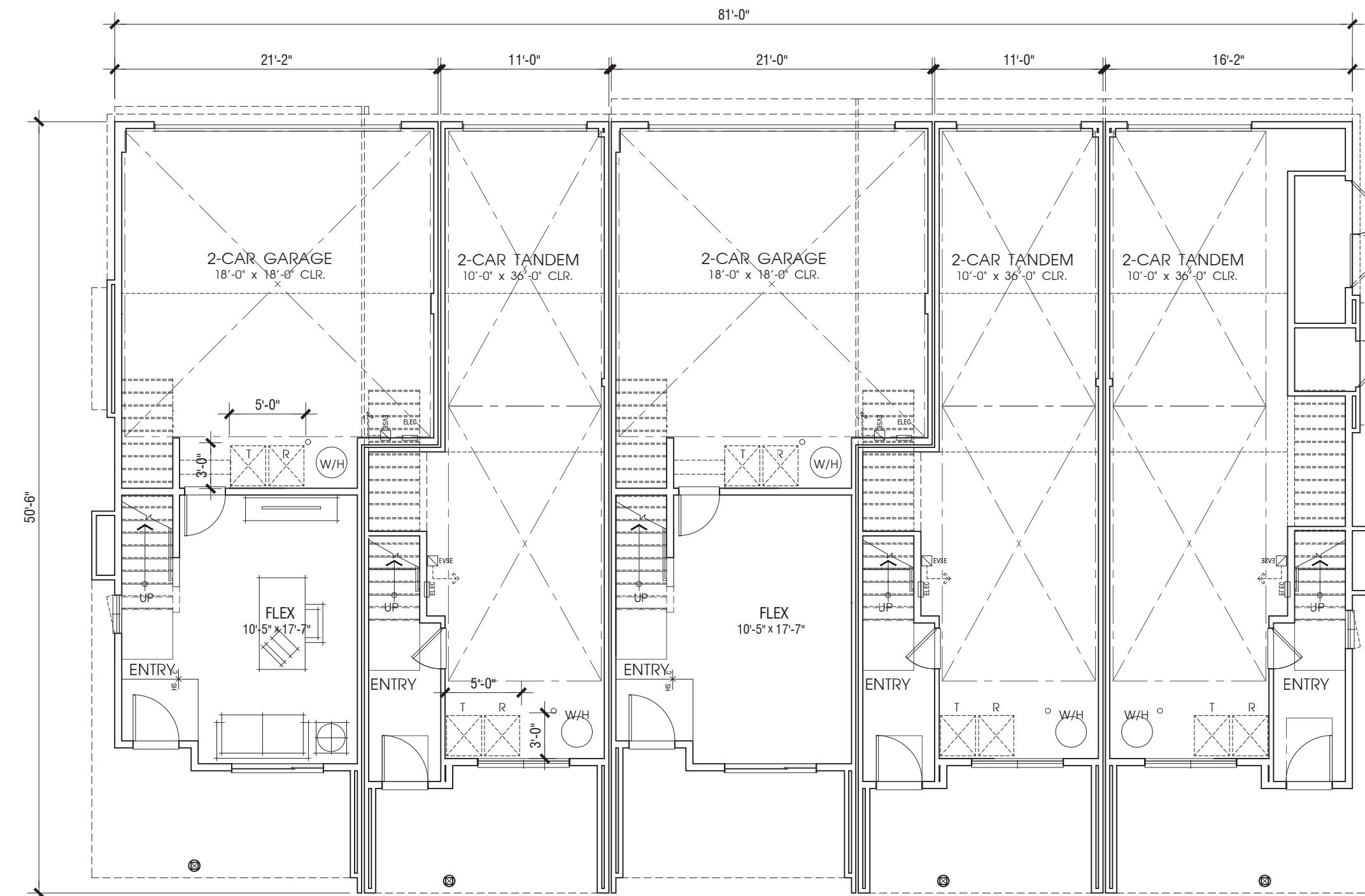




THIRD FLOOR



SECOND FLOOR



Plan 2
3 BEDROOM / 3 BATH
/ FLEX
+/-1,734 SF

Plan 1
3 BEDROOM / 3 BATH
+/-1,457 SF

FIRST FLOOR

OCCUPANCY: R3
CONSTRUCTION TYPE: VB
SPRINKLER SYSTEM: 13D

- NOTES:
1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.
 2. FLOOR PLANS NEED FURTHER REFINEMENTS TO MATCH ELEVATION DESIGN.

BLDG 500 | Conceptual Building Plans

5100 Long Beach Boulevard

LONG BEACH, CA

0 4 8 16
A.5

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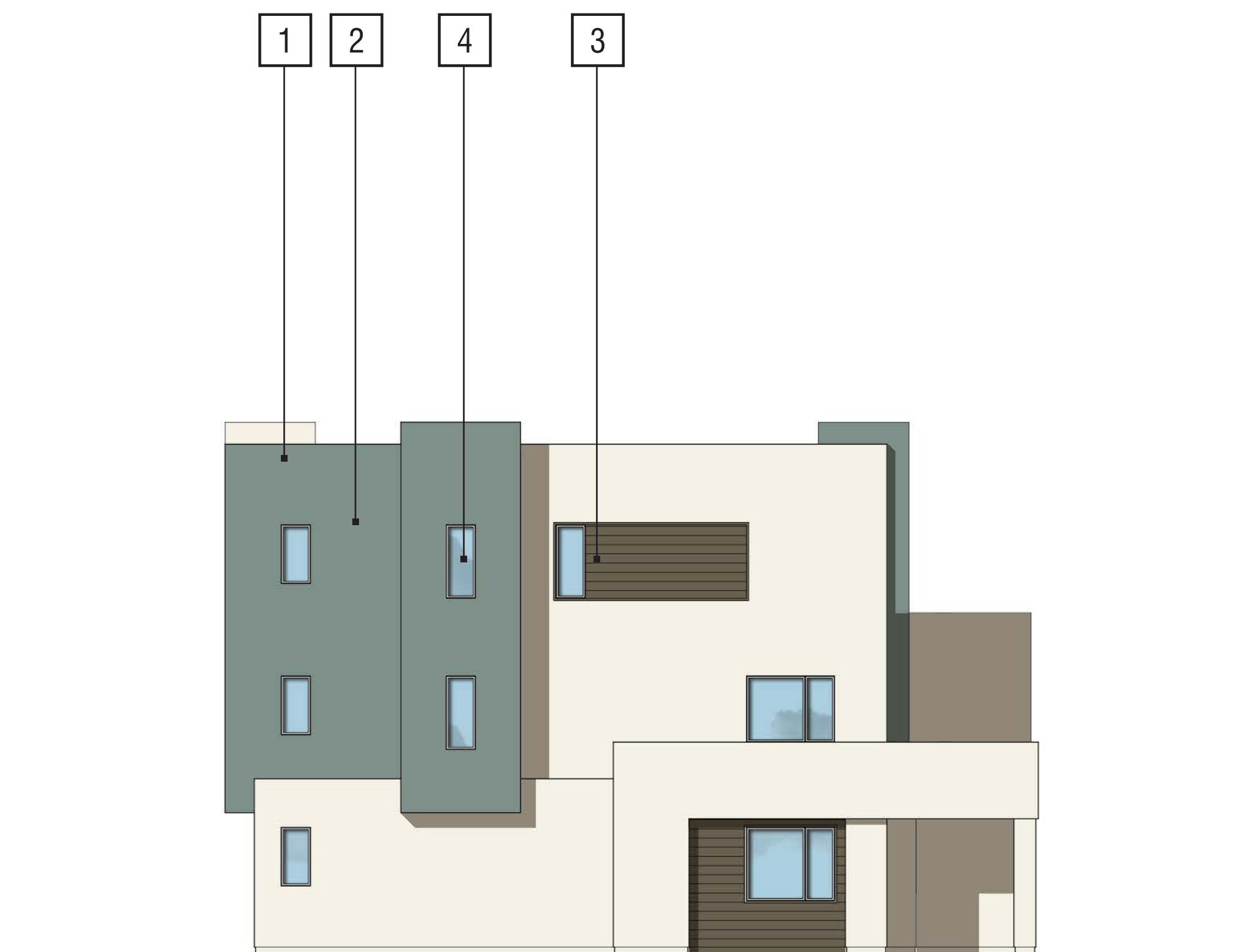
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Rear Elevation



Refer to Landscape Drawings for wall, tree, shrubs and patio wall locations

Left Elevation



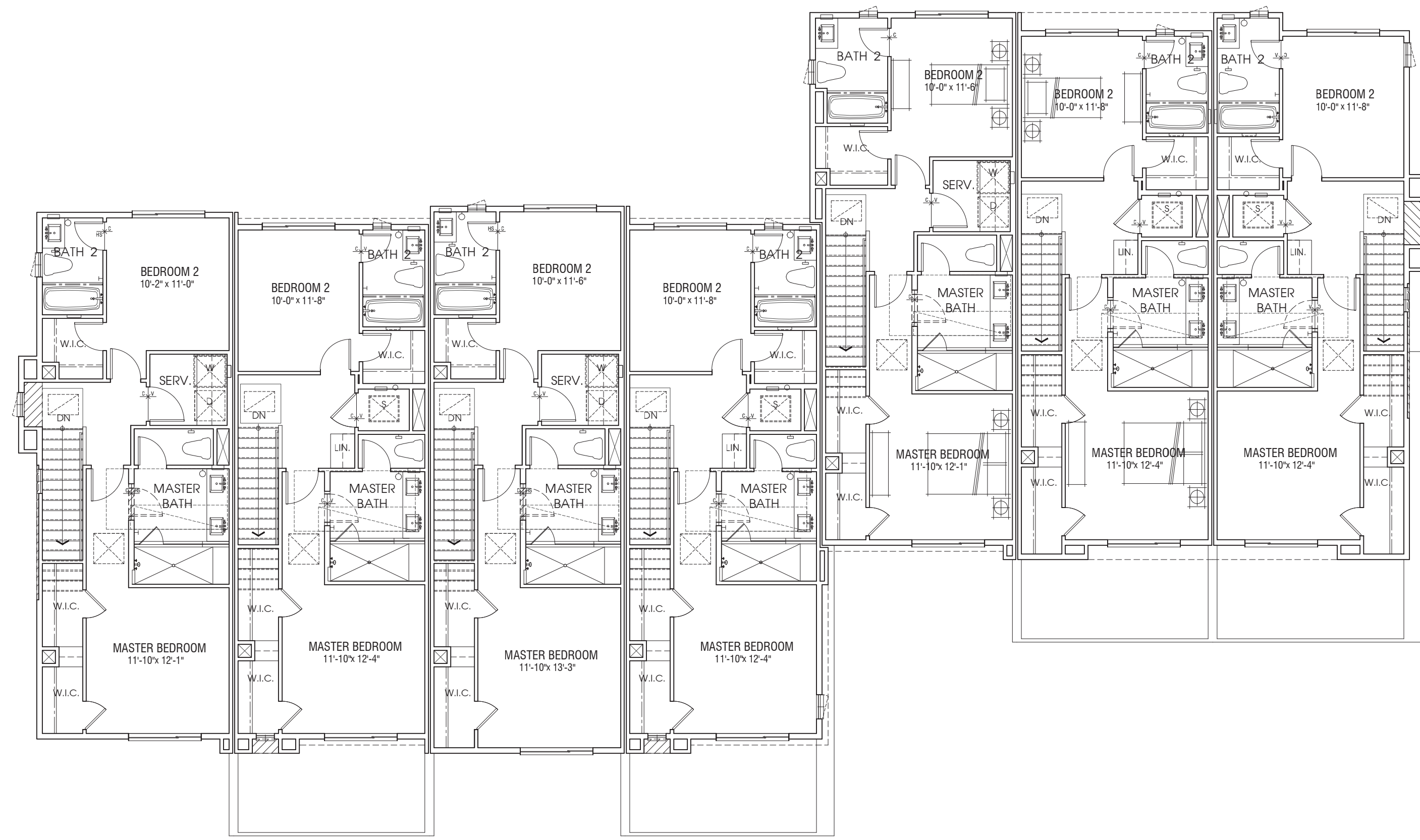
Front Elevation

Scheme 1

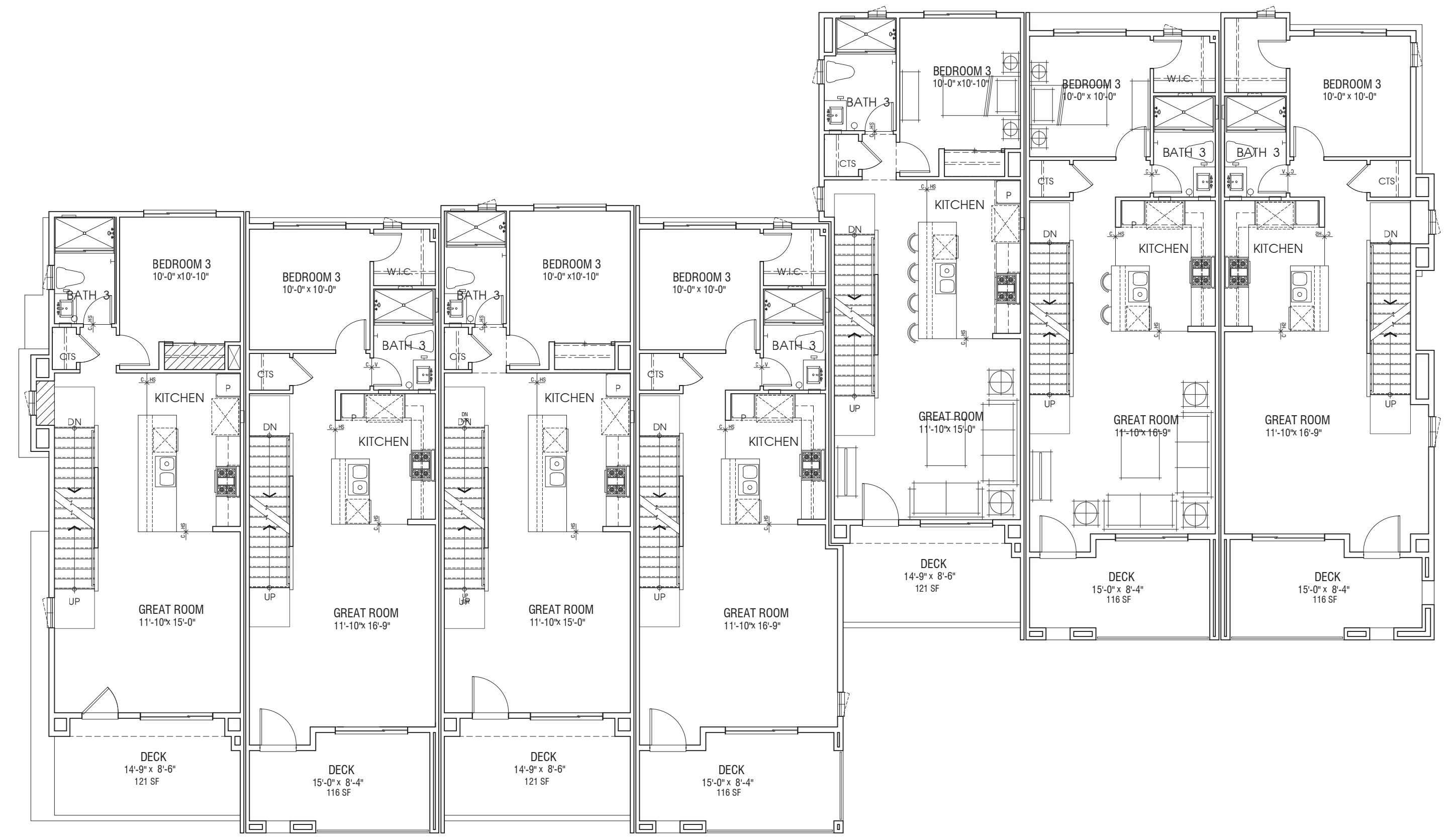
BLDG 500 | Conceptual Building Plans

5100 Long Beach Boulevard

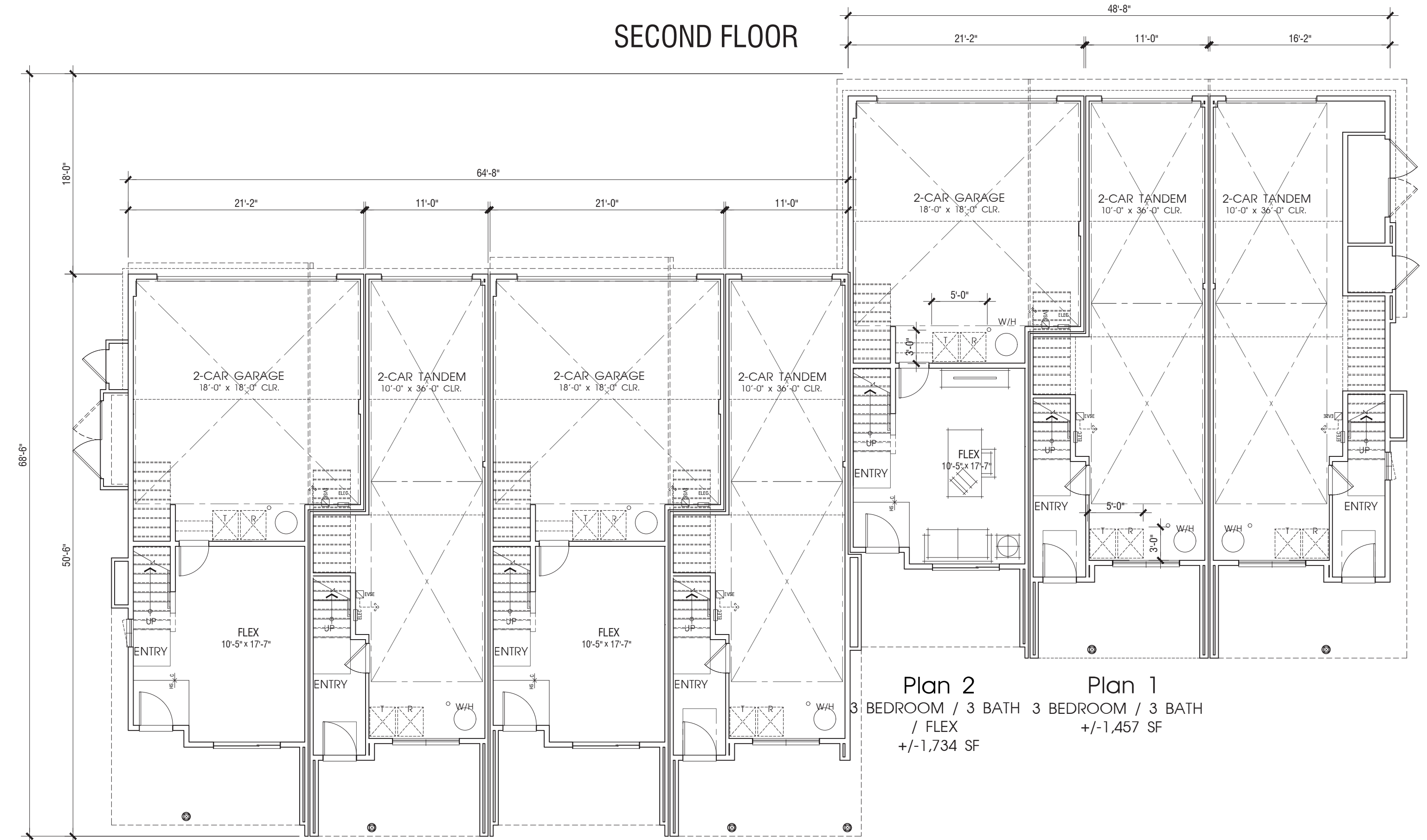
LONG BEACH, CA



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

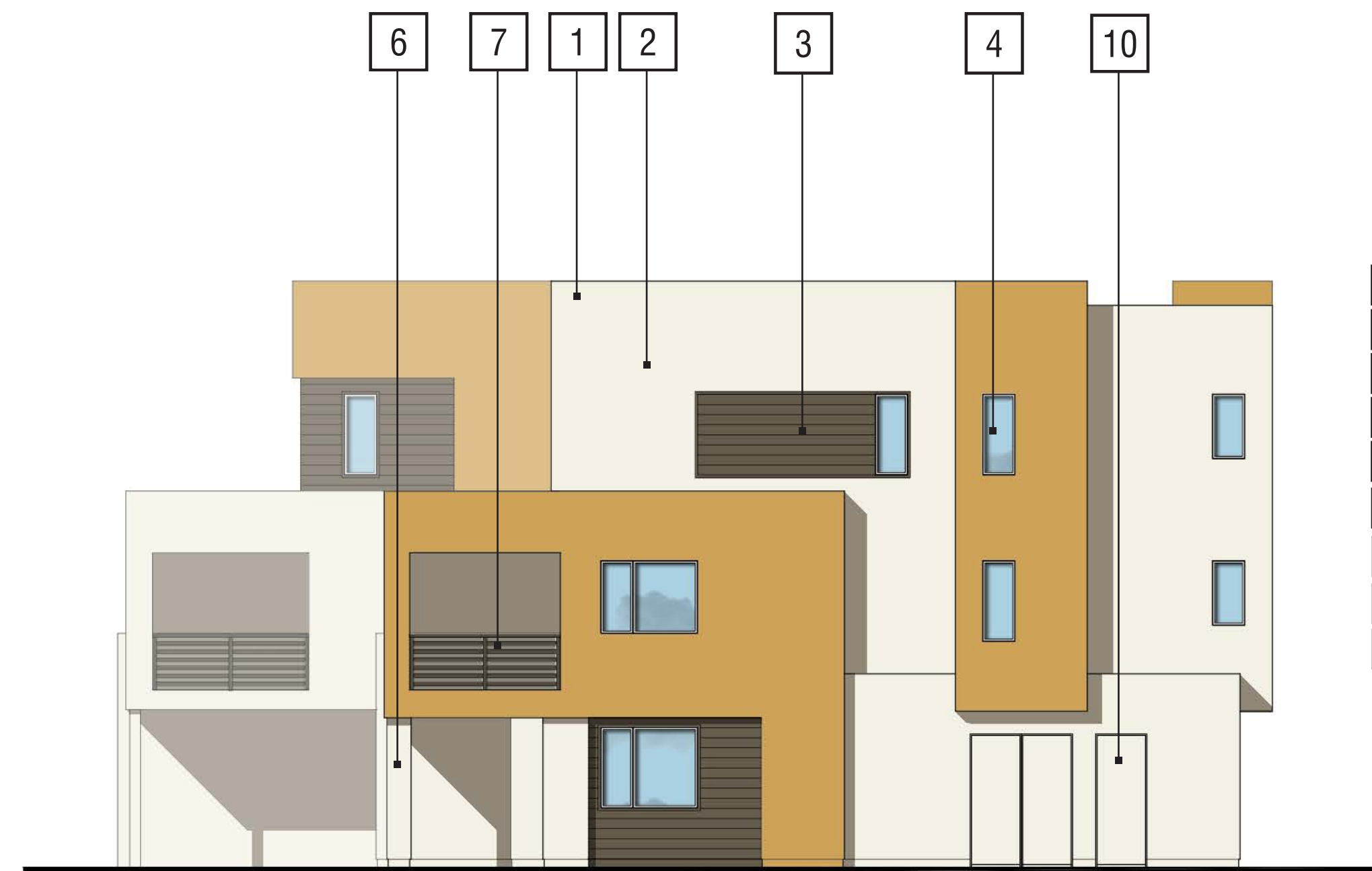
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BLDG 700 | Conceptual Building Plans

5100 Long Beach Boulevard

LONG BEACH, CA



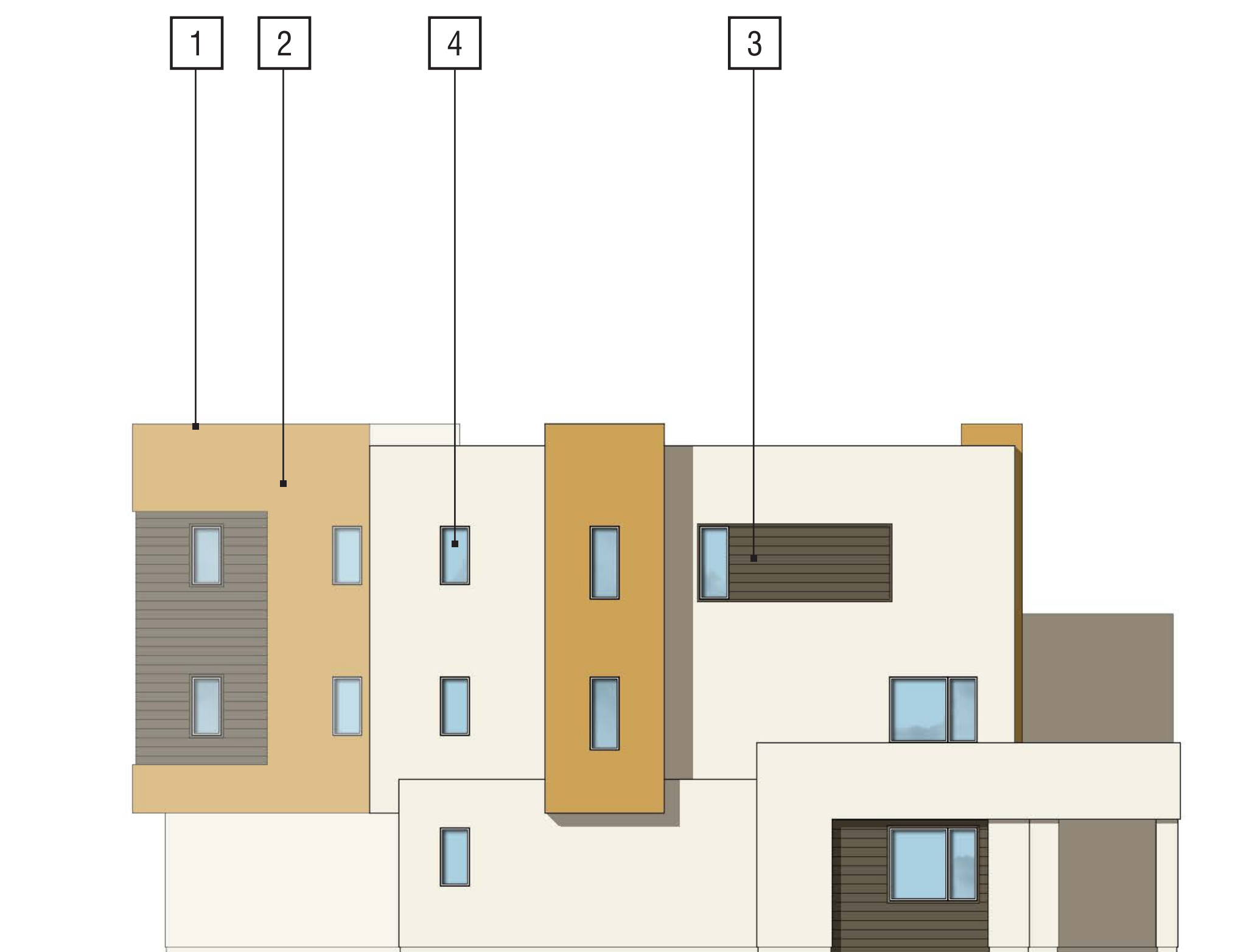
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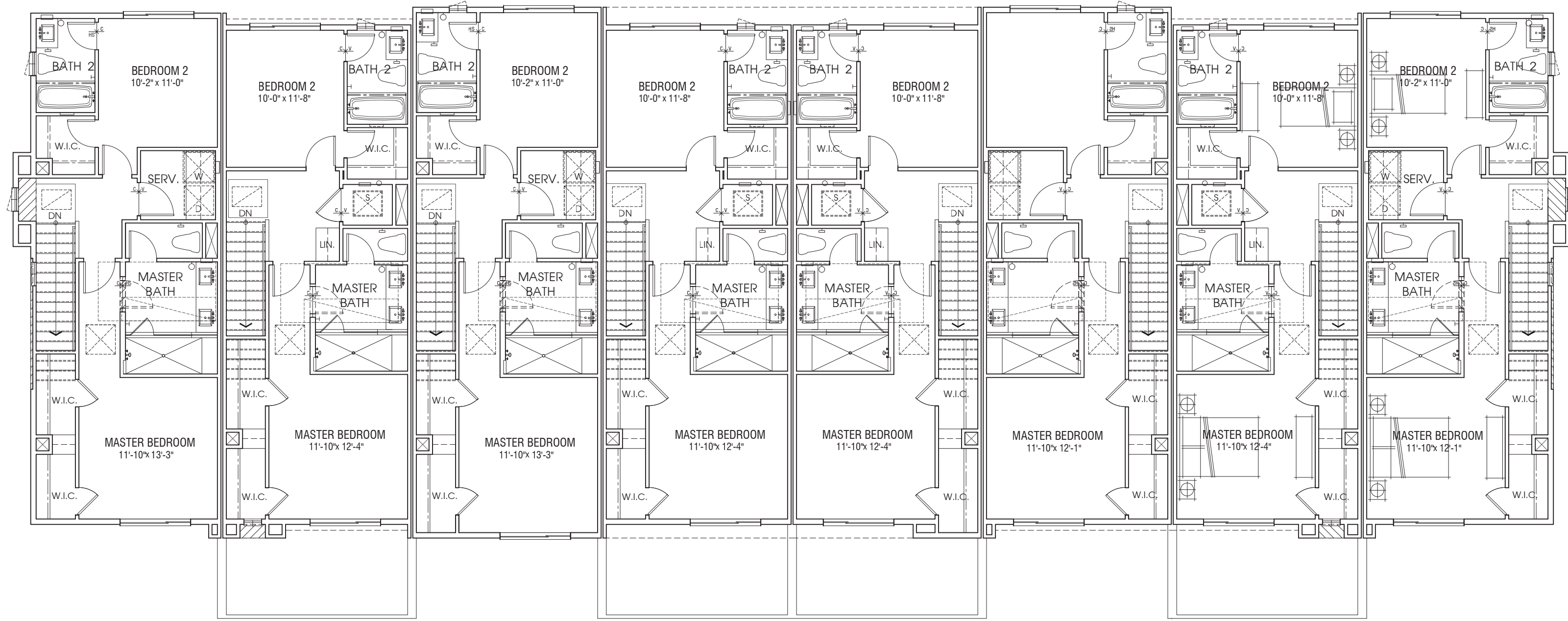
Front Elevation

Scheme 2

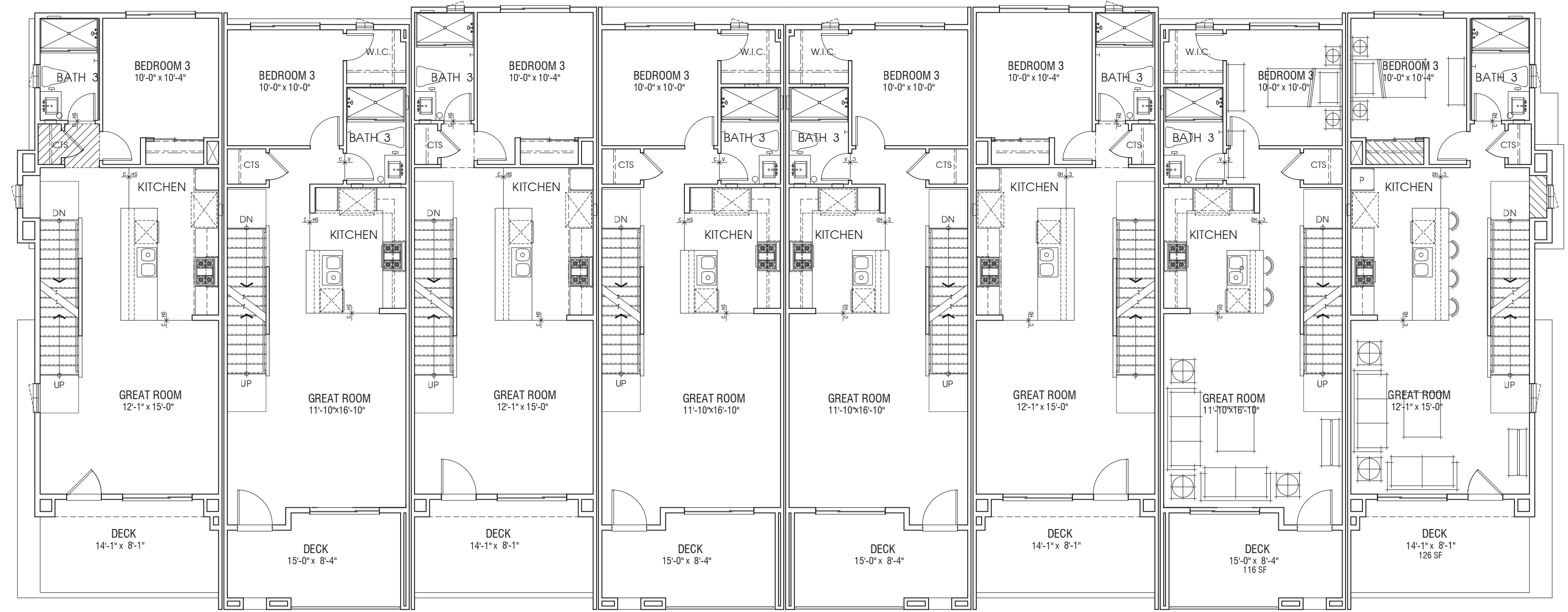
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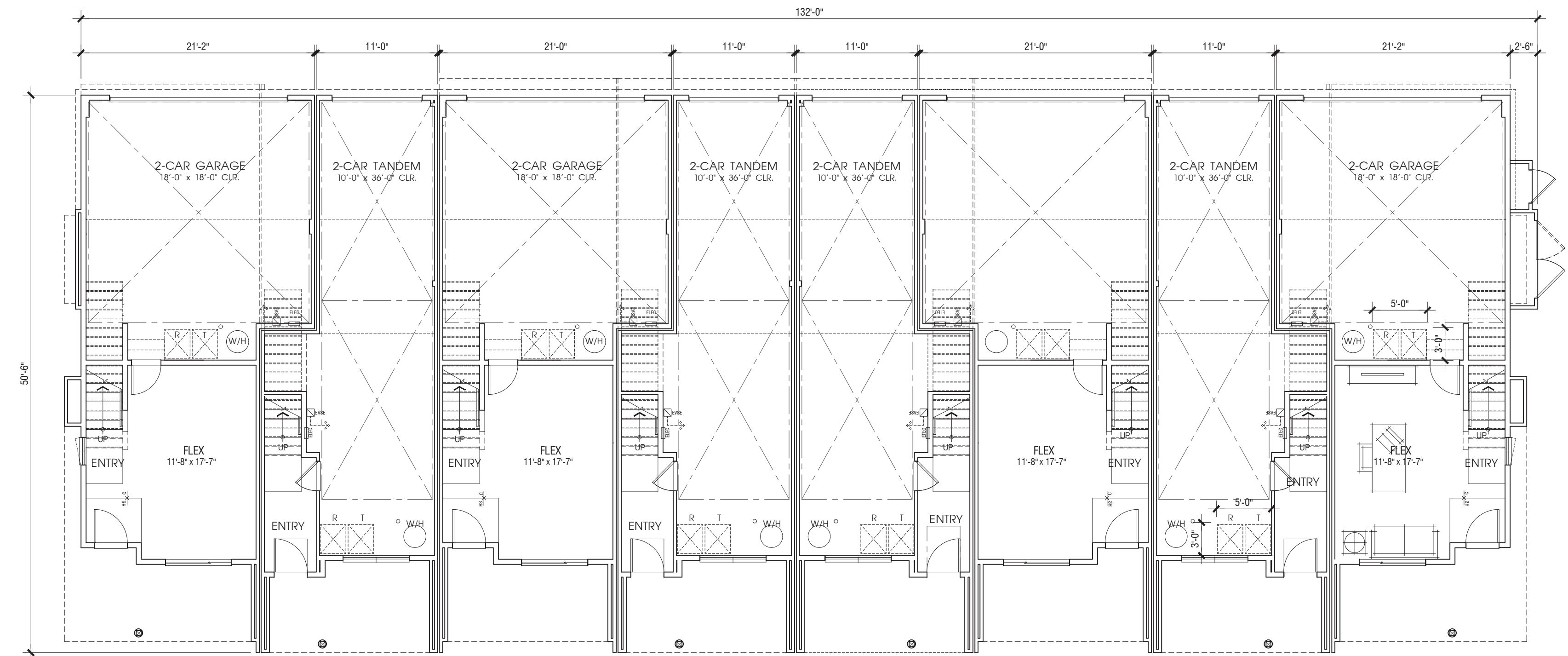
LONG BEACH, CA



THIRD FLOOR



SECOND FLOOR



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+/-1,457 SF

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+/-1,734 SF

BLDG 800 | Conceptual Building Plans

5100 Long Beach Boulevard

LONG BEACH, CA



City Ventures

A.9
0 4 8 16

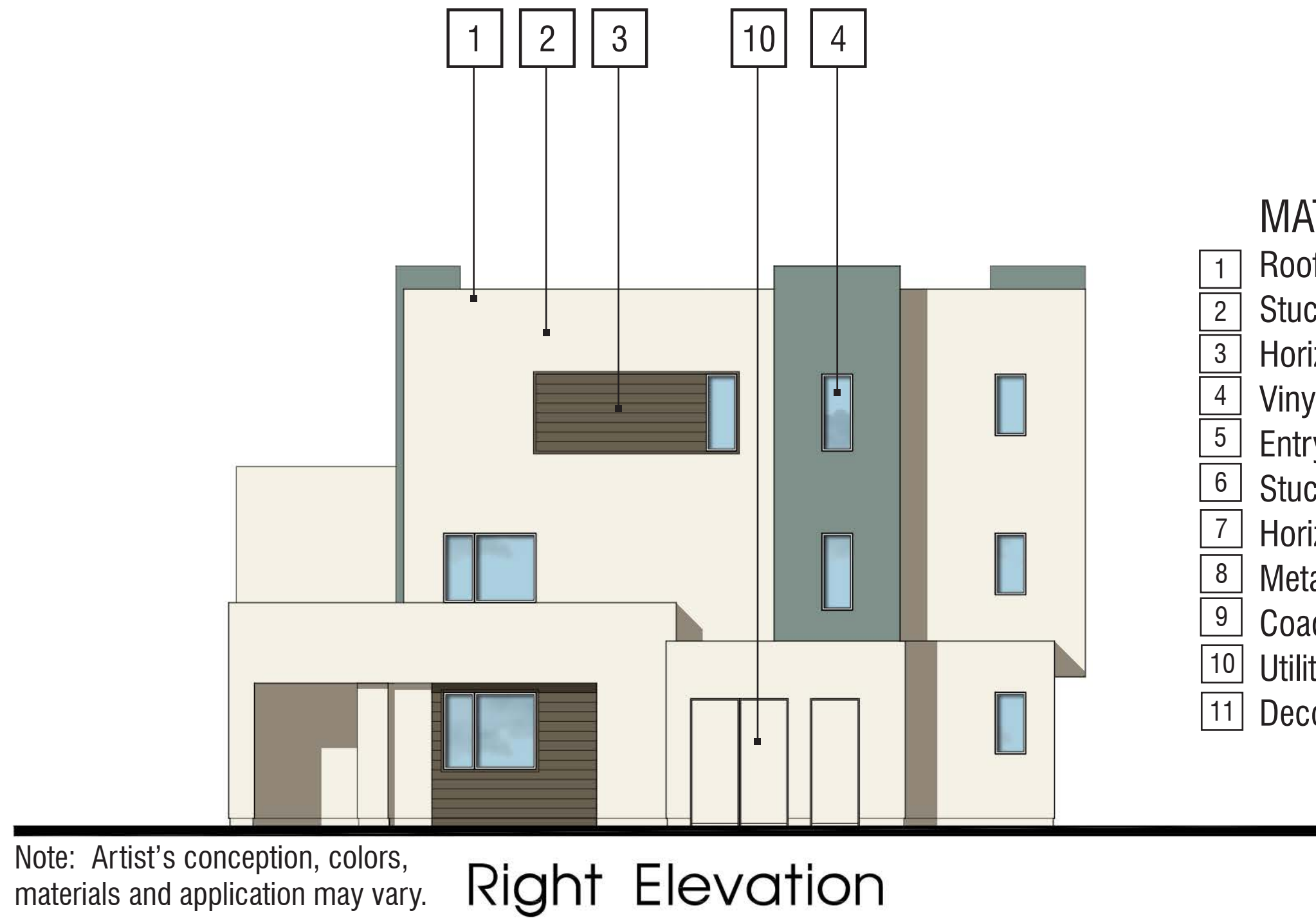
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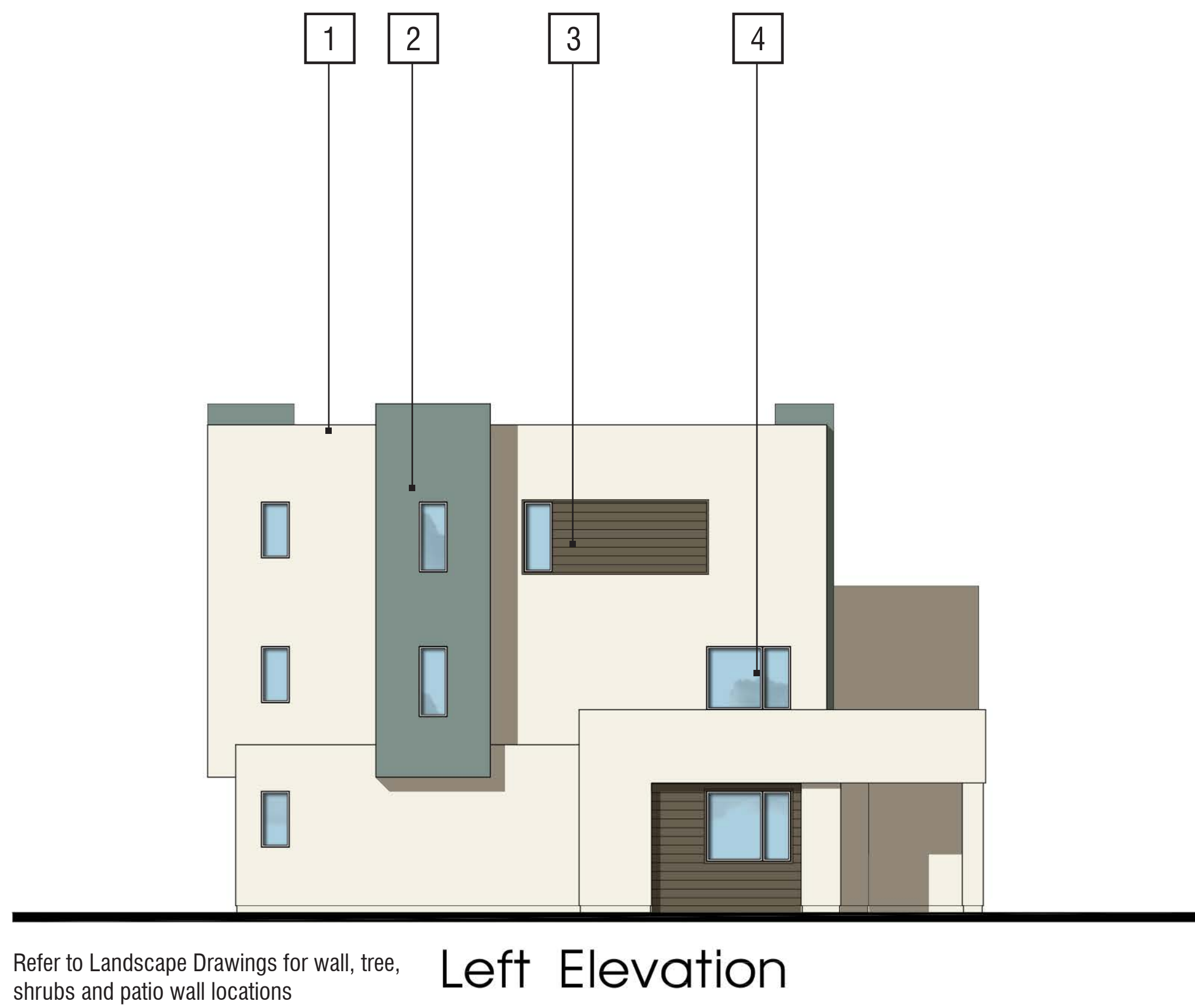
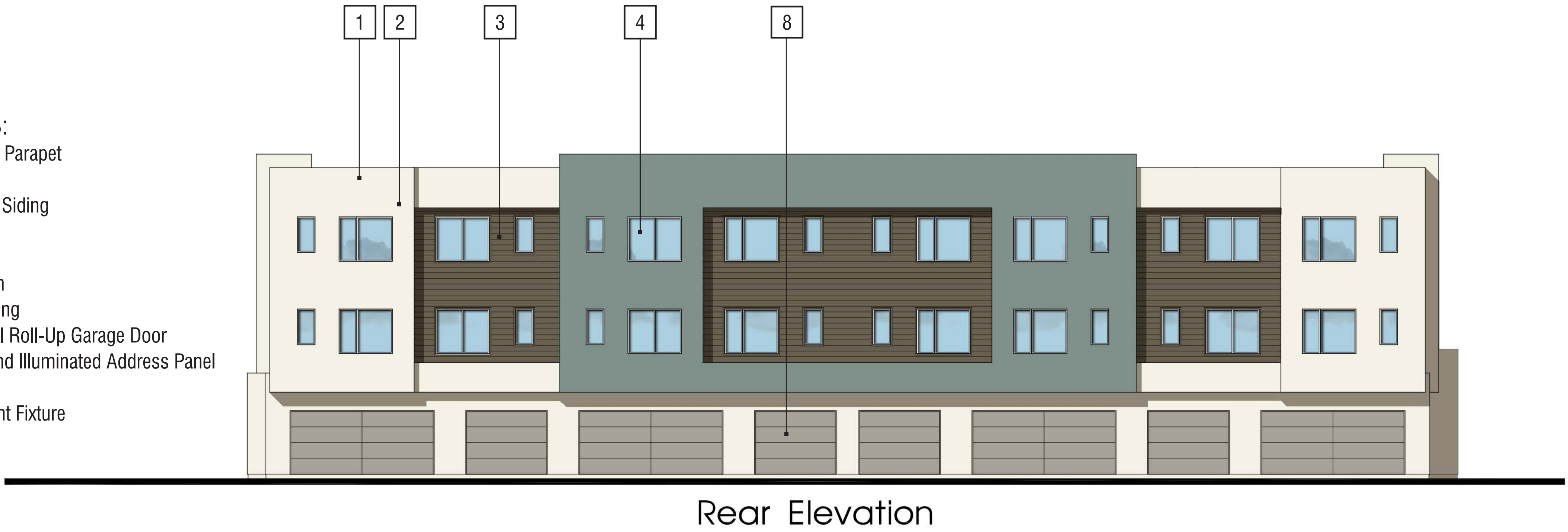
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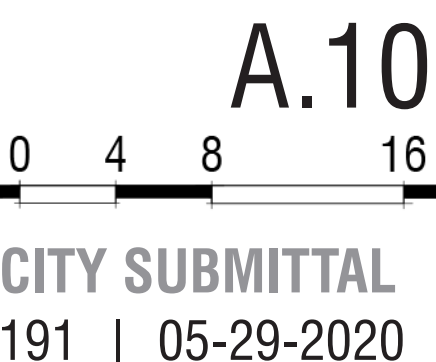
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BLDG 800 | Conceptual Building Plans

5100 Long Beach Boulevard

LONG BEACH, CA



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LONG BEACH A

5100 LONG BEACH BLVD

ENTITLEMENT

EXTERIOR COLOR/MATERIAL DESIGN

JULY 20, 2017

City Ventures

AT DESIGN CONSULTING, INC.
2211 Michelson Drive Suite 450 Irvine, CA 92612
P: 949.724.1619 WWW.ATDESIGNCONSULTING.COM

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AT DESIGN CONSULTING

Exterior Color + Material Specifications

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This creative work is privileged, confidential, and exempt from disclosure under applicable law. The use of these materials is restricted.

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AT Design Consulting, Inc. is responsible for aesthetic choices. All colors and materials listed are for color purposes only. Manufacturer for all products will be designated and appointed by Client.

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Paint and Miscellaneous Items

ENTITLEMENT - 07.20.17 | 7

PAINT MANUFACTURER

All paint to be Sherwin Williams, unless otherwise stated differently.

PAINT APPLICATION

Typical, all paint colors should finish in inside corners.
Overhangs, eaves, headers, etc. should be painted their specifically designated colors with the color being applied on all sides of each item, including the undersides.

NON-DECORATIVE ITEMS

All non-decorative items such as meter doors, non-decorative vents, etc. to be painted the same color as the adjacent field color.

ROOFTOP METALS

All rooftop metals to be painted to match the darkest color from the roof tile blend. See Exterior Color + Materials Specifications for exact roof tile specification.

SCHEME 1

ENTITLEMENT - 07.20.17 | 9

Body 1 (Stucco)

Body 2 (Stucco)

Body 3 (Siding)

Metal Railings

French Doors

Entry Doors

LONG BEACH A

5100 LONG BEACH BLVD

EXTERIOR COLOR/MATERIAL DESIGN

City Ventures

AT DESIGN CONSULTING

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SCHEME 2

ENTITLEMENT - 07.20.17 | 11

Body 1 (Stucco)

Body 2 (Stucco)

Body 3 (Siding)

Metal Railings

French Doors

Entry Doors

LONG BEACH A

5100 LONG BEACH BLVD

EXTERIOR COLOR/MATERIAL DESIGN

City Ventures

AT DESIGN CONSULTING

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Exterior Color + Material Specifications

ENTITLEMENT - 07.20.17 | 8

SCHEME 1

	ITEM	MANUFACTURER	COLOR & NAME
	Body 1 (Stucco)	Omega Products International <i>(to match Sherwin Williams paint)</i>	5/8 A 872 <i>(7566, Westhighland White)</i>
	Body 2 (Stucco)	Sherwin Williams	6214, Underseas
	Body 3 (Siding)	Sherwin Williams	7054, Suitable Brown
	Entry Door	Sherwin Williams	2854, Caribbean Coral
	French Doors	Sherwin Williams	7645, Thunder Gray
	Metals & Railings	Sherwin Williams	7645, Thunder Gray
Pre-Coated Colors by Manufacturer	Gutters & Downspouts <i>(Factory Finish)</i>	Custom-Bilt Metals	Weathered Bronze
	Garage Doors <i>(Factory Finish)</i>	Wayne Dalton	Taupe
	Windows <i>(Factory Finish)</i>	Milgard	White

LONG BEACH A

5100 LONG BEACH BLVD

EXTERIOR COLOR/MATERIAL DESIGN

City Ventures

AT DESIGN CONSULTING

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Exterior Color + Material Specifications

ENTITLEMENT - 07.20.17 | 10

SCHEME 2

	ITEM	MANUFACTURER	COLOR & NAME
	Body 1 (Stucco)	Omega Products International <i>(to match Sherwin Williams paint)</i>	5/8 A 872 <i>(7566, Westhighland White)</i>
	Body 2 (Stucco)	Sherwin Williams	6382, Ceremonial Gold
	Body 3 (Siding)	Sherwin Williams	7054, Suitable Brown
	Entry Door	Sherwin Williams	0020, Peacock Plume
	French Doors	Sherwin Williams	7645, Thunder Gray
	Metals & Railings	Sherwin Williams	7645, Thunder Gray
Pre-Coated Colors by Manufacturer	Gutters & Downspouts <i>(Factory Finish)</i>	Custom-Bilt Metals	Weathered Bronze
	Garage Doors <i>(Factory Finish)</i>	Wayne Dalton	Taupe
	Windows <i>(Factory Finish)</i>	Milgard	White

LONG BEACH A

5100 LONG BEACH BLVD

EXTERIOR COLOR/MATERIAL DESIGN

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LEGEND

- 1 Vehicular Entry
- 2 Entry Monuments
- 3 Private Yard
 - Patio Walls - 36" ht. Stucco Low Wall with Fence Panel
 - Patio Gate - 36" ht. Gate to Match Fence Panel
- 4 Social Event Gardens
 - Decomposed Granite Paving
 - Event Lawn for Active Play or Passive Activities
 - Small Shade Structures with Community Seating
 - Formal Tree Rows
 - Vegetable Planter
- 5 Outdoor Living Space
 - Shade Structure with Decor Backdrop Wall
 - Enhanced Paving
 - Barbecue Kitchen with Harvest Table
 - Lounge Seating
 - Enhanced Landscaping
- 6 Rear Yard/Property Line Wall
- 7 Property Line Wall with Hedged Espaliers
- 8 Community Mailboxes
- 9 Accessible Parking
- 10 Asphalt Motorcourt
- 11 Accessible Community Sidewalks
- 12 City Sidewalk
- 13 Existing City Bus Stop
- 14 New Street Trees and Tree Wells at 25" o.c. with Root Barrier

 **Root Barrier:**
Provide root control barriers for street trees planted along Long Beach Boulevard according to the specifications of the Director of Public Works per Long Beach Municipal Code Section 21.42.050.

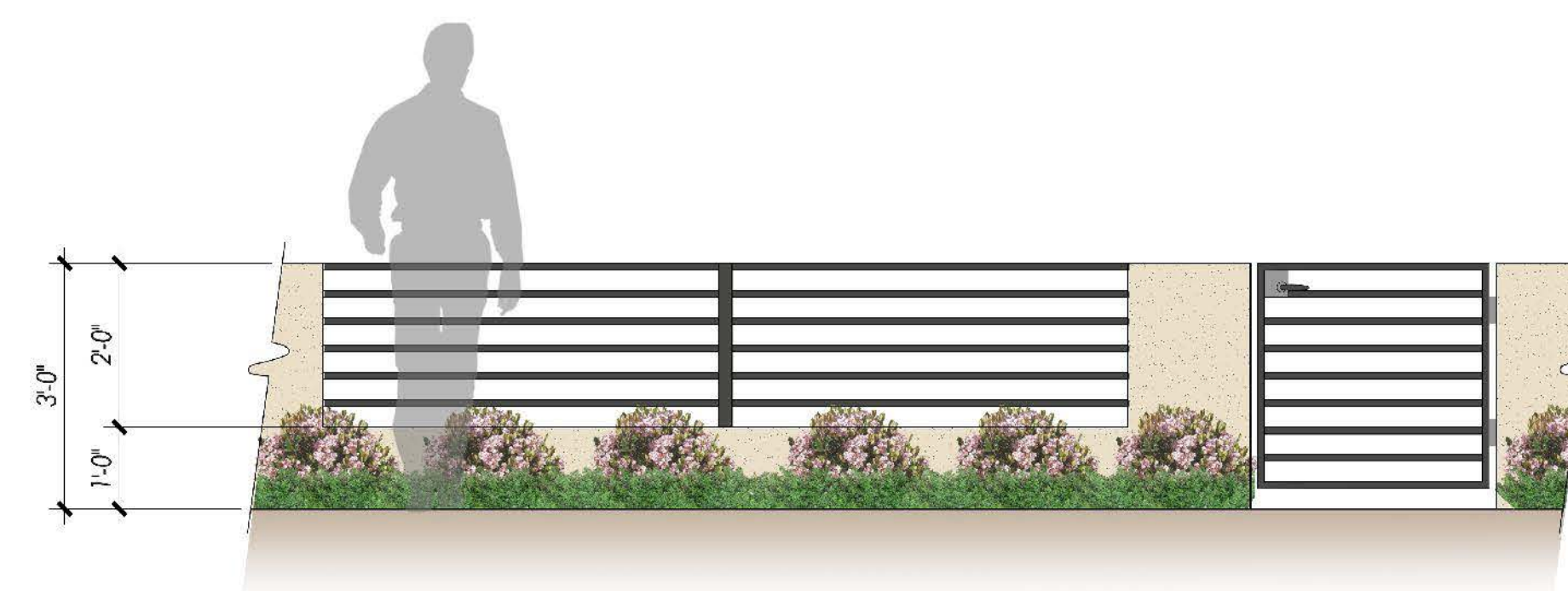
Irrigation Note:
All planting areas shall have a fully automatic irrigation system. Utilization water conserving features such as low-precipitation rate heads; low-flow micro sprays or drip irrigation, water sensors and multi-program controllers with weather station capability and drip circuit features. "Water Efficient Landscapes" irrigation system, scheduling and water use WELO calculations shall be designed to meet the requirements of the specifications of the Director of Public Works per Long Beach Municipal Code Section 21.42.050.

3 PRIVATE YARD PATIO WALL AND GATE

- 12" ht. Low wall with stucco finish. Color to match Architecture.
- 24" ht. Tubular Steel Fence to match Architecture.
- 36" ht. Tubular Steel Gate to match Architecture.

Note:

1. 24" tubular steel fence, 4" opening maximum in between TS members. All TS members shall be metalized and received (2) coats of paint- paint color to match architecture
2. 36" tubular steel fence, 4" opening maximum in between TS members. All TS members shall be metalized and received (2) coats of paint- paint color to match architecture



Patio Wall and Gate Elevation
Scale: 1/2" = 1'-0"

L-1
0 10 20 40
Scale: 1" = 20'

04.06.20

LANDSCAPE PLAN

5100 LONG BEACH BLVD
LONG BEACH, CA



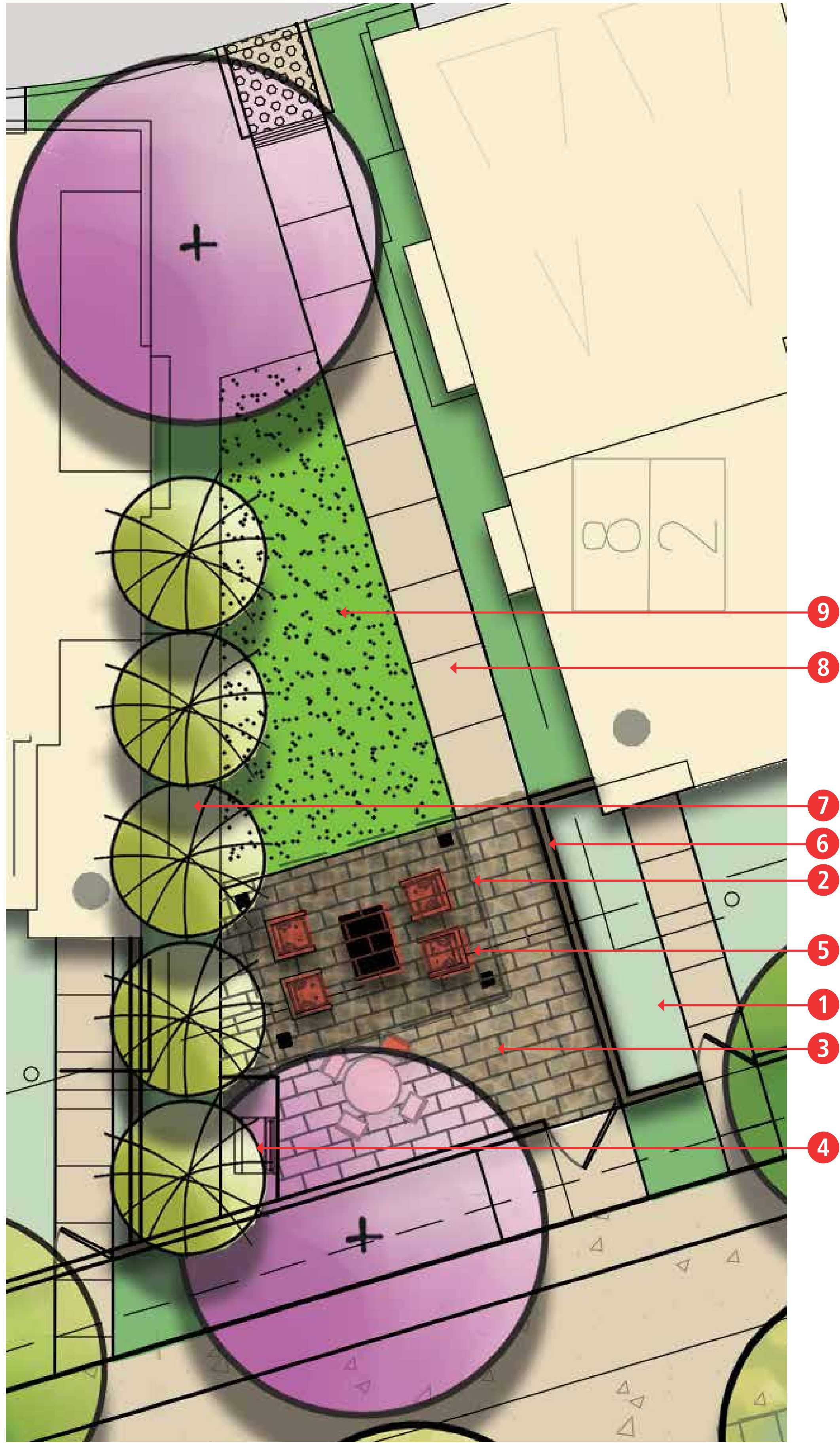
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5100 LONG BEACH BLVD
LONG BEACH, CA

L-2

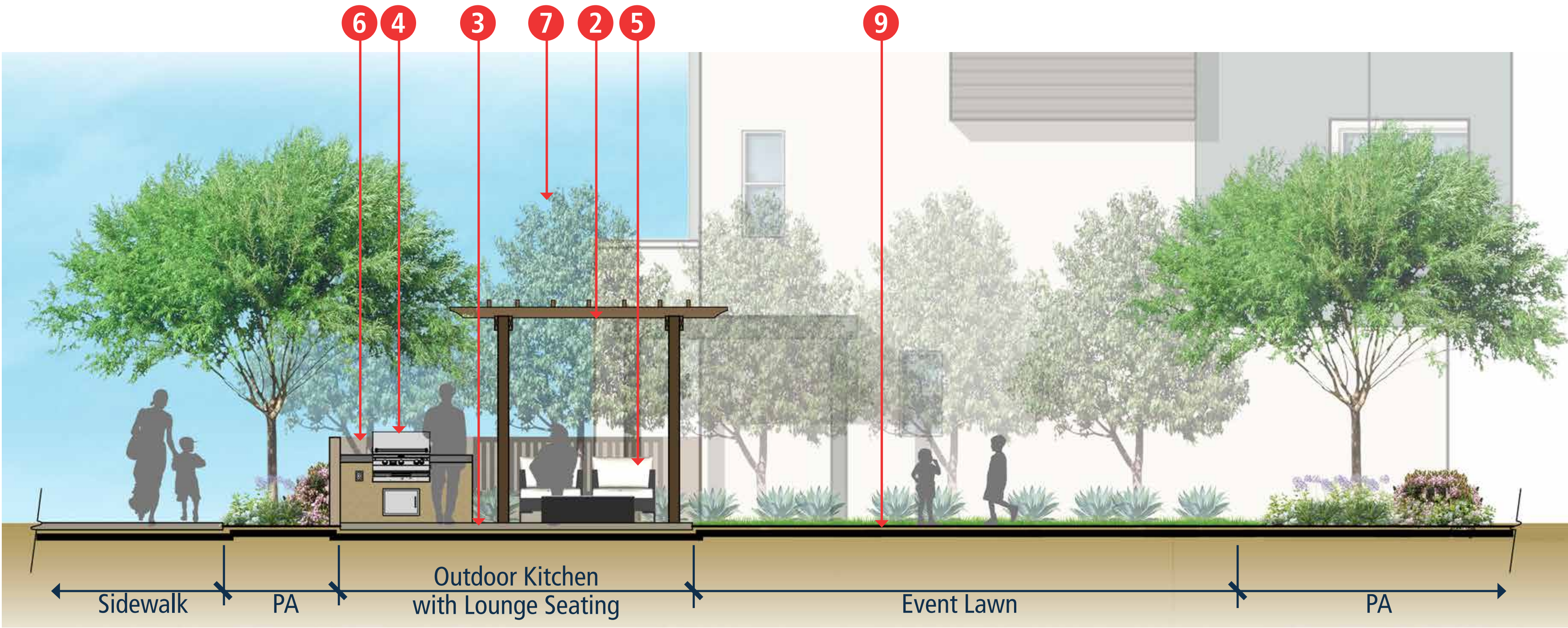
04.06.20





LEGEND

- 1 Private Yard
- 2 Shade Structure with Decor Backdrop Wall
- 3 Enhanced Paving
- 4 Outdoor Kitchen with Built-in Barbecue
- 5 Outdoor Living Area with Lounge Seating
- 6 Rear Yard/Property Line Wall
- 7 Screen Planting
- 8 Accessible Community Sidewalks
- 9 Social Event Garden



ELEVATION A-A
SCALE: 1/4" = 1'-0"

KEY MAP



OUTDOOR LIVING SPACE ENLARGEMENT

5100 LONG BEACH BLVD
LONG BEACH, CA

L-3
Scale: 1/4" = 1'-0"



Trees



Shrubs & Groundcover

PLANT PALETTE

Botanical name (Common Name)	Size (Min. Size)	WUCOLS*
Trees		
1 Tristania conferta (Brisbane Box)	24" box	M
2 Bauhinia variegata (Purple Orchid Tree)	24" box	M
3 Fraxinus angustifolia ('Raywood' Ash)	24" box	M
4 Pinus canariensis (Canary Island Pine)	24" box	M
5 Lagerstroemia indica (Crape Myrtle)	24" box	M
6 Bambusa oldhamii (Giant Timber Bamboo)	48" box	L

Note: One (1) large canopy street tree, of not less than twenty-four inch (24") box size, shall be provided for each twenty-five feet (25') of property line length with irrigation along Long Beach Boulevard per Long Beach Municipal Code Section 21.42.050.

Shrubs & Groundcover

1 Agave desmettiana (Smooth Agave)	15gal.	L
2 Chondropetalum tectorum (Cape Rush)	5gal.	M
3 Aloe vera (Aloe)	5gal.	L
4 Bougainvillea 'Oo La La' (Bougainvillea)	15gal.	L
5 Bulbine frutescens 'Hallmark' (Orange Stalked Bulbine)	5gal.	L
6 Yucca rostrata (Big Bend Yucca)	5gal.	L
7 Heteromeles arbutifolia (Toyon)	5gal.	VL
8 Lantana montevidensis 'Alba' (Lantana)	5gal.	L
9 Buxus japonica (Green Beauty Boxwood)	5gal.	M
10 Phlomis lanata (Jerusalem Sage)	5gal.	L
11 Podocarpus macrophyllus (Yew Pine)	5gal.	M
12 Equisetum hyemale (Horsetail)	5gal.	M

NOTE: 90% of this list is drought tolerant (low water use) plants.



Tree Grate
Mfr./Supplier: Urban Accessories
Model: COHO, 4'SQ
Finish: Raw Natural Finish

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1: (APN NO. 7131-032-909) THAT PORTION OF LOT 53 OF TRACT NO. 3554, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 38, PAGES 44 AND 45 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING WESTERLY OF THE SOUTHERLY PROLONGATION OF THE WESTERLY LINE OF CEDAR AVENUE, AS SAID WESTERLY LINE IS SHOWN ON MAP OF TRACT NO. 7990, RECORDED IN BOOK 95, PAGES 26 AND 27 OF MAPS, RECORDS OF SAID COUNTY.

PARCEL 2: (APN NO. 7131-032-910) THE NORTH 100 FEET OF THAT PORTION OF LOT 53 OF TRACT NO. 3554, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 38, PAGES 44 AND 45 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY LYING WEST OF THE SOUTHERLY PROLONGATION OF THE WEST LINE OF CEDAR AVENUE AS SHOWN ON TRACT NO. 7990 AS PER MAP RECORDED IN BOOK 95, PAGE 26 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 3: (APN NO. 7131-032-905) LOT 1 OF TRACT NO. 26620, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 675, PAGE 22 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 4: (APN NO. 7131-032-908 AND 7131-032-911) LOTS 1, 2, AND 3 IN BLOCK "A" OF TRACT NO. 7990, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 95 PAGES 26 AND 27 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 5: (APN NO. 7131-032-900) LOT 2 OF TRACT NO. 26620, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 675, PAGE 22 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND AN EASEMENT OVER THE NORTHERLY 2 FEET OF LOT 1 OF TRACT 26620 FOR WATER LINES.

PARCEL 6: (APN NO. 7131-032-912) THE NORTH 93.87 FEET OF LOT 4 IN BLOCK "A" OF TRACT NO. 7990, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 95 PAGE(S) 26 AND 27 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 7: (APN NO. 7131-032-913) THE SOUTH 15 FEET OF LOT 4 IN BLOCK "A" OF TRACT NO. 7990, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 95 PAGE(S) 26 AND 27 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

OWNER/SUBDIVIDER:

City Ventures
3121 Michelson Drive, Suite 150
Irvine, California 92612
Office: (949) 258-7555

ENGINEER INFORMATION:

C&V Consulting, Inc.
6 Orchard, Suite 200
Lake Forest, California 92630
Office: (949) 916-3800

SITE ADDRESS:

5100 LONG BEACH BLVD.
LONG BEACH, CA

ASSESSOR'S PARCEL NUMBERS:

PARCEL 1 APN: 7131-032-909
PARCEL 2 APN: 7131-032-910
PARCEL 3 APN: 7131-032-905
PARCEL 4 APN: 7131-032-911
PARCEL 5 APN: 7131-032-900
PARCEL 6 APN: 7131-032-912
PARCEL 7 APN: 7131-032-913

BENCHMARK:

DESIGNATION:
CITY OF LONG BEACH BENCH MARK NUMBER 126
DESCRIPTION:
BRASS DISC FLUSH WITH PWMT STAMPED "CLB BM 126 1966" 27.0' W / CURB 1.0' N / CURB.
ELEVATION:
40.354' 1985 ADJ. NGVD 29 MSL

LAND USE SUMMARY

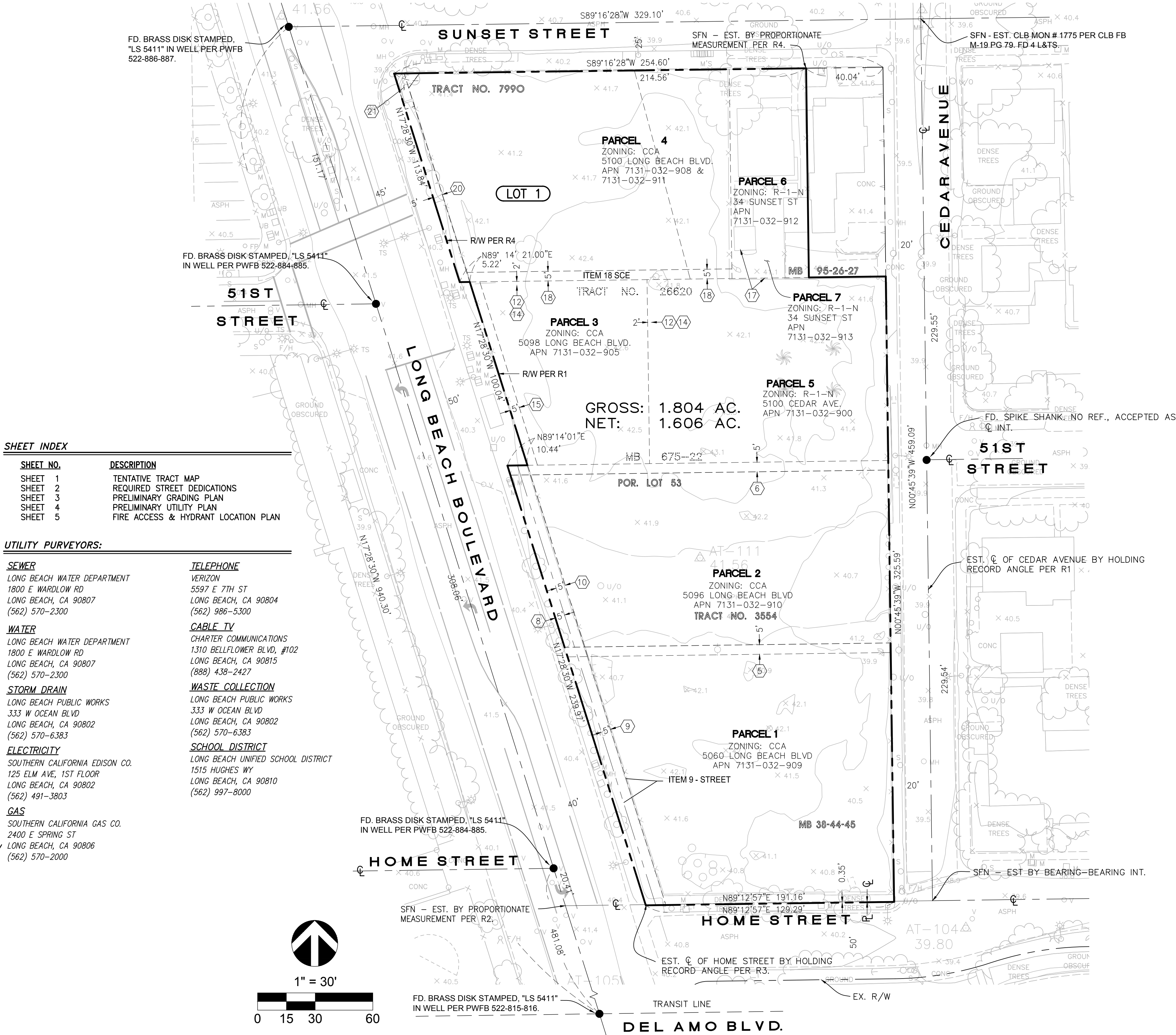
GROSS AREA: 1.804 AC. +/-
NET AREA: 1.606 AC. +/-
TOTAL PROPOSED LOTS: 1
TOTAL PROPOSED DWELLING UNITS: 38 CONDOS

FLOOD ZONE:

THE SUBJECT PROPERTY FALLS WITHIN "ZONE X" OF PANEL 1955F OF 2350 OF FLOOD INSURANCE RATE MAP NUMBER 060136, EFFECTIVE SEPTEMBER 26, 2008.

VESTING TENTATIVE TRACT MAP NO. 77096

FOR CONDOMINIUM PURPOSES
CITY OF LONG BEACH, COUNTY OF LOS ANGELES,
STATE OF CALIFORNIA



SHEET INDEX

SHEET NO.	DESCRIPTION
SHEET 1	TENTATIVE TRACT MAP
SHEET 2	REQUIRED STREET DEDICATIONS
SHEET 3	PRELIMINARY GRADING PLAN
SHEET 4	PRELIMINARY UTILITY PLAN
SHEET 5	FIRE ACCESS & HYDRANT LOCATION PLAN

UTILITY PURVEYORS:

SEWER
LONG BEACH WATER DEPARTMENT
1800 E WARDLOW RD
LONG BEACH, CA 90807
(562) 570-2300

WATER
LONG BEACH WATER DEPARTMENT
1800 E WARDLOW RD
LONG BEACH, CA 90807
(562) 570-2300

STORM DRAIN
LONG BEACH PUBLIC WORKS
333 W OCEAN BLVD
LONG BEACH, CA 90802
(562) 570-6383

ELECTRICITY
SOUTHERN CALIFORNIA EDISON CO.
125 ELM AVE, 1ST FLOOR
LONG BEACH, CA 90802
(562) 491-3803

GAS
SOUTHERN CALIFORNIA GAS CO.
2400 E SPRING ST
LONG BEACH, CA 90806
(562) 570-2000

TELEPHONE
VERIZON
5597 E 7TH ST
LONG BEACH, CA 90804
(562) 986-5300

CABLE TV
CHARTER COMMUNICATIONS
1310 BELLFLOWER BLVD, #102
LONG BEACH, CA 90815
(888) 438-2427

WASTE COLLECTION
LONG BEACH PUBLIC WORKS
333 W OCEAN BLVD
LONG BEACH, CA 90802
(562) 570-6383

SCHOOL DISTRICT
LONG BEACH UNIFIED SCHOOL DISTRICT
1515 HUGHES WY
LONG BEACH, CA 90810
(562) 997-8000

REVISIONS		
REV	DATE	DESCRIPTION

PREPARED FOR:

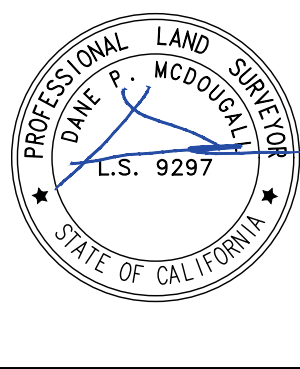


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IRVINE, CA 90660
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PREPARED BY:



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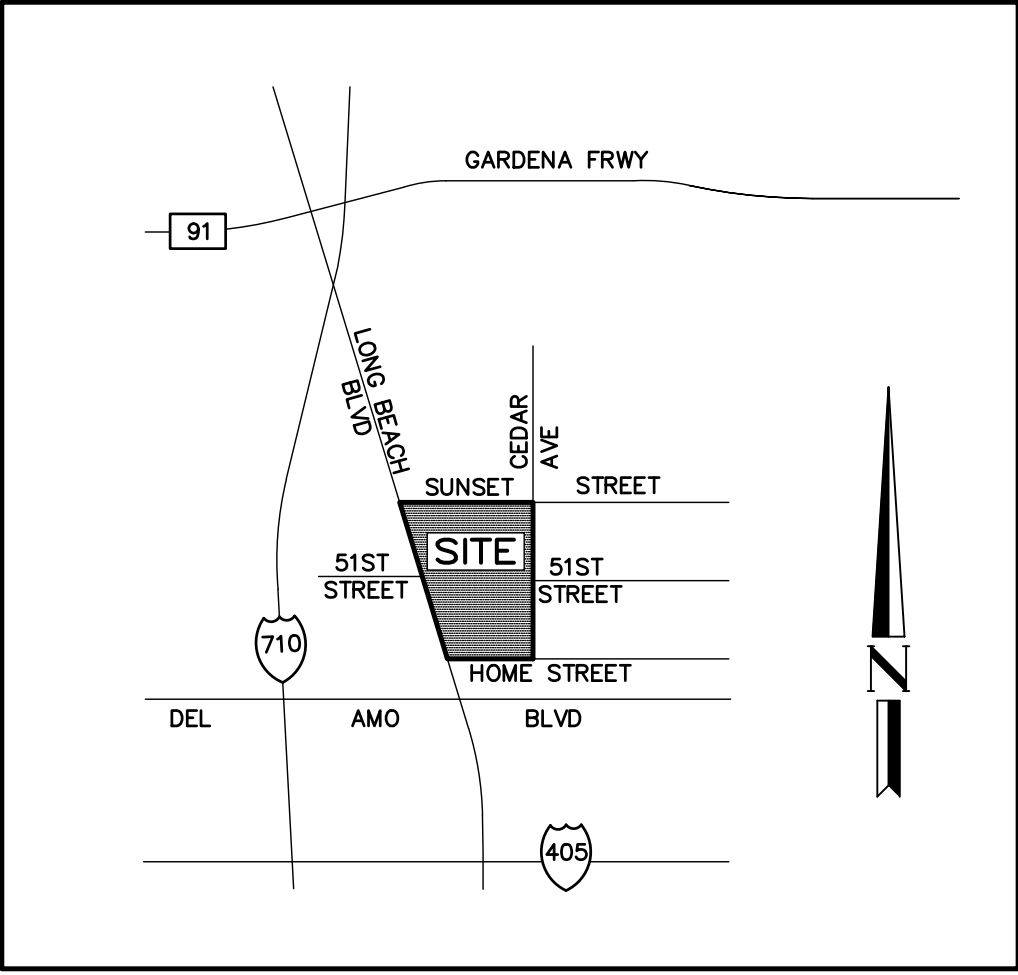


CITY OF LONG BEACH
DEPARTMENT OF DEVELOPMENT SERVICES / PLANNING DIVISION

VESTING TENTATIVE TRACT MAP NO. 77096
5100 LONG BEACH BOULEVARD
VESTING TENTATIVE TRACT MAP

SHEET

1
OF
5



VICINITY MAP

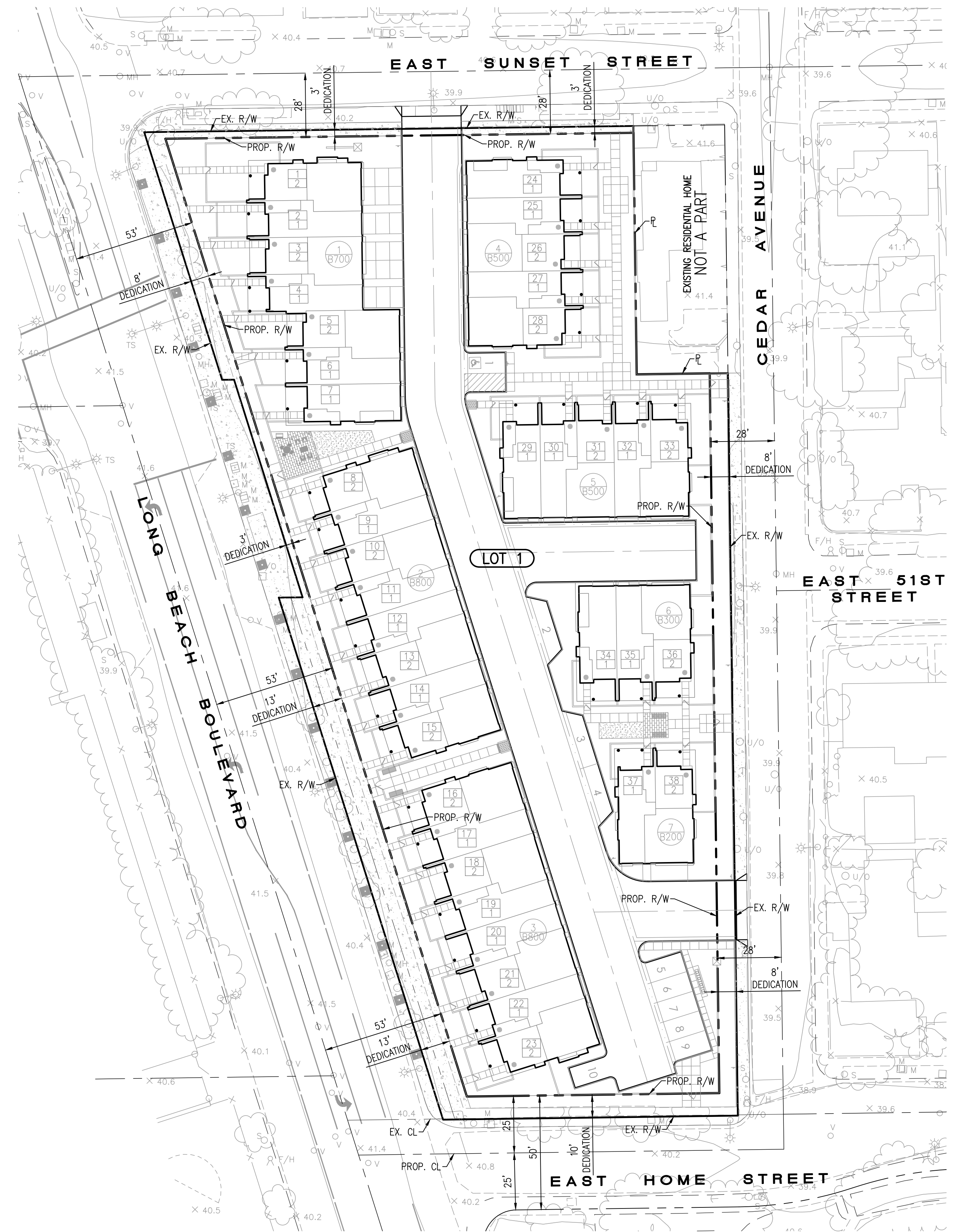
N.T.S.

EXISTING EASEMENT NOTES:

- AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JULY 29, 1949 AS INSTRUMENT NO. 2254 OF OFFICIAL RECORDS. AFFECTS: PARCEL 1
- AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AUGUST 29, 1949 AS INSTRUMENT NO. 1983 IN BOOK 30882 PAGE 122 OF OFFICIAL RECORDS. AFFECTS: PARCEL 2
- AN EASEMENT FOR SIDEWALK PURPOSES, INCLUDING ALL RELATED RIGHT-OF-WAY AND INCIDENTAL PURPOSES, RECORDED MARCH 9, 2009 AS INSTRUMENT NO. 20090328655 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF LONG BEACH, A MUNICIPAL CORPORATION AFFECTS: PARCEL 2
- AN EASEMENT FOR SIDEWALK PURPOSES, INCLUDING ALL RELATED RIGHT-OF-WAY AND INCIDENTAL PURPOSES, RECORDED JUNE 1, 2010 AS INSTRUMENT NO. 20100737083 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF LONG BEACH, A MUNICIPAL CORPORATION AFFECTS: PARCEL 1
- AN EASEMENT FOR SIDEWALK PURPOSES, INCLUDING ALL RELATED RIGHT-OF-WAY AND INCIDENTAL PURPOSES, RECORDED JUNE 1, 2010 AS INSTRUMENT NO. 20100737084 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF LONG BEACH, A MUNICIPAL CORPORATION. AFFECTS: PARCEL 2
- AN EASEMENT FOR WATER LINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED SEPTEMBER 26, 1961 AS INSTRUMENT NO. 832 OF OFFICIAL RECORDS. AFFECTS: PARCEL 3
- AN EASEMENT SHOWN OR DEDICATED ON THE MAP AS REFERRED TO IN THE LEGAL DESCRIPTION FOR: INGRESS AND EGRESS AND INCIDENTAL PURPOSES. AFFECTS: PARCEL 3
- AN EASEMENT FOR WATER LINES AND INCIDENTAL PURPOSES, RECORDED IN BOOK D1366, PAGE 358 OF OFFICIAL RECORDS. IN FAVOR OF: VERNON B. PIERSON AND ARDIS E. PIERSON, HUSBAND AND WIFE. AFFECTS: PARCEL 5
- AN EASEMENT FOR SIDEWALK PURPOSES, INCLUDING ALL RELATED RIGHT-OF-WAY AND INCIDENTAL PURPOSES, RECORDED MARCH 9, 2009 AS INSTRUMENT NO. 20090328656 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF LONG BEACH, A MUNICIPAL CORPORATION AFFECTS: PARCEL 3.
- THE EFFECT OF AN EASEMENT OVER THE SOUTHERLY 15 FEET OF LOT 3 TO BE USED AS COMMUNITY DRIVEWAY, IN CONJUNCTION WITH THE SOUTHERLY 15 FEET OF LOTS 4 AND 5 OF SAID TRACT, AS CREATED IN THE DEED FROM PAUL F. CHENOT AND WIFE, TO LEROY A. MORTON AND WIFE, CONVEYING LOT 4 SAID TRACT, RECORDED IN BOOK 6741 PAGE 93 OF OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED IN BOOK 30657, PAGE 182 OF OFFICIAL RECORDS. AFFECTS: PARCEL 4.
- AN EASEMENT FOR SIDEWALK PURPOSES, INCLUDING ALL RELATED RIGHT-OF-WAY AND INCIDENTAL PURPOSES, RECORDED JUNE 1, 2010 AS INSTRUMENT NO. 20100737081 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF LONG BEACH, A MUNICIPAL CORPORATION AFFECTS: LOTS 1 AND 2 OF PARCEL 4.
- AN EASEMENT FOR SIDEWALK PURPOSES, INCLUDING ALL RELATED RIGHT-OF-WAY AND INCIDENTAL PURPOSES, RECORDED JUNE 1, 2010 AS INSTRUMENT NO. 20100737082 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF LONG BEACH, A MUNICIPAL CORPORATION AFFECTS: LOT 1 OF PARCEL 4. AFFECTS: PARCELS 6 AND 7.

ABBREVIATIONS

BDY	BOUNDARY	LP	LOW POINT
BLDG	BUILDING	LT	LIGHT
BIO-FILT	BIO-FILTRATION	MH	MANHOLE
BW	BACK OF WALK	N.A.P.	NOT A PART
CB	CATCH BASIN	PA	PLANTER AREA
CLF	CHAIN LINK FENCE	PCC	PORTLAND CEMENT CONCRETE
CO	CLEANOUT	P/V	POST INDICATOR VALVE
CONC	CONCRETE	P/L	PROPERTY LINE
COCA	COULBET DETECTOR CHECK ASSEMBLY	PR	PROPOSED
DRWY	DRIVEWAY	PR	PROPOSED
E	ELECTRICAL OR EAST	RH	RETAINED HEIGHT
ELEC	ELECTRICAL	R/W	RIGHT-OF-WAY
ESMT	EASEMENT	SD	STORM DRAIN
EX	EXISTING	SL	STREET LIGHT
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FF	FINISHED FLOOR	TC	TOP OF CURB
FH	FIRE HYDRANT	TC	TOP OF GRATE
FS	FINISHED SURFACE	TG	TOP OF WALL
FW	FIRE WATER	TYP	TYPICAL
GFF	GARAGE FINISHED FLOOR	VCP	VITRIFIED CLAY PIPE
INV	INVERT	W	WATER OR WEST
JS	JUNCTION STRUCTURE	WM	WATER METER
LACFCD	LA COUNTY FLOOD CONTROL DISTRICT	WQ	WATER QUALITY



LEGEND

- EXISTING RIGHT OF WAY
- - - PROPERTY LINE/PROPOSED RIGHT OF WAY
- - - CENTERLINE


REVISIONS		
REV	DATE	DESCRIPTION

PREPARED FOR:



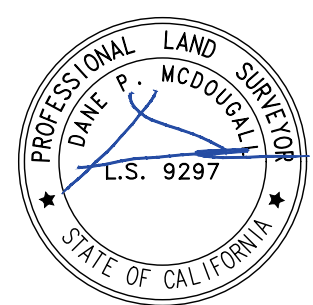
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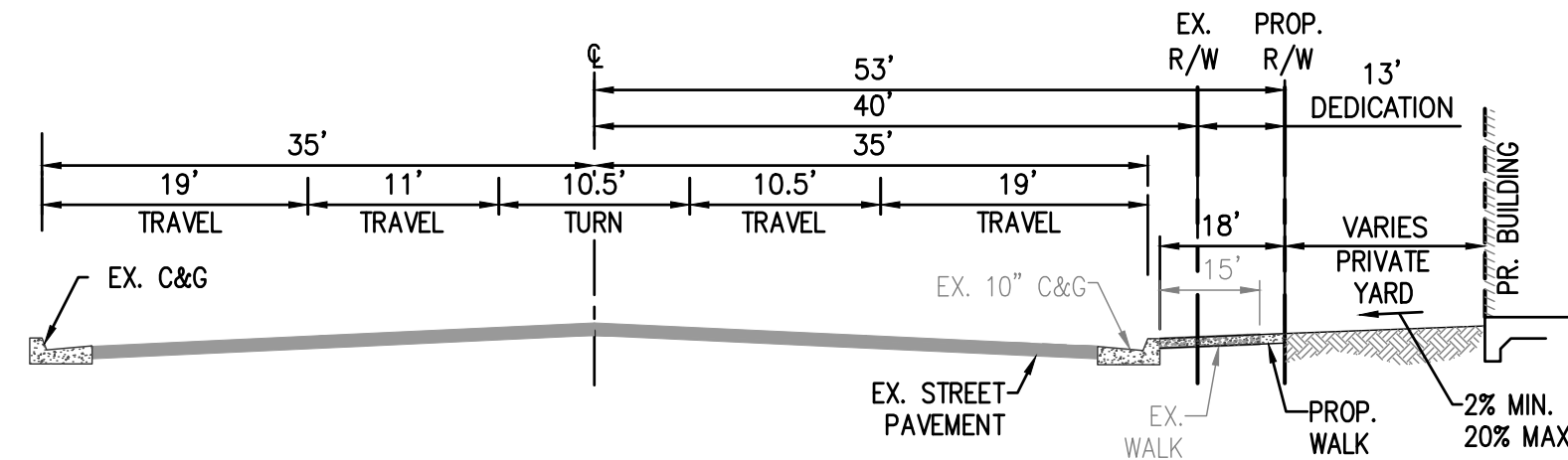
CITY OF LONG BEACH
DEPARTMENT OF DEVELOPMENT SERVICES / PLANNING DIVISION

VESTING TENTATIVE TRACT MAP NO. 77096
5100 LONG BEACH BOULEVARD
REQUIRED STREET DEDICATIONS

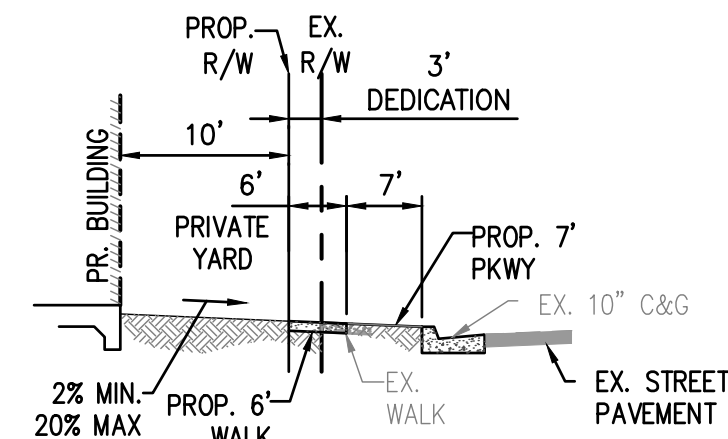
SHEET

2
OF
5

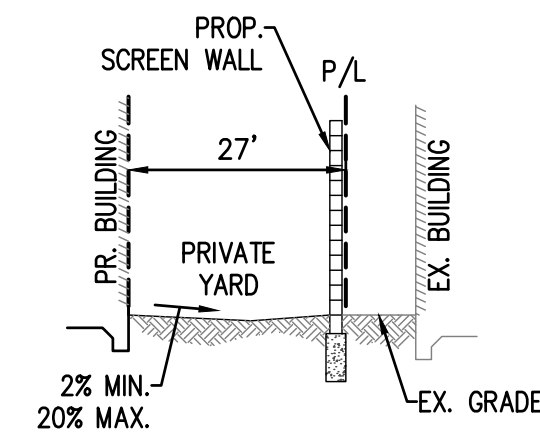
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DATE: 05/21/2020



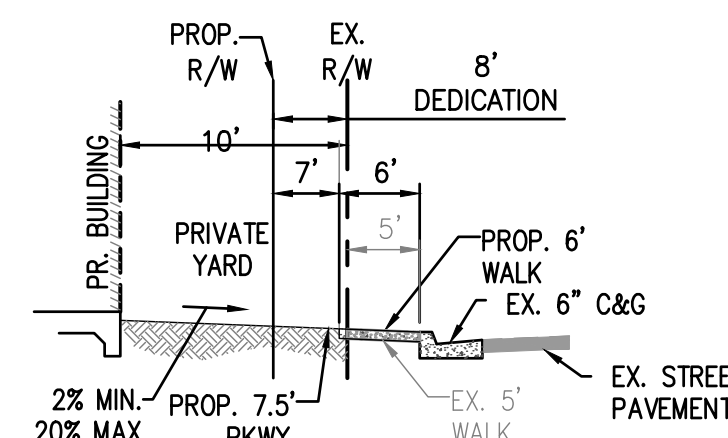
**SECTION A-A
LONG BEACH BOULEVARD**
NOT TO SCALE



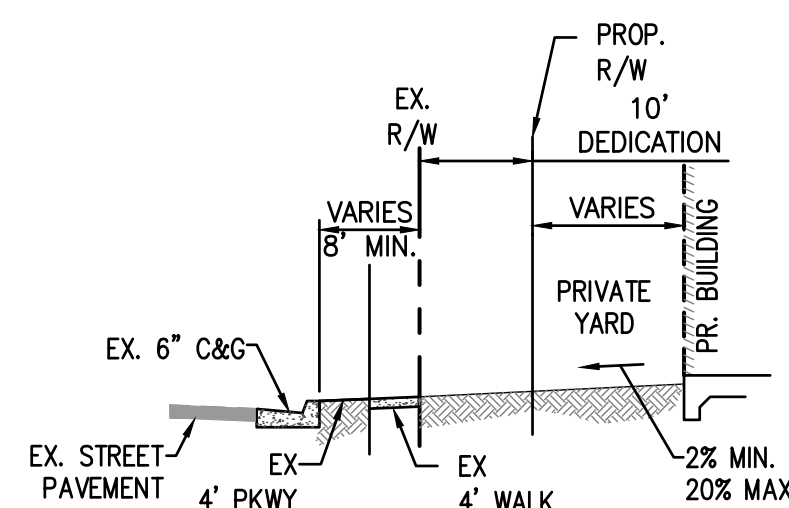
**SECTION B-B
EAST SUNSET STREET**
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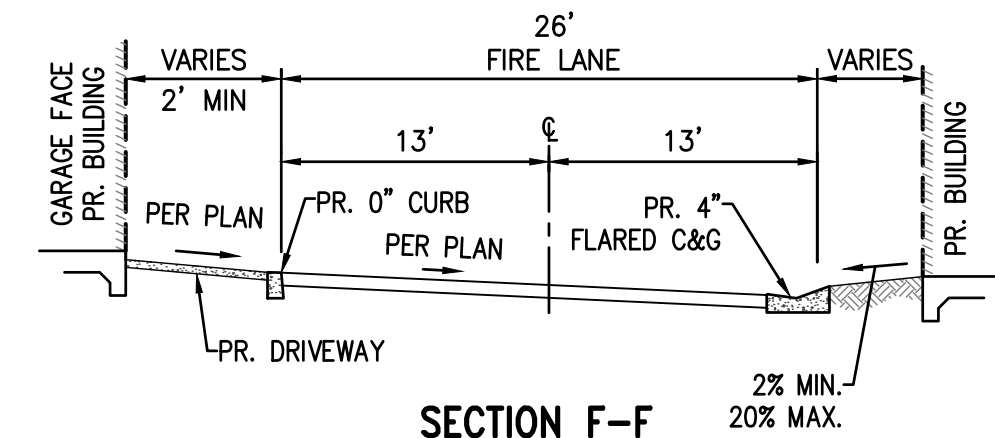
**SECTION C-C
NORTH-EASTERLY PROPERTY LINE**
NOT TO SCALE



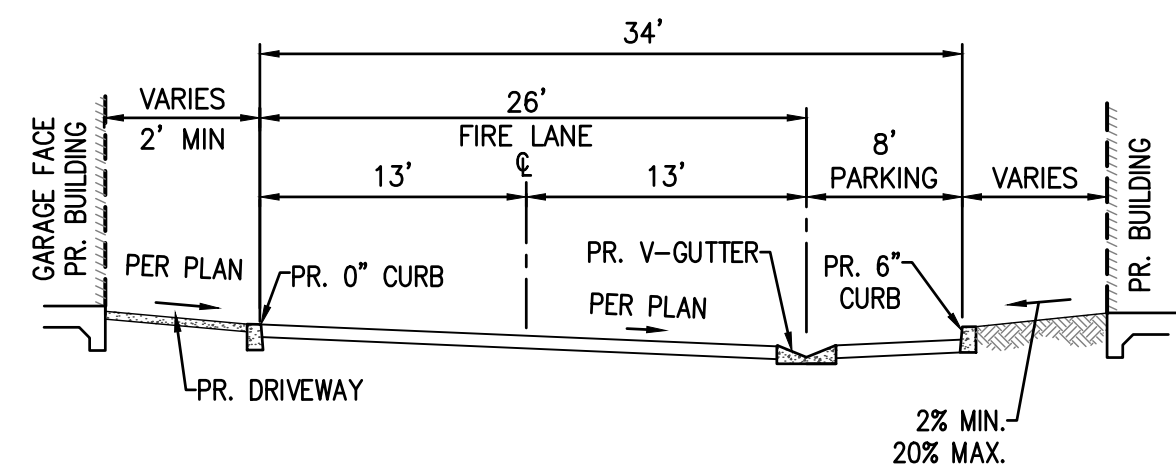
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CEDAR AVENUE**
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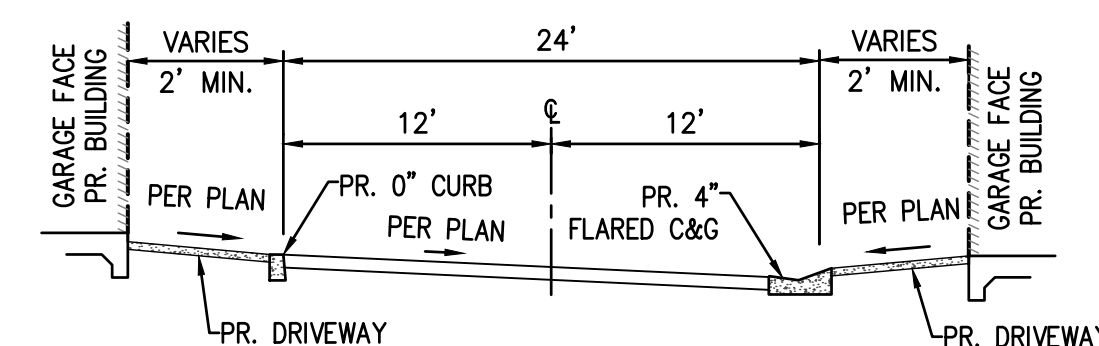
**SECTION E-E
EAST HOME STREET**
NOT TO SCALE



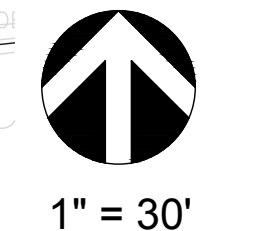
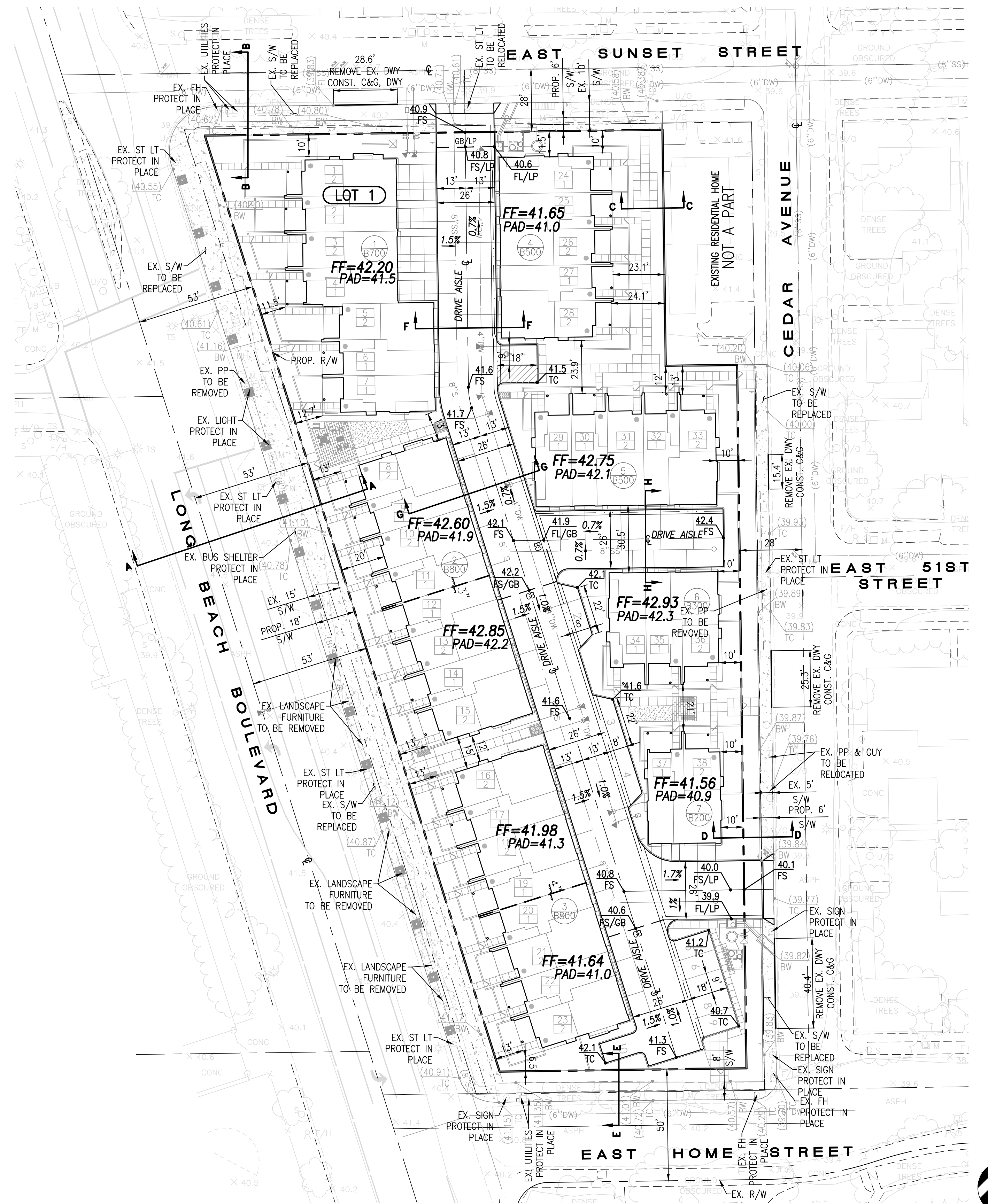
**SECTION F-F
26' INTERIOR STREET**
NOT TO SCALE



**SECTION G-G
26' INTERIOR STREET**
NOT TO SCALE



**SECTION H-H
24' INTERIOR STREET**
NOT TO SCALE



REVISIONS		
REV	DATE	DESCRIPTION

PREPARED FOR:

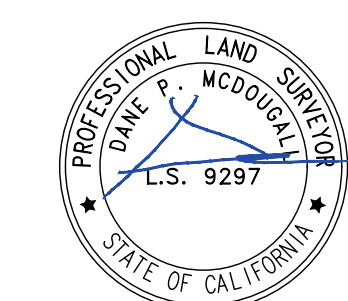


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(949) 258-7555

PREPARED BY:



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LAND PLANNING & SURVEYING
CVC-INC.NET



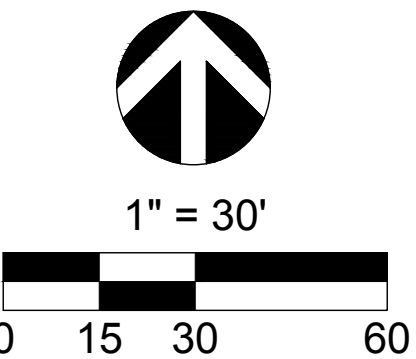
CITY OF LONG BEACH
DEPARTMENT OF DEVELOPMENT SERVICES / PLANNING DIVISION

VESTING TENTATIVE TRACT MAP NO. 77096
5100 LONG BEACH BOULEVARD
PRELIMINARY GRADING PLAN

SHEET

3
OF
5

PLAN SET: PS08
DATE: 05/21/2020
6:00 PM
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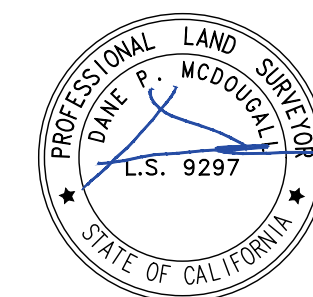


AC	ASBESTOS-CEMENT PIPE
CO	CLEANOUT
DCDA	DOUBLE-CHECK DETECTOR ASSEMBLY
DW	DOMESTIC WATER
FH	FIRE HYDRANT
FL	FLOW LINE
FW	FIRE WATER
INV	INVERT
MH	MANHOLE
PKWY	PARKWAY
POC	POINT OF CONNECTION
PVC	POLYVINYL CHLORIDE
PVT	PRIVATE
P	PROPERTY LINE
PROP	PROPOSED
R/W	RIGHT-OF-WAY
SD	STORM DRAIN
SS	SANITARY SEWER
ST	STREET
TC	TOP OF CURB
VCP	VITRIFIED CLAY PIPE

[illegible]

City Ventures
REAL ESTATE INVESTMENT

C&V
CONSULTING, INC.
CIVIL ENGINEERING
LAND PLANNING & SURVEYING



VESTING TENTATIVE TRACT MAP NO. 77096
5100 LONG BEACH BOULEVARD
PRELIMINARY UTILITY PLAN

15

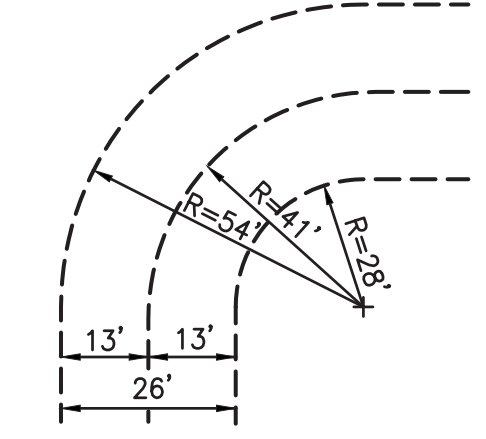
PROJECT GENERAL NOTES:

1. ALL FIRE ACCESS LANES MEET LACOFD MINIMUM REQUIREMENTS 28' & 54' RADII.
2. THIS PROJECT DOES NOT HAVE ANY FUEL MODIFICATION OR WILD LAND EXPOSURES AND IS NOT IN A VERY HIGH FIRE HAZARD ZONE.
3. THIS PROJECT IS DESIGNED IN CONFORMANCE WITH THE CBC, 2016 EDITION.
4. ALL FIRE ACCESS ROADS SHALL BE ALL WEATHER, MEET THE CRITERIA OF AN ALL WEATHER DRIVING SURFACE AND COMPLY WITH LACOFD GUIDELINE FOR FIRE APPARATUS ROADS.
5. LARGEST BUILDING SQ. FOOTAGE = 6,049 SQ. FT.
6. BUILDINGS ARE DESIGNATED TYPE V-B.
7. ALL BUILDING OCCUPANCIES ARE R-3.
8. THE BUILDING HEIGHTS ARE APPROXIMATELY 38 FEET MAX.
9. ALL BUILDINGS ON THE SITE WILL BE SPRINKLERED PER NFPA-13D.
10. BUILDING ADDRESS NUMBER SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL BE A MINIMUM 3 INCHES HIGH, 1 INCH WIDE WITH A 3/8 INCH STROKE. FOR BUILDINGS SET BACK MORE THAN 150 FEET FROM THE STREET, THE NUMBERS SHALL BE A MINIMUM 5 INCHES HIGH, 2 INCHES WIDE WITH A 1/2 INCH STROKE. FIRE CODE 908.4.4.
11. A KEY BOX SHALL BE PROVIDED AT THE MAIN ENTRANCE, IN ACCORDANCE WITH FIRE CODE 902.4, AND AS SET FORTH IN FIRE DEPARTMENT REGULATION 5.
12. THE REQUIRED FIRE FLOW FOR PUBLIC FIRE HYDRANTS AT THIS LOCATION IS _____ GALLONS PER MINUTE, AT 20 PSI RESIDUAL PRESSURE, FOR A DURATION OF 2 HOURS OVER AND ABOVE MAXIMUM DAILY DOMESTIC DEMAND. FIRE CODE 903.2 AND FIRE DEPARTMENT REGULATION 8.
13. THE REQUIRED FIRE FLOW FOR ON-SITE FIRE HYDRANTS AT THIS LOCATION IS _____ GPM AT 20 PSI RESIDUAL PRESSURE. WHEN TWO OR MORE ON-SITE HYDRANTS ARE REQUIRED, THE FIRE FLOW SHALL BE _____ GPM, WITH EACH ON-SITE FIRE HYDRANT BEING CAPABLE OF FLOWING _____ GPM AT 20 PSI RESIDUAL PRESSURE. FIRE CODE 903.2 AND FIRE DEPARTMENT REGULATION 8.
14. ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/12", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL; AND SHALL BE INSTALLED IN COMPLIANCE WITH FIRE DEPARTMENT REGULATION 8. FIRE CODE 903.2.1
15. ALL ON-SITE FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND APPROVED PRIOR TO BUILDING OCCUPANCY. FIRE CODE 1001.4
16. THE INSPECTION, HYDROSTATIC TEST AND FLUSHING OF THE UNDERGROUND FIRE PROTECTION PIPING SHALL BE WITNESSED BY AN AUTHORIZED FIRE DEPARTMENT REPRESENTATIVE AND NO UNDERGROUND PIPING OR THRUST BLOCKS SHALL BE COVERED WITH EARTH OR HIDDEN FROM VIEW UNTIL THE FIRE DEPARTMENT REPRESENTATIVE HAS BEEN NOTIFIED AND GIVEN NOT LESS THAN 48 HOURS IN WHICH TO INSPECT SUCH INSTALLATIONS. FIRE CODE 1001.4

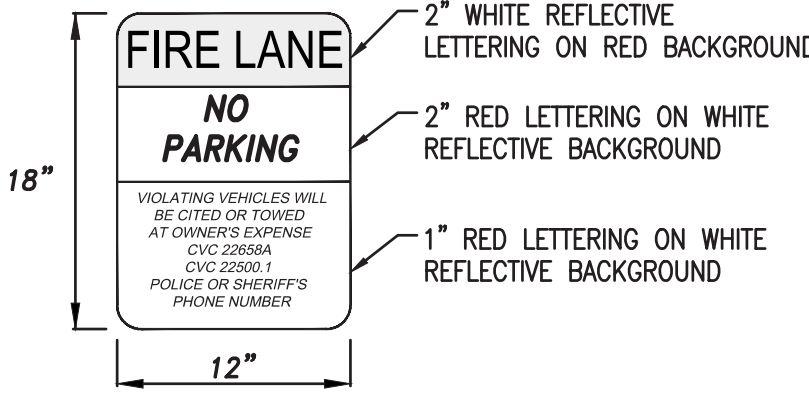
CONSTRUCTION NOTES:

1. INSTALL "FIRE LANE" SIGN PER DETAIL 1 HEREON.
2. FIRE LANE IDENTIFICATION-RED CURBS PER DETAIL 2 HEREON.
3. INSTALL "FIRE LANE" SIGN BEGIN OR END PER DETAIL 3 HEREON.
4. PROPOSED PRIVATE FIRE HYDRANT LOCATION.

- LEGEND**
- EXISTING STREET LIGHT
 - PROPOSED FIRE HYDRANT
 - PROPOSED FIRE TRUCK ACCESS
 - HOSE PULL
 - PROPERTY LINE
 - RED CURB STRIPING
 - FH FIRE HYDRANT
 - PR. PROPOSED
 - EX. EXISTING
 - R/W PROPERTY LINE
 - TYP. TYPICAL
 - BUILDING NUMBER



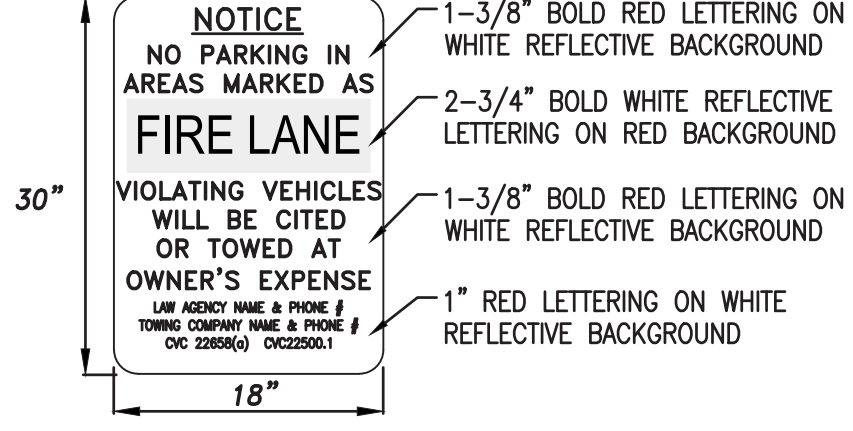
FIRE LANE TURNING RADIUS
TYPICAL DETAIL
NOT TO SCALE



ALL SIGN AND LETTERING DIMENSIONS ARE MINIMUMS.

SIGNS SHALL BE SECURELY MOUNTED FACING THE DIRECTION OF TRAVEL AND CLEARLY VISIBLE TO ONCOMING TRAFFIC ENTERING THE DESIGNATED AREA. SIGNS SHALL BE MADE OF DURABLE MATERIAL.

1 NO PARKING SIGN
NOT TO SCALE



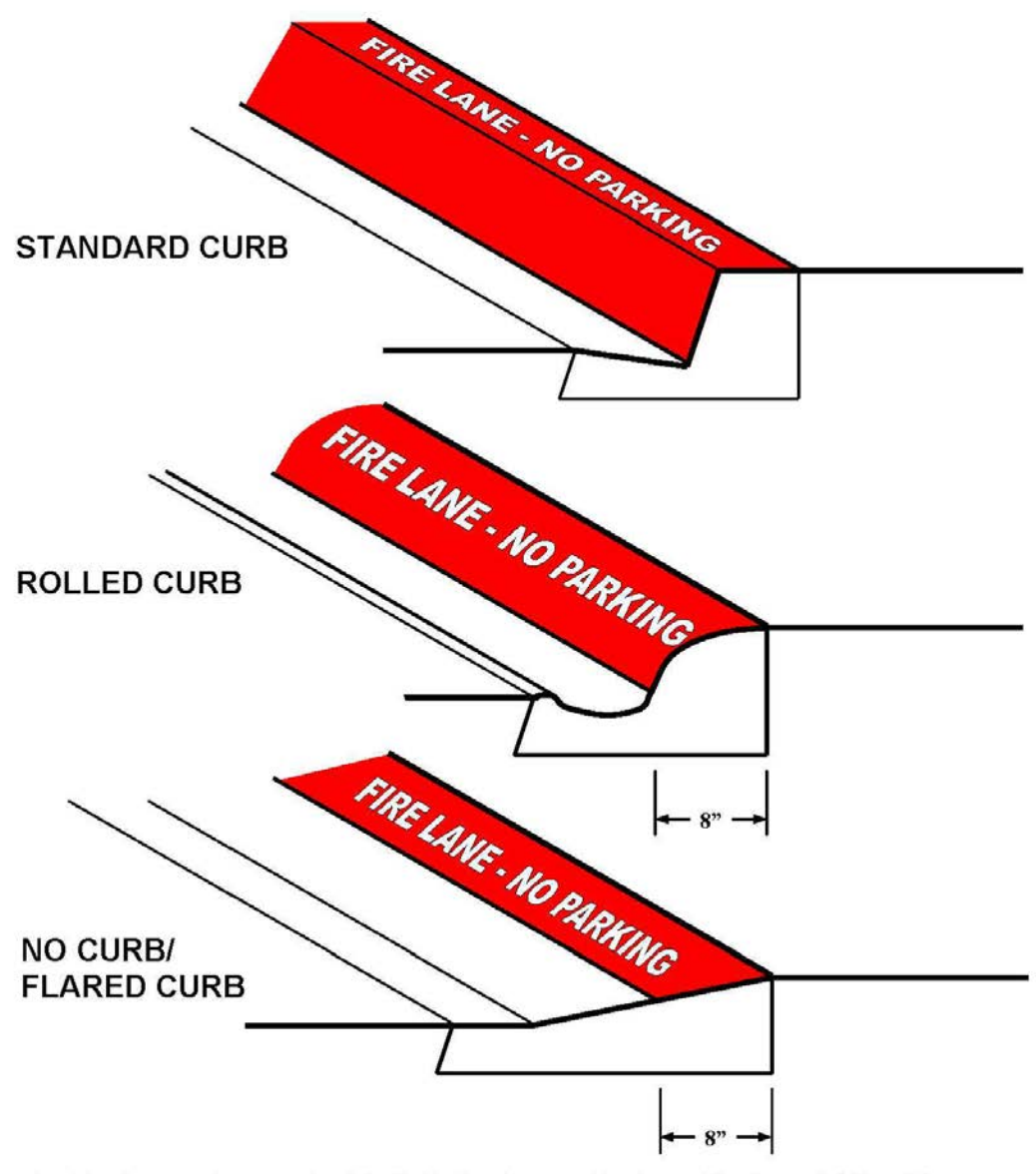
ALL SIGN AND LETTERING DIMENSIONS ARE MINIMUMS.

SIGNS SHALL BE SECURELY MOUNTED FACING THE DIRECTION OF TRAVEL AND CLEARLY VISIBLE TO ONCOMING TRAFFIC ENTERING THE DESIGNATED AREA. SIGNS SHALL BE MADE OF DURABLE MATERIAL AND INSTALLED PER ATTACHMENTS 13 AND 14.

3 FIRE LANE ENTRANCE SIGN

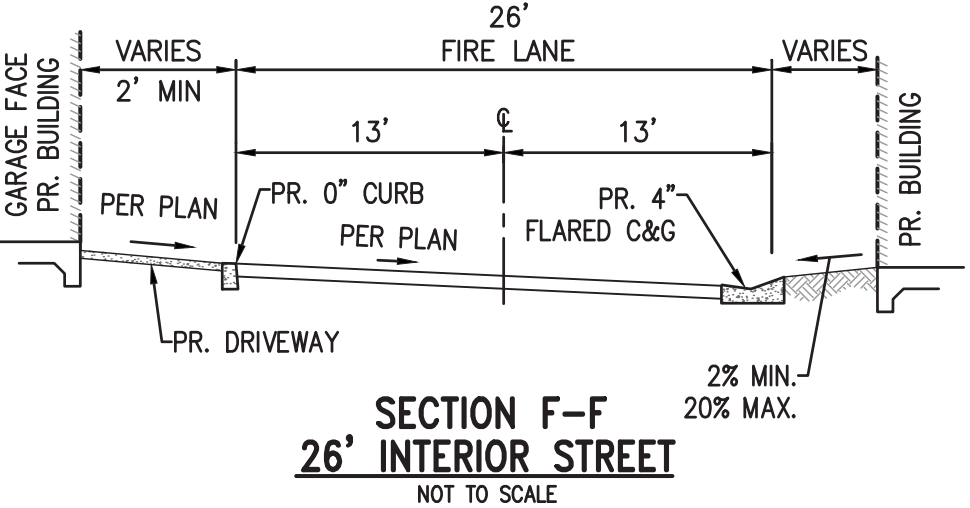
ATTACHMENT 9

Fire Lane Identification - Red Curbs

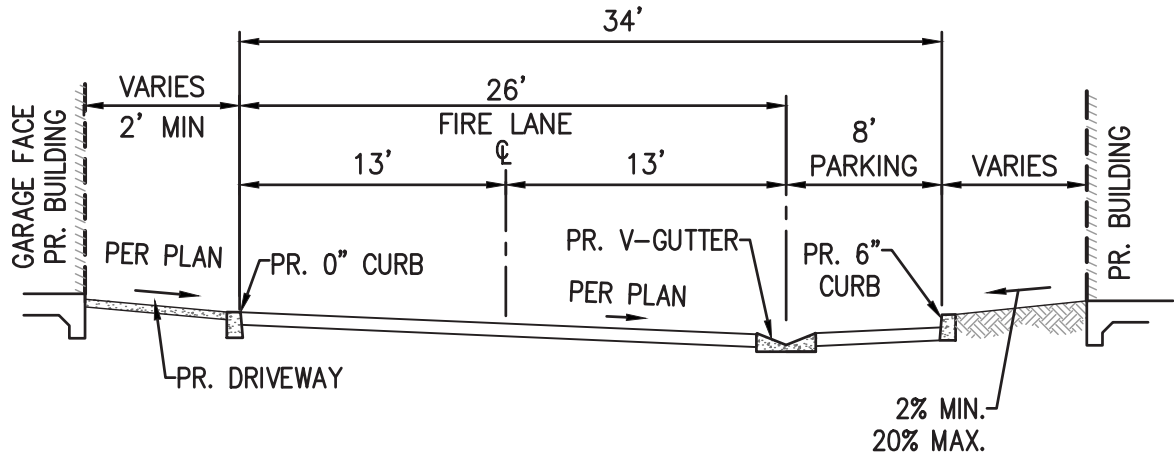


1. Fire lane entrance sign(s) shall also be provided per Attachment 10 or 11.
 2. Curbs shall be painted OSHA safety red.
 3. "FIRE LANE - NO PARKING" shall be painted on top of curb in 3" white lettering at a spacing of 30' on center or portion thereof.
1. CURBS SHALL BE PAINTED RED.
 2. "FIRE LANE - NO PARKING" SHALL BE PAINTED ON TOP OF CURB IN 3" WHITE LETTERING AT A SPACING OF 30' ON CENTER OR PORTION THEREOF.

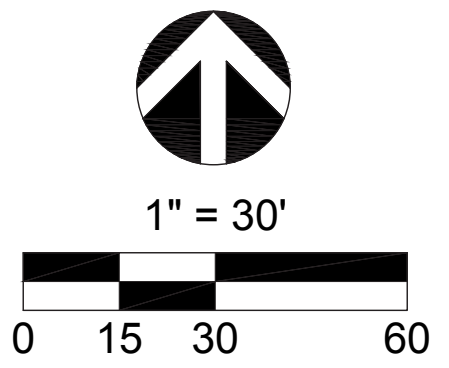
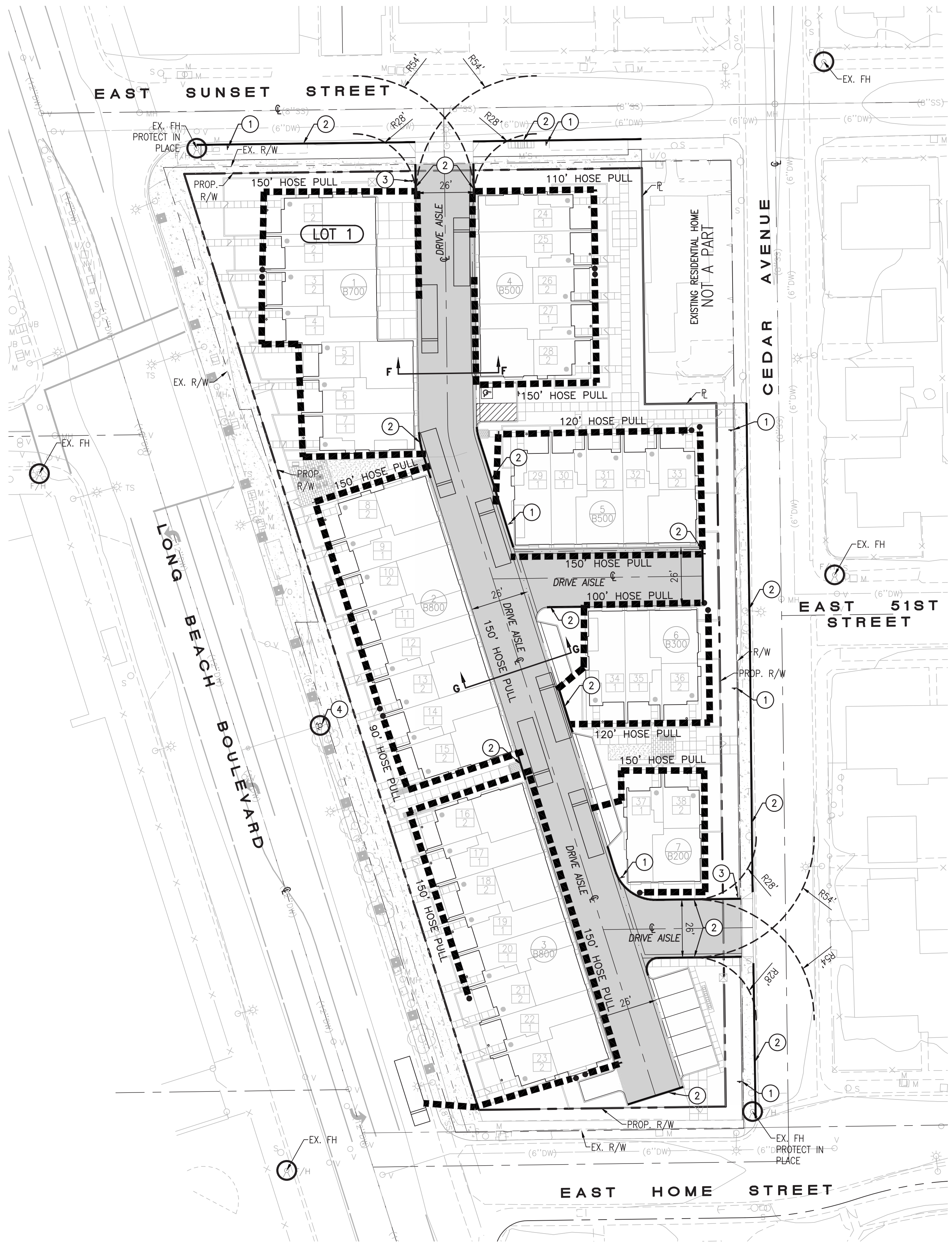
2 RED CURB PAVEMENT MARKING
NOT TO SCALE



SECTION F-F
26' INTERIOR STREET
NOT TO SCALE



SECTION G-G
26' INTERIOR STREET
NOT TO SCALE



REVISIONS		
REV	DATE	DESCRIPTION

PREPARED FOR:

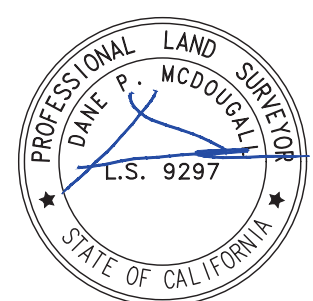
City Ventures
REAL ESTATE INVESTMENT

CITY VENTURES
3121 MICHELSON DRIVE, SUITE 150
IRVINE, CA 92660
(949) 258-7555

PREPARED BY:

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CVC-INC.NET



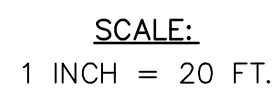
CITY OF LONG BEACH
DEPARTMENT OF DEVELOPMENT SERVICES / PLANNING DIVISION

VESTING TENTATIVE TRACT MAP NO. 77096
5100 LONG BEACH BOULEVARD
FIRE ACCESS & HYDRANT LOCATION PLAN

SHEET

5 OF 5




















PLAN SET: PS08
DATE: 05/21/2020

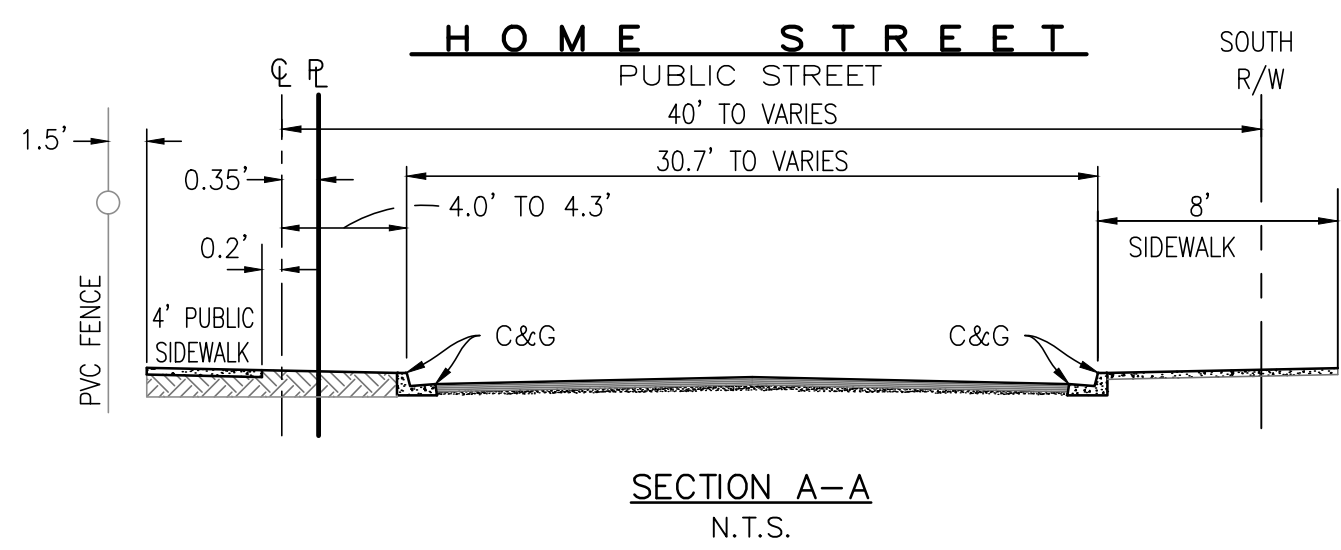



LEGEND

AP	ANGLE POINT	PIV	POST INDICATOR VALVE
ASPH	ASPHALT PAVING	PKL	PARKING LOT LIGHT
BC	BACKFLOW PREVENTOR	R	PROPERTY LINE
BC	BUILDING CORNER	PLT	PLANTER
BLDG.	BEGIN	PM	PARKING METER
BLDG.	BUILDING	PP	POWER POLE
BLDG.	BLOCK WALL	SC	SEWER CLEANOUT
CABLE	CABLE T.V. BOX	SDMH	STORM DRAIN MANHOLE
CB	CATCH BASIN	SL	STREET LIGHT
C	CURB FACE	SLPB	STREET LIGHT PULL BOX
CL	CENTERLINE	SMH	SEWER MANHOLE
CLF	CHAIN LINK FENCE	SWLK	SIDEWALK
CNC	CONCRETE	RW	RETAINING WALL
CON	DROP INLET	R/W	RIGHT-OF-WAY
DRWY	DRIVEWAY	TFB	TELEPHONE PULL BOX
EMW	ELECTRICAL MANHOLE	TFP	ELECT. TRANSFORMER PAD
EPB	ELECTRICAL PULL BOX	TM	TELEPHONE MANHOLE
LEV	ELEVATION	TS	TRAFFIC
EP	EDGE OF PAVEMENT	TSCB	TRAFFIC SIGNAL CONTROL BOX
FC	FIRE CONNECTION	T/E	TRASH ENCLOSURE
FR	FIRE HYDRANT	UB	UTILITY BOX
FR	FIRE RISER	WD	WOOD
EVLT	ELECTRICAL VAULT	WM	WROUGHT IRON FENCE
GA	GUY ANCHOR	WF	WATER METER
GM	GAS METER	WV	WATER VALVE
GP	GUARD POST	WVLT	WATER VAULT
QUT	GUTTER	N	NORTH
HP	HIGH POINT	S	SOUTH
ICB	IRRIGATION CONTROL BOX	E	EAST
ICV	IRRIGATION CONTROL VALVE	W	WEST
M	MAILBOX		
MH	MANHOLE	VG	V-GUTTER
O-H	BLDG OVERHANG		

SYMBOLS

CONC	CONCRETE	— x — x — x —	FENCE
ASPH	ASPHALT	=====	BLOCK WALL
	TREE	— ^ — ^ —	RETAINING WALL
	BUSH		TREE LINE
	PALM TREE		BRUSH LINE
○ M/B	MAIL BOX	— OH — E —	OVERHEAD ELECTRIC LINE
	LIGHT STANDARD		
	TRAFFIC SIGNAL	⊗	WATER VALVE
	STREET LIGHT	□ CB	CATCH BASIN
	SIGN (10')	□ DI	DROP INLET
	SIGN (3')	○ LP	LIGHT POLE
	STORM DRAIN MANHOLE	⊗	SEWER MANHOLE
	SIGN	⊗	GAS VALVE
	FIRE HYDRANT	○ V	VALVE
	POWER POLE	○ MH	MANHOLE
	TRANSFORMER BOX		HANDICAP
	GUYWIRE/ANCHOR	UB	UTILITY BOX
	METER	○ SP	STAND PIPE
	POST (NO LABEL)		



DRAFTED	CHECKED	DATE	PREPARED BY:
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ALTA / NSPS LAND TITLE SURVEY

5100 LONG BEACH BLVD.
LONG BEACH, CALIFORNIA

PROJECT NO.	
CVEN-105	
SHEET	2
OF	2