



NEW HOME RATING SYSTEM, VERSION 6.0

MULTIFAMILY

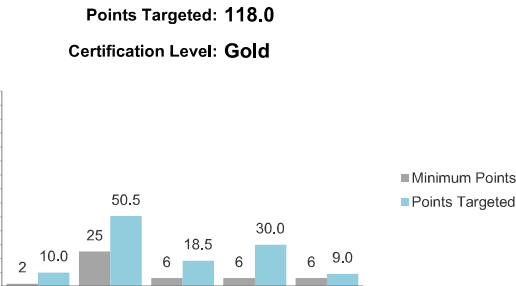
Exhibit E

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California. The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (3) Energy (22), Indoor Air Quality/Health (6), Resources (6), and Water (8); and meet the prerequisites CALGreen Mandatory, E5.2 , H6.1, J5.1, O1, O7.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit [www.builditgreen.org/greenpointrated](http://www.builditgreen.org/greenpointrated)  
**Build It Green is not a code enforcement agency.**  
**A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.**

New Home Multifamily v. 6.0.2

4800 & 5100 Long Beach Blvd. 03.11.2020			Points Targeted	Community	Energy	IAQ/Health	Resources	Water	Notes
Measures									
CALGreen				Possible Points					
Yes	CALGreen Res (REQUIRED)		4		1	1	1	1	
A. SITE									
No	A1. Construction Footprint		0				1		
A2. Job Site Construction Waste Diversion									
No	A2.1 65% C&D Waste Diversion (Including Alternative Daily Cover)		0				2		
Yes	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)		2				2		
Yes	A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility		1				1		
No	A3. Recycled Content Base Material		0				1		
TBD	A4. Heat Island Effect Reduction (Non-Roof)								50% of the hardscape SRI of 29%. Uncolored concrete is assumed to have solar reflectance of 0.3
No	A5. Construction Environmental Quality Management Plan Including Flush-Out		0		1				
A6. Stormwater Control: Prescriptive Path									
No	A6.1 Permeable Paving Material		0					1	
Yes	A6.2 Filtration and/or Bio-Retention Features		0					1	Onsite stormwater will be directed to the offsite developmenmt bio-retention area.
Yes	A6.3 Non-Leaching Roofing Materials		0					1	TPO - Roofing material (non-leaching)
No	A6.4 Smart Stormwater Street Design		0	1					
Yes	A7. Stormwater Control: Performance Path		0					3	Provide plans that indicate stormwater being directed to bioswale. Provide calculaitons showing that 85% of the total annual stormwater is being captured and treeted.
B. FOUNDATION									
No	B1. Fly Ash and/or Slag in Concrete		0				1		
No	B2. Radon-Resistant Construction		0			2			
No	B3. Foundation Drainage System		0				2		
No	B4. Moisture Controlled Crawlspace		0			1			
B5. Structural Pest Controls									
No	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections		0				1		
No	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation		0				1		requires all plants, shrubs, tress, turff and ground covers to be a minimum distance 36 in. from the exterior wall to the center of the plant.
C. LANDSCAPE									
0.03%	Enter the landscape area percentage								
Yes	C1. Plants Grouped by Water Needs (Hydrozoning)		1					1	Group plants and turf in low, medium and high water use.
Yes	C2. Three Inches of Mulch in Planting Beds		1					1	Add note for 3 inch. Of mulch for planting beds.
C3. Resource Efficient Landscapes									
Yes	C3.1 No Invasive Species Listed by CalHPC		1				1		Use CalHPC when making plant selections. We will review based of the current list.
Yes	C3.2 Plants Chosen and Located to Grow to Natural Size		0				1		
Yes	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species		0					3	Provide 75% drought tolerant plants based on quantity of plants installed.
C4. Minimal Turf in Landscape									
Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide		0					2	
TBD	C4.2 Turf on a Small Percentage of Landscaped Area							2	Less than 10% or 25% of Landscape Area?
No	C5. Trees to Moderate Building Temperature		0	1	1			1	
Yes	C6. High-Efficiency Irrigation System		0					2	Will there be pop up sprinklers?
Yes	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil		0					2	
No	C8. Rainwater Harvesting System		0					3	
No	C9. Recycled Wastewater Irrigation System		0					1	Pruple pipe for landscape irrigation
Yes	C10. Submeter or Dedicated Meter for Landscape Irrigation		0					2	
≤0.5 ETo	C11. Landscape Meets Water Budget		0					2	
C12. Environmentally Preferable Materials for Site									
No	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing		0				1		
No	C12.2 Play Structures and Surfaces Have an Average Recycled Content ≥20%		0				1		
No	C13. Reduced Light Pollution		0	1					
No	C14. Large Stature Tree(s)		0	1					
No	C15. Third Party Landscape Program Certification		0					1	
No	C16. Maintenance Contract with Certified Professional		0					1	
No	C17. Community Garden		0	2					
D. STRUCTURAL FRAME AND BUILDING ENVELOPE									
D1. Optimal Value Engineering									
No	D1.1 Joists, Rafters, and Studs at 24 Inches on Center		0		1		2		
Yes	D1.2 Non-Load Bearing Door and Window Headers Sized for Load		1				1		
No	D1.3 Advanced Framing Measures		0				2		
No	D2. Construction Material Efficiencies		0				1		
D3. Engineered Lumber									
No	D3.1 Engineered Beams and Headers		0				1		
Yes	D3.2 Wood I-Joists or Web Trusses for Floors		1				1		
Yes	D3.3 Enginered Lumber for Roof Rafters		1				1		
No	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications		0				1		
Yes	D3.5 OSB for Subfloor		0.5				0.5		
Yes	D3.6 OSB for Wall and Roof Sheathing		0.5				0.5		
No	D4. Insulated Headers		0		1				
D5. FSC-Certified Wood									
No	D5.1 Dimensional Lumber, Studs, and Timber		0				6		
No	D5.2 Panel Products		0				3		
D6. Solid Wall Systems									
No	D6.1 At Least 90% of Floors		0				1		
No	D6.2 At Least 90% of Exterior Walls		0		1		1		
No	D6.3 At Least 90% of Roofs		0		1		1		
No	D7. Energy Heels on Roof Trusses		0		1				
No	D8. Overhangs and Gutters		0		1		1		
D9. Reduced Pollution Entering the Home from the Garage									
No	D9.1 Detached Garage		0			2			
TBD	D9.2 Mitigation Strategies for Attached Garage					1			
D10. Structural Pest and Rot Controls									
No	D10.1 All Wood Located At Least 12 Inches Above the Soil		0				1		
Yes	D10.2 Wood Framing Treating With Borates or Factory-Impregnated, or Wall Materials Other Than Wood		1				1		
No	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)		0			1	1		
E. EXTERIOR									
No	E1. Environmentally Preferable Decking		0				1		
Yes	E2. Flashing Installation Third-Party Verified		2				2		
No	E3. Rain Screen Wall System		0				2		
Yes	E4. Durable and Non-Combustible Cladding Materials		1				1		Traditional 3 coat stucco system qualifies.
E5. Durable Roofing Materials									
Yes	E5.1 Durable and Fire Resistant Roofing Materials or Assembly		1				1		Flat roof, 10 year material warranty and a 3-year workmanship warranty.
Yes	E5.2 Roofing Warranty for Shingle Roofing		Y	R	R	R	R	R	
No	E6. Vegetated Roof		0	2	2				
F. INSULATION									
F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content									
TBD	F1.1 Walls and Floors						1		Knauf EcoBatt Glasswool Insulation qualifies.
TBD	F1.2 Ceilings						1		Knauf EcoBatt Glasswool Insulation qualifies.
F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions									
TBD	F2.1 Walls and Floors					1			Knauf EcoBatt Glasswool Insulation qualifies.
TBD	F2.2 Ceilings					1			Knauf EcoBatt Glasswool Insulation qualifies.
F3. Insulation That Does Not Contain Fire Retardants									



4800 & 5100 Long Beach Blvd.		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
No	F3.1 Cavity Walls and Floors	0			1			
No	F3.2 Ceilings	0			1			
No	F3.3 Interior and Exterior Insulation	0			1			
G. PLUMBING								
G1. Efficient Distribution of Domestic Hot Water								
Yes	G1.1 Insulated Hot Water Pipes	1		1				1 in. foam on entire run of pipe lest than 2 in. in diameter.
TBD	G1.2 WaterSense Volume Limit for Hot Water Distribution						1	1.5in foam on pipe greater than 2 in.
TBD	G1.3 Increased Efficiency in Hot Water Distribution						2	
G2. Install Water-Efficient Fixtures								
Yes	G2.1 WaterSense Showerheads with Matching Compensation Valve	2					2	
Yes	G2.2 WaterSense Bathroom Faucets	1					1	
Yes	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams	1					1	
No	G2.4 Urinals with Flush Rate of ≤ 0.1 Gallons/Flush	0					1	check if we can get the credit.
No	G3. Pre-Plumbing for Graywater System	0					1	
No	G4. Operational Graywater System	0					3	
No	G5. Submeter Water for Tenants	0					2	
H. HEATING, VENTILATION, AND AIR CONDITIONING								
H1. Sealed Combustion Units								
No	H1.1 Sealed Combustion Furnace	0			1			Electric heat pumps
No	H1.2 Sealed Combustion Water Heater	0			2			Open air facility on roof
No	H2. High Performing Zoned Hydronic Radiant Heating System	0		1	1			N/A
H3. Effective Ductwork								
Yes	H3.1 Duct Mastic on Duct Joints and Seams	1		1				Section 150.0(m)1 of 2013 BEES
No	H3.2 Pressure Balance the Ductwork System	0		1				
TBD	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified				1			
H5. Advanced Practices for Cooling								
No	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms	0		1				1079LED-ES Contempo Ceiling Fan/Light Kit
No	H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room in 80% of Units	0		1				N/A
H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality								
Yes	H6.1 Meet ASHRAE Standard 62.2-2012 Ventilation Residential Standards	Y	R	R	R	R	R	
Yes	H6.2 Advanced Ventilation Standards	1			1			Continuous operation, HVI Rated fan 1cfm/watt @ 0.25 static pressure.
TBD	H6.3 Outdoor Air Ducted to Bedroom and Living Areas				2			
H7. Effective Range Design and Installation								
TBD	H7.1 Effective Range Hood Ducting and Design				1			
No	H7.2 Automatic Range Hood Control	0			1			
I. RENEWABLE ENERGY								
Yes	I1. Pre-Plumbing for Solar Water Heating	0		1				
Yes	I2. Preparation for Future Photovoltaic Installation	0		1				
100.00%	I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)	0		25				
I4. Net Zero Energy Home								
TBD	I4.1 Near Zero Energy Home			2				
TBD	I4.2 Net Zero Electric			4				
No	I5. Solar Hot Water Systems to Preheat Domestic Hot Water	0		4				
≥60% of common area	I6. Photovoltaic System for Multifamily Projects	0		12				
J. BUILDING PERFORMANCE AND TESTING								
Yes	J1. Third-Party Verification of Quality of Insulation Installation	1			1			
No	J2. Supply and Return Air Flow Testing	0		1	1			
No	J3. Mechanical Ventilation Testing and Low Leakage	0			1			
No	J4. Combustion Appliance Safety Testing	0			1			
J5. Building Performance Exceeds Title 24 Part 6								
19.00%	J5.1 Home Outperforms Title 24	43		30				
0.00%	J5.2 Non-Residential Spaces Outperform Title 24	0		15				
Yes	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst	1		1				
No	J7. Participation in Utility Program with Third-Party Plan Review	0		1				
No	J8. ENERGY STAR for Homes	0		1				
No	J9. EPA Indoor airPlus Certification				1			
K. FINISHES								
K1. Entryways Designed to Reduce TrackedIn Contaminants								
Yes	K1.1 Entryways to Individual Units	1			1			
No	K1.2 Entryways to Buildings	0			1			
Yes	K2. Zero-VOC Interior Wall and Ceiling Paints	2			2			
Yes	K3. Low-VOC Caulks and Adhesives	1			1			
K4. Environmentally Preferable Materials for Interior Finish								
≥80%	K4.1 Cabinets	2				2		
≥50%	K4.2 Interior Trim	1				2		
≥80%	K4.3 Shelving	2				2		
≥80%	K4.4 Doors	2				2		
Yes	K4.5 Countertops	1				1		
K5. Formaldehyde Emissions in Interior Finish Exceed CARB								
Yes	K5.1 Doors	1			1			
Yes	K5.2 Cabinets and Countertops	2			2			specs/ submittal
Yes	K5.3 Interior Trim and Shelving	2			2			
Yes	K6. Products That Comply With the Health Product Declaration Open Standard	2			2			
Yes	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion	2			2			
No	K8. Comprehensive Inclusion of Low Emitting Finishes				1			
TBD	K9. Durable Cabinets				2			
TBD	K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes				1			
L. FLOORING								
≥50%	L1. Environmentally Preferable Flooring	2				3		
≥50%	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential	2			3			
No	L3. Durable Flooring	0				1		
No	L4. Thermal Mass Flooring	0		1				
M. APPLIANCES AND LIGHTING								
Yes	M1. ENERGY STAR® Dishwasher	1					1	
No	M2. CEE-Rated Clothes Washer	0		1			2	
No	M3. Size-Efficient ENERGY STAR Refrigerator	0		2				
M4. Permanent Centers for Waste Reduction Strategies								
No	M4.1 Built-In Recycling Center	0				1		
No	M4.2 Built-In Composting Center	0				1		
M5. Lighting Efficiency								
Yes	M5.1 High-Efficacy Lighting	2		2				
No	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant	0		2				
No	M6. Central Laundry	0					1	
No	M7. Gearless Elevator	0		1				Traction Elevator -
N. COMMUNITY								
N1. Smart Development								
Yes	N1.1 Infill Site	2	1			1		
No	N1.2 Designated Brownfield Site	0	1		1			
>20	N1.3 Conserve Resources by Increasing Density	1		2		2		
No	N1.4 Cluster Homes for Land Preservation	0	1			1		
	N1.5 Home Size Efficiency	4				9		Based on the average largest unit type.
1,579	Enter the area of the home, in square feet							
3	Enter the number of bedrooms							
No	N2. Home(s)/Development Located Within 1/2 Mile of a Major Transit Stop	0	2					
N3. Pedestrian and Bicycle Access								
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services		2					
	Enter the number of Tier 1 services							
	Enter the number of Tier 2 services							
Yes	N3.2 Connection to Pedestrian Pathways	1	1					
No	N3.3 Traffic Calming Strategies	0	2					
Yes	N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide	1	1					
No	N3.5 Bicycle Storage for Residents	0	1					
No	N3.6 Bicycle Storage for Non-Residents	0	1					
No	N3.7 Reduced Parking Capacity	0	2					back check team thinks they will get it
N4. Outdoor Gathering Places								
Yes	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents	1	1					
No	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services	0	1					
N5. Social Interaction								
Yes	N5.1 Residence Entries with Views to Callers	1	1					two peepholes
Yes	N5.2 Entrances Visible from Street and/or Other Front Doors	1	1					
Yes	N5.3 Porches Oriented to Street and Public Space	1	1					
Yes	N5.4 Social Gathering Space	1	1					
N6. Passive Solar Design								
No	N6.1 Heating Load	0		2				
No	N6.2 Cooling Load	0		2				
N7. Adaptable Building								
No	N7.1 Universal Design Principles in Units	0	1		1			
No	N7.2 Full-Function Independent Rental Unit	0	1					
N8. Affordability								
No	N8.1 Dedicated Units for Households Making 80% of AMI or Less	0	2					Owner to provide AMI info
No	N8.2 Units with Multiple Bedrooms for Households Making 80% of AMI or Less	0	1					Owner to provide AMI info

4800 & 5100 Long Beach Blvd.		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
No	N8.3 At Least 20% of Units at 120% AMI or Less are For Sale	0	1					
	<b>N9. Mixed-Use Developments</b>							
No	N9.1 Live/Work Units Include a Dedicated Commercial Entrance	0	1					
No	N9.2 At Least 2% of Development Floor Space Supports Mixed Use	0	1					
No	N9.3 Half of the Non-Residential Floor Space is Dedicated to Community Service	0	1					
<b>O. OTHER</b>								
Yes	<b>O1. GreenPoint Rated Checklist in Blueprints</b>	Y	R	R	R	R	R	
No	<b>O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors</b>	0		0.5		1	0.5	
Yes	<b>O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs</b>	2		0.5	0.5	0.5	0.5	O&M, pamphlet
No	<b>O4. Builder's or Developer's Management Staff are Certified Green Building Professionals</b>	0		0.5	0.5	0.5	0.5	
No	<b>O5. Home System Monitors</b>	0		2			1	
	<b>O6. Green Building Education</b>							
Yes	O6.1 Marketing Green Building	2	2					
Yes	O6.2 Green Building Signage	1		0.5			0.5	
No	<b>O7. Green Appraisal Addendum</b>	N	R	R	R	R	R	Green Rater to put together Green Information about the property
No	<b>O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation</b>	0				1		
No	<b>O9. Residents Are Offered Free or Discounted Transit Passes</b>	0	2					
No	<b>O10. Vandalism Deterrence Practices and Vandalism Management Plan</b>	0				1		
<b>P. DESIGN CONSIDERATIONS</b>								
	<b>P1. Acoustics: Noise and Vibration Control</b>	0	1		1			
0	Enter the number of Tier 1 practices							
0	Enter the number of Tier 2 practices							
	<b>P2. Mixed-Use Design Strategies</b>							
No	P2.1 Tenant Improvement Requirements for Build-Outs	0			1		1	
No	P2.2 Commercial Loading Area Separated for Residential Area	0			1			
No	P2.3 Separate Mechanical and Plumbing Systems	0			1			
	<b>P3. Commissioning</b>							
No	P3.1 Design Phase	0		1	1			
No	P3.2 Construction Phase	0		1	1			
No	P3.3 Post-Construction Phase	0		1	1			
No	<b>P4. Building Enclosure Testing</b>	0		1	1	1		
<b>INNOVATIONS</b>								
No	Enter Innovation 1 description here. Enter up to four points at right.	0						
No	Enter Innovation 2 description here. Enter up to four points at right.	0						
No	Enter Innovation 3 description here. Enter up to four points at right.	0						
No	Enter Innovation 4 description here. Enter up to four points at right.	0						
<b>Summary</b>								
Total Available Points in Specific Categories		381	43	138	61	86	53	
Minimum Points Required in Specific Categories		50	2	25	6	6	6	
<b>Total Points Targeted</b>		<b>118.0</b>	<b>10.0</b>	<b>50.5</b>	<b>18.5</b>	<b>30.0</b>	<b>9.0</b>	