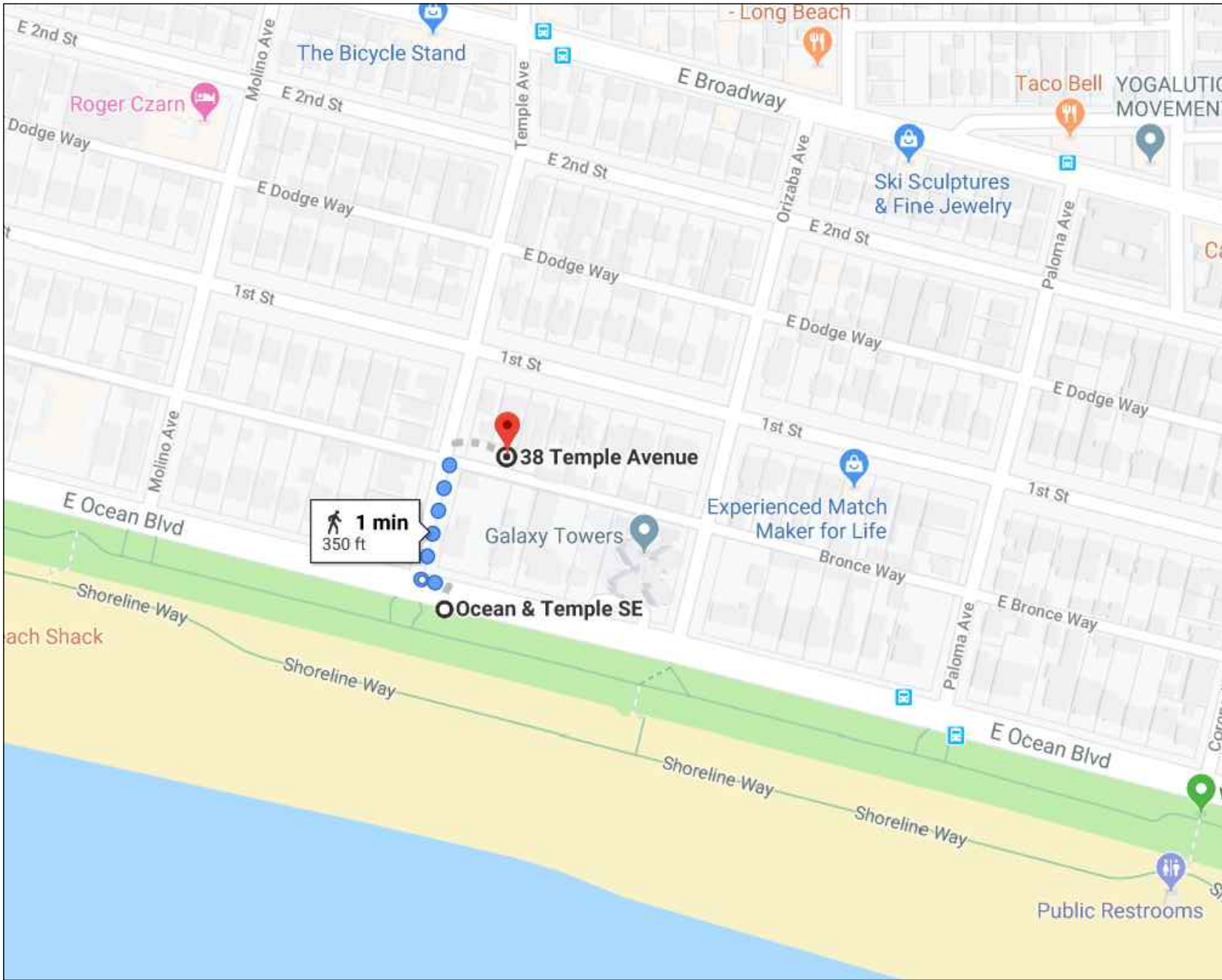
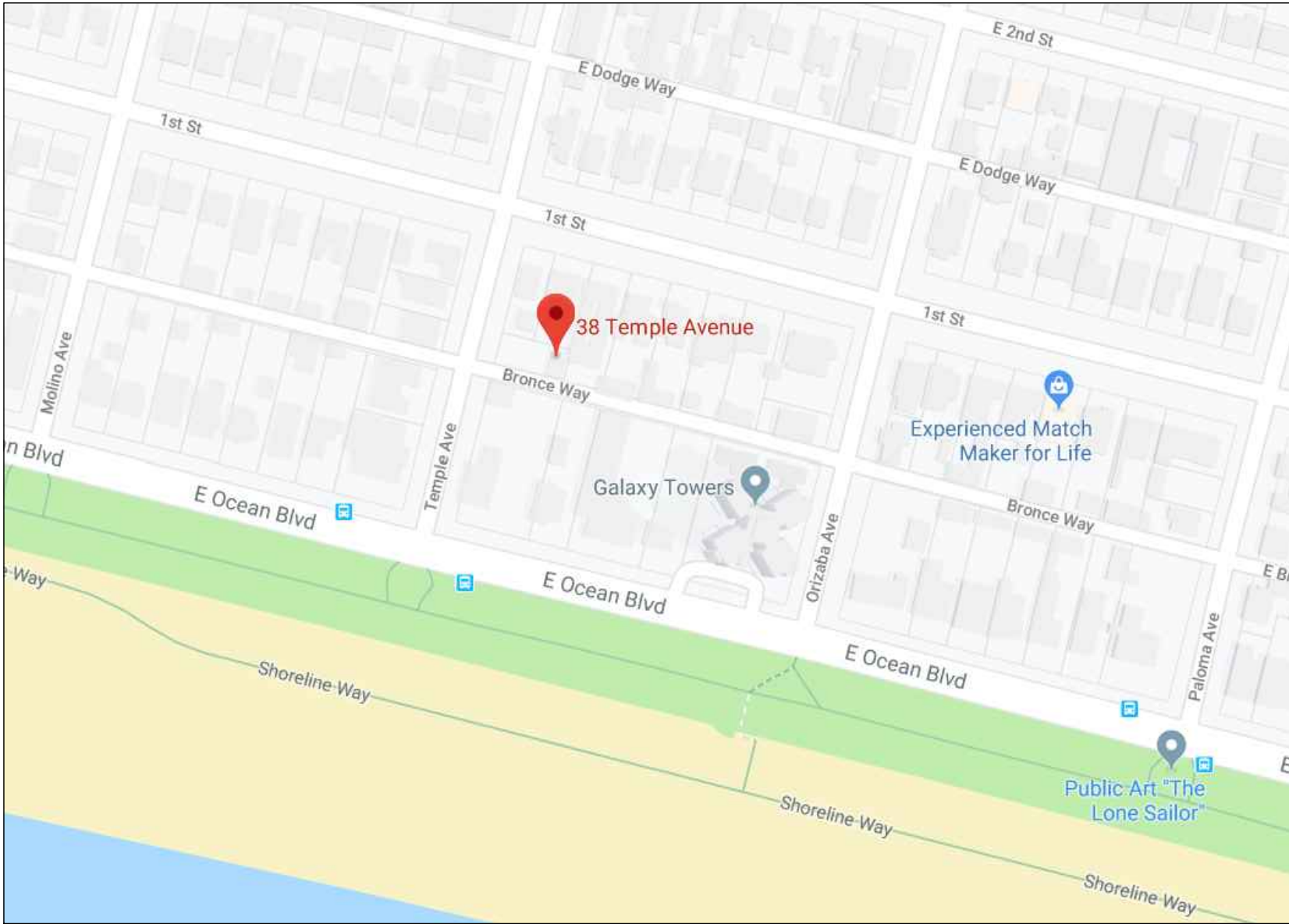


38 TEMPLE AVENUE
LONG BEACH, CA 90803



2 1/2 MILE BUS STOP
N.T.S.



1 VICINITY MAP
N.T.S.

SHEET INDEX

- A-00 COVER SHEET, PROJECT SUMMARY, VICINITY MAP, GENERAL NOTES, SHEET INDEX
- A-01 SITE PLAN, PROJECT SUMMARY
- A-02 LANDSCAPE PLAN
- A-03 MAIN HOUSE - FIRST FLOOR PLAN & SECOND FLOOR PLAN
- A-04 MAIN HOUSE - ROOF PLAN
- A-05 MAIN HOUSE - FRONT & REAR ELEVATIONS
- A-06 MAIN HOUSE - LEFT & RIGHT ELEVATIONS
- A-07 EXISTING GARAGE & ADU FLOOR & ROOF PLANS
- A-08 SECTIONS & DETAILS

CONSULTANTS

ARCHITECTURAL
IZMO DESIGN
315 LANCE CT.
LA PUENTE, CA 91744
(626) 869-8008

STRUCTURAL
M.S. CONSULTING ENGINEERING
12631 IMPERIAL HWY #F-230
SANTA FE SPRINGS, CA 90670
(562) 863-9999

ENERGY
JS ENGINEERING, INC.
410 S. SAN GABRIEL BLVD., #8
SAN GABRIEL, CA 91776
(626) 497-0558

PROJECT SUMMARY

JOB ADDRESS: 38 TEMPLE AVE
LONG BEACH, CA 90803

APN: 7264-017-002

OWNER: NIRAJ SHARMA

SCOPE OF WORK: BUILD NEW 2440 SF S.F.D. IN FRONT OF THE PROPERTY AND CONVERT EXISTING 779 SF UNIT IN REAR TO ACCESSORY DWELLING UNIT.

LEGAL DESCRIPTIONS: RESUB OF PART OF ALAMITOS BEACH TOWNSITE SW 50 FT OF LOTS 1 AND LOT 2 BLK 45

ZONE: R-2-L

NUMBER OF STORIES: 2

OCCUPANCY GROUP: R3

TYPE OF CONSTRUCTION: VB

FIRE SPRINKLERED: NO

LOT SIZE: 5000 SQ. FT.

FLOOR AREA CALCULATION:
NEW FIRST FLOOR: 1220 SQ.FT.
NEW SECOND FLOOR: 1180 SQ.FT.
TOTAL: 2400 SQ.FT.

NEW FRONT COVERED PORCH: 307 SQ.FT.
NEW REAR PATIO: 378 SQ.FT.
NEW REAR BALCONY: 378 SQ.FT.
NEW ROOF DECK: 675 SQ.FT.

EXISTING GARAGE: 670 SQ.FT.
EXISTING LIVING UNIT (CONVERT ADU): 779 SQ.FT.
EXISTING PATIO: 109 SQ.FT.
EXISTING CONCRETE PATIO: 244 SQ.FT.

MAXIMUM FLOOR AREA: N/A

LOT COVERAGE:
1220 (NEW S.F.D.) + 245 (STORAGE) = 1465 SQ.FT.
1465 SQ. FT. < 5000 X 40% = 2000 SQ.FT.

USABLE OPEN SPACE :
378 + 307 + 1220 + 244 + 109 + 670 = 2928 SQ.FT.
5000 - 2928 = 2072 SQ. FT.

LANDSCAPE AREA :
FRONT LANDSCAPE TOP: 144 SQ. FT.
FRONT LANDSCAPE BOT: 255 SQ. FT.
MULCH AREA: 183 SQ. FT.
REAR GRASS AREA: 452 SQ. FT.
PERMEABLE PAVER AREA: 536 SQ. FT.

144 + 255 + 183 + 452 + 536 = 1570 SQ. FT. PREMEABLE

2072 SQ. FT. (OPEN SPACE) X 70% = 1450 SQ. FT. REQ
1570 SQ. FT. > 1450 SQ. FT. REQUIRED PREMEABLE).

MAIN HOUSE SETBACKS:

FRONT YARD: 15'-0"
SIDE YARDS: 4'-0", 6'-0"
REAR YARD: 40'-10"

MAIN HOUSE BUILDING HEIGHT: 28' - 4" < 35' - 0"

EXISTING STRUCTURE ON SITE (ADU): ABOUT 20'-10"

ADU SETBACKS:

FRONT YARD: 78'-10"
SIDE YARDS: 12'-1", 5'-1"
REAR YARD: 0'-10"

APPLICABLE CODE:

2016 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC) AND CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN).

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izmodesigncorp@gmail.com

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Submittal

PLANNING
SUBMITTAL 04-04-19

REVISIONS

No.	DATE	DESCRIPTION

SINGLE FAMILY RESIDENCE
38 TEMPLE AVE.
LONG BEACH, CA 90803

JOB No.

DRAWN BY OL

DATE 08-06-2019

SCALE REF. DWGS.

SHEET No.

A-00

PROJECT SUMMARY

JOB ADDRESS: 38 TEMPLE AVE
LONG BEACH, CA 90803

APN: 7264-017-002

OWNER: NIRAJ SHARMA

SCOPE OF WORK: BUILD NEW 2400 SF S.F.D. IN FRONT
OF THE PROPERTY AND CONVERT EXISTING 779 SF UNIT IN
REAR TO ACCESSORY DWELLING UNIT.

LEGAL DESCRIPTIONS: RESUB OF PART OF ALAMITOS
BEACH TOWNSITE SW 50 FT OF LOTS 1 AND LOT 2 BLK 45

ZONE: R-2-L

NUMBER OF STORIES: 2

OCCUPANCY GROUP: R3

TYPE OF CONSTRUCTION: VB

FIRE SPRINKLERED: NO

LOT SIZE: 5000 SQ. FT.

NEW FRONT COVERED PORCH: 307 SQ.FT.
NEW REAR PATIO: 378 SQ.FT.
NEW REAR BALCONY: 378 SQ.FT.
NEW ROOF DECK: 675 SQ.FT.

EXISTING GARAGE W/ STORAGE: 670 SQ.FT.
EXISTING LIVING UNIT (CONVERT ADU): 779 SQ.FT.
EXISTING PATIO: 109 SQ.FT.
EXISTING CONCRETE PATIO: 244 SQ.FT.

MAXIMUM FLOOR AREA: N/A

LOT COVERAGE:
1220 (NEW S.F.D.) + 245 (STORAGE)= 1465 SQ.FT.
1465 SQ. FT. < 5000 X 40% = 2000 SQ.FT.

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SIDE YARDS: 12'-1", 5'-1"
REAR YARD: 0'-10"

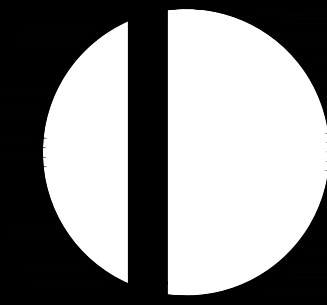
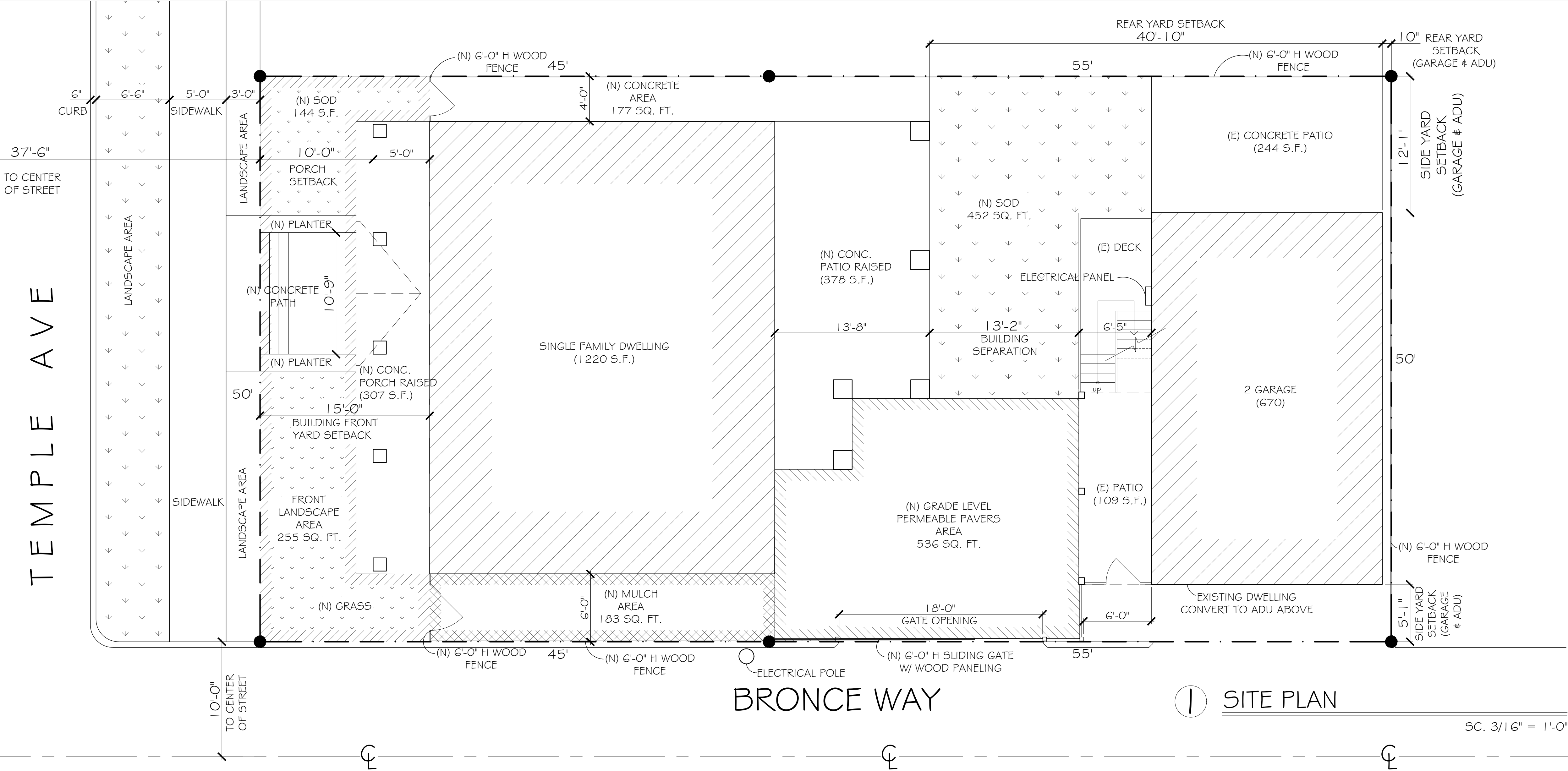
APPLICABLE CODE:

2016 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA
MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE
(CEC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA
ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC) AND
CALIFORNIA GREEN BUILDING STANDARDS CODE
(CALGREEN).

NOTES:

NO PROPOSED IMPROVEMENTS TO THE EXISTING STRUCTURE

SEE SHEET A-08 FOR SLIDING GATE DETAILS



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LONG BEACH, CA 90803

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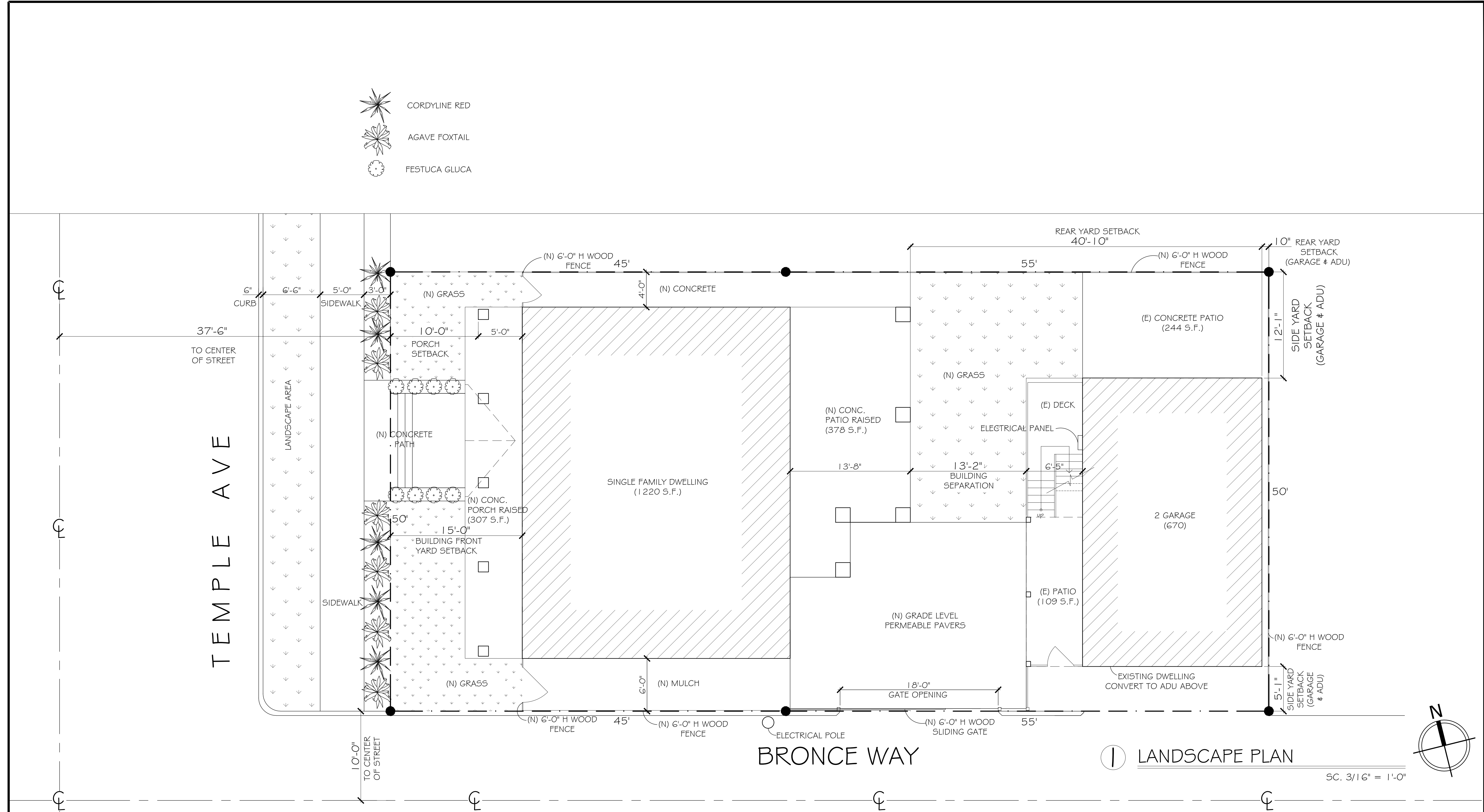
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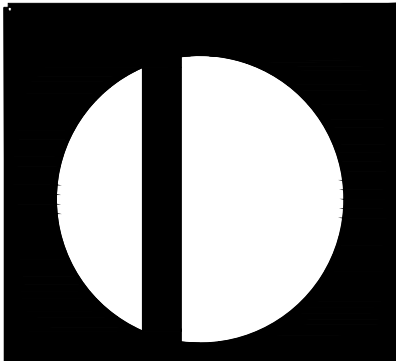
DATE 08-06-2019

SCALE REF. DWGS.

SHEET No.

A-01





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PLANNING	DATE	DESCRIPTION
SUBMITTAL	04-04-19	

REVISIONS		
No.	DATE	DESCRIPTION

SINGLE FAMILY RESIDENCE
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LONG BEACH, CA 90803

JOB No.

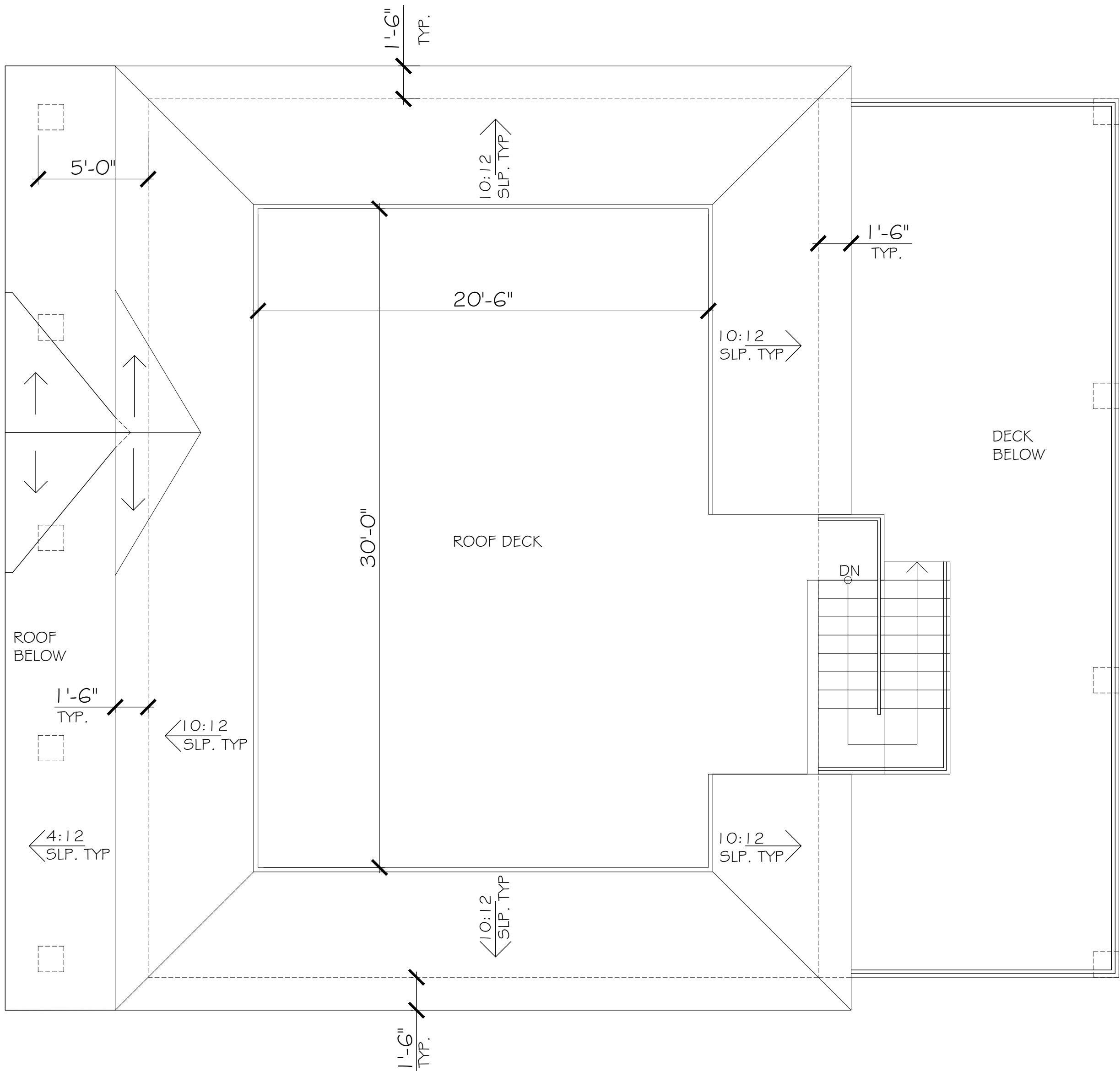
DRAWN BY OL

DATE 08-06-2019

SCALE REF. DWGS.

SHEET No.

A-02



ROOF PLAN NOTES:

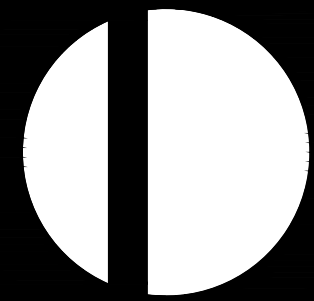
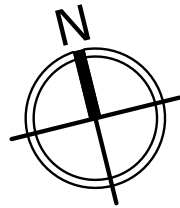
1. NEW ASPHALT ROOFING - CERTAINEED, PRESIDENTIAL SHAKE, PLATINUM, UL CLASS 'A', ICC-ESR-1389 & ICC-ESR-3537
2. PROVIDE OHANG S-STYLE VENT SEE ROOF PLAN
3. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. FIRE CODE 4710.1.4
4. OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16-IN MINIMUM AND 1/4-IN MAXIMUM OPENING
5. A MINIMUM OF 1-IN AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING.
6. WHEN THE BUILDING HAS VAULTED CEILINGS, EACH ENCLOSED RAFTER SPACE BETWEEN FRAMING MEMBERS MUST BE VENTILATED AT THE EAVE OR CORNICE AND THE TOP OF THE ROOF RIDGE MEMBERS MUST BE VENTILATED AT THE EAVE OR CORNICE AND THE TOP OF THE ROOF RIDGE.



ROOF PLAN

DECK: 675 SQ.FT.

SC. 1/4" = 1'-0"



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DATE 08-06-2019

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SHEET No.

A-04

KEY NOTES:

- 1

NEW ASPHALT ROOFING - CERTAINEED, PRESIDENTIAL SHAKE, PLATINUM, UL CLASS "A", ICC-ESR-1389 & ICC-ESR-3537
- 2

NEW 2X FASCIA PAINTED - SW 7007 CEILING BRIGHT WHITE EXTERIOR GLOSSY
- 3

NEW STUCCO - LA HABRA SMOOTH SILVER GRAY
- 4

NEW WINDOWS - MILGARD ESSENCE SERIES
- 5

NEW ENTRY DOOR - CRAFTSMAN COLLECTION, REDWOOD, BRIGHT WHITE, CLEAR GLASS
- 6

WOOD WINDOW & DOOR TRIMS - SW 7007 CEILING BRIGHT WHITE EXTERIOR GLOSSY
- 7

NEW SIDE DOOR - THERMAL FRENCH DOOR, CLEAR GLASS, ESPRESSO
- 8

NEW WOOD SHUTTERS- WOOD PINE, LOUVERED SHUTTERS, BLACK BEAN
- 9

NEW WOOD COLUMNS, SW 7007 CEILING BRIGHT WHITE EXTERIOR GLOSSY
- 10

NEW WOOD RAILINGS
- 11

1 2 X 1 8 GABLE VENT
- 12

WOOD SIDING - JAMES HARDIE, HARDIE PLANK SELECT CEDARMILL, PAINTED SILVER GRAY
- 13

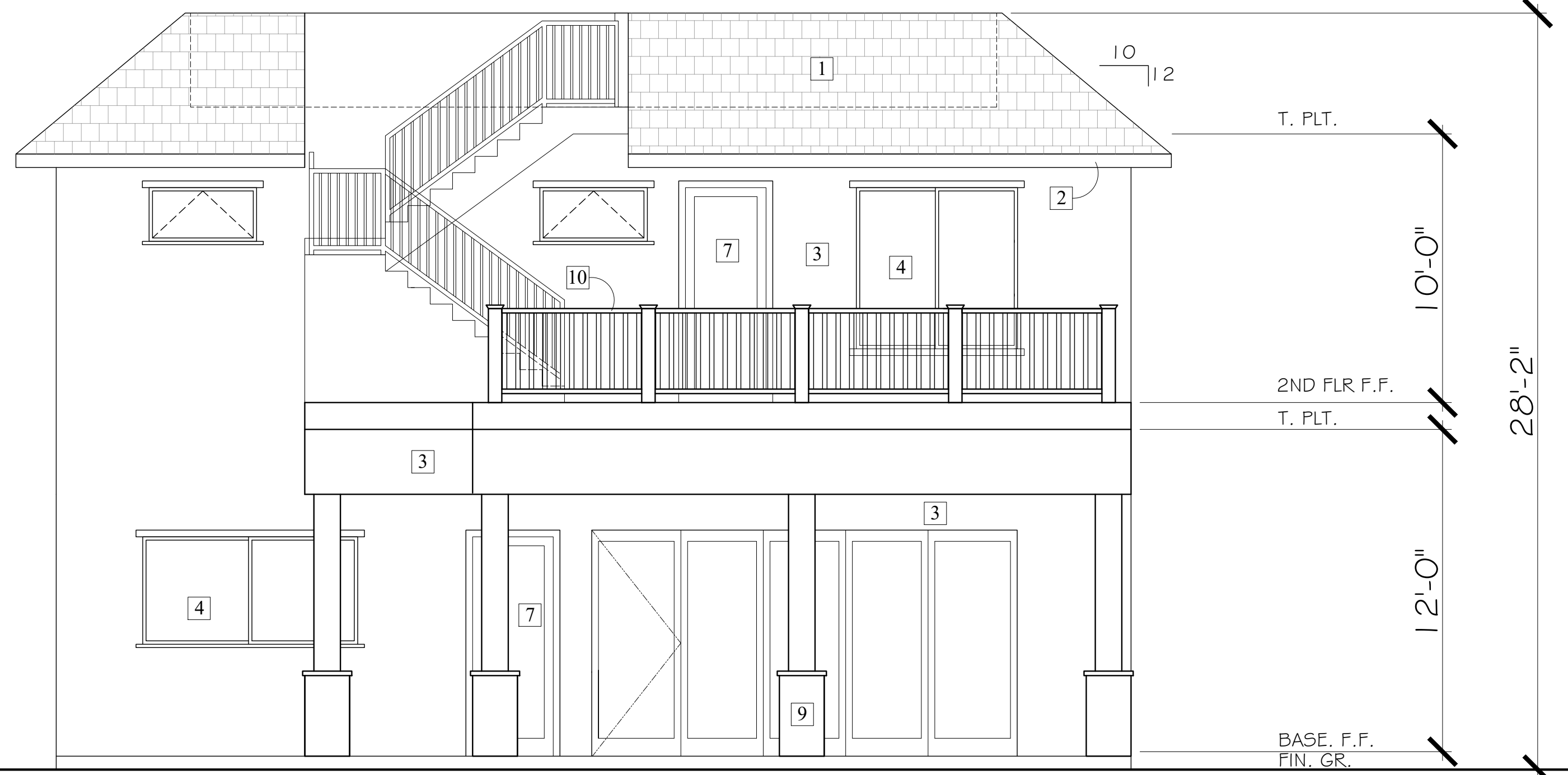
WOOD SIDING - JAMES HARDIE, STAGGERED EDGE PANEL, SILVER GRAY
- 14

TRIM - HARDIETRIM BOARDS, 4/4 5.5IN, SMOOTH, SILVER GRAY



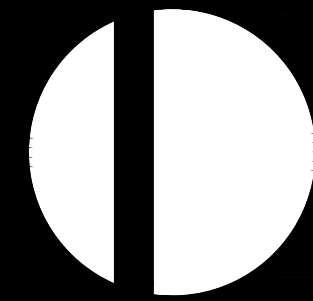
1 FRONT ELEVATION (WEST)

SC. 1/4" = 1'-0"



2 REAR ELEVATION (EAST)

SC. 1/4" = 1'-0"



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SUBMITTAL 04-04-19

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DATE 08-06-2019

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SHEET No.

A-05

KEY NOTES:

- 1

NEW ASPHALT ROOFING - CERTAINEED, PRESIDENTIAL SHAKE, PLATINUM, UL CLASS "A", ICC-ESR-1389 & ICC-ESR-3537
- 2

NEW 2X FASCIA PAINTED - SW 7007 CEILING BRIGHT WHITE EXTERIOR GLOSSY
- 3

NEW STUCCO - LA HABRA SMOOTH SILVER GRAY
- 4

NEW WINDOWS - MILGARD ESSENCE SERIES
- 5

NEW ENTRY DOOR - CRAFTSMAN COLLECTION, REDWOOD, BRIGHT WHITE, CLEAR GLASS
- 6

WOOD WINDOW & DOOR TRIMS - SW 7007 CEILING BRIGHT WHITE EXTERIOR GLOSSY
- 7

NEW SIDE DOOR - THERMAL FRENCH DOOR, CLEAR GLASS, ESPRESSO
- 8

NEW WOOD SHUTTERS- WOOD PINE, LOUVERED SHUTTERS, BLACK BEAN
- 9

NEW WOOD COLUMNS, SW 7007 CEILING BRIGHT WHITE EXTERIOR GLOSSY
- 10

NEW WOOD RAILINGS
- 11

12 X 18 GABLE VENT
- 12

WOOD SIDING - JAMES HARDIE, HARDIE PLANK SELECT CEDARMILL, PAINTED SILVER GRAY
- 13

WOOD SIDING - JAMES HARDIE, STAGGERED EDGE PANEL, SILVER GRAY
- 14

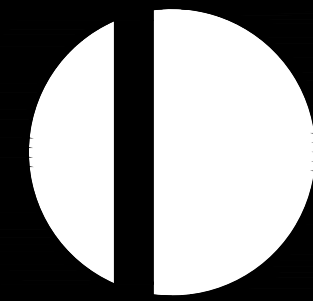
TRIM - HARDIETRIM BOARDS, 4/4 5.5IN, SMOOTH, SILVER GRAY



1 LEFT ELEVATION (NORTH)
SC. 1/4" = 1'-0"



2 RIGHT ELEVATION (SOUTH)
SC. 1/4" = 1'-0"



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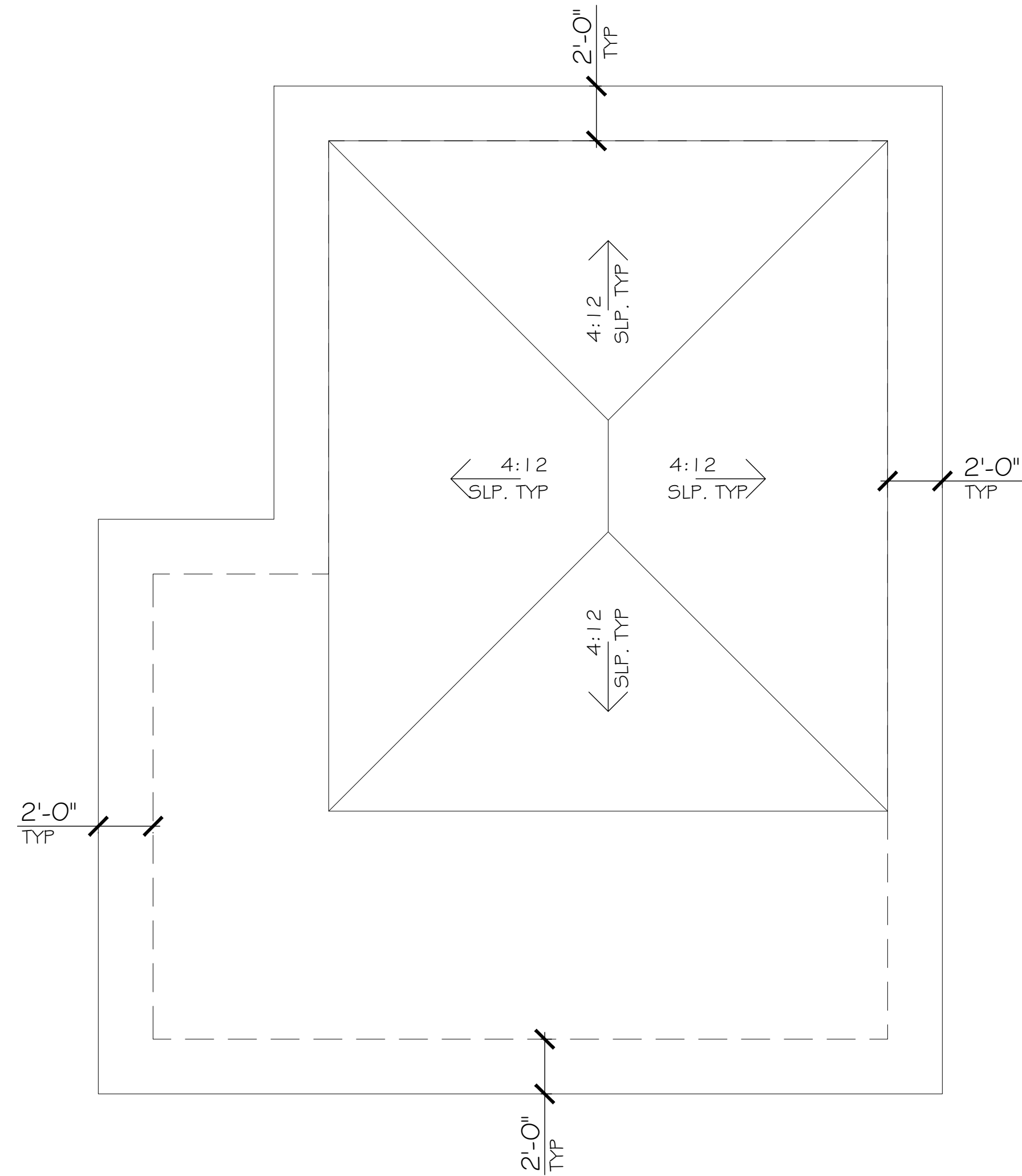
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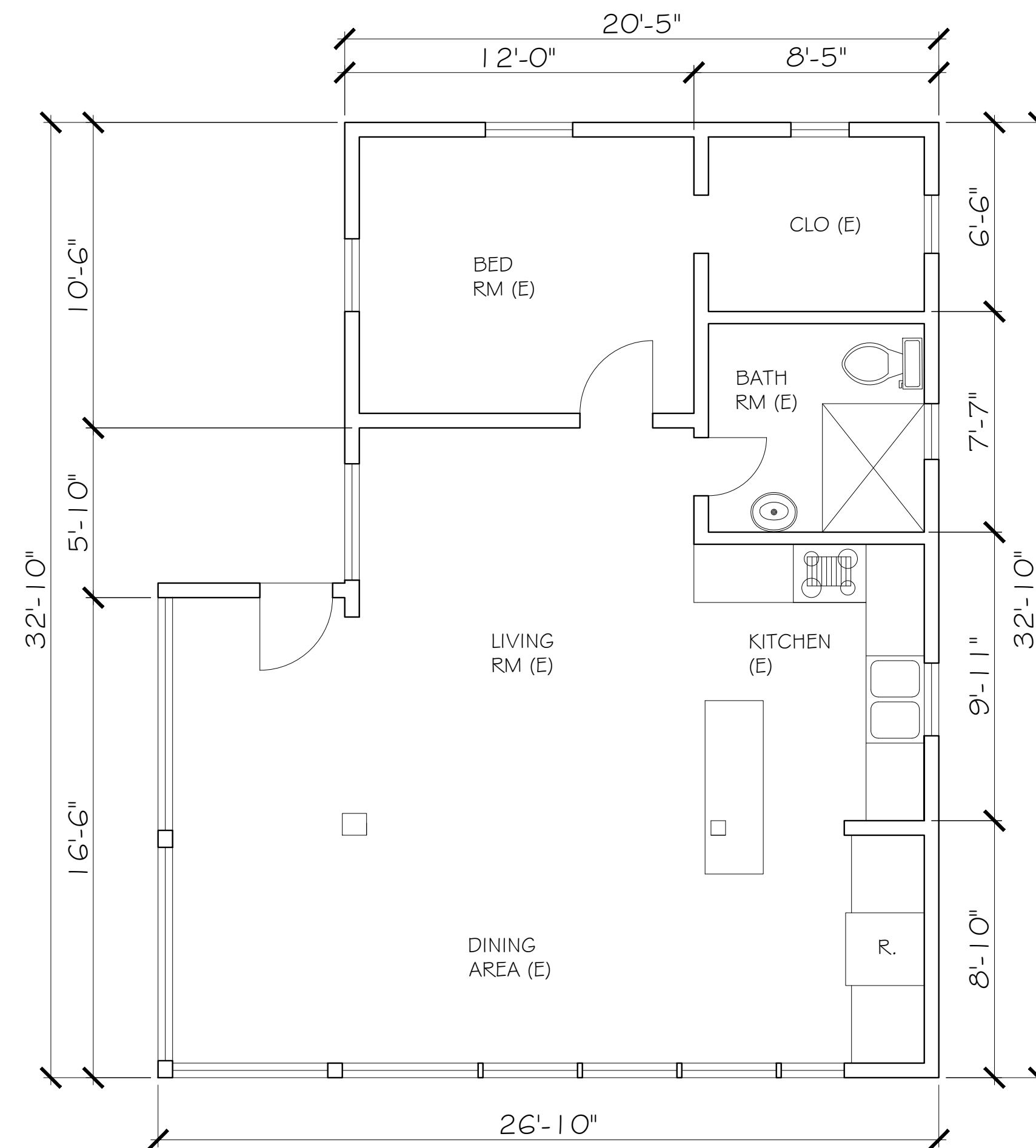
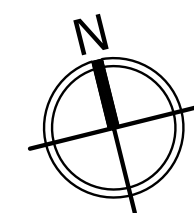
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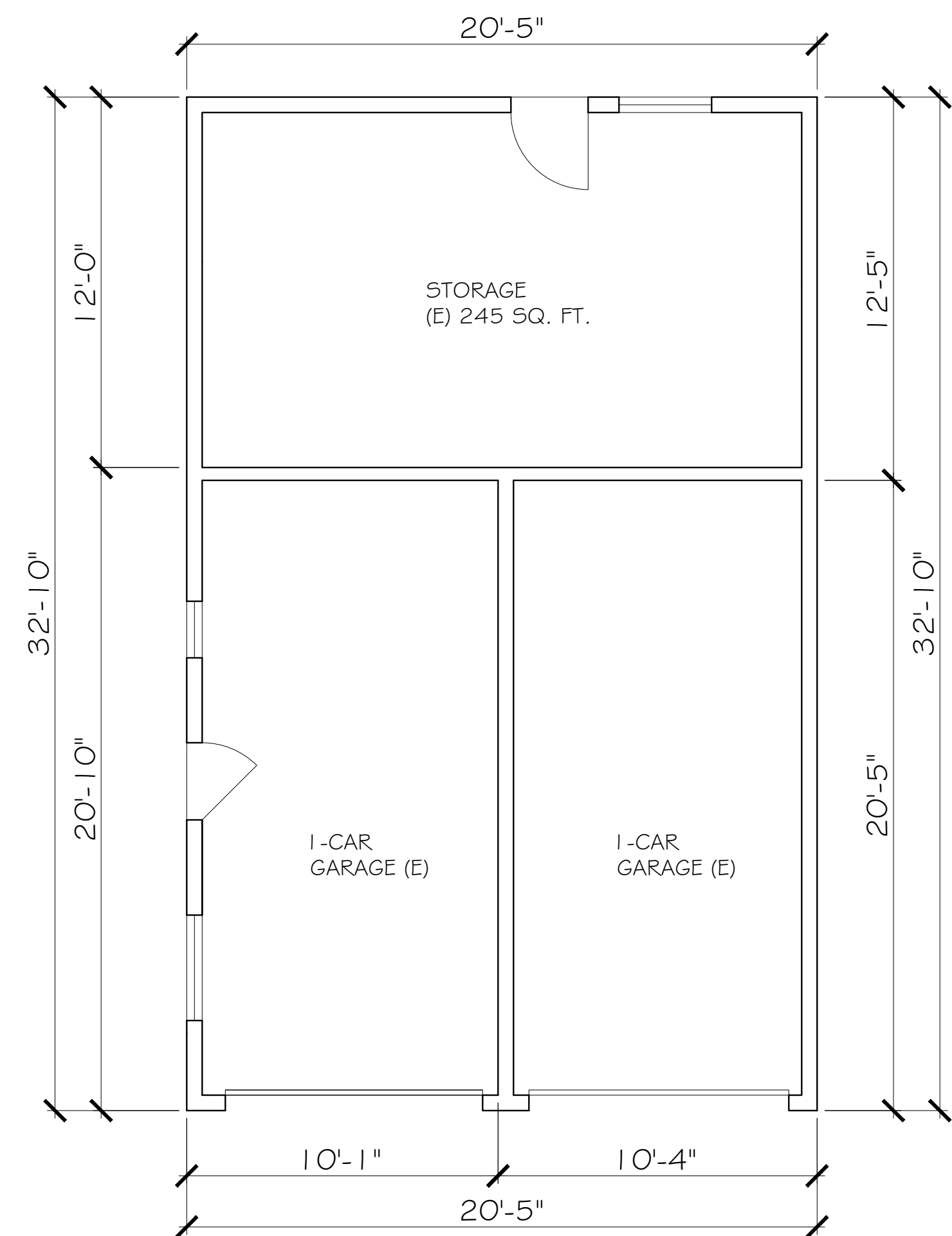
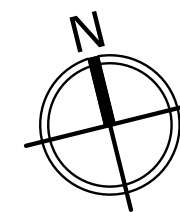
A-06



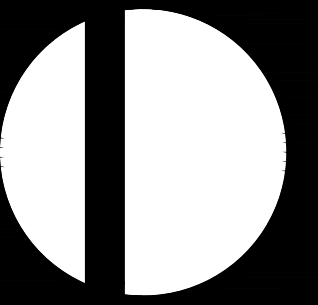
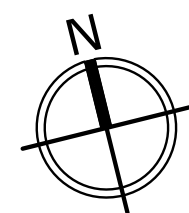
③ EXISTING GARAGE ROOF PLAN
SC. 1/4" = 1'-0"



② ADU PLAN
(EXISTING LIVING UNIT)
770 SQ.FT. SC. 1/4" = 1'-0"



① EXISTING GARAGE PLAN
670 SQ.FT. SC. 1/4" = 1'-0"



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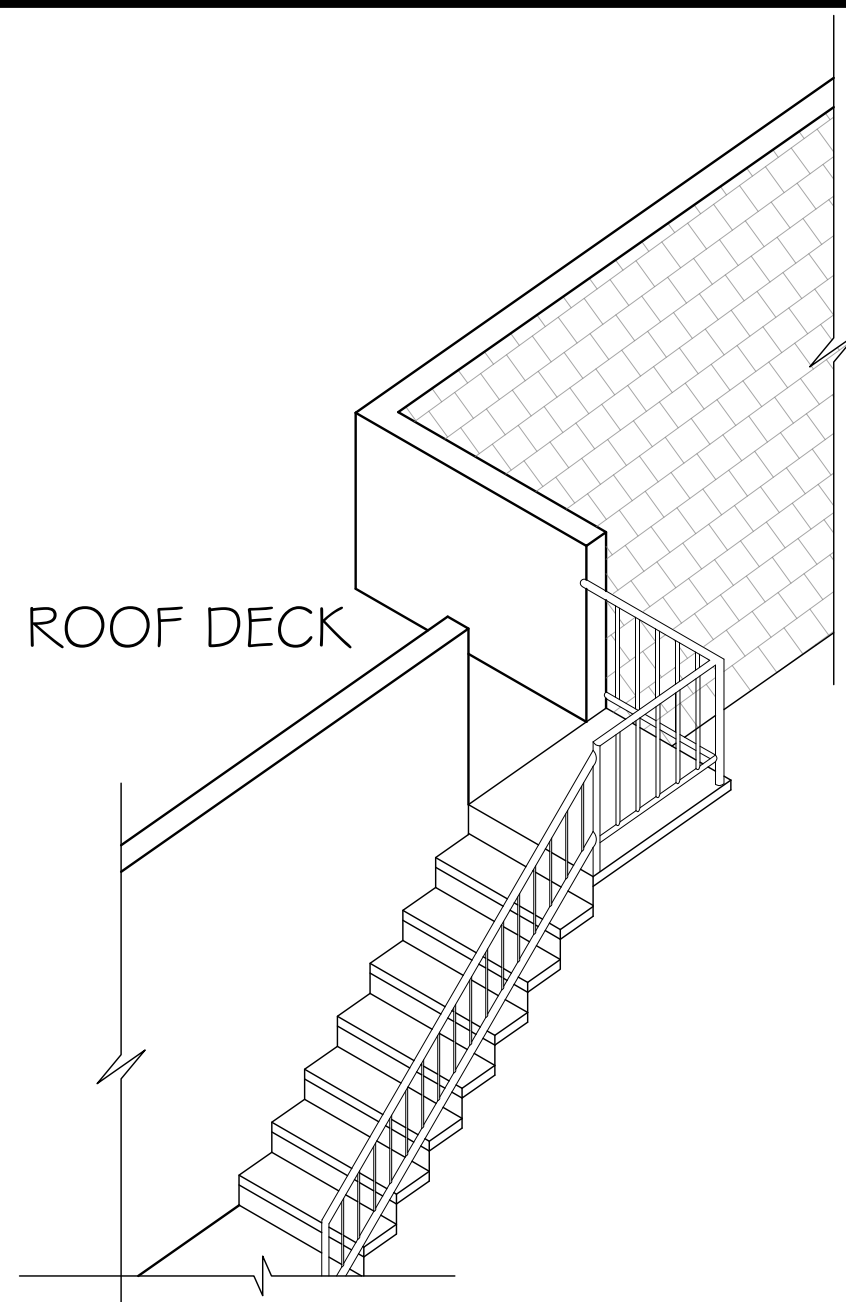
Submittal
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SUBMITTAL 04-04-19

REVISIONS		
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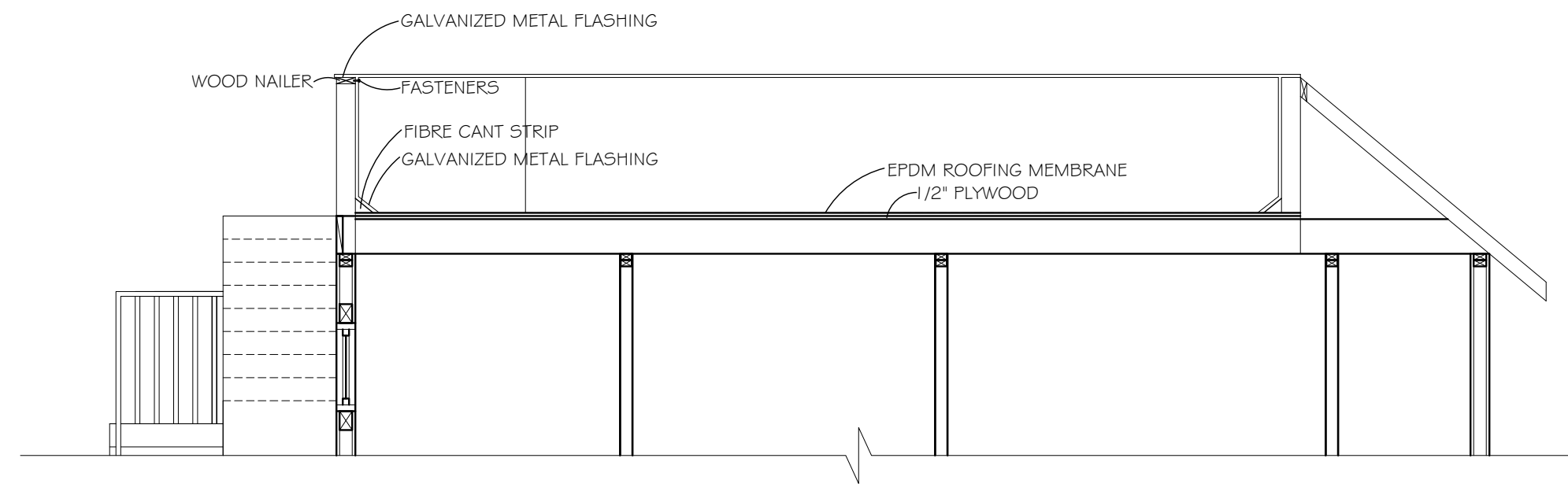
SINGLE FAMILY RESIDENCE
38 TEMPLE AVE.
LONG BEACH, CA 90803

JOB No.
DRAWN BY OL
DATE 06-18-2019
SCALE REF. DWGS.
SHEET No.

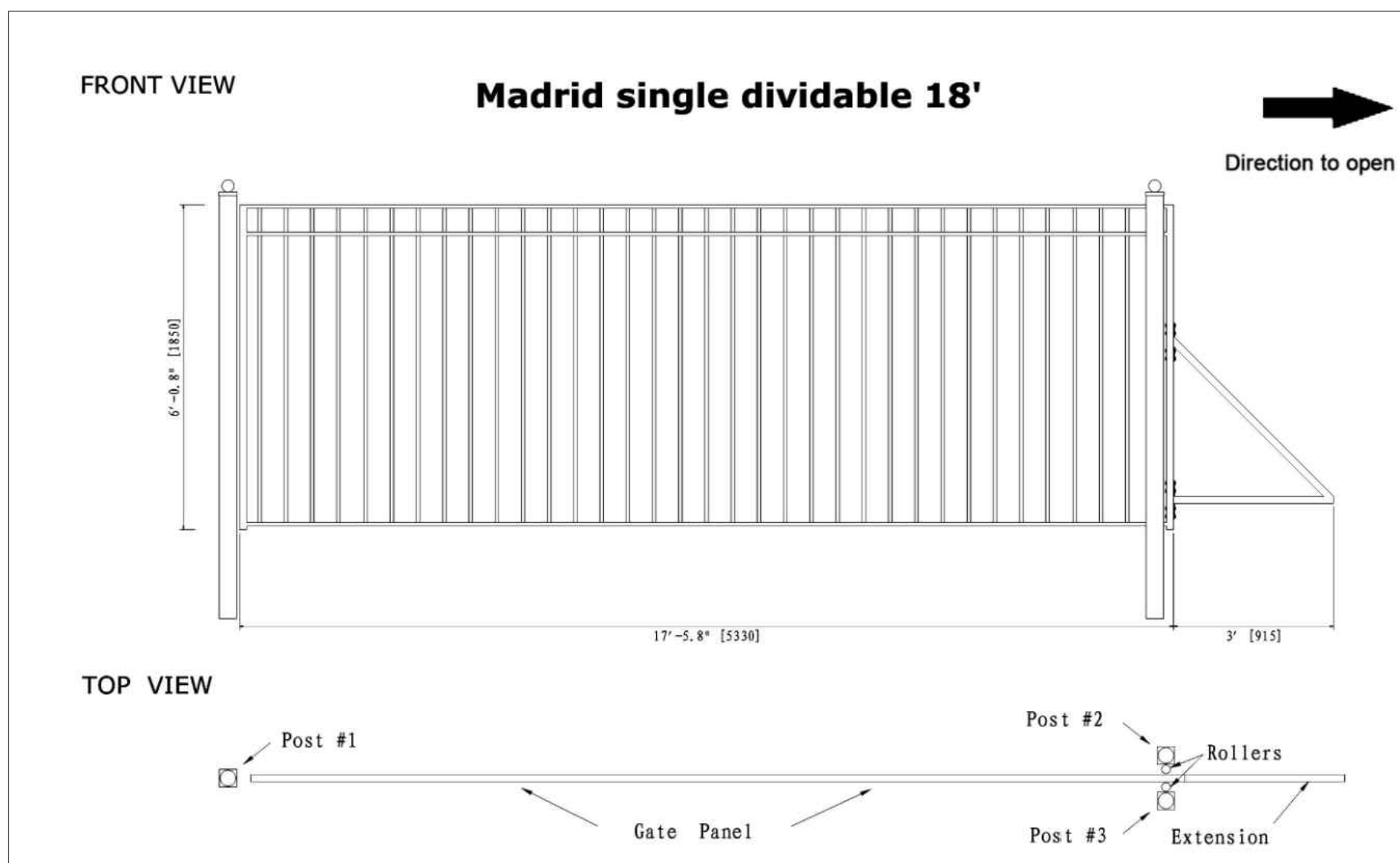
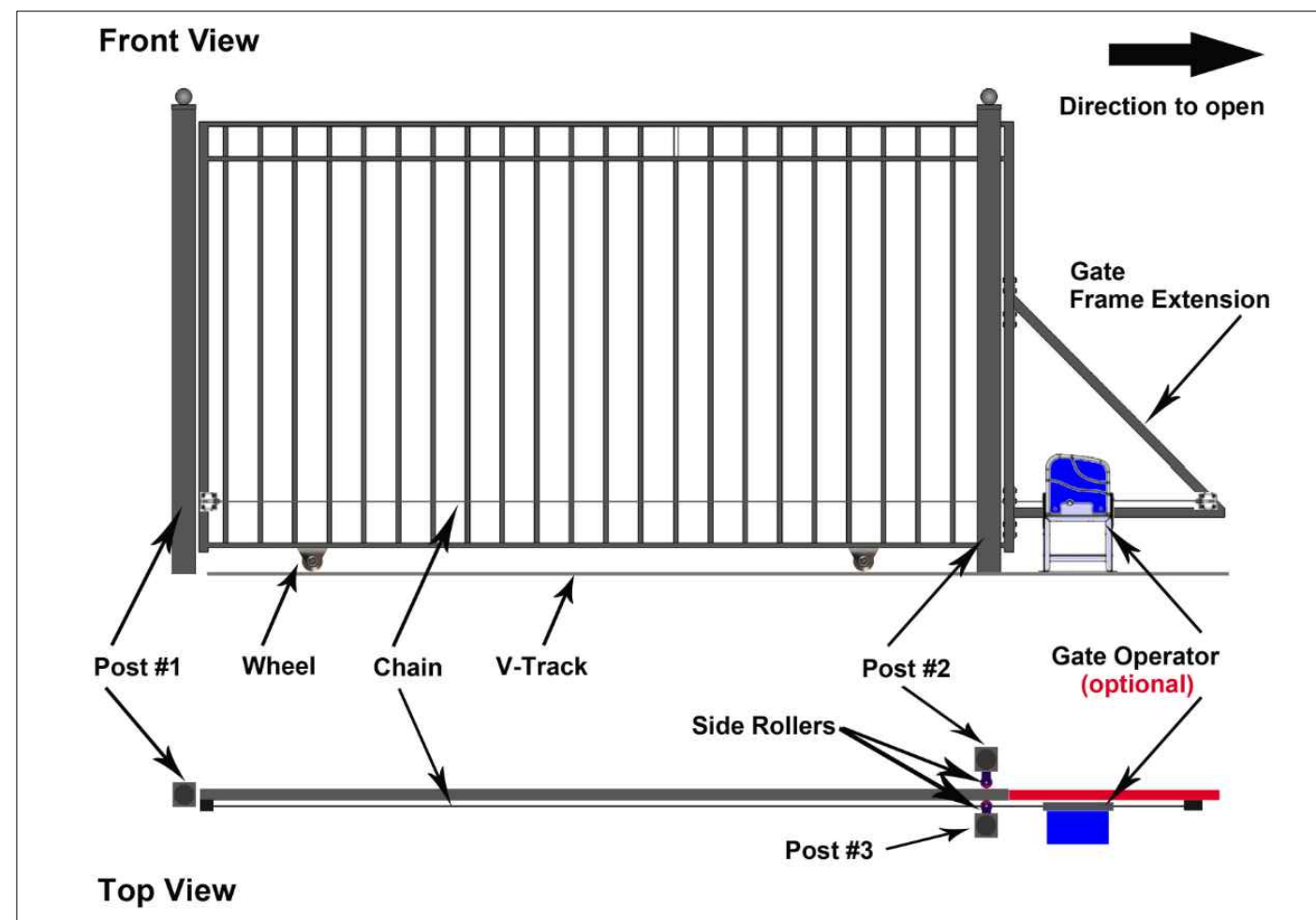
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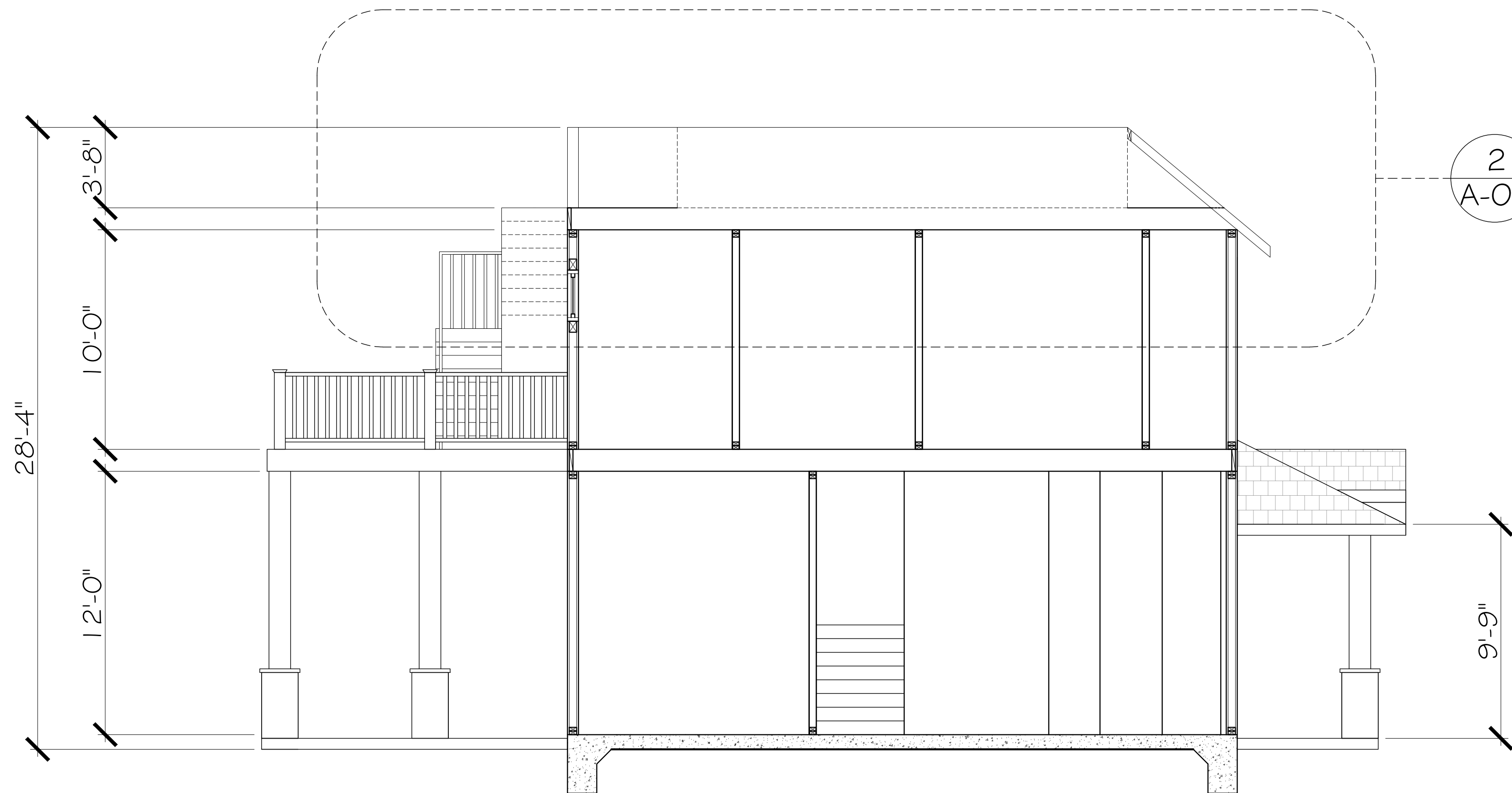
3 STAIR - PARAPET ISOMETRIC VIEW
N.T.S



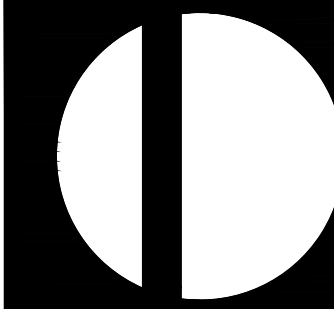
2 PARAPET SECTION DETAIL
SC. 1/4" = 1'-0"



4 SLIDING WOOD GATE DETAILS
N.T.S



1 LEFT ELEVATION (SOUTH)
SC. 1/4" = 1'-0"



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SCALE	REF. DWGS.
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A-08