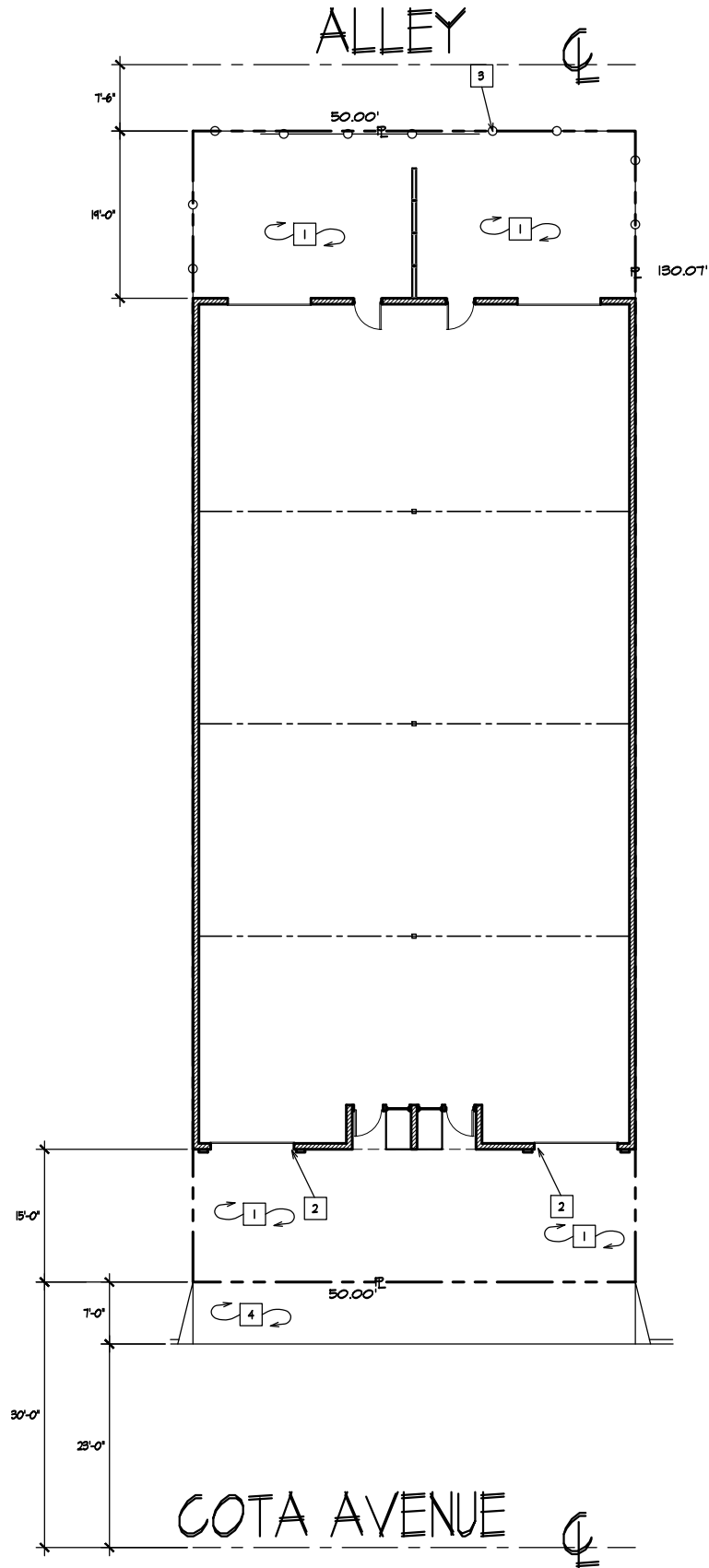




OWNER:
COTA LLC.
P.O. BOX 485
LAGUNA BEACH, CA 92652

LEGAL DESCRIPTION:
LOT, 40141 BLK 6 TRACT. 2600
1667 COTA AVE
LONG BEACH, LOS ANGELES COUNTY, CA
APN: 7452-001-023

PROJECT DATA:

LOT SIZE: 6,579 SQ. FT.
BUILDING SIZE: 4,764 SQ. FT. (TOTAL)
LOT COVERAGE OF BUILDING: 4,764 SQ. FT. 72.1% OF THE TOTAL AREA OF THE SITE.
PAVING: 1,815 SQ. FT.
BLDG. CONSTRUCTION: V-B, FIRE SPRINKLERS
OCCUPANCY: F-1
ZONING: IG, GENERAL INDUSTRIAL
NATURE OF BUSINESS: AUTOREPAIR
LAND USE: S100, INDUSTRIAL
YEAR BUILT: 1965

SITE NOTES:

- INDICATES NOTES APPLICABLE TO THIS PLAN ONLY WHEN REFERENCED.
1. LOCATION OF EXISTING DRIVEWAY
 2. APPROXIMATE LOCATION FOR EXISTING FRONT DRIVEWAY LIGHTING ON CMU WALL.
 3. EXISTING FENCING WITH GATE TO REMAIN.
 4. EXISTING STREET SIDEWALK TO REMAIN.

GENERAL NOTES:

1. THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE OWNER AND/OR ARCHITECT WHOSE SIGNATURE APPEARS HEREON.
2. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL CHECK ALL DIMENSIONS, FRAMING CONDITIONS, AND ON-SITE CONDITIONS, PRIOR TO STARTING ANY WORK. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, ERRORS OR OMISSIONS.
3. DIMENSIONS, AS INDICATED ARE THE DIMENSIONS THAT SHALL BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS. NOTES & DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. ALL DIMENSIONS ARE TAKEN TO THE ROUGH (U.O.N. ON PLANS). THE DRAWINGS & SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR AND/OR SUB-CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS HE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE AFOREMENTIONED MATERIALS.
4. GRADING & DRAINAGE: ALL PAVING, FLAT WORK AND PLANTERS NEXT TO THE BUILDING SHALL BE PROPERLY GRADED TO CARRY WATER AWAY FROM THE BUILDING.
5. OBSERVATION VISITS TO THE JOB SITE BY THE ARCHITECT DO NOT INCLUDE INSPECTION OF CONSTRUCTION PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS AND FOR SAFETY CONDITIONS AT THE WORK SITE. THESE VISITS SHALL NOT BE CONSTRUED AS CONTINUOUS AND DETAILED INSPECTIONS.

GENERAL REQUIREMENTS:

1. **SCOPE:** ALL TRADERS SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORM ALL WORK NECESSARY, INDICATED, REASONABLY INFERRED, OR REQUIRED BY ANY CODE WITH JURISDICTION, TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB. ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE UNIFORM BUILDING CODE (APPLICABLE EDITION) AND LOCAL GOVERNING AGENCIES.
2. **PERMITS:** THE GENERAL BUILDING PERMIT & PLAN CHECK FEES SHALL BE SECURED AND PAID FOR BY THE SUB-CONTRACTOR DIRECTLY RESPONSIBLE.
3. **INTENTION:** THE INTENTION OF THIS DOCUMENT IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY FOR A COMPLETE AND PROPER EXECUTION OF THE WORK DESCRIBED.
4. **CHANGES:** THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK. THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY.
5. **CUTTING & PATCHING:** ALL TRADERS SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY THE WORK OF OTHER TRADES.
6. **CLEANUP:** ALL TRADES SHALL AT ALL TIMES, KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK.
7. **GENERAL:**
 - A. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO CURRENT CBC, UPC, UMC, NEC AND TITLE 24 AS NOTED ON COVER SHEET OF PLANS.
 - B. DESIGN, MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, ARCHITECT AND APPLICABLE GOVERNING AGENCIES. REFERENCES TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAILS OR DRAWINGS.
 - C. THE ARCHITECT SHALL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED SAFELY, IN, OR ABOUT THE JOB SITE METHODS OF PERFORMANCE OR TIMELINESS IN THE PERFORMANCE OF THE CONTRACTOR OR SUBCONTRACTOR'S WORK.

SHEET INDEX:

- A-1.1 EXISTING SITE PLAN
A-1.2 PRELIMINARY SITE PLAN
A-2.1 EXISTING & DEMO FLOOR PLAN
A-2.2 PRELIMINARY FLOOR PLAN
A-3 REFLECTED CEILING PLAN
A-4 ROOF PLAN
A-5 ELEVATIONS
A-6 SECTIONS

Revision	By	Date
1	DAVE MADSEN	04/30/18
2	DAVE MADSEN	04/30/18
3	DAVE MADSEN	04/30/18
4	DAVE MADSEN	04/30/18
5	DAVE MADSEN	04/30/18
6	DAVE MADSEN	04/30/18
7	DAVE MADSEN	04/30/18
8	DAVE MADSEN	04/30/18
9	DAVE MADSEN	04/30/18
10	DAVE MADSEN	04/30/18

DMA

DAVE MADSEN ARCHITECT
P.O. BOX 485
4117 Golden Gate Circle, Suite 104, Murietta, CA 92562

EXISTING SITE PLAN

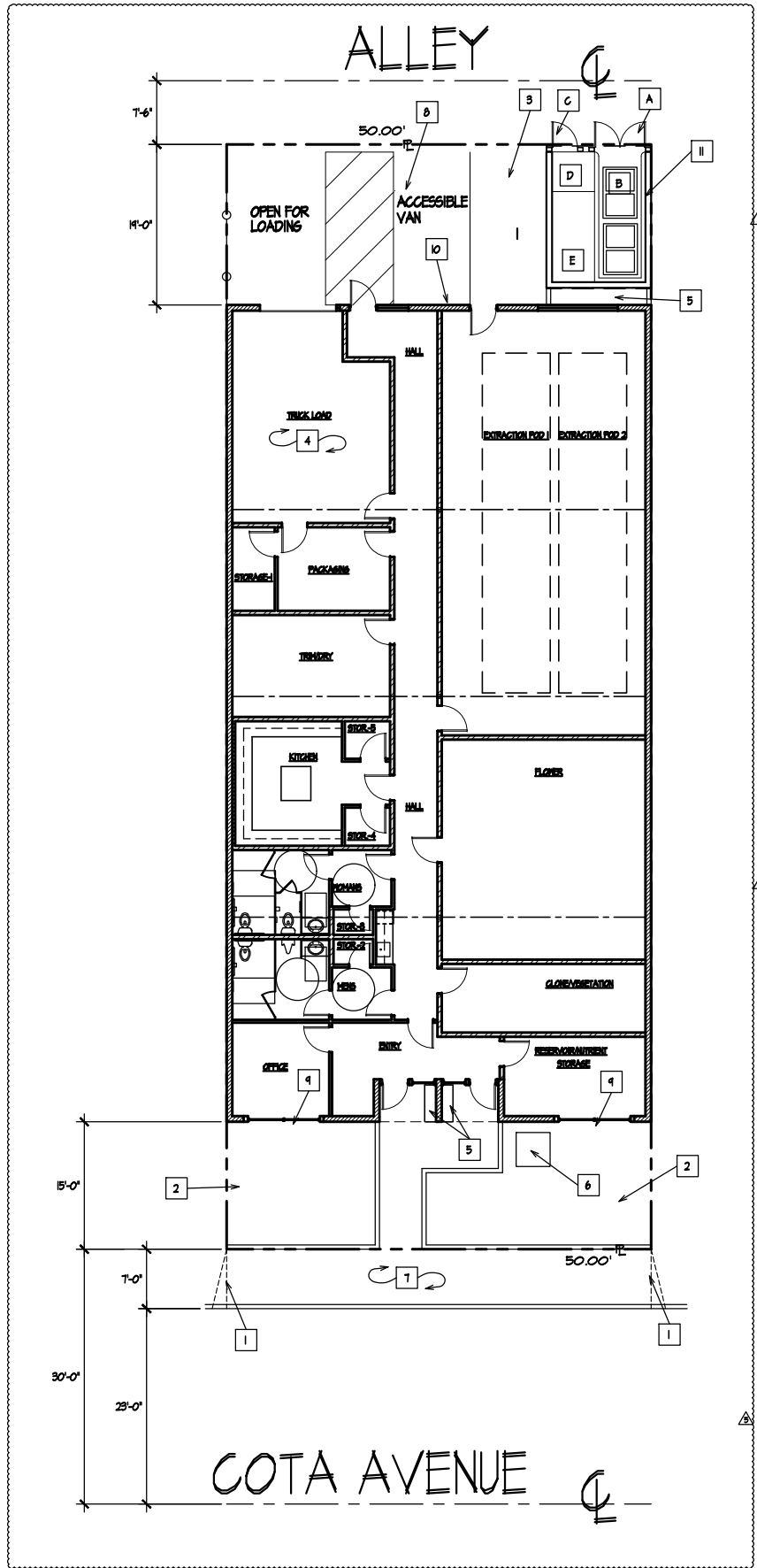
AMERICAN FLOWER LLC. T.I.
1667 COTA AVE
LONG BEACH, CA 90803



Drawn by LM
Checked by
Date 04/30/18
Job No. 18-140



1" = 20'-0"
Sheet Number
A-1.1
Of Sheets



OWNER:
COTA LLC,
P.O. BOX 485
LAGUNA BEACH, CA 92652

LEGAL DESCRIPTION:
LOT: 40/41 BLK 6 TRACT: 2600
1661 COTA AVE
LONG BEACH, LOS ANGELES COUNTY, CA
APN: 7452-001-025

PROJECT DATA:

LOT SIZE: 6,574 SQ. FT.

BUILDING SIZE: 4,764 SQ. FT. (TOTAL)

LANDSCAPE: 489 SQ. FT.

PAVING: 1,326 SQ. FT.

LOT COVERAGE OF BUILDING: 4,764 SQ. FT. 72.1% OF THE TOTAL AREA OF THE SITE.

PAVING: 1,815 SQ. FT.

BLDG. CONSTRUCTION: V-B, FIRE SPRINKLERS

OCCUPANCY: B, F-1, S

ZONING: IG, GENERAL INDUSTRIAL

NATURE OF BUSINESS: CANNABIS PROCESSING

OPERATION: CANNABIS MFG, CULTIVATION AND MICRO DISTRIBUTION

LAND USE: 3100, INDUSTRIAL

PREVIOUS USE: AUTOREPAIR

YEAR BUILT: 1965

NOTE:
THIS PROJECT SHALL COMPLY WITH THE LOCAL ORDINANCE AND THE 2016 CALIFORNIA BUILDING CODE, PART 2;
THE 2016 CALIFORNIA RESIDENTIAL CODE, PART 2.5;
THE 2016 CALIFORNIA ELECTRICAL CODE, PART 3
THE 2016 CALIFORNIA MECHANICAL CODE, PART 4
THE 2016 CALIFORNIA PLUMBING CODE, PART 5;
THE 2016 CALIFORNIA ENERGY CODE, PART 6.
THE 2016 CALIFORNIA FIRE CODE, PART 9
THE 2016 CALIFORNIA EXISTING BUILDING CODE, PART 10
THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 12;
THE 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12

- SITE NOTES:**
- INDICATES NOTES APPLICABLE TO THIS PLAN ONLY WHEN REFERENCED.
- DEMO EXISTING CURB AND DRIVEWAY AND REPLACE WITH NEW SIDE WALK AND CURB AND BUTTER.
 - PROPOSED LANDSCAPE AREA WITH CURB.
 - LOCATION OF 4' X 8' PARKING SPACE.
 - LOCATION FOR LOADING AREA.
 - PROPOSED VINE GROW AREA.
 - PROPOSED LOCATION FOR TRANSFORMER.
 - NEW STREET SIDEWALK.
 - PROPOSED LOCATION FOR VAN ACCESSIBLE PARKING SPACE.
 - APPROXIMATE LOCATION FOR EXISTING FRONT LIGHTING ON CHU MALL.
 - PROPOSED LOCATION FOR REAR PARKING LOT LIGHTING ON CHU MALL.
 - PROPOSED LOCATION FOR TRASH ENCLOSURE SEE CALLOUTS BELOW.
A. DOORS TO TRASH CONTAINERS
B. TRASH CONTAINERS
C. DOOR TO ACCESS TRASH CONTAINERS
D. RAMP FOR ACCESS SIDEWALK TO TRASH CONTAINERS
E. ACCESS SIDEWALK TO TRASH CONTAINERS

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B. DESIGN MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, ARCHITECT AND APPLICABLE GOVERNING AGENCIES. REFERENCES TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAILS OR DRAWINGS.
C. THE ARCHITECT SHALL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED, SAFETY IN OR ABOUT THE JOB SITE METHODS OF PERFORMANCE OR TIMELINESS IN THE PERFORMANCE OF THE CONTRACTOR OR SUBCONTRACTOR'S WORK.

PARKING ANALYSIS

	USE	REQUIRED PARKING RATIO	REQUIRED PARKING STALLS	PARKING CREDITED	PARKING PROVIDED
EXISTING	AUTO REPAIR	4 / 1000 GFA	4764 / 250 = 19.1		0
PROPOSED	ADULT-USE CANNABIS	2 / 1000 GFA	3980 / 500 = 8.0		2

GROSS SQUARE FOOTAGE WITH TRUCK LOAD AREA AND RESTROOMS REMOVED FROM SQUARE FOOTAGE

Revisions:

1	INITIAL	SUBMIT
2	PLANNING DEPT.	10/1/18
3	PLANNING DEPT.	10/1/18
4	PLANNING DEPT.	10/1/18
5	PLANNING DEPT.	10/1/18
6	PLANNING DEPT.	10/1/18
7	PLANNING DEPT.	10/1/18

DMA

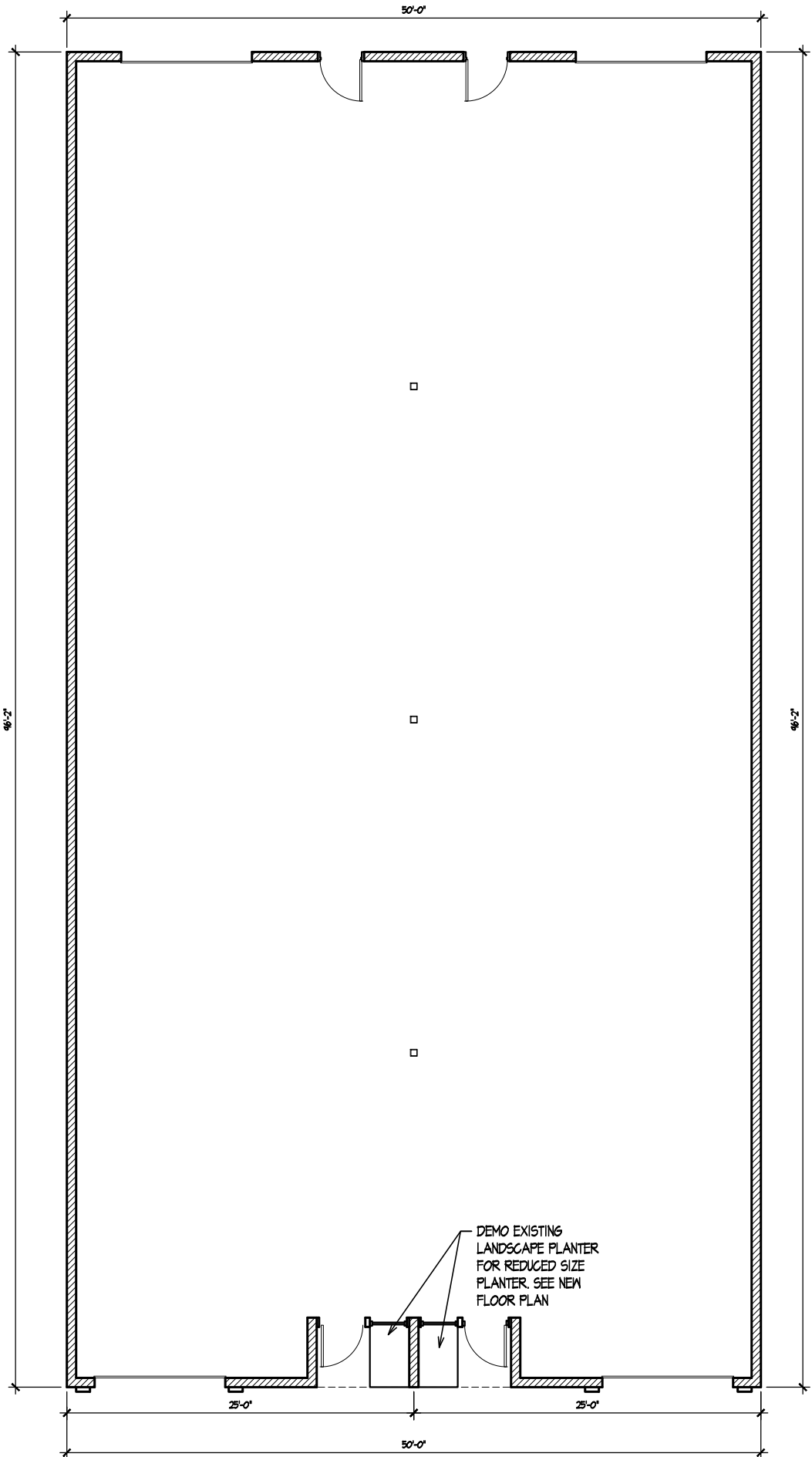
DAVE MADSEN ARCHITECT
Phone 949-441-2712 • Email: dave@dmadma.com
4111T Golden Gate Circle, Suite 104, Murietta, CA 92562

Project and Location
AMERICAN FLOWER LLC. T.I.
1661 COTA AVE
LONG BEACH, CA 90803

Drawn by LM
Checked by
Date 04/30/18
Job No. 18-140

1" = 20'-0"

Sheet Number
A-1.2
Of Sheets



WALL LEGEND

	EXISTING CMU WALLS TO REMAIN
	EXISTING 2X WALLS TO BE REMOVED
	NEW 2X6 WALLS
	NEW 2X4 FURRED WALLS
	NEW 2X4 WALLS

FLOOR PLAN NOTES

- CONTRACTOR SHALL NOT MAKE ANY CHANGES OR DEVIATE FROM THESE PLANS WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT. IF OWNER AUTHORIZES ANY CHANGES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- ALL DIMENSIONS ARE TAKEN TO FACE OF STUD (UNLQ). IN CASE OF CONFLICT, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE DRAWINGS. (DO NOT SCALE DRAWINGS)
- CONTRACTOR AND/OR SUBCONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, DATA, DIMENSIONS, SPEC.'S, AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK & REPORT AT ONCE TO THE ARCHITECT ANY ERROR INCONSISTENCY OR OMISSION THAT IS DISCOVERED.
- CONTRACTOR SHALL VERIFY IN/OWNER ALL FINISHES & MATERIALS PRIOR TO PURCHASE AND/OR INSTALLATION.

SQUARE FOOTAGE:

FLOOR PLAN:	
BUILDING FOOTPRINT:	4,164 SQ.FT.
TOTAL:	4,164 SQ.FT.

Revisions:

BUILDING DEPT.	REV.
PLANNING DEPT.	REV.
PLANNING DEPT.	REV.
PLANNING DEPT.	REV.
PLANNING DEPT.	REV.
PLANNING DEPT.	REV.
PLANNING DEPT.	REV.
PLANNING DEPT.	REV.
PLANNING DEPT.	REV.
PLANNING DEPT.	REV.

DMA

DAVE MADDEN ARCHITECT
Phone 951-434-7712 • E-Mail: dave@davearchitect.net
41147 Golden Gate Circle, Suite 101, Murietta, Ca 92562

EXISTING FLOOR PLAN

Project and Location

AMERICAN FLOWER LLC. T.I.
1667 COTA AVE
LONG BEACH, CA 90813

Drawn by LM

Checked by

Date 06/19/19

Job No. 18-140

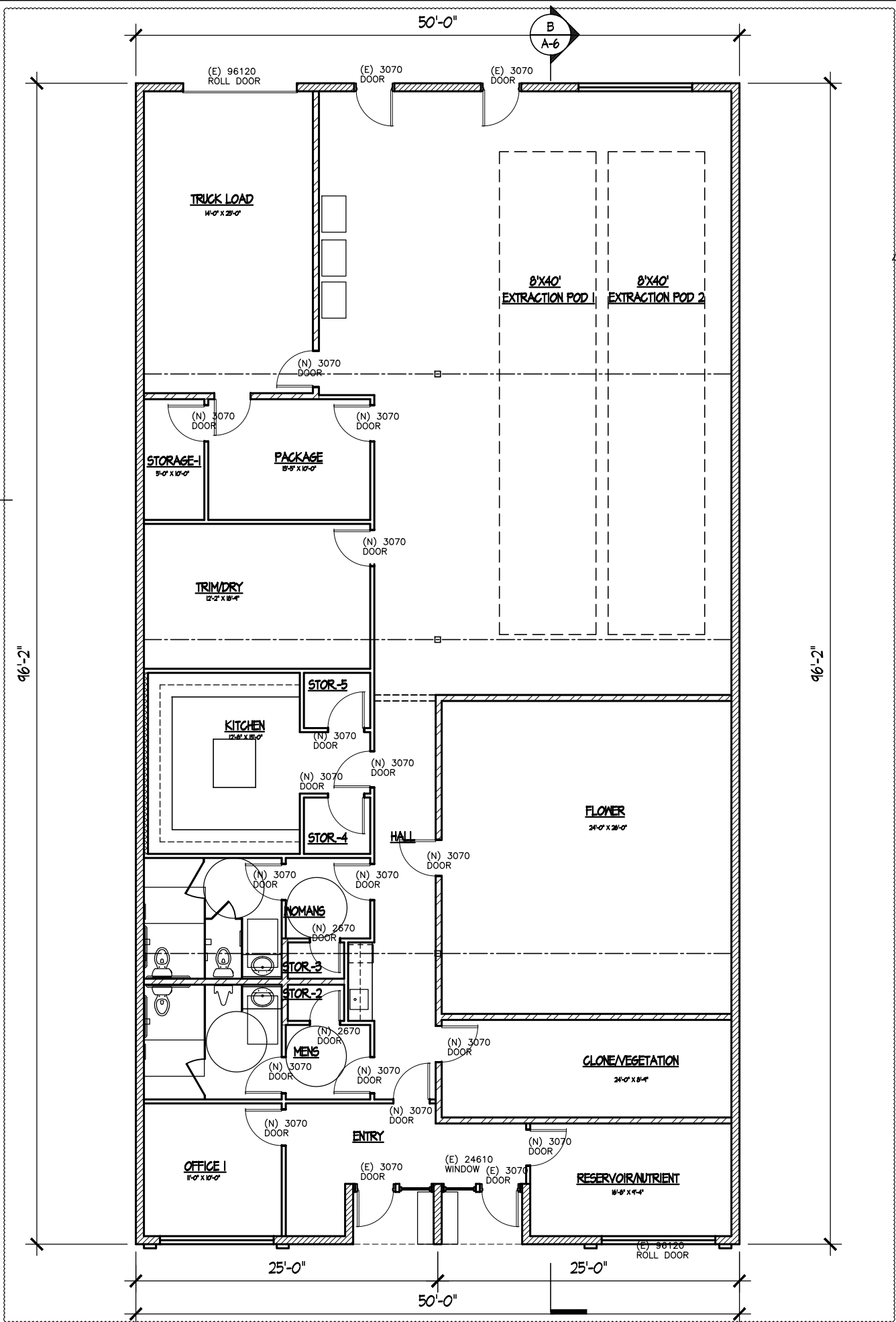
3/32" = 1'-0"

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Of Sheets

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WALL LEGEND

	EXISTING CMU WALLS TO REMAIN
	EXISTING 2X WALLS TO BE REMOVED
	NEW 2X6 WALLS
	NEW 2X4 FURRED WALLS
	NEW 2X4 WALLS

FLOOR PLAN NOTES

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- CONTRACTOR SHALL VERIFY WORKMAN ALL FINISHES & MATERIALS PRIOR TO PURCHASE AND/OR INSTALLATION.

SQUARE FOOTAGE:

FLOOR PLAN:	
BUILDING FOOTPRINT:	4,764 SQ.FT.
TOTAL:	4,764 SQ.FT.

Revisions:
BUILDING DEPT. REV.
08/21/19
PLANNING DEPT. REV.
08/21/19
PLANNING DEPT. REV.
08/21/19
PLANNING DEPT. REV.
08/21/19
PLANNING DEPT. REV.
08/21/19

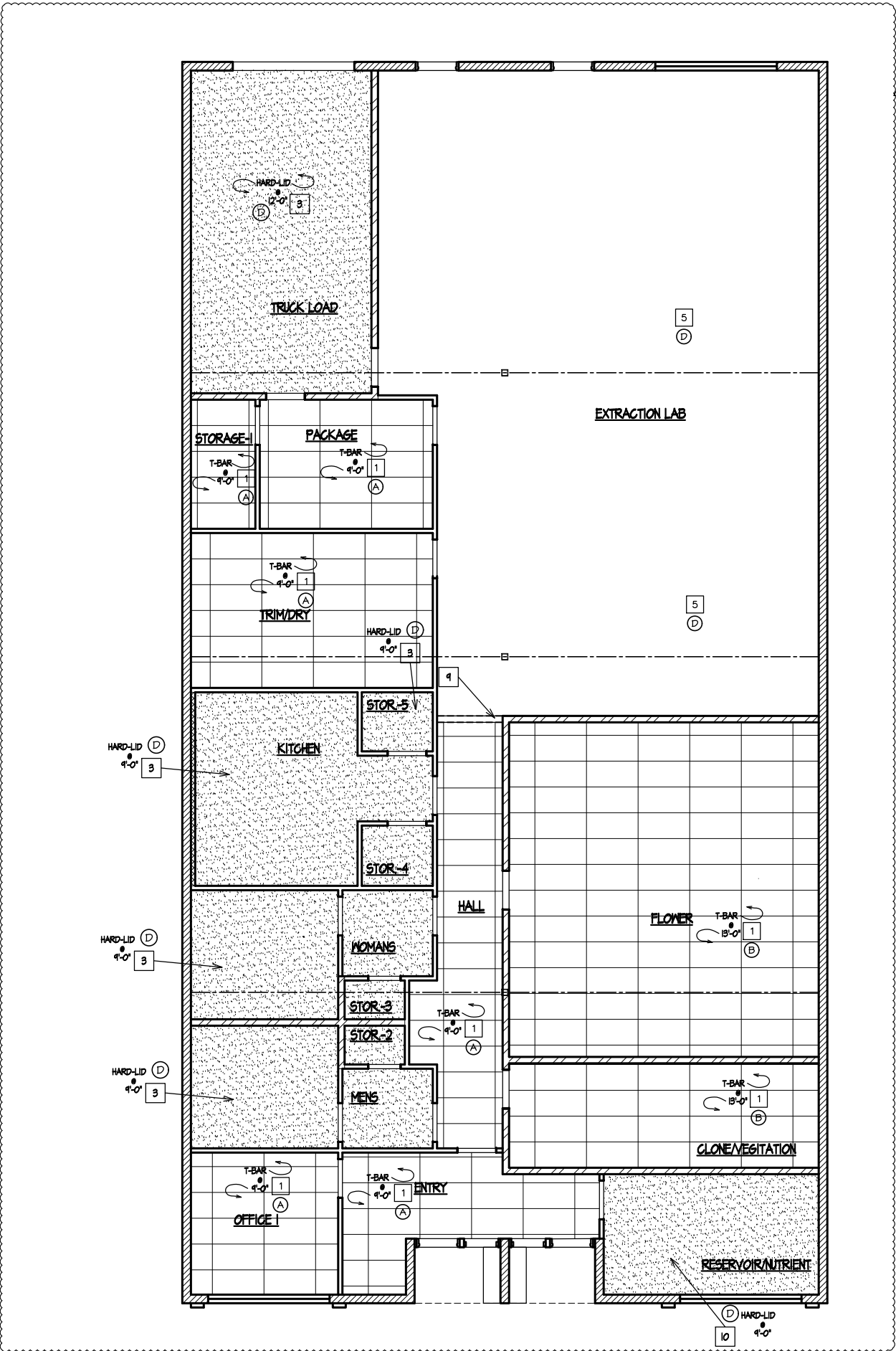
DMA
DAVE MADDEN ARCHITECT
Dave Madden Architect
4115T Golden Gate Circle, Suite 109, Marineta, Ca 92562
Phone 954-942-7710 • Email: dave@dmadma.com

FLOOR PLAN

AMERICAN FLOWER LLC. T.I.
1667 COTA AVE
LONG BEACH, CA 90813

Drawn by LM
Checked by
Date 08/19/19
Job No. 18-140

3/32" = 1'-0"
A-2.2
Of Sheets



SYMBOL LEGEND

- 2" WIDE ATTIC VENT, COVERED W/ CORROSION RESISTANT METAL MESH 1/4" MESH OPENING.
- 24" X 48" CEILING TILE GRID
- 24" X 24" CEILING TILE GRID
- GYP. BD. CEILING OR STUCCO SOFFIT
- EXISTING CEILING TO REMAIN
- EXISTING CEILING TO REMAIN
- 22" X 30" ATTIC ACCESS
- ATTIC DRAFTSTOP MAX 60 FEET O.C.
- WALL MOUNTED FLORESCENT LIGHT FIXTURE
- CEILING MOUNTED FLORESCENT LIGHT FIXTURE
- EXHAUST FAN
- CEILING MOUNTED EXIT SIGN
- THERMOSTAT LOCATION
- WALL MOUNTED CAMERA
- RECESSED CANNED LIGHT FIXTURE
- INCANDESCENT LIGHT FIXTURE
- TRACK LIGHTING (LENGTH) MTD @ 10'-0" A.F.F.
- 12" X 48" FLUORESCENT LIGHT FIXTURE
- 24" X 48" FLUORESCENT LIGHT FIXTURE
- 24" X 24" FLUORESCENT LIGHT FIXTURE
- CEILING DIFFUSER, SUPPLY
- CEILING REGISTER, RETURN
- CEILING REGISTER, EXHAUST

SHEET NOTES:

- A. ALL STUD WALLS EXTEND TO FLOOR OR ROOF FRAMING UNLESS NOTED OTHERWISE.
- B. PROVIDE LATERAL BRACING AT SUSPENDED CEILING SYSTEMS WITH (4) FOUR 12 GA. WIRE TIED TO STRUCTURE & SECURED TO MAIN RUNNER WITHIN 2' OF CROSS RUNNER, SPACED 60 DEGREES FROM EACH OTHER AT 45 DEGREES TO CEILING PLANE, PLACE BRACING AT 12'-0" O.C. EA. MAY & WITHIN 4'-0" OF PERIMETER WALLS, LATERAL BRACING SHALL CONFORM TO ASTM STANDARDS C635 & C636, RE: A53.
- C. ALL SUSPENDED WALL FRAMING IS 24" O.C. STEEL STUD SIZE SHALL BE 3 5/8" (ACTUAL) UNLESS NOTED OTHERWISE.
- D. GYPSUM BOARD PANELS ARE 5/8" (THICK TYPE 'X') UNLESS NOTED OTHERWISE.
- E. ANGLES ARE 45 DEGREES AND 90 DEGREES, UNLESS NOTED OTHERWISE.
- F. REFER TO MECHANICAL DRAWINGS FOR GRILLES & REGISTER LOCATIONS, COORDINATE WITH CEILING MODIFICATIONS.
- G. REFER ALSO TO ELECTRICAL DRAWINGS FOR NEW LIGHTING LAYOUT.
- H. ALL SUSPENDED CEILINGS SHALL COMPLY WITH ASTM C35 and C36.
- I. WHERE NEW CONSTRUCTION OCCURS, ALIGN NEW SURFACES WITH EXISTING TRIM AND ADJUST DIMENSIONS AND HEIGHTS TO COORDINATE WITH INTENDED ALIGNMENT OR RELATIONSHIPS.

KEYED NOTES:

- INDICATES NOTES APPLY TO THIS PLAN ONLY! (U.O.N. = UNLESS OTHERWISE NOTED)
- 1 SUSPENDED CEILING SYSTEM WITH LAY-IN ACCOUSTIC TILES. INSTALL BRACING WIRE AND COMPRESSION STRUTS PER DETAILS.
- 2 GYPSUM BOARD SOFFIT.
- 3 5/8" TYPE 'X' GYP. BD. CEILING
- 4 SOFFIT FRAMED BOX OUT FOR WAREHOUSE ROLL DOOR.
- 5 OPEN TO ROOF DECK ABOVE.
- 6 EXHAUST HOOD: SEE MECHANICAL DRAWINGS
- 7 EXPOSED DUCT WORK
- 8 EXISTING CEILING TO REMAIN
- 9 2X WALL WITH 5/8" GYP. BOARD ON EXTERIOR SIDE HANGING FROM CEILING TO CLOSE OFF DIFFERENT CEILING HEIGHTS.
- 10 5/8" TYPE 'X' GYP. BD. ON BOTH SIDES OF CEILING
- 11 5/8" GYP. GREENBOARD PAINTED
- 12 OPEN TO WHITE LAMTEG SHEETING AT ROOF DECK AND PAINTED EXPOSED STRUCTURAL MEMBERS.

CEILING FINISHES:

- INDICATES NOTES APPLY TO THIS PLAN ONLY! (U.O.N. = UNLESS OTHERWISE NOTED)
- (A) 2' X 4' LAY-IN ACCOUSTICAL TILE W/ STANDARD FISSED PATTERN. COLOR: PER OWNER.
- (B) 2' X 4' LAY-IN ACCOUSTICAL TILE W/ STANDARD WASHABLE SURFACE. COLOR: PER OWNER.
- (C) 2' X 2' LAY-IN ACCOUSTICAL TILE - W/STANDARD FISSED PATTERN. COLOR : PER OWNER.
- (D) PAINT - COLOR PER OWNER.
- (E) STUCCO - PAINTED PER EXTERIOR OWNER.
- (F) LINEAR METAL CEILING - COLOR PER OWNER.

NOTE:

HVAC DIFFUSERS AND DUCTING LOCATIONS SHOWN FOR CONCEPT ONLY. SEE MECH. & ELEC. PLANS SHOWING EXACT LOCATIONS.

Revisions:
BUILDING DEPT. REV. 1
PLANNING DEPT. REV. 1
PLANNING DEPT. REV. 1
PLANNING DEPT. REV. 1
PLANNING DEPT. REV. 1
PLANNING DEPT. REV. 1

DMA

DAVE MADDEN ARCHITECT
Phone 651-434-2712 • E-Mail: dave@davearchitect.net
4117 Golden Gate Circle, Suite 101, Murietta, Ca 92562

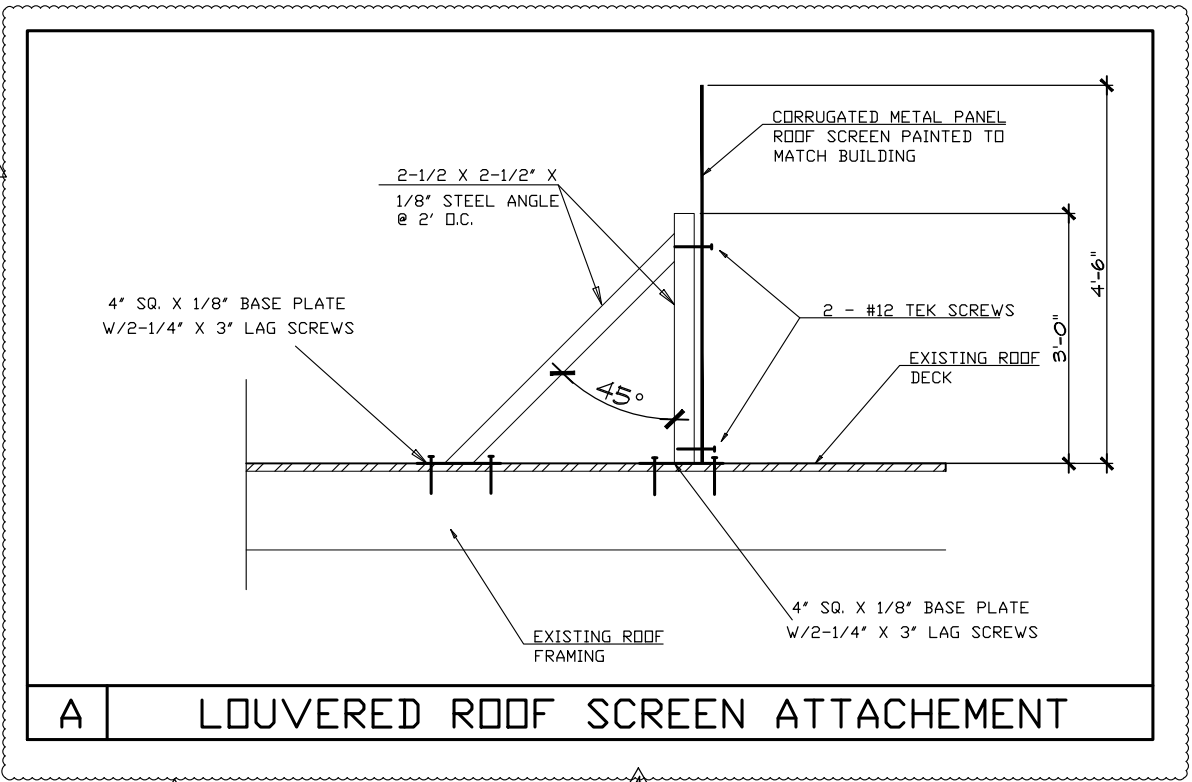
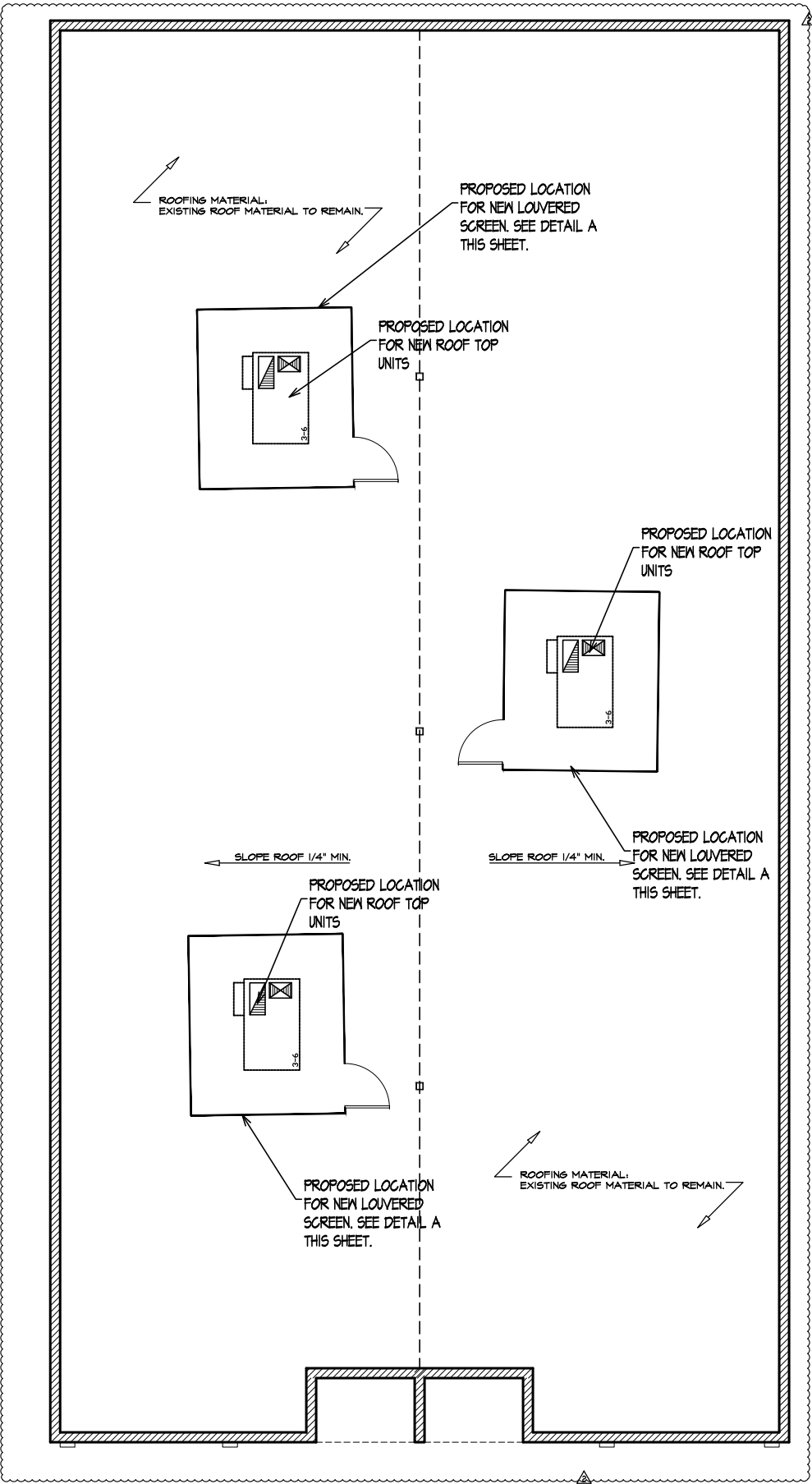
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1667 COTA AVE
LONG BEACH, CA 90813

SEAL

Drawn by LM
Checked by
Date 06/19/19
Job No. 18-140

1840-RCP-01-00.DWG

3/32" = 1'-0"
Sheet Number
A-3
Of Sheets



Revisions:
BUILDING DEPT. REV. 1
8/27/19
PLANNING DEPT. REV. 1
10/15/19
PLANNING DEPT. REV. 1
10/15/19
PLANNING DEPT. REV. 1
10/15/19
PLANNING DEPT. REV. 1
10/15/19

DMA

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41147 Golden Gate Circle, Suite 101, Murietta, Ca 92562

Title:

ROOF PLAN

Project and Location

AMERICAN FLOWER LLC. T.I.
1667 COTA AVE
LONG BEACH, CA 90813

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Checked by
Date 06/19/19
Job No. 18-140

18140-RF-PLAN-01-08.dwg

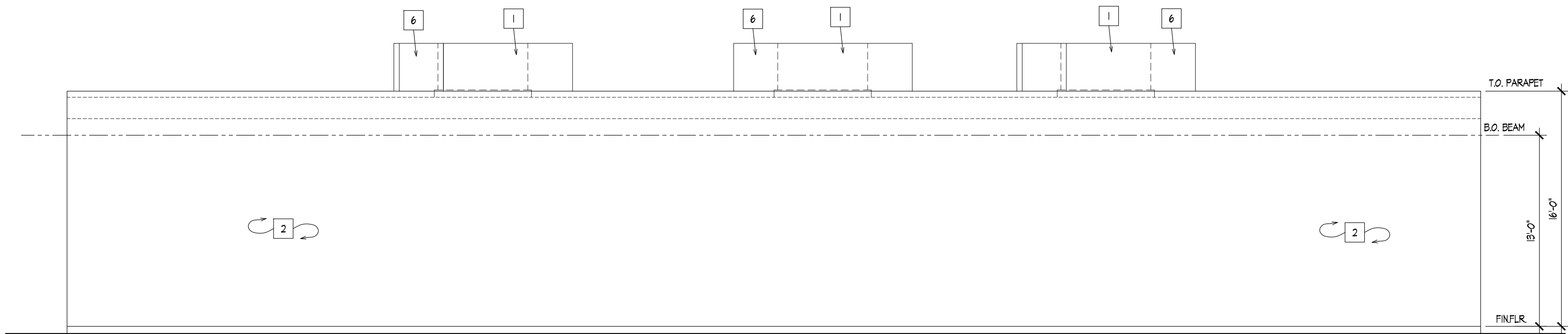
3/32" = 1'-0"
Sheet Number
A-4
Of Sheets

ALL DATA SHOWN IS FOR INFORMATION PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE USER TO VERIFY THE ACCURACY OF THE DATA. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT'S WORK IS LIMITED TO THE DESIGN OF THE BUILDING AND ITS STRUCTURE. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY DATA NOT PROVIDED BY THE USER. THE ARCHITECT'S WORK IS LIMITED TO THE DESIGN OF THE BUILDING AND ITS STRUCTURE. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY DATA NOT PROVIDED BY THE USER.

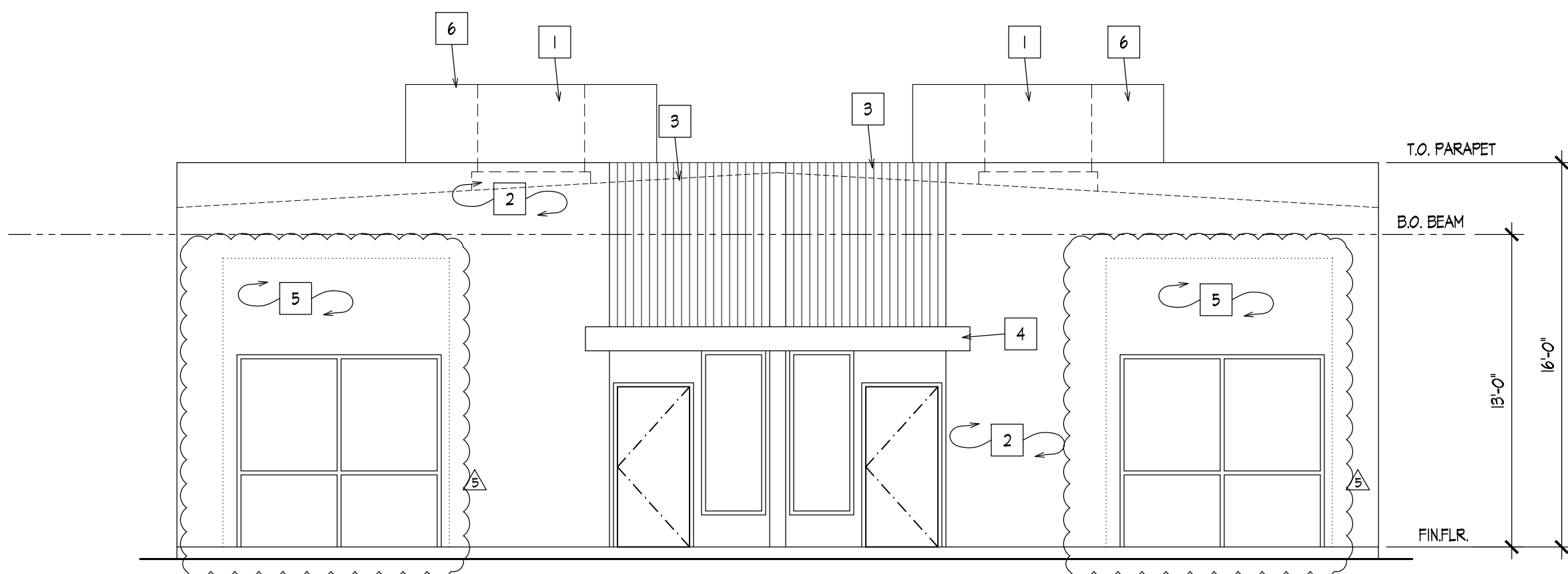
ELEVATION SCHEDULE

INDICATES NOTES APPLICABLE TO THIS PLAN ONLY!
(U.N.O.) = UNLESS NOTED OTHERWISE

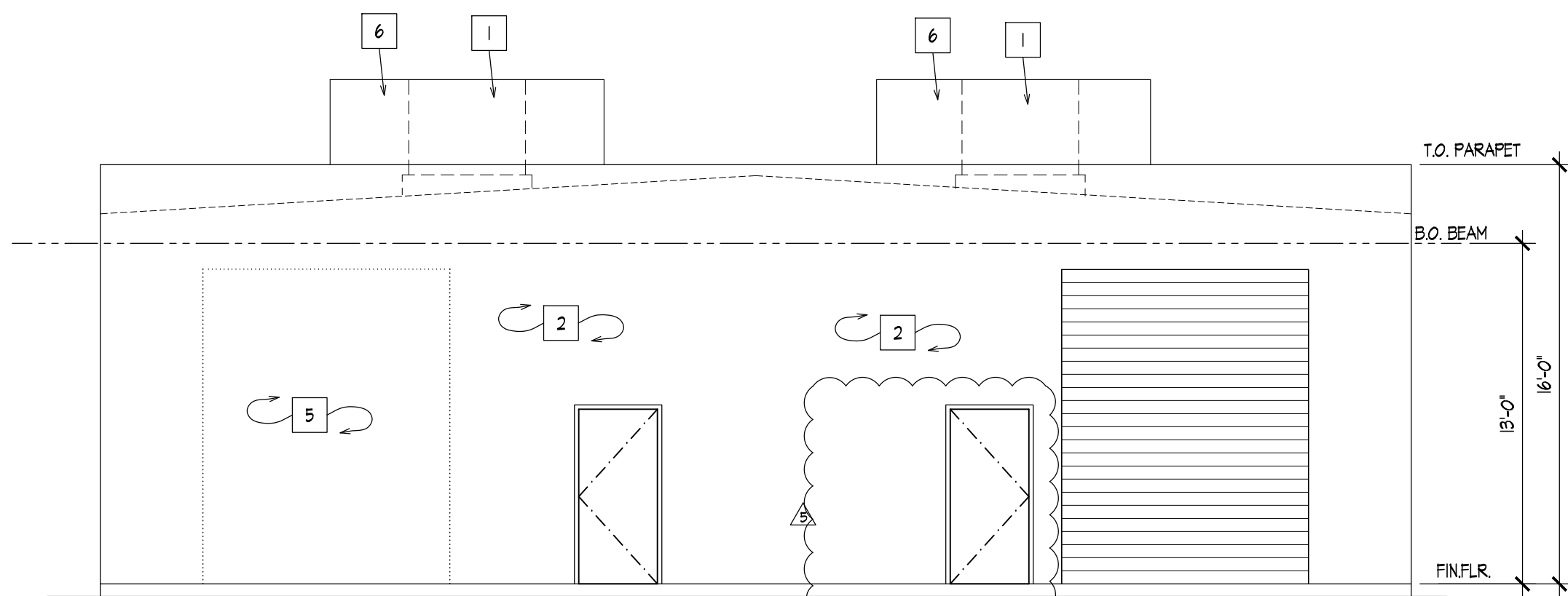
1. OUTLINE OF ROOF TOP UNIT
2. EXISTING BLUOK FAÇADE
3. EXISTING WOOD FAÇADE
4. EXISTING WOOD ENTRY COVER
5. (N) SMOOTH STUCCO FINISH TO MATCH
6. EXISTING EXTERIOR IN COLOR
7. (N) CORRUGATED METAL PANEL ROOF SCREENS



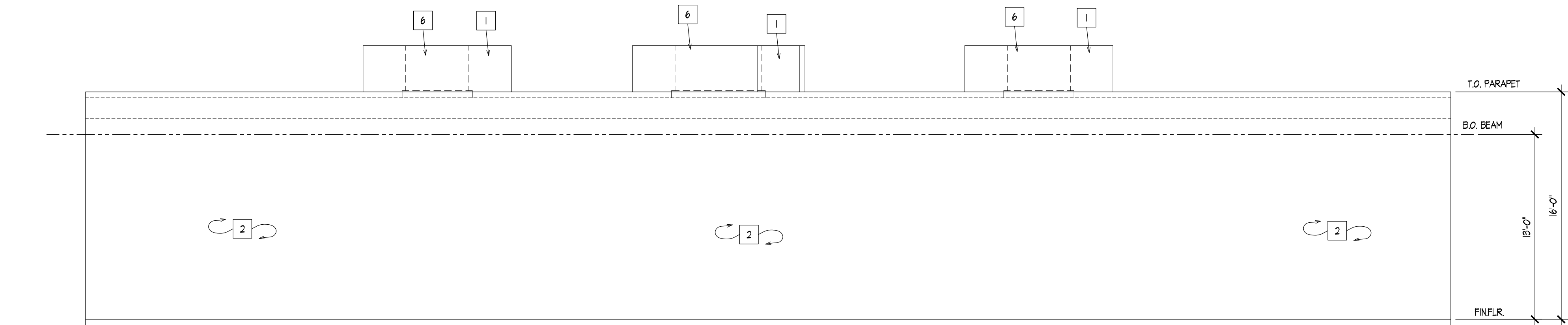
RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION



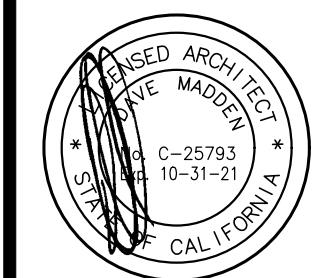
LEFT ELEVATION

Revisions:			
INITIAL	SUBMITTAL	DATE	REVISION
△	PLANNING DEPT. REV.	08/21/19	1
△	PLANNING DEPT. REV.	07/15/19	2
△	PLANNING DEPT. REV.	07/15/19	3
△	PLANNING DEPT. REV.	07/15/19	4
△	PLANNING DEPT. REV.	07/02/19	5

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ELEVATIONS

Project and Location
**AMERICAN FLOWER LLC, T.I.
1667 COTA AVE
LONG BEACH, CA 90813**



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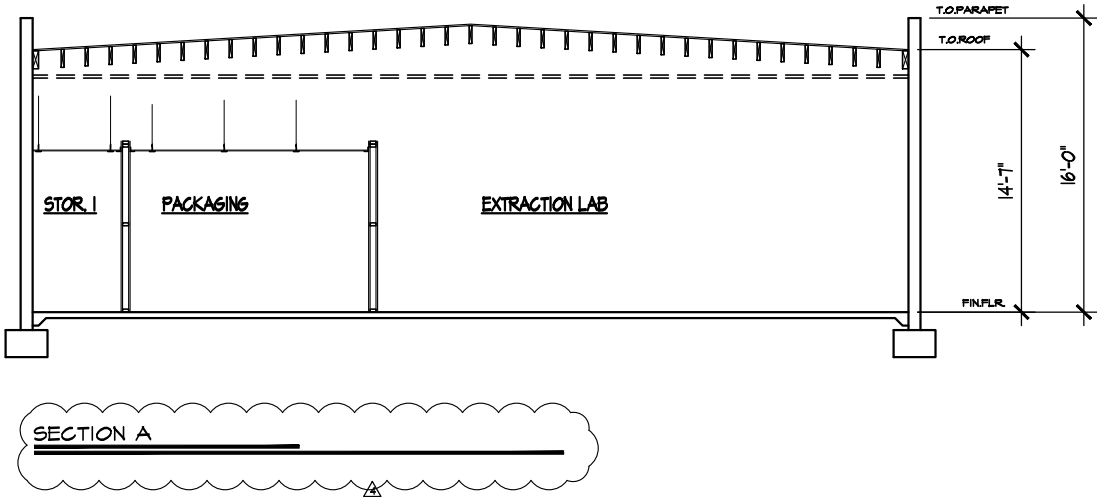
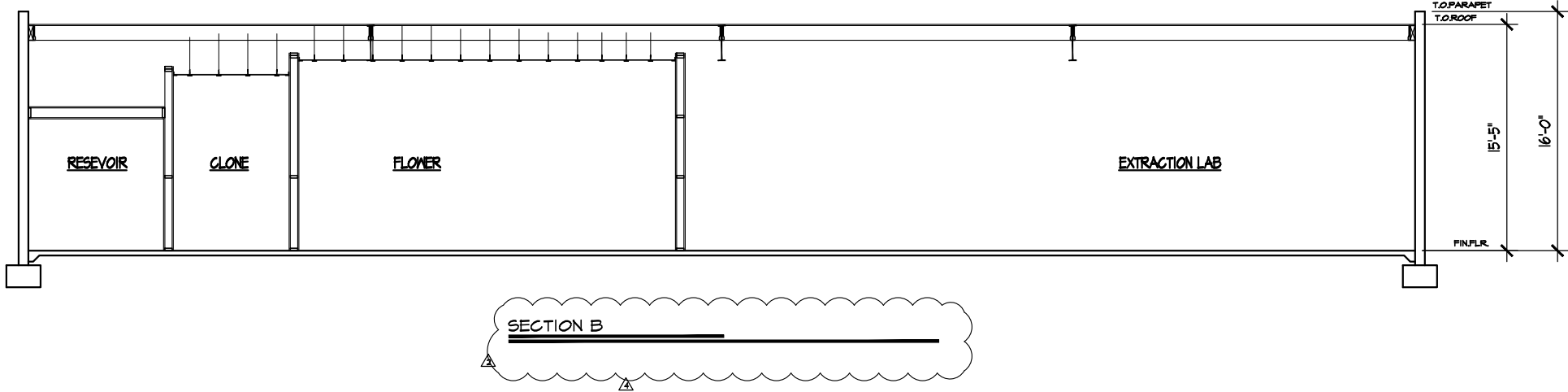
3/16" = 1'-0"

Sheet Number

A-5

Of Sheets

18140-ELEV-01-07.dwg



Revisions:			
NO.	DATE	BY	REVISION
1			BUILDING DEPT. REVIEW
2			PLANNING DEPT. REVIEW
3			PLANNING DEPT. REVIEW
4			PLANNING DEPT. REVIEW
5			PLANNING DEPT. REVIEW
6			PLANNING DEPT. REVIEW
7			PLANNING DEPT. REVIEW
8			PLANNING DEPT. REVIEW
9			PLANNING DEPT. REVIEW
10			PLANNING DEPT. REVIEW

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SECTIONS

Project and Location
AMERICAN FLOWER LLC. T.I.
1667 COTA AVE
LONG BEACH, CA 90813



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1840-SEC-01-08.DWG
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Sheet Number
A-6
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