

**SITE PHOTOS & PLANS**  
**110 W. Ocean Boulevard**  
**Application No. 1911-13**  
**February 6, 2020**























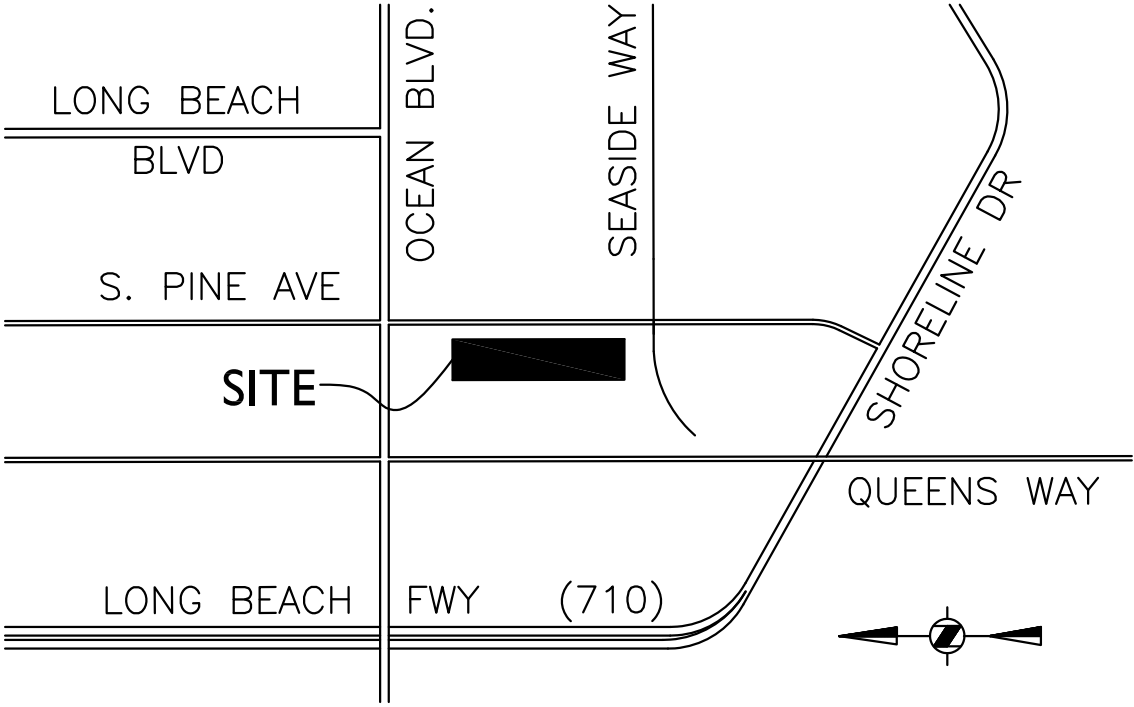








VICINITY MAP



DEFERRED SUBMITTALS

- AUTOMATIC WET/COMBINED SPRINKLER STANDPIPE. NFPA 13, 2013 EDITION AND NFPA 14, 2013. EDITION. (FIRE PUMP NFPA 20, 2013 EDITION).
- EMERGENCY VOICE EVACUATION FIRE ALARM SYSTEM PER CFC 907.2.13 AND NFPA 72, 2013 EDITION.
- SMOKE CONTROL RATIONAL ANALYSIS PER M.E.P
- EMERGENCY/STANDBY POWER SYSTEM PER NFPA 110, 2013 EDITION
- EMERGENCY GENERATOR TANK
- EMERGENCY RESPONDER RADIO COVERAGE, PER CFC SECTION 510.
- EMERGENCY LIGHTING
- SPIRAL METAL STAIRS
- MECHANICAL
- ELECTRICAL
- PLUMBING
- FIRE LIFE SAFETY
- SIGNAGE
- TENANT IMPROVEMENT RELATED WORK

CONSULTANTS

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**MECHANICAL /ELECTRICAL/ PLUMBING**  
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DRAWING INDEX

<b>ARCHITECTURAL</b> A0.01 TITLE SHEET A0.01.1 GENERAL NOTES C-01 SITE SURVEY A0.02 LETTERS OF APPROVAL A0.03 HISTORIC FEATURES REPORT A0.03.1 GREEN BUILDING A0.03.2 CONSTRUCTION & DEMO RECYCLING PLAN A0.04 MODIFICATIONS & APPROVAL LETTERS A0.04.0 ARCHITECTURE MODIFICATIONS A0.04.1 ARCHITECTURE MODIFICATIONS A0.04.2 ARCHITECTURE MODIFICATIONS A0.04.3 MECHANICAL MODIFICATIONS A0.04.4 TAC COMMENTS A0.05 ACCESSIBILITY DETAILS & NOTES A0.05.1 ACCESSIBILITY DETAILS & NOTES A0.05.1.5ACCESSIBILITY DETAILS & NOTES A0.05.2 FIRE NOTES A0.05.3 FIRE NOTES & SANITATION A0.06.0 EXITING PLANS A0.06.1 EXITING PLANS A0.06.2 EXITING PLANS A1.01 L2 FLOOR DEMOLITION PLAN A1.02 L1 FLOOR DEMOLITION PLAN A1.03 1ST FLOOR DEMOLITION PLAN A1.04 2ND FLOOR DEMOLITION PLAN A1.05 3RD FLOOR DEMOLITION PLAN A1.06 4TH FLOOR DEMOLITION PLAN A1.07 5TH FLOOR DEMOLITION PLAN A1.08 6TH FLOOR DEMOLITION PLAN A1.09 7TH FLOOR DEMOLITION PLAN A1.10 8TH FLOOR DEMOLITION PLAN A1.11 9TH FLOOR DEMOLITION PLAN A1.12 10TH FLOOR DEMOLITION PLAN A1.13 11TH, 12TH, & 13TH FLOOR DEMO PLANS A1.15 DEMO. SOUTH & NORTH ELEVATIONS A1.16 DEMO. EAST ELEVATION A1.17 DEMO. WEST ELEVATION	<b>STRUCTURAL</b> S-0.01 GENERAL NOTES S-1.01 TYPICAL CONCRETE DETAILS S-1.02 TYPICAL STEEL DETAILS S-2.01 L2 FLOOR PLAN S-2.02 L1 FLOOR PLAN S-2.03 1ST FLOOR FOUNDATION PLAN S-2.04 2ND FLOOR FRAMING PLAN S-2.05 3RD FLOOR FRAMING PLAN S-2.06 4TH FLOOR FRAMING PLAN S-2.07 5TH FLOOR FRAMING PLAN S-2.08 6TH FLOOR FRAMING PLAN S-2.09 7TH FLOOR FRAMING PLAN S-2.10 8TH FLOOR FRAMING PLAN S-2.11 9TH FLOOR FRAMING PLAN S-2.12 10TH FLOOR FRAMING PLAN S-2.13 11TH, 12TH, & 13TH FLOOR PLANS S-2.14 ROOF PLAN S-301 ELEVATIONS S-302 ELEVATIONS S-303 ELEVATIONS S-304 ELEVATIONS S-305 ELEVATIONS S-306 ELEVATIONS S-401 SEISMIC SECTIONS AND DETAILS S-402 SEISMIC SECTIONS AND DETAILS S-501 T.I. SECTIONS AND DETAILS S-502 SECTIONS AND DETAILS S-503 SECTIONS AND DETAILS
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<b>MEP</b> MEP 0.00 PROJECT INFORMATION & SHEET LIST MEP 0.01 SYSTEM DESCRIPTION & GENERAL NOTES MEP 0.02 ABBREVIATIONS & NOTICE TO CONTRACTOR MEP 1.01 SITE PLAN MEP 3.01 PARTIAL PLANS - ROOFTOP EQUIP ENCLOSURES MEP 3.02 PARTIAL PLANS - BASEMENT EQUIPMENT ROOMS MEP 4.01 ELEVATION - WEST MEP 4.02 ELEVATION - EAST MEP 4.03 ELEVATION - NORTH, SOUTH
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<b>MECHANICAL</b> M0.01 HVAC LEGEND & REQUIREMENTS M0.02 HVAC TESTING & ADJUST. REQ. M0.10 TITLE 24 M0.11 TITLE 24 M0.12 TITLE 24 M2.01 HVAC PLAN M2.02 HVAC PLAN M2.03 HVAC PLAN M2.04 HVAC PLAN M2.05 HVAC PLAN M2.06 HVAC PLAN M2.07 HVAC PLAN M2.08 HVAC PLAN M2.09 HVAC PLAN M2.10 HVAC PLAN M2.11 HVAC PLAN M2.12 HVAC PLAN M2.13 HVAC PLAN M2.14 HVAC PLAN M2.15 HVAC PLAN M4.01 STAIRWELL PRESSURIZATION CALCS & SEC. M4.02 STAIRWELL PRESSURIZATION CALCS & SEC. M5.01 HVAC DETAILS - AIR DISTRIBUTION M5.02 HVAC DETAILS - AIR DISTRIBUTION M5.03 HVAC DETAILS - AIR DISTRIBUTION M5.11 HVAC DETAILS - AIR HANDLING EQUIPMENT M5.12 HVAC DETAILS - AIR HANDLING EQUIPMENT M5.13 HVAC DETAILS - AIR HANDLING EQUIPMENT M5.14 HVAC DETAILS - AIR HANDLING EQUIPMENT M5.15 HVAC DETAILS - AIR HANDLING EQUIPMENT M5.21 HVAC DETAILS - PIPING SYSTEM M5.22 HVAC DETAILS M5.31 HVAC DETAILS - AC UNITS M5.32 HVAC DETAILS - AC UNITS M5.33 HVAC DETAILS - AC UNITS M5.41 HVAC DETAILS M5.51 HVAC DETAILS M5.52 HVAC DETAILS M6.01 SMOKE CONTROL PANEL AND TEXT PANEL
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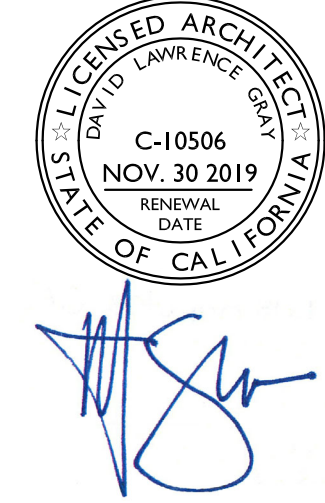
<b>ELECTRICAL</b> E0.02 ELECT. & LIFE SAFETY E0.03 EQUIPMENT SPECIFICATIONS E0.04 EQUIPMENT SPECIFICATIONS E0.10 TITLE 24 E0.11 TITLE 24 E0.12 TITLE 24 E0.13 TITLE 24 E0.20 PANEL SCHEDULE - SERVICE #1 E0.21 PANEL SCHEDULE - SERVICE #2 E0.22 PANEL SCHEDULE - SERVICE #3 E0.23 FEEDER SCHEDULE AND CALCS E0.24 EMERGENCY GENERATOR CALCS E0.25 LTG. SCHEDULE & REQUIREMENTS E0.30 ELECTRICAL E0.31 ELECTRICAL E0.32 ELECTRICAL E0.33 ELECTRICAL E0.34 ELECTRICAL E0.35 ELECTRICAL E0.36 ELECTRICAL E0.37 ELECTRICAL E2.01N ELECTRICAL PLAN E2.01S ELECTRICAL PLAN E2.02N ELECTRICAL PLAN E2.02S ELECTRICAL PLAN E2.03N ELECTRICAL PLAN E2.03S ELECTRICAL PLAN E2.04N ELECTRICAL PLAN E2.04S ELECTRICAL PLAN E2.05N ELECTRICAL PLAN E2.05S ELECTRICAL PLAN E2.06N ELECTRICAL PLAN E2.06S ELECTRICAL PLAN E2.07N ELECTRICAL PLAN E2.07S ELECTRICAL PLAN E2.08N ELECTRICAL PLAN E2.08S ELECTRICAL PLAN E2.09 ELECTRICAL PLAN E2.10 ELECTRICAL PLAN E2.11 ELECTRICAL PLAN E2.12 ELECTRICAL PLAN E2.13 ELECTRICAL PLAN E2.14 ELECTRICAL PLAN E2.15 ELECTRICAL PLAN E2.20 ELECTRICAL PLAN E2.21 ELECTRICAL PLAN E2.22 ELECTRICAL PLAN E2.23 ELECTRICAL PLAN E2.24 ELECTRICAL PLAN E2.25 ELECTRICAL PLAN E2.26 ELECTRICAL PLAN E3.01 PARTIAL PLAN & DETAILS MAIN ELECT. RM. E3.02 PARTIAL PLANS - TYP. UNITS E5.01 ELECTRICAL DETAILS E5.11 ELECTRICAL DETAILS - GROUNDING E5.21 WIRING DIAGRAM
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E5.22 WIRING DIAGRAM E6.01 SINGLE LINE DIAGRAM - SERVICE #1 E6.02 SINGLE LINE DIAGRAM - SERVICE #2 E6.03 SINGLE LINE DIAGRAM - SERVICE #3 E7.01 FIRE ALARM RISER DIAGRAM E7.02 SECURITY SYSTEM RISER DIAGRAM E7.03 TELEPHONE RISER DIAGRAM
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<b>PLUMBING</b> P0.01 PLUMBING P0.02 PLUMBING P0.10 PLUMBING P0.11 PLUMBING P2.01 PLUMBING P2.02 PLUMBING P2.03 PLUMBING P2.04 PLUMBING P2.05 PLUMBING P2.06 PLUMBING P2.07 PLUMBING P2.08 PLUMBING P2.09 PLUMBING P2.10 PLUMBING P2.11 PLUMBING P2.12 PLUMBING P2.13 PLUMBING P2.14 PLUMBING P2.15 PLUMBING P5.01 PLUMBING P5.02 PLUMBING P5.03 PLUMBING P5.04 PLUMBING P5.11 PLUMBING P5.12 PLUMBING P5.21 PLUMBING P5.31 PLUMBING P5.41 PLUMBING P5.51 PLUMBING P5.61 PLUMBING P5.62 PLUMBING P6.01 PLUMBING P6.02 PLUMBING P6.03 PLUMBING P6.04 PLUMBING P6.05 PLUMBING P6.06 PLUMBING P6.07 PLUMBING P6.08 PLUMBING P6.09 PLUMBING P6.10 PLUMBING P6.11 PLUMBING P6.12 PLUMBING P6.13 PLUMBING P6.14 PLUMBING P6.15 PLUMBING P6.16 PLUMBING P6.17 PLUMBING P6.18 PLUMBING
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- DAVID
- LAWRENCE
- GRAY
- ARCHITECTS
- AIA

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CALIFORNIA 90013  
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**OCEAN CENTER BUILDING**  
110 W. Ocean Blvd.  
Long Beach, CA 90802  
OWNER: Ocean Center Development, LLC  
211 E. Ocean Blvd., Ste. 550  
Long Beach, CA 90802

<b>ISSUED &amp; REVISED</b>
No. Date
02/22/17 BID SET
11/14/18 RESUBMITTAL
12/12/18 RESUBMITTAL
5/28/19 RESUBMITTAL
7/18/19 RESUBMITTAL
7/22/19 RESUBMITTAL

THE PROJECT DOCUMENTS INCLUDING THE DRAWINGS, SPECIFICATIONS AND OTHER MATERIALS HAVE BEEN PREPARED BY THE ARCHITECTS AS INSTRUMENTS OF THEIR PROFESSIONAL SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT FOR USE. THE OWNER SHALL BE PERMITTED TO RETAIN RECORD COPIES OF PROJECT DOCUMENTS FOR INFORMATIONAL PURPOSES AND FOR USE IN CONNECTION WITH THE CONSTRUCTION AND OCCUPANCY OF THIS PROJECT. THESE DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR THE COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY WRITTEN AGREEMENT AND WITH COMPENSATION TO THE ARCHITECT.

TITLE SHEET

PROJECT NO.	1803
DATE	
FILE NAME	
SCALE	
SHEET NO.	

A0.01

AREA TABULATION

LEVEL	Unit Count	Residential	Circulation	Utility/storage	Amenity	Parking	Commercial	Total	Private open	Shared open	Total Usable Open Space	standard Parking spaces	compact Parking spaces	Tandem Parking spaces	Lot Area	Lot Coverage	FAR	Average Unit Size
L2	7	4561	1530	4725			5442	16258										652
L1	13	10843	2470				3361	16674										834.07692
1	13	10428	3219		666		3114	17427										802.15385
2												21	7	6				
3												32	15	2				
4	14	11712	1949	159				13820	2187									836.57143
5	9	7714	1369	195	826			10104	249	2566								857.11111
6	9	7517	1238	320				9075										835.22222
7	6	4914	1064	101				6079	298	669								819
8	3	2457	480	9				2946	113	783								819
9	2	2593	315					2908										1296.5
10	2	2593	315					2908										1296.5
11	1	1168	207					1375										1168
12	1	1339	74					1413										2158
13		819		510				1329										
<b>TOTAL</b>	<b>80</b>	<b>68658</b>						<b>102316</b>	<b>2847</b>	<b>4018</b>	<b>6865</b>	<b>53</b>	<b>22</b>	<b>8</b>	<b>14944</b>	<b>14944</b>	<b>6.846627</b>	<b>858</b>

All residential units measure at least 450 SF

SCHOOL FEE AREA

LEVEL	RESIDENTIAL (INCLUDES CORRIDORS/COMMON SPACE)	RETAIL	SQ.FT.
L2		RETAIL 1	1989
		RETAIL 2	2094
		RETAIL 3	1359
		RETAIL 4	3316
		RETAIL 5	2629
L1			
1	13313		
4	13727		
5	13673		
6	8869		
7	6038		
8	2936		
9	2902		
10	2902		
11	1464		
12	1464		
13	819		
<b>TOTAL</b>	<b>85220</b>		<b>11387</b>

PROJECT SUMMARY

<b>LOCATION</b>	110 W. OCEAN BLVD., LONG BEACH, CA 90802 APN: # 7278-007-035 & 036
<b>OWNER INFORMATION</b>	Ocean Center Development, LLC 211 E. Ocean Blvd., Ste. 550 Long Beach, CA 90802
<b>FUND INFORMATION</b>	THIS PROJECT IS 100% PRIVATELY FUNDED
<b>LEGAL DESCRIPTION</b>	SEE SURVEY (C-1)
<b>LOT AREA</b>	17,182 sq.ft.
<b>CODE JURISDICTION</b>	2016 CALIFORNIA BUILDING, MECHANICAL, PLUMBING, FIRE ENERGY & GREEN CODE WITH CITY OF LONG BEACH AMENDMENTS
<b>ZONING</b>	DOWNTOWN SHORELINE PLANNED DEVELOPMENT DISTRICT (PD-6) - SUBAREA 4
<b>SCOPE OF WORK</b>	ADAPTIVE RE-USE TO NOT-FOR-SALE APARTMENT UNITS AND RETAIL
<b>HISTORIC</b>	NO STRUCTURAL FRAMING DEMOLITION IS REQUIRED. THE OCEAN CENTER BUILDING IS A CITY OF LONG BEACH DESIGNATED HISTORIC LANDMARK BUILDING. ANY EXTERIOR BUILDING CHANGES NOT APPROVED UNDER THIS SET OF PLANS MAY REQUIRE ADDITIONAL REVIEW BY PLANNING BUREAU STAFF OR THE CULTURAL HERITAGE COMMISSION

BUILDING CODE ANALYSIS CERTIFICATIONS

**BUILDING TYPE: I-B**  
**PRIMARY STRUCTURAL FRAME:**  
**BEARING WALLS:**  
**NONBEARING EXT. WALLS:**  
**NONBEARING INT. WALLS:**  
**FLOOR ROOF**


**2HR, (1HR FOR ROOF SUPPORTS)**  
**2HR PER SETBACKS**  
**OHR**  
**2HR**  
**1HR**

**BUILDING FULLY SPRINKLED**  
**BUILDING FIRE SEPARATION DISTANCE:**  
**NORTH TO CL OF OCEAN BLVD:**  
**EAST TO CL OF PINE AVE:**  
**SOUTH TO CL OF SEASIDE WAY:**  
**WEST TO CL OF PUBLIC PASEO:**

**142'-3"**  
**50'-11"**  
**39'-11"**  
**7'-7"**

**OCCUPANCY SEPARATION**  
**R-2-S-2 1HR**  
**R-2-A-2 1HR**  
**R-2-B 1HR**  
**A-2-S-2 1HR**

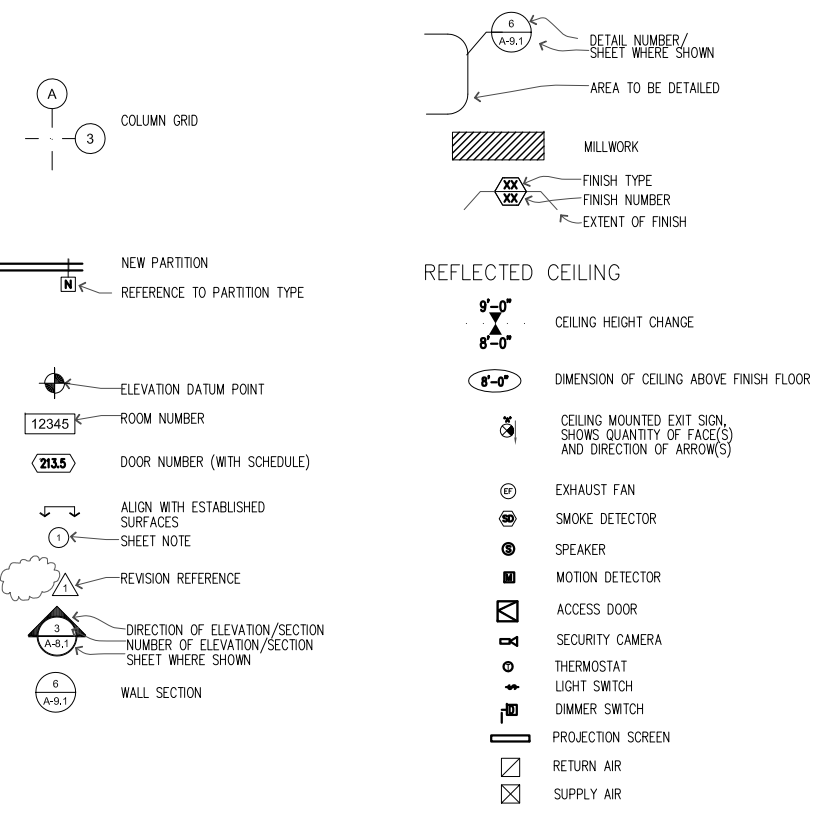
I CERTIFY THAT THE PRIMARY PATH OF TRAVEL TO THE SPECIFIC AREA OF ALTERATION, STRUCTURAL REPAIR OR ADDITION FROM THE PUBLIC WAY OR ACCESSIBLE PARKING SPACE AS INDICATED ON THE PLAN DOES NOT INCLUDE STEPS OR A SLOPE EXCEEDING 1:20 EXCEPT WHERE ACCESS IS PROVIDED BY A RAMP WITH 1:12 MAXIMUM SLOPE, ACCESSIBLE ELEVATOR OR OTHERWISE GRANTED BY AN UNREASONABLE HARDSHIP EXEMPTION. I UNDERSTAND THAT IF THE PRIMARY PATH OF TRAVEL IS FOUND NOT TO BE AS INDICATED, SIGNIFICANT DELAYS MAY RESULT. FURTHERMORE, I CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND THAT THE AREA OF SPECIFIC ALTERATION, STRUCTURAL REPAIR OR ADDITION, INCLUDING A PRIMARY ENTRANCE TO THE EXISTING BUILDING AND, WHEN APPLICABLE, SANITATION FACILITIES, DRINKING FOUNTAINS, SIGNS AND PUBLIC TELEPHONES SERVING THE AREA COMPLIES WITH CURRENT CA TITLE 24 ACCESSIBILITY REQUIREMENTS.

Signature  Title Architect  
David Gray Date 7/18/19

I CERTIFY THAT THE PROPOSED WORK WILL NOT DESTROY OR UNREASONABLY INTERFERE WITH ANY ACCESS OR UTILITY EASEMENT BELONGING TO OTHERS AND LOCATED ON MY PROPERTY, BUT IN THE EVENT SUCH WORK DOES DESTROY OR UNREASONABLY INTERFERE WITH SUCH EASEMENT, A SUBSTITUTE EASEMENT(S) SATISFACTORY TO THE HOLDER(S) OF THE EASEMENT WILL BE PROVIDED.

Signature \_\_\_\_\_ Title \_\_\_\_\_  
Print Name \_\_\_\_\_ Date \_\_\_\_\_

GRAPHIC SYMBOLS



ABBREVIATIONS

@	AT	CONC.	CONCRETE	F.O.C.	FACE OF CONCRETE	NOM.	NOMINAL	T.O.	TOP OF
Ø	CENTERLINE	CONT.	CONTINUOUS	F.O.F.	FACE OF FINISH	N.T.S.	NOT TO SCALE	TOS	TOP OF SLAB
—	DIAMETER / ROUND	CORR.	CORRIDOR	F.O.S.	FACE OF STUD	O.	OVERALL	TYP.	TYPICAL
⊥	PERPENDICULAR	CTR.	CENTER	FT.	FOOT OR FEET	O.C.	ON-CENTER	U.N.O.	UNLESS NOTED
—	POUND / NUMBER	CORR.	CORRIDOR	GAUGE		O.O.	OVER-ALL DIAMETER		OTHERWISE
(E)	EXISTING	CTR.	CENTER	GALV.	GALVANIZED	PL.	PLATE		
ABV.	ABOVE	DET.	DETAIL	GL.	GLASS	PLAM.	PLASTIC LAMINATE		
ACCUS.	ACCOUSTICAL	DIA.	DIAMETER	GYP.	GYPSPUM	PLAS.	PLASTER		
APPROX	APPROXIMATE	DIAM.	DIMENSION	HDWD.	HARDWOOD	PLYWD.	PLYWOOD		
ARCH.	ARCHITECTURAL	DR.	DOWN	HOR.	HORIZONTAL	R.	RISER		
BD.	BOARD	DN.	DOWN	H.R.	HABITABLE ROOM	R.D.	ROOF DRAIN		
BLDG.	BUILDING	HT.	HEIGHT	REF.	REFERENCE	REFR.	REFRIGERATOR		
BLK.	BLOCK	INT.	INTERIOR	REQ.	REQUIRED	RM.	ROOM		
BLVD.	BELOW	DS.	DOWNSPOUT	R.O.	ROUGH OPENING	S.	SOUTH		
BM.	BEAM	(E)	EXISTING	KIT.	KITCHEN	S.A.S.M.	SELF-ADHESIVE		
B.O.	BOTTOM OF	EA.	EACH	LAM.	LAMINATE	S.C.	SHEET MEMBRANE		
BOB.	BOTTOM OF BEAM	EL.	ELEVATION	MAX.	MAXIMUM	SECT.	SECTION		
BOC.	BOTTOM OF CEILING	ELEC.	ELECTRICAL	MISC.	MISCELLANEOUS	SIM.	SIMILAR		
BOJ.	BOTTOM OF JOIST	ELEV.	ELEVATOR	MTL.	METAL	SPEC.	SPECIFICATIONS		
BOT.	BOTTOM	EMER.	EMERGENCY	N.	NORTH	STL.	STEEL		
B.R.S.	BACKER ROD & SEALANT	EQ.	EQUAL	N.I.C.	NOT IN CONTRACT	S.T.L.	STAINLESS STEEL		
CAB.	CABINET	EXT.	EXTERIOR	NO./#	NUMBER	SQ.	SQUARE		
CBM.	CERMENT	F.A.	FIRE ALARM						
CH	CEILING HEIGHT	F.D.	FLOOR DRAIN						
CLG.	CEILING	F.F.	FINISH FLOOR						
CLO.	CLOSET	F.H.C.	FIRE HOSE CABINET						
CLR.	CLEAR	FIN.	FINISH						
COL.	COLUMN	FL.	FLOOR						



- GENERAL DEMOLITION NOTES
- THE LEAD BASED PAINT AND ASBESTOS REMOVAL IS TO FOLLOW THE CRITERIA FOR REMOVAL DETAILED IN THE NATIONAL PARK SERVICE'S US DEPARTMENT OF INTERIOR PRESERVATION BRIEF 1 "ASSESSING CLEANING AND WATER-REPELLENT TREATMENTS FOR HISTORIC MASONRY" AS WELL AS THE GSA TECHNICAL PRESERVATION GUIDELINES. ABRASIVE OR WATER BLASTING OF ANY KIND SHOULD BE CAREFULLY STUDIED. TYPICALLY, ABRASIVE ROUND OR FRACTURED GLASS BEAD BLASTING OR WATER AT GREATER THAN 400 PSI ARE DAMAGING TO SUBSTRATE MATERIALS AND SHOULD BE AVOIDED. IN LIMITED AND CONTROLLED CIRCUMSTANCES ABRASIVE BLASTING OF METAL IS APPROPRIATE. CHEMICAL TREATMENTS ARE OFTEN MOST EFFECTIVE IN REMOVING HAZARDOUS MATERIALS AND PRESERVING THE SUBSTRATE FINISH. WRITTEN GUIDANCE FROM THE NATIONAL PARK SERVICE, PARTICULARLY IN PRESERVATION BRIEF 1, STRESSOR REMOVAL OF LOOSE AND FLAKING PAINT AND ENCAPSULATION, RATHER THAN COMPREHENSIVE REMOVAL. REMOVAL OF ALL LEAD BASED PAINT FROM STRIKE SURFACES IS GENERALLY ACCEPTABLE AND IN SOME INSTANCES, WITH RESPECT TO WOOD AND METAL SASH, COMPREHENSIVE PAINT REMOVAL MAY BE APPROPRIATE TO EFFECT RESTORATION OF THESE IMPORTANT FEATURES AND ENSURE LONGEVITY. REMOVAL TECHNIQUES WILL BE PROPOSED AND APPROVED BEFORE COMPREHENSIVE WORK IS UNDERTAKEN. THE CONTRACTOR WILL BE ASKED TO FOLLOW THE STEPS OUTLINED IN THE NATIONAL PARK SERVICE DEPARTMENT OF INTERIORS PRESERVATION BRIEF 1.
  - PROTECT (E) GLAZING SYSTEM ON ALL FLOORS DURING DEMOLITION.
  - CHAPTER 33 OF THE 2014 CFC, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION, SHELL BE STRICTLY ADHERED TO.
  - DRY STANDPIPES ARE TO REMAIN OPERATIONAL AND ACCESSIBLE DURING CONSTRUCTION. ONCE THE NEW WET STANDPIPES ARE INSTALLED, AS REQUIRED BY SECTION 2213 CFC, THE DRY STANDPIPES ARE ALLOWED TO BE REMOVED.
  - PROTECT AS REQ'D ALL HISTORIC FABRIC, TYP.
  - SEE ARCHITECTURAL DRAWINGS FOR LOCATION OF ALL (N) OPENINGS.

DEMO KEY NOTES

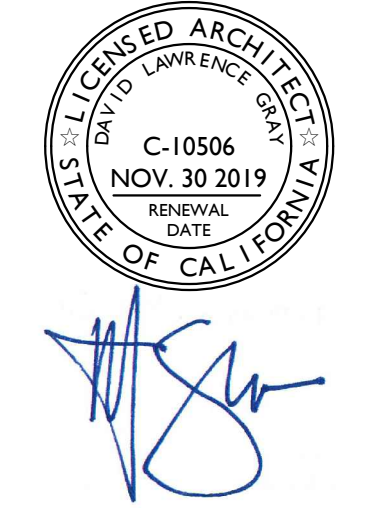
- EXISTING ORG. WALLS, WIN., & COLUMN TO REMAIN
- EXISTING NON-ORIGINAL AND INTERIOR PARTITION WALLS TO BE REMOVED
- (E) ORIG WALLS TO BE REMOVED. PRESERVE HIST. DOORS & MARBLE WAINSCOT WHERE POSSIBLE FOR USE IN RESTORED CORRIDOR.
- REMOVE (E) NON-ORIGINAL STOREFRONT OR WALL FILL FOR (N) STOREFRONT AT ORIGINAL OPENINGS
- NOT IN USE
- REMOVE EXISTING CONC. SLAB FOR NEW OPENING
- EXISTING STAIR TO REMAIN, HAND RAIL AND GUARD RAIL TO REMAIN
- EXISTING STAIR TO BE REMOVED
- EXISTING OPENING IN SLAB TO REMAIN
- EXISTING FIRE ESCAPE TO REMAIN. STRUCTURAL RETROFIT AS NEEDED PER STRUCTURAL DRAWINGS
- SAVE (RESTORE AS NEEDED) HISTORIC CORRIDOR DOORS, FRAMES, WOOD HOLDING AND TRIM, TO BE USED AS UNIT ENTRY DOORS. FLIP DOOR SWING AS NEEDED PER PROPOSED FLOOR PLANS.
- HISTORIC CORRIDOR DOORS AND FRAMES TO REMAIN SHUT. PRESERVE AND RESTORE AS NEEDED. (N) SIGN ON (E) 1/4" GLASS W/ MIN. 4" HIGH LETTERS IN CONTRASTING COLOR TO STATE: "THIS DOOR IS BLOCKED."
- NOT IN USE
- DEMO 1-1/2" AROUND (E) CONC. COLUMN & PREP FOR SHOTCRETE PER STRUCT.
- REMOVE (E) PLUMB, FIXTURES, PARTITIONS, & FLOOR TILES.

LEGEND

- (E) FLOOR OPENING TO BE CLOSED - MATCH (E) SLAB
- (E) OPENING TO REMAIN
- REMOVE (E) SLAB - FOR (N) OPENING
- REMOVE (E) NON-ORIGINAL FILL OF SLAB
- REMOVE (E) NON-ORIGINAL EXTERIOR WALL TO RESTORE HISTORICAL OPENINGS
- REMOVE (E) NON-ORIGINAL OR PARTITION WALLS
- REMOVE (E) ORIGINAL WALLS
- (E) EXT. WALLS AND COLUMNS TO REMAIN
- PROTECT ALL (E) TERRAZZO FLOORS, MARBLE WAINSCOT, WOOD CORNICE, GLASS AND WOOD FRAMED DOORS, WITHIN THE HISTORICAL CORE CORRIDORS, STAIRWAYS, ELEVATOR LOBBIES, AND ENTRY LOBBIES DURING DEMOLITION AND CONSTRUCTION.

- DAVID
- LAWRENCE
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- AIA

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213 243 5707  
davidgrayarchitects.com



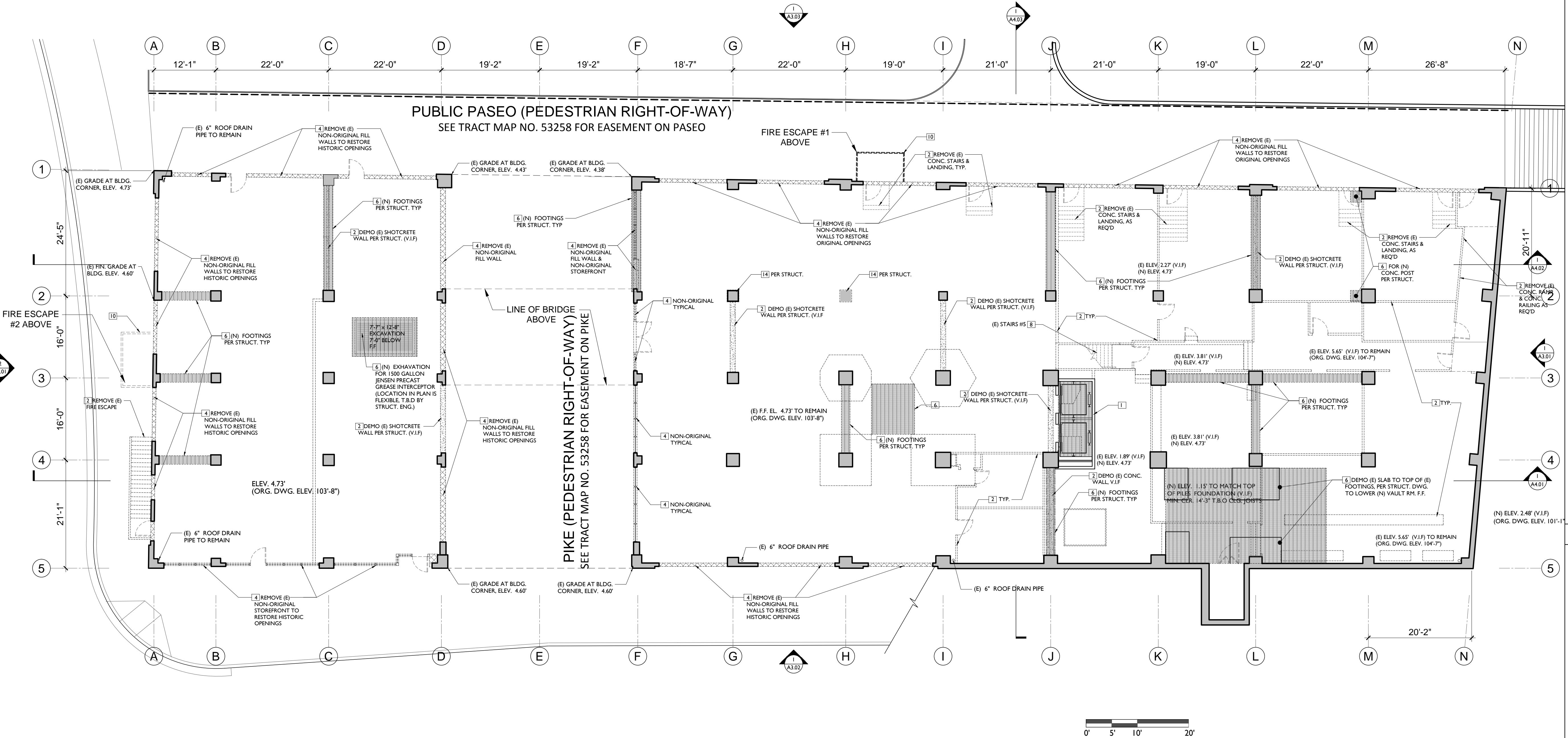
OCEAN CENTER  
BUILDING  
110 W. Ocean Blvd.  
Long Beach, CA 90802  
OWNER: Ocean Center Development, LLC  
211 E. Ocean Blvd., Ste. 550  
Long Beach, CA 90802

ISSUED & REVISED	
No.	Date
02/22/17	BID SET
11/14/18	RESUBMITTAL
12/12/18	RESUBMITTAL
5/29/19	RESUBMITTAL

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LOWER LEVEL 2  
(L2) FLOOR  
DEMO PLAN

PROJECT NO. 1803  
DATE  
FILE NAME  
SCALE  
SHEET NO.

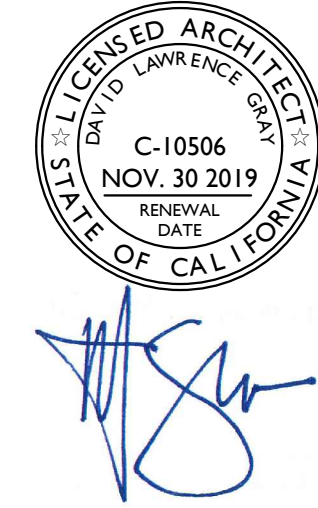


1 LOWER LEVEL 2 (L2) FLOOR DEMOLITION PLAN / SEASIDE LEVEL

3/32" = 1'-0"

A1.01





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LOWER LEVEL I  
(L-I) FLOOR  
DEMO PLAN

PROJECT NO.	1803
DATE	
FILE NAME	
SCALE	
SHEET NO.	

GENERAL DEMOLITION NOTES

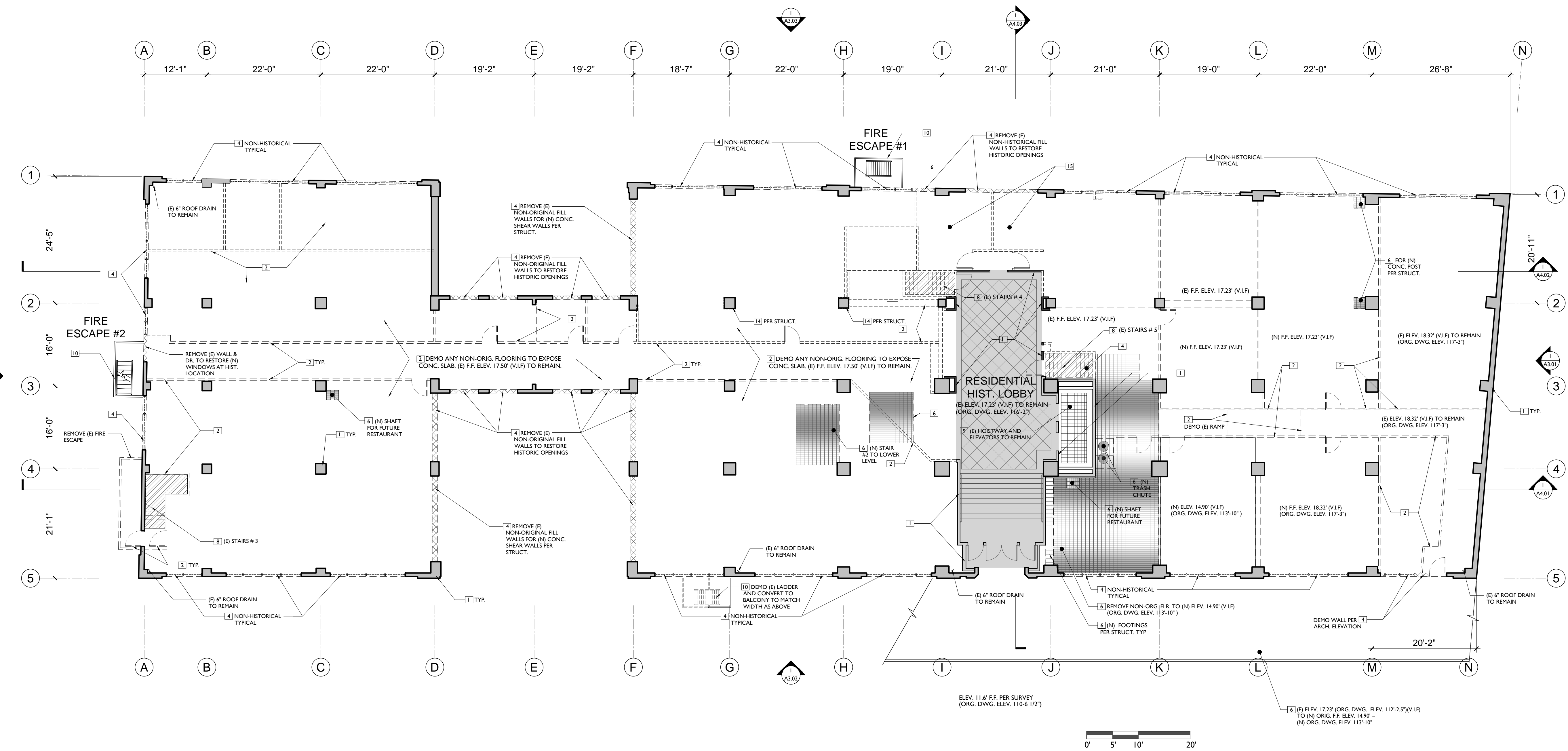
- THE LEAD BASED PAINT AND ASBESTOS REMOVAL IS TO FOLLOW THE CRITERIA FOR REMOVAL DETAILED IN THE NATIONAL PARK SERVICE'S US DEPARTMENT OF INTERIOR PRESERVATION BRIEF 1 "ASSESSING CLEANING AND WATER-REPELLENT TREATMENTS FOR HISTORIC MASONRY" AS WELL AS THE GSA TECHNICAL PRESERVATION GUIDELINES. ABRASIVE OR WATER BLASTING OF ANY KIND SHOULD BE CAREFULLY STUDIED. TYPICALLY, ABRASIVE ROUND OR FRACTURED GLASS BEAD BLASTING OR WATER AT GREATER THAN 400 PSI ARE DAMAGING TO SUBSTRATE MATERIALS AND SHOULD BE AVOIDED. IN LIMITED AND CONTROLLED CIRCUMSTANCES ABRASIVE BLASTING OF METAL IS APPROPRIATE. CHEMICAL TREATMENTS ARE OFTEN MOST EFFECTIVE IN REMOVING HAZARDOUS MATERIALS AND PRESERVING THE SUBSTRATE FINISH. WRITTEN GUIDANCE FROM THE NATIONAL PARK SERVICE, PARTICULARLY IN PRESERVATION BRIEF 1, STRESSES REMOVAL OF LOOSE AND FLAKING PAINT AND ENCAPSULATION, RATHER THAN COMPREHENSIVE REMOVAL. REMOVAL OF ALL LEAD BASED PAINT FROM STRIKE SURFACES IS GENERALLY ACCEPTABLE AND IN SOME INSTANCES, WITH RESPECT TO WOOD AND METAL SASH, COMPREHENSIVE PAINT REMOVAL MAY BE APPROPRIATE TO EFFECT RESTORATION OF THESE IMPORTANT FEATURES AND ENSURE LONGEVITY. REMOVAL TECHNIQUES WILL BE PROPOSED AND APPROVED BEFORE COMPREHENSIVE WORK IS UNDERTAKEN. THE CONTRACTOR WILL BE ASKED TO FOLLOW THE STEPS OUTLINED IN THE NATIONAL PARK SERVICE DEPARTMENT OF INTERIORS PRESERVATION BRIEF 1.
- PROTECT (E) GLAZING SYSTEM ON ALL FLOORS DURING DEMOLITION.
- CHAPTER 33 OF THE 2014 CFC, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION, SHALL BE STRICTLY ADHERED TO.
- DRY STANDPIPES ARE TO REMAIN OPERATIONAL AND ACCESSIBLE DURING CONSTRUCTION. ONCE THE NEW WET STANDPIPES ARE INSTALLED, AS REQUIRED BY SECTION 2213 CFC, THE DRY STANDPIPES ARE ALLOWED TO BE REMOVED.
- PROTECT AS REQ'D ALL HISTORIC FABRIC, TYP.
- SEE ARCHITECTURAL DRAWINGS FOR LOCATION OF ALL (N) OPENINGS.

DEMO KEY NOTES

- EXISTING ORG. WALLS, WIN., & COLUMN TO REMAIN
- EXISTING NON-ORIGINAL AND INTERIOR PARTITION WALLS TO BE REMOVED
- (E) ORIG WALLS TO BE REMOVED. PRESERVE HIST. DOORS & MARBLE WAINSCOT WHERE POSSIBLE FOR USE IN RESTORED CORRIDOR.
- REMOVE (E) NON-ORIGINAL STOREFRONT OR WALL FILL FOR (N) STOREFRONT AT ORIGINAL OPENINGS
- NOT IN USE
- REMOVE EXISTING CONC. SLAB FOR NEW OPENING
- EXISTING STAIR TO REMAIN, HAND RAIL AND GUARD RAIL TO REMAIN
- EXISTING STAIR TO BE REMOVED
- EXISTING OPENING IN SLAB TO REMAIN.
- EXISTING FIRE ESCAPE TO REMAIN. STRUCTURAL RETROFIT AS NEEDED PER STRUCTURAL DRAWINGS
- SAVE (RESTORE AS NEEDED) HISTORIC CORRIDOR DOORS, FRAMES, WOOD HOLDING AND TRIM, TO BE USED AS UNIT ENTRY DOORS. FLIP DOOR SWING AS NEEDED PER PROPOSED FLOOR PLANS.
- HISTORIC CORRIDOR DOORS AND FRAMES TO REMAIN SHUT. PRESERVE AND RESTORE AS NEEDED. (N) SIGN ON (E) 1/4" GLASS W/ MIN. 4" HIGH LETTERS IN CONTRASTING COLOR TO STATE "THIS DOOR IS BLOCKED."
- NOT IN USE
- DEMO 1-1/2" AROUND (E) CONC. COLUMN & PREP FOR SHOTCRETE PER STRUCT.
- REMOVE (E) PLUMB, FIXTURES, PARTITIONS, & FLOOR TILES.

LEGEND

- (E) FLOOR OPENING TO BE CLOSED - MATCH (E) SLAB
- (E) OPENING TO REMAIN
- REMOVE (E) SLAB - FOR (N) OPENING
- REMOVE (E) NON-ORIGINAL FILL OF SLAB
- REMOVE (E) NON-ORIGINAL EXTERIOR WALL TO RESTORE HISTORICAL OPENINGS
- REMOVE (E) NON-ORIGINAL OR PARTITION WALLS
- REMOVE (E) ORIGINAL WALLS
- (E) EXT. WALLS AND COLUMNS TO REMAIN
- PROTECT ALL (E) TERRAZZO FLOORS, MARBLE WAINSCOT, WOOD CORNICE, GLASS AND WOOD FRAMED DOORS, WITHIN THE HISTORICAL CORE CORRIDORS, STAIRWAYS, ELEVATOR LOBBIES, AND ENTRY LOBBIES DURING DEMOLITION AND CONSTRUCTION.



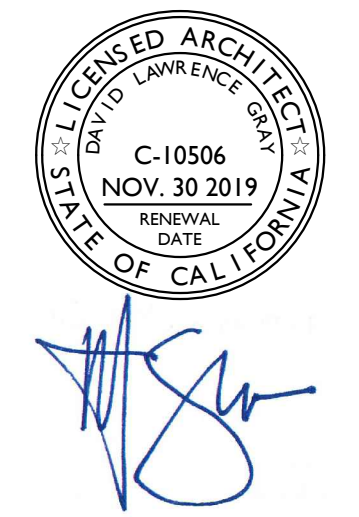
1 LOWER LEVEL I (L-I) FLOOR DEMOLITION PLAN / PINE LEVEL

3/32" = 1'-0"









OCEAN CENTER  
BUILDING  
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Long Beach, CA 90802  
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DEMOLITION  
WEST  
ELEVATION

PROJECT NO. 1803

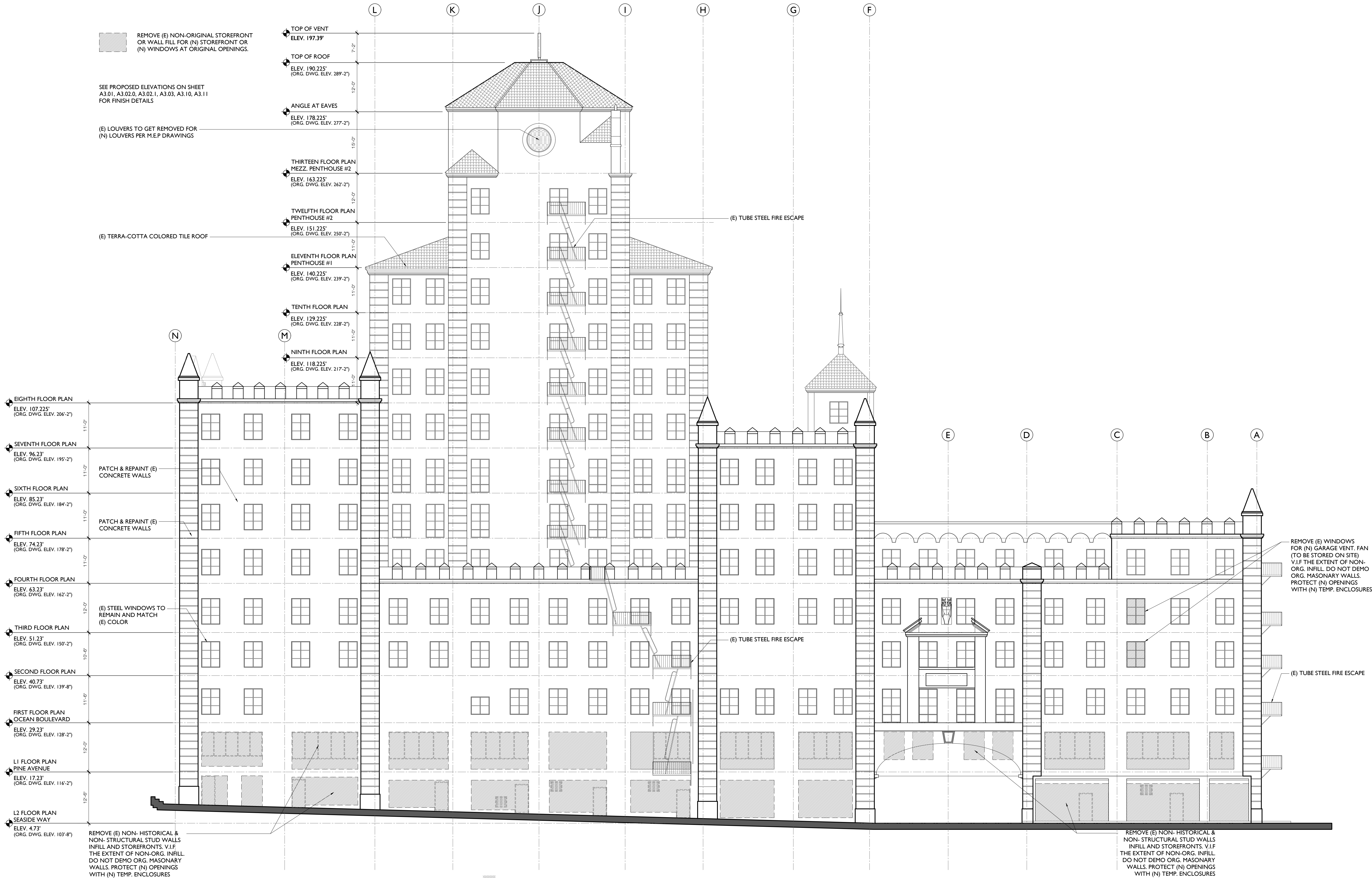
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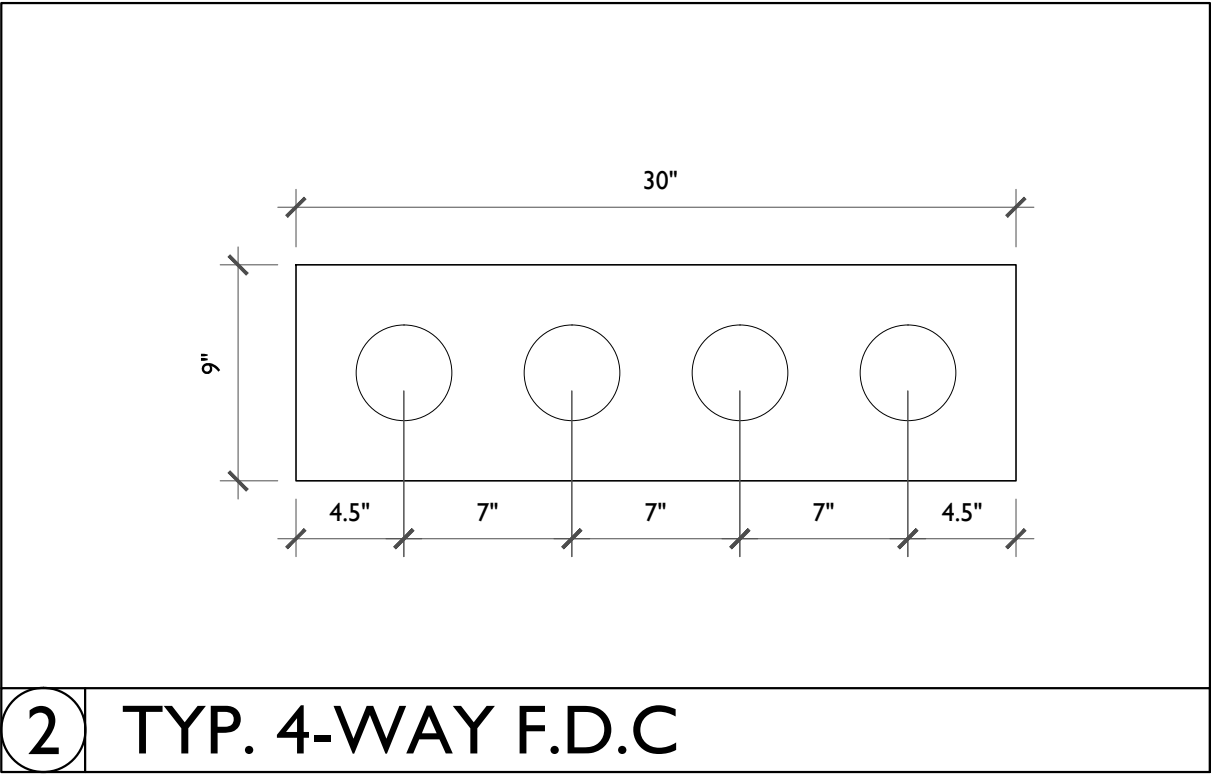
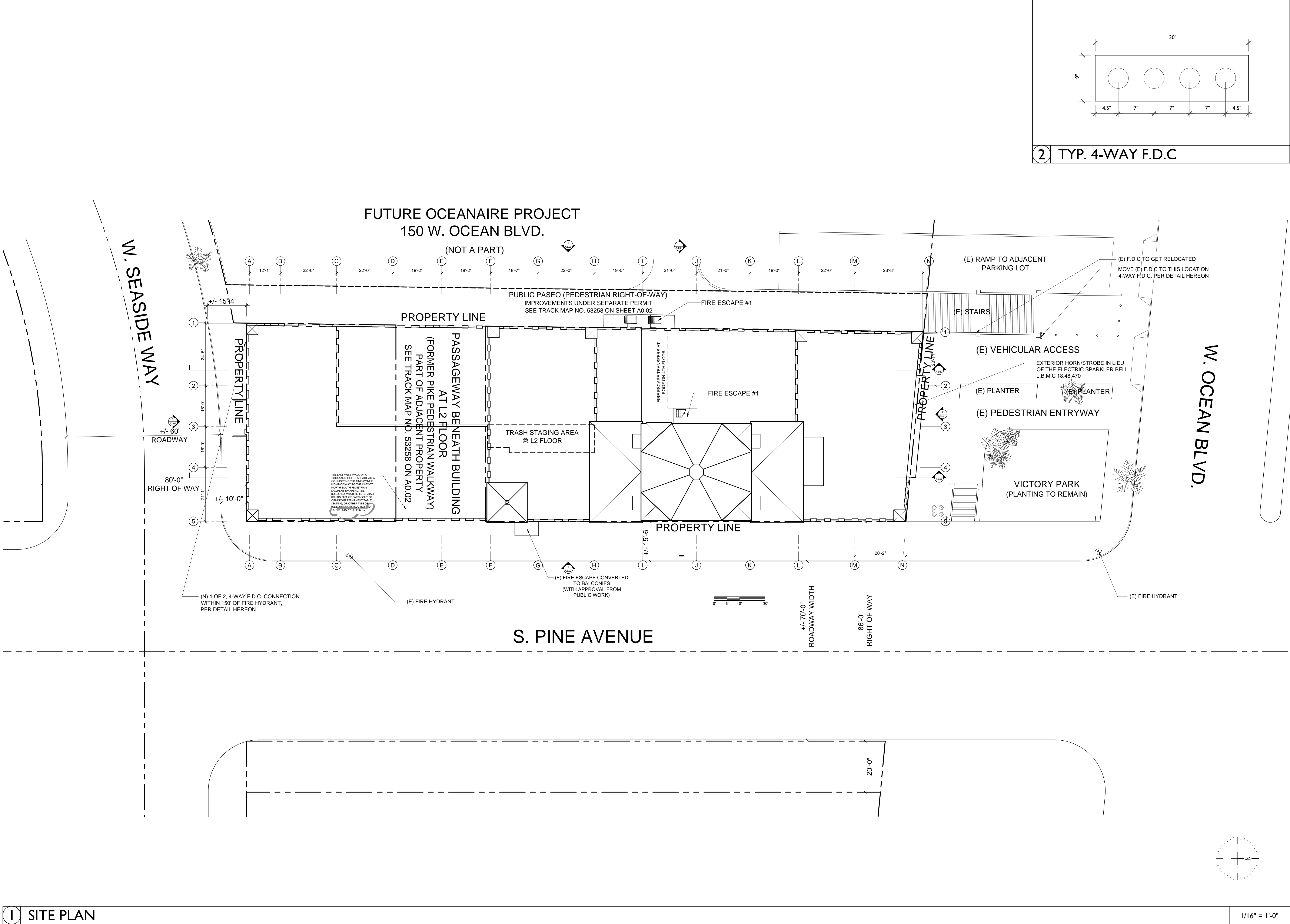
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SCALE

SHEET NO.

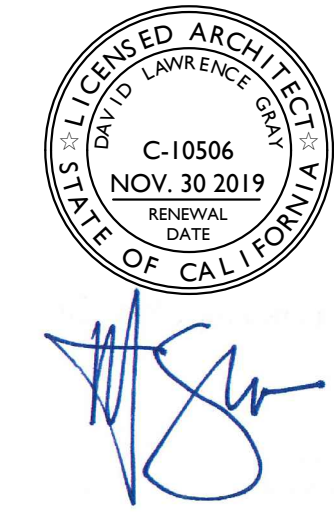
A1.17





- DAVID
- LAWRENCE
- GRAY
- ARCHITECTS
- AIA

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SITE PLAN

PROJECT NO.	1803
DATE	
FILE NAME	
SCALE	
SHEET NO.	

A2.00





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## L-2 FLOOR PLAN

PROJECT NO.	1803
DATE	
FILE NAME	
SCALE	
SHEET NO.	

## GENERAL NOTES

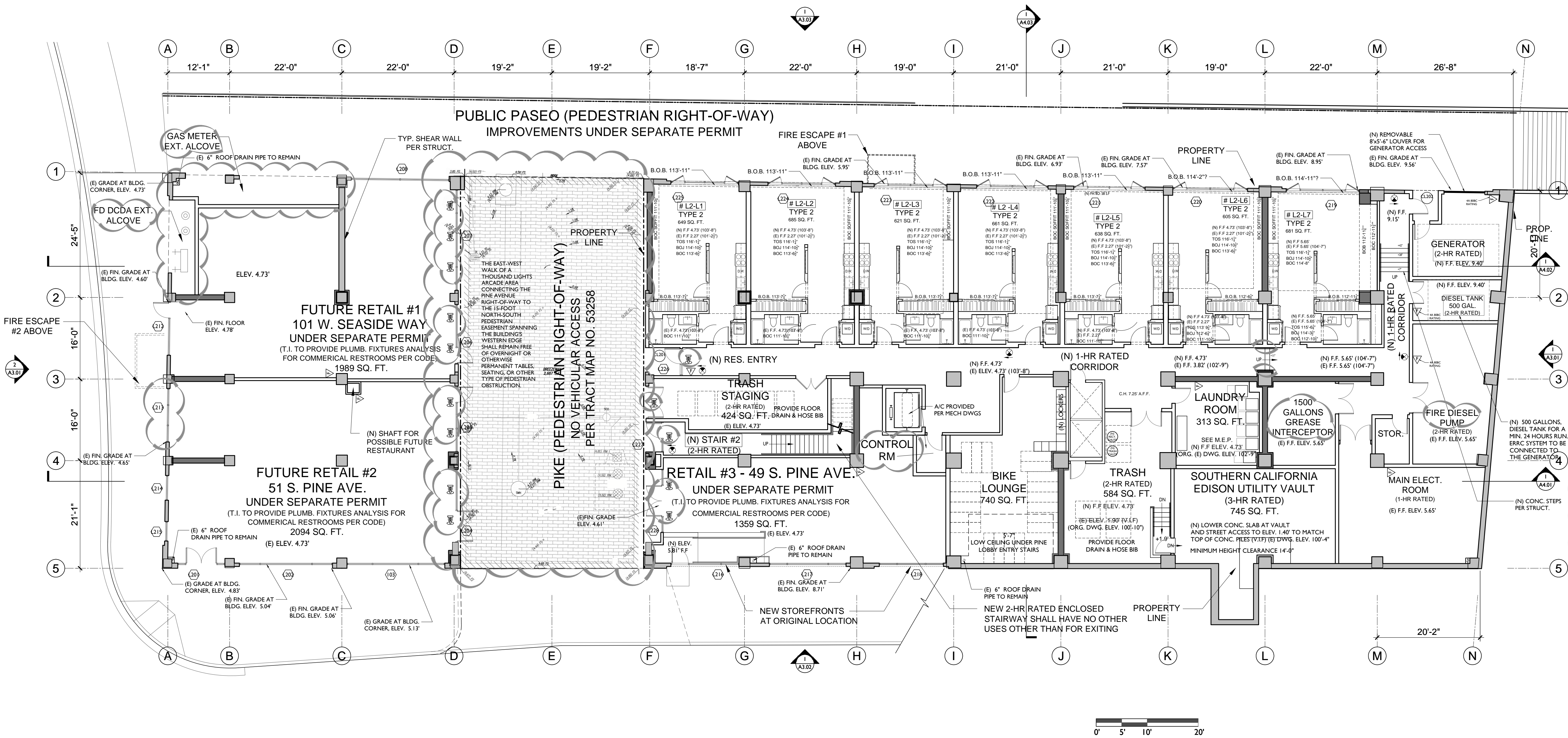
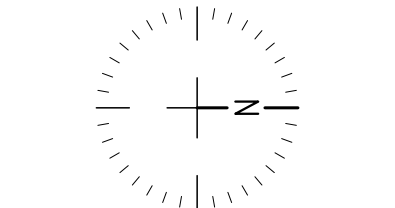
- FOR UNIT PLANS SEE SHEETS A5.01 - A5.36
- FOR ENLARGED STAIRWELLS & COMMON AREAS SEE SHEETS A6.01-A6.12
- FOR WALL TYPES AND FIRE RATING ASSEMBLIES SEE A9.01
- FOR KITCHEN TYPES SEE SHEETS A7.01 - A7.02
- FOR BATHROOM TYPES SEE SHEET A7.03 - A7.03.4
- FOR ENLARGED TRASH CHUTE SEE SHEET A7.05
- CODE MODIFICATION LETTERS SEE SHEET A0.04 - A0.04.08

## GENERAL LEGEND

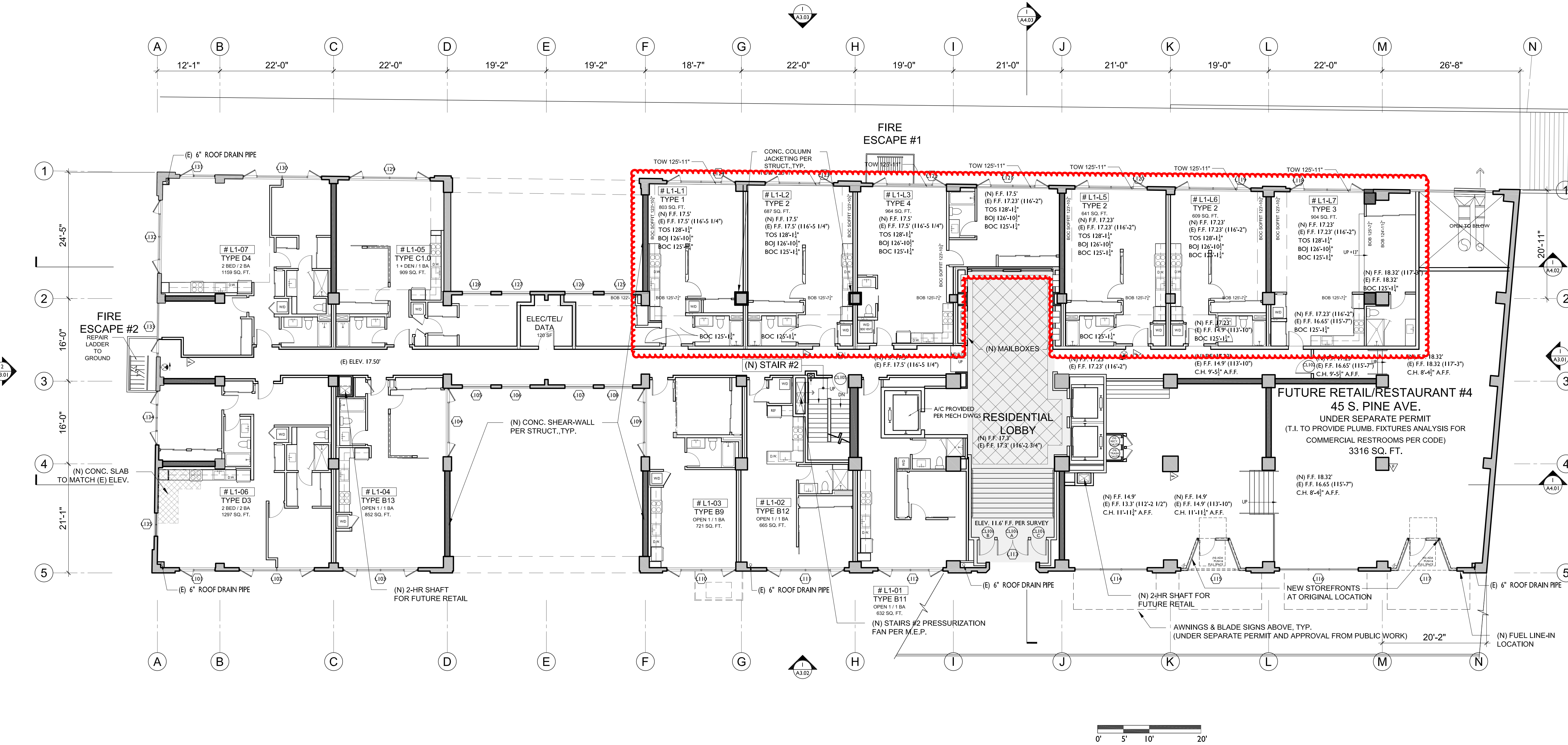
- (N) RECESSED FIRE SPRINKLER STAND PIPE
- (N) CONC. SHEAR WALL OR COLUMN RETROFIT PER STRUCT.
- (N) STEEL GLAZING TO REMAIN, RE-GLAZED & REPAIR AS NEEDED.
- (E) EXT. WALLS AND COLUMNS TO REMAIN
- PROTECT ALL (E) HIST. WALLS, TERRAZZO FLOORS, MARBLE WAINSCOT, WOOD CORNICE, GLASS AND WOOD FRAMED DOORS, WITHIN THE HIST. CORE CORRIDORS, STAIRWAYS, ELEVATOR LOBBIES, AND ENTRY LOBBIES DURING DEMOLITION AND CONSTRUCTION.
- (N) SLAB TO MATCH (E) IN ELEV. & FINISH, TYP.
- EXIT SIGNS ON E-POWER PER ELECT.
- 2A10BC FIRE EXTINGUISHER IN SEMI RECESSED CABINET.
- ROLL DOWN SMOKE GUARD COMPLY W/ 3006.3 EXCEPT PER DETAIL 15/A9.03 & ICC ES AC 77
- WATER CURTAIN SPRINKLER SEE 13/A9.03
- 2-HOUR SEPARATION
- 1-HOUR SEPARATION
- (NOTE: REQUIRED 1-HOUR RATED SEPARATIONS AT CORRIDOR AND BETWEEN UNITS NOT SHOWN BUT WILL BE PROVIDED)

## OUTDOOR LEGEND

- (N) DECORATIVE WHITE GRAVEL
- (N) FIBERGLASS PLANTER #7/A9.08 SIM. (NO CONC. BASE)
- (N) "GREEN-SCREEN" MTL FENCE OR SIM. PER LAND.
- (N) "GREEN-WALL" IN MTL. FRAME PER LAND.
- (N) KONTIKI COMPOSITE INTERLOCKING DECK TILES - BASICS SERIES, DARK BROWN.
- (N) HOSE BIB
- (N) 3'x3' TREE PLANTER ON CONC. PAD, ON TOP OF (E) COLUMN PER DETAIL #7/A9.08







### GENERAL NOTES

- FOR UNIT PLANS SEE SHEETS A5.01 - A5.36
- FOR ENLARGED STAIRWELLS & COMMON AREAS SEE SHEETS A6.01-A6.12
- FOR WALL TYPES AND FIRE RATING ASSEMBLIES SEE A9.01
- FOR KITCHEN TYPES SEE SHEETS A7.01 - A7.02
- FOR BATHROOM TYPES SEE SHEET A7.03 - A7.03.4
- FOR ENLARGE TRASH CHUTE SEE SHEET A7.05
- CODE MODIFICATION LETTERS SEE SHEET A0.04 - A0.04.08

### GENERAL LEGEND

- (N) RECESSED FIRE SPRINKLER STAND PIPE
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- EXIT SIGNS ON E-POWER PER ELEC.
- 2A108C FIRE EXTINGUISHER IN SEMI RECESSED CABINET.
- ROLL DOWN SMOKE GUARD, COMPLY W/ 3006.3 EXCEP. #5, PER DETAIL 15/A9.03 & ICC E5 AC 77
- WATER CURTAIN SPRINKLER. SEE 13/A9.03
- 2-HOUR SEPARATION
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- DAVID
- LAWRENCE
- GRAY
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- AIA

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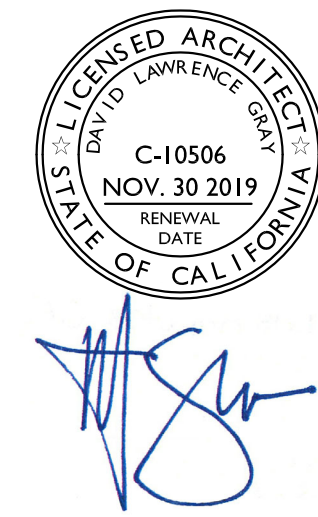
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**L-I FLOOR PLAN**  
(ORIGINAL UPPER PINE RETAIL)

PROJECT NO. 1803  
DATE  
FILE NAME  
SCALE  
SHEET NO.





OCEAN CENTER  
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L-I FLOOR PLAN  
(ORIGINAL UPPER PINE  
RETAIL)

PROJECT NO. 1803  
DATE  
FILE NAME  
SCALE  
SHEET NO.

A2.02

## GENERAL NOTES

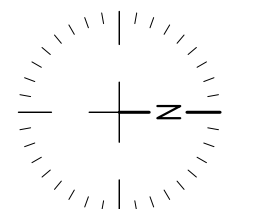
- FOR UNIT PLANS SEE SHEETS A5.01 - A5.36
- FOR ENLARGED STAIRWELLS & COMMON AREAS SEE SHEETS A6.01-A6.12
- FOR WALL TYPES AND FIRE RATING ASSEMBLIES SEE A9.01
- FOR KITCHEN TYPES SEE SHEETS A7.01 - A7.02
- FOR BATHROOM TYPES SEE SHEET A7.03 - A7.03.4
- FOR ENLARGE TRASH CHUTE SEE SHEET A7.05
- CODE MODIFICATION LETTERS SEE SHEET A0.04 - A0.04.08

## GENERAL LEGEND

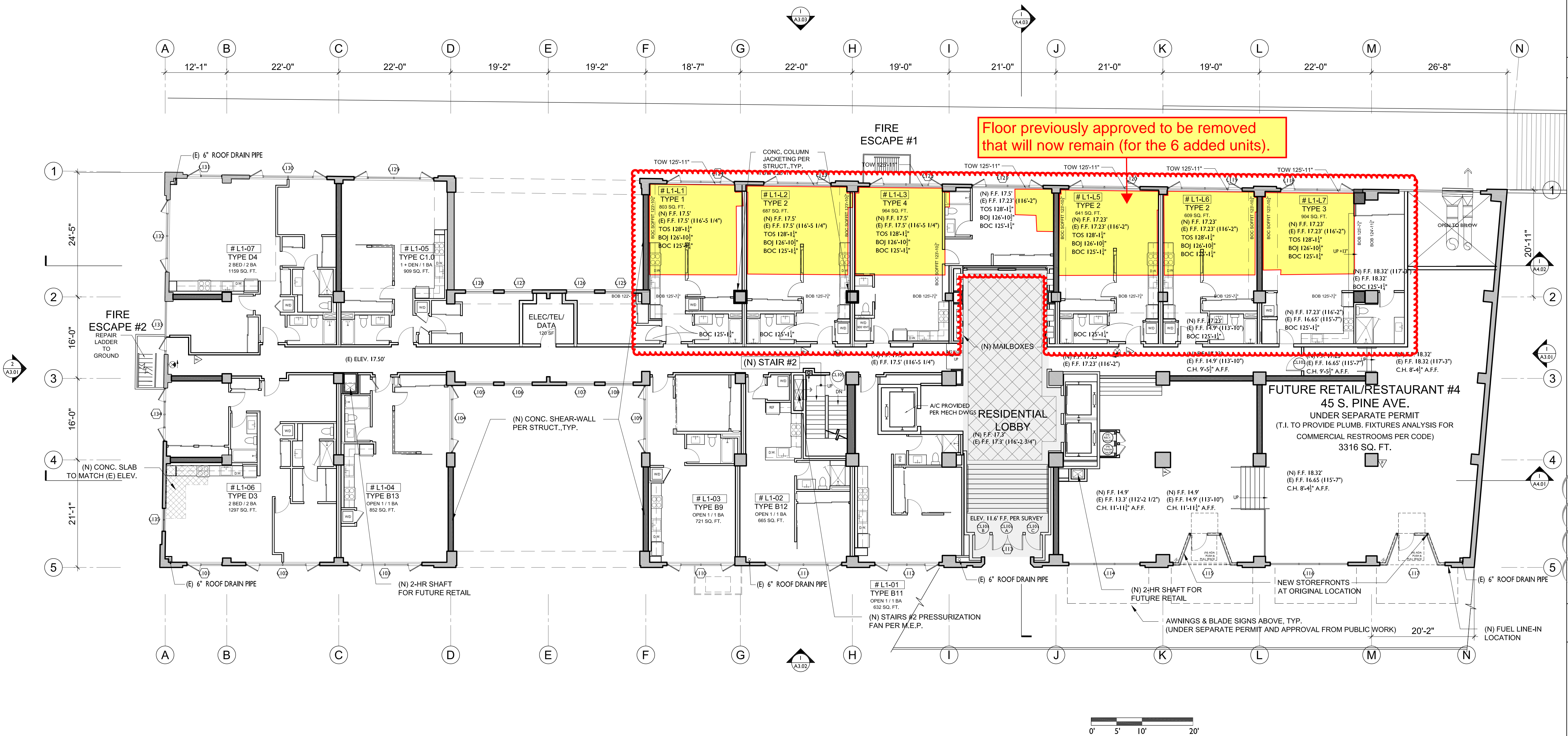
- (N) RECESSED FIRE SPRINKLER STAND PIPE
- (N) CONC. SHEAR WALL OR COLUMN RETROFIT PER STRUCT.
- (E) STEEL GLAZING TO REMAIN, RE-GLAZED & REPAIR AS NEEDED.
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- 2-HOUR SEPARATION
- 1-HOUR SEPARATION
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## OUTDOOR LEGEND

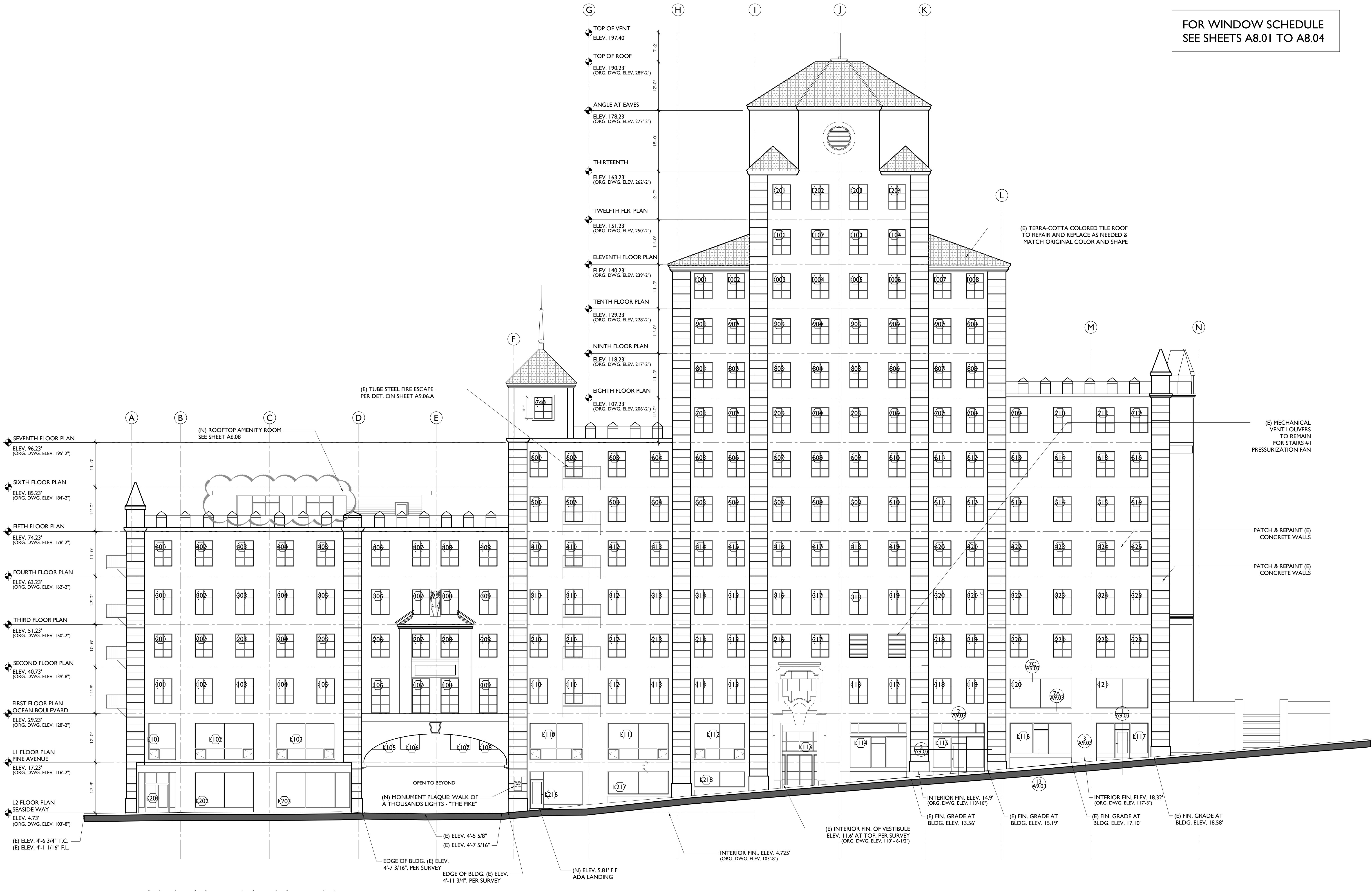
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- (N) HOSE BIB
- (N) 3'x3' TREE PLANTER ON CONC. PAD, ON TOP OF (E) COLUMN PER DETAIL #7/A9.08



Floor previously approved to be removed that will now remain (for the 6 added units).







FOR WINDOW SCHEDULE  
SEE SHEETS A8.01 TO A8.04

- DAVID
- LAWRENCE
- GRAY
- ARCHITECTS
- AIA

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CALIFORNIA 90013  
213 243 5707  
davidgrayarchitects.com



OCEAN CENTER  
BUILDING  
110 W. Ocean Blvd.  
Long Beach, CA 90802  
OWNER: Ocean Center Development, LLC  
211 E. Ocean Blvd., Ste. 550  
Long Beach, CA 90802

ISSUED & REVISED	
No.	Date
02/22/17	BID SET
1/11/18	RESUBMITTAL
12/12/18	RESUBMITTAL
5/28/19	RESUBMITTAL

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EAST ELEVATION  
(ORIGINAL UPPER PINE  
RETAIL)

PROJECT NO. 1803  
DATE  
FILE NAME  
SCALE  
SHEET NO.

1 EAST ELEVATION (PINE AVENUE)

3/32" = 1'-0"

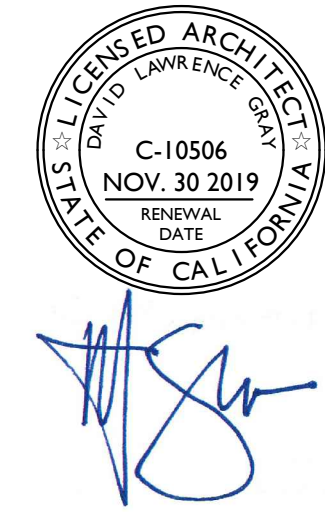
A3.02



FOR WINDOWS  
SCHEDULE SEE SHEETS  
A8.01 TO A8.04

- DAVID
- LAWRENCE
- GRAY
- ARCHITECTS
- AIA

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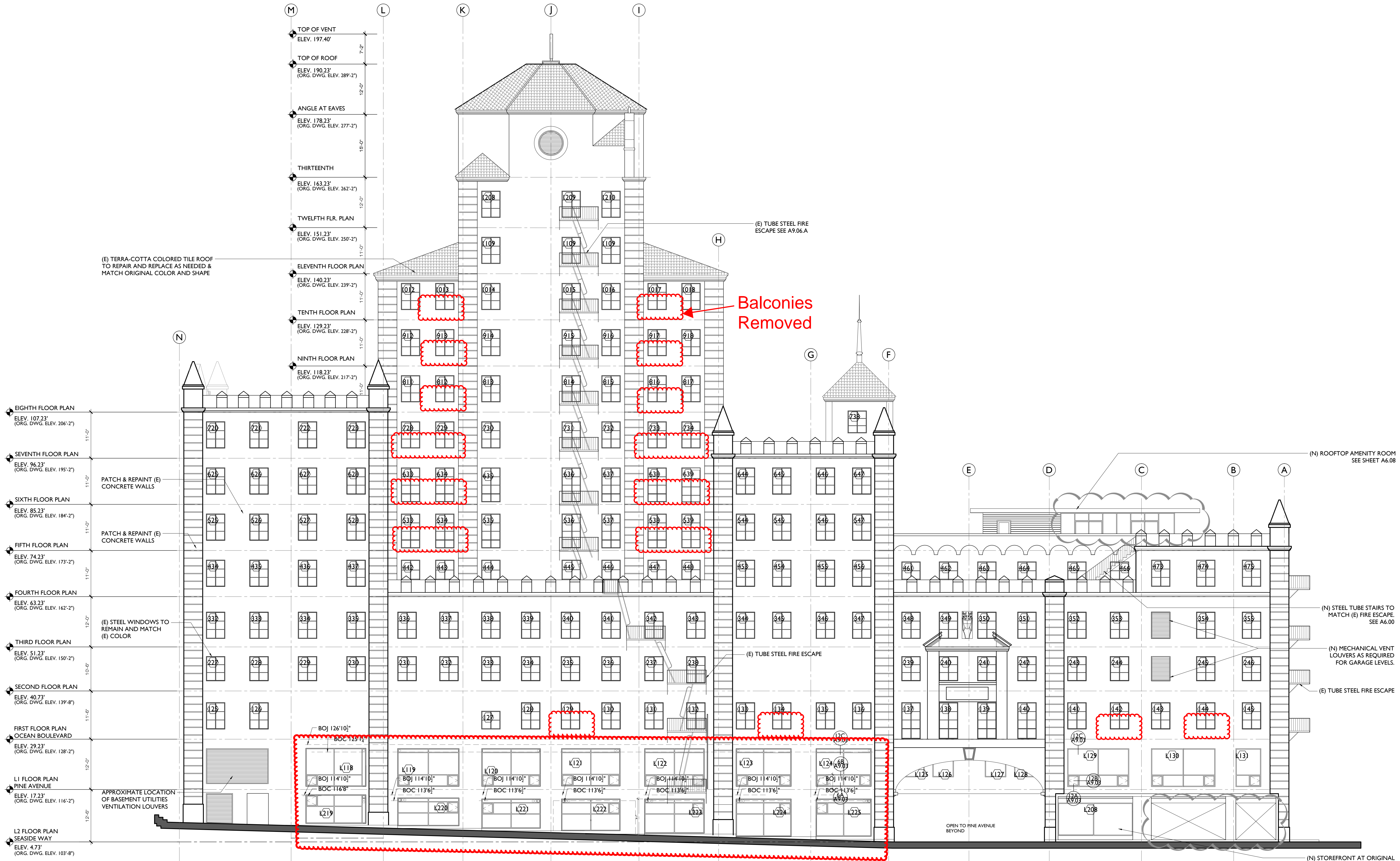
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WEST  
ELEVATION

PROJECT NO.	1803
DATE	
FILE NAME	
SCALE	
SHEET NO.	

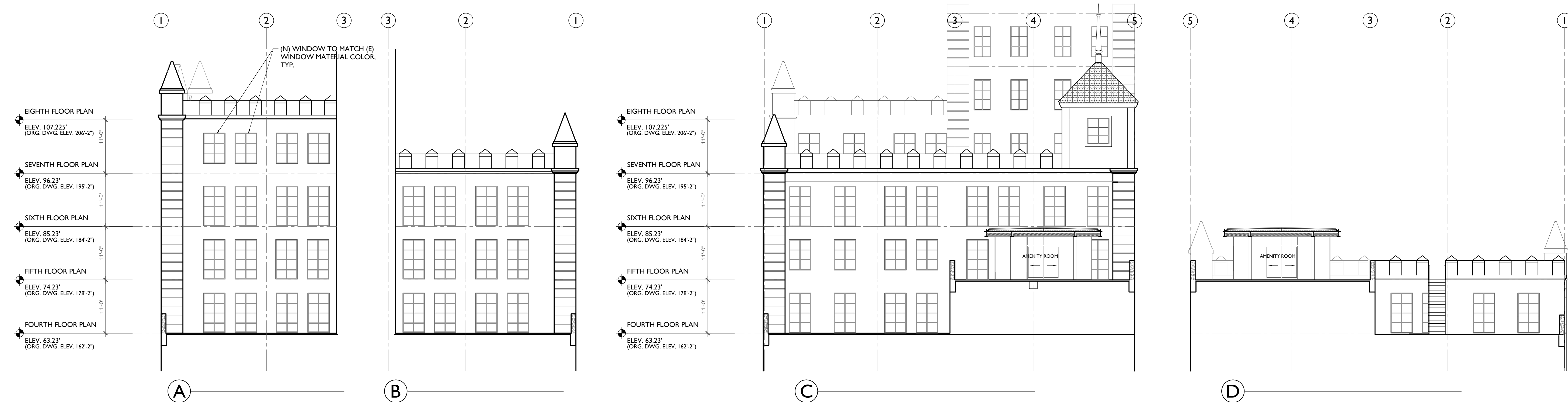
A3.03



1 WEST ELEVATION (ALLEYWAY)

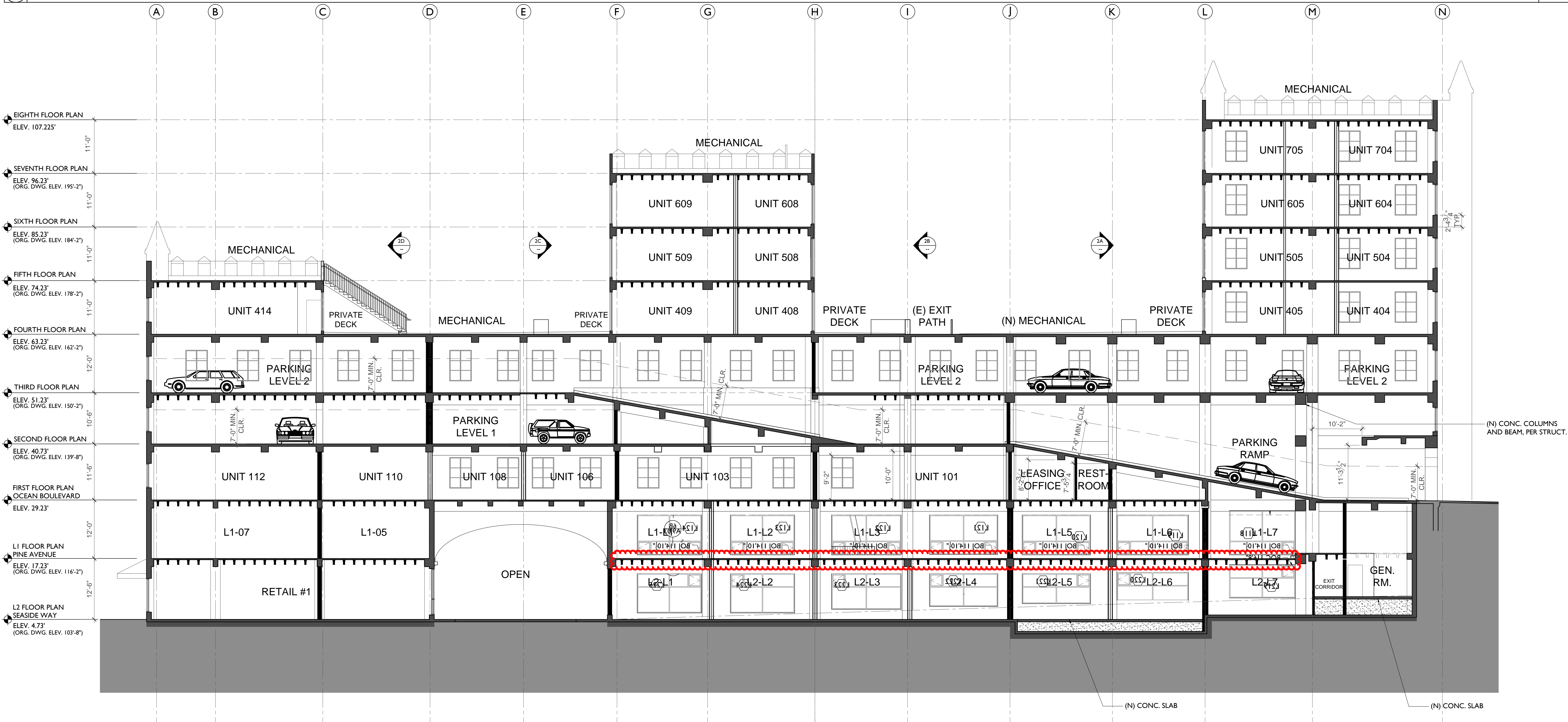
3/32" = 1'-0"





2 6TH FLOOR COURTYARD ELEVATIONS

3/32" = 1'-0"

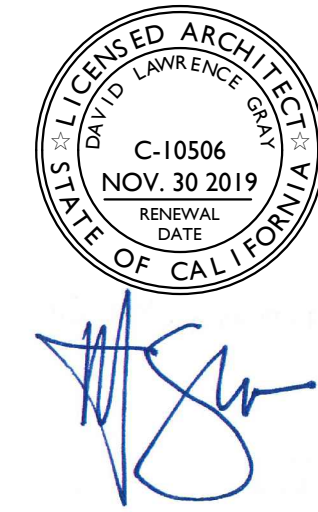


1 LONGITUDINAL SECTION B-B

3/32" = 1'-0"

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LAWRENCE  
GRAY  
ARCHITECTS  
AIA

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LONGITUDINAL  
SECTION B-B

PROJECT NO. 1803  
DATE  
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SCALE  
SHEET NO.

A4.02



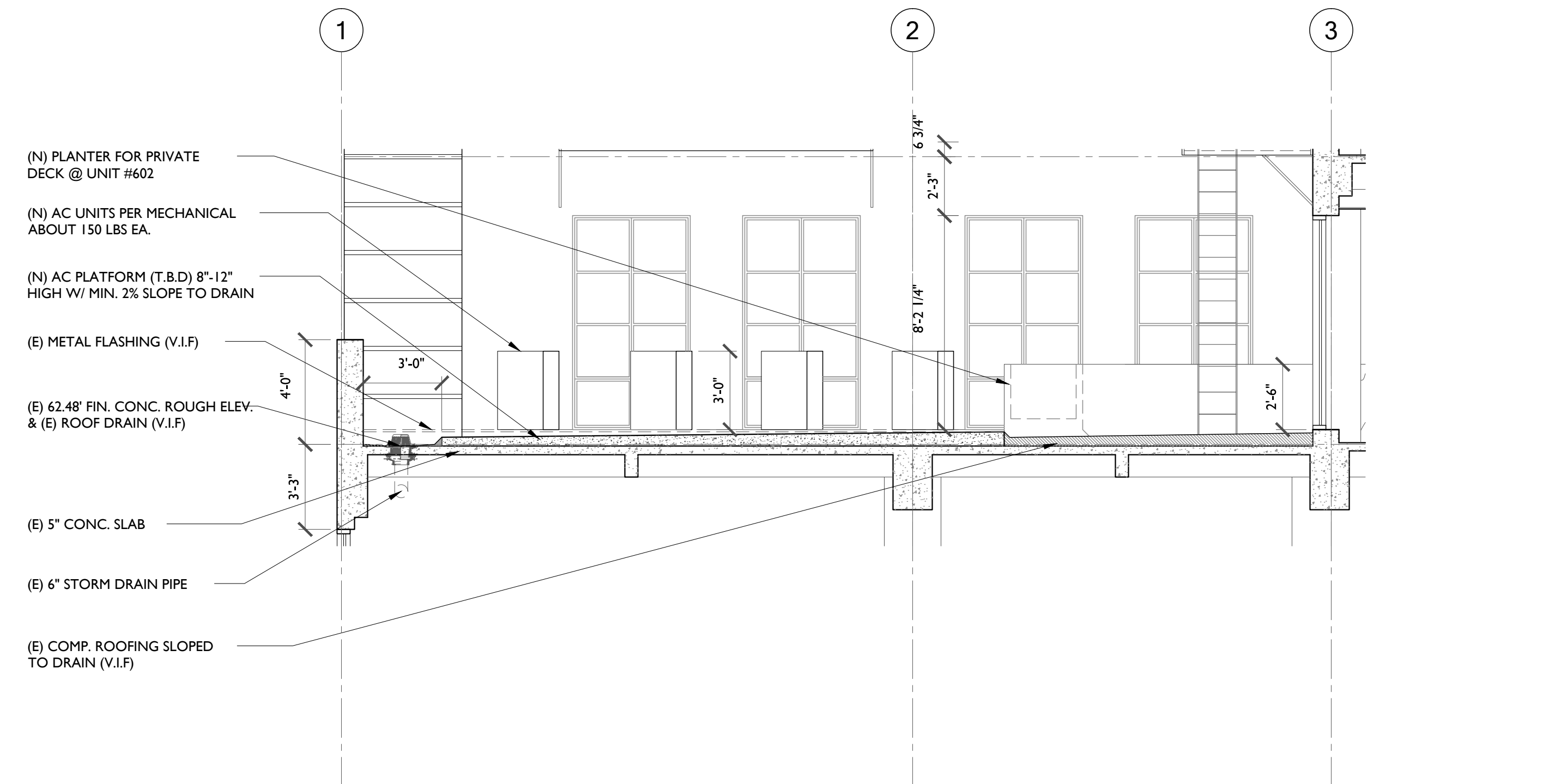


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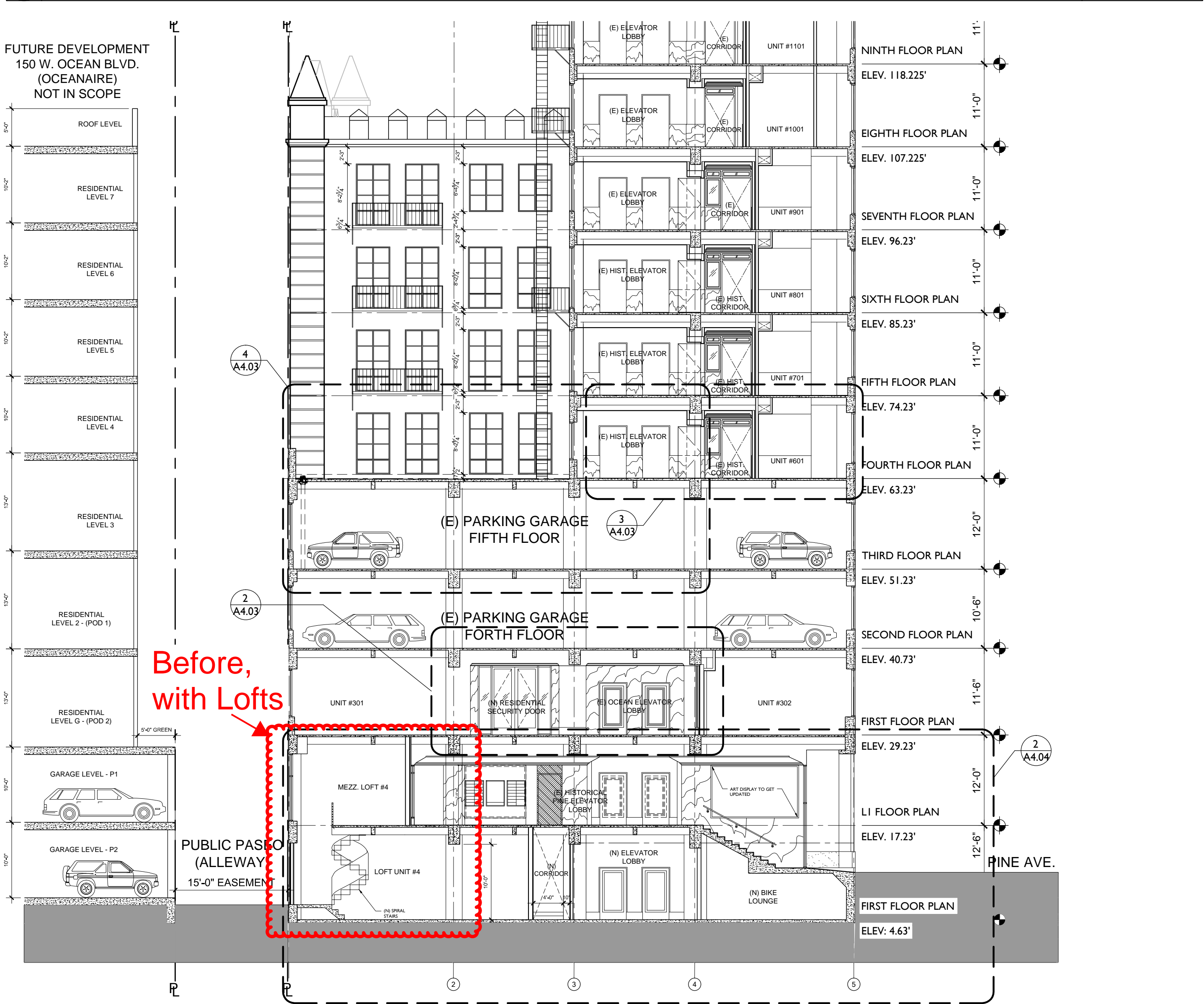
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CROSS  
SECTION C-C

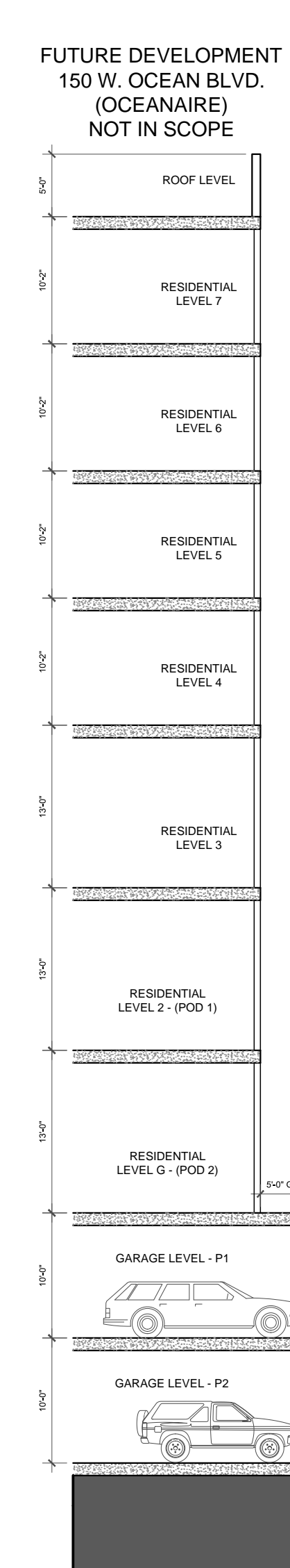
PROJECT NO. 1803  
DATE  
FILE NAME  
SCALE  
SHEET NO.



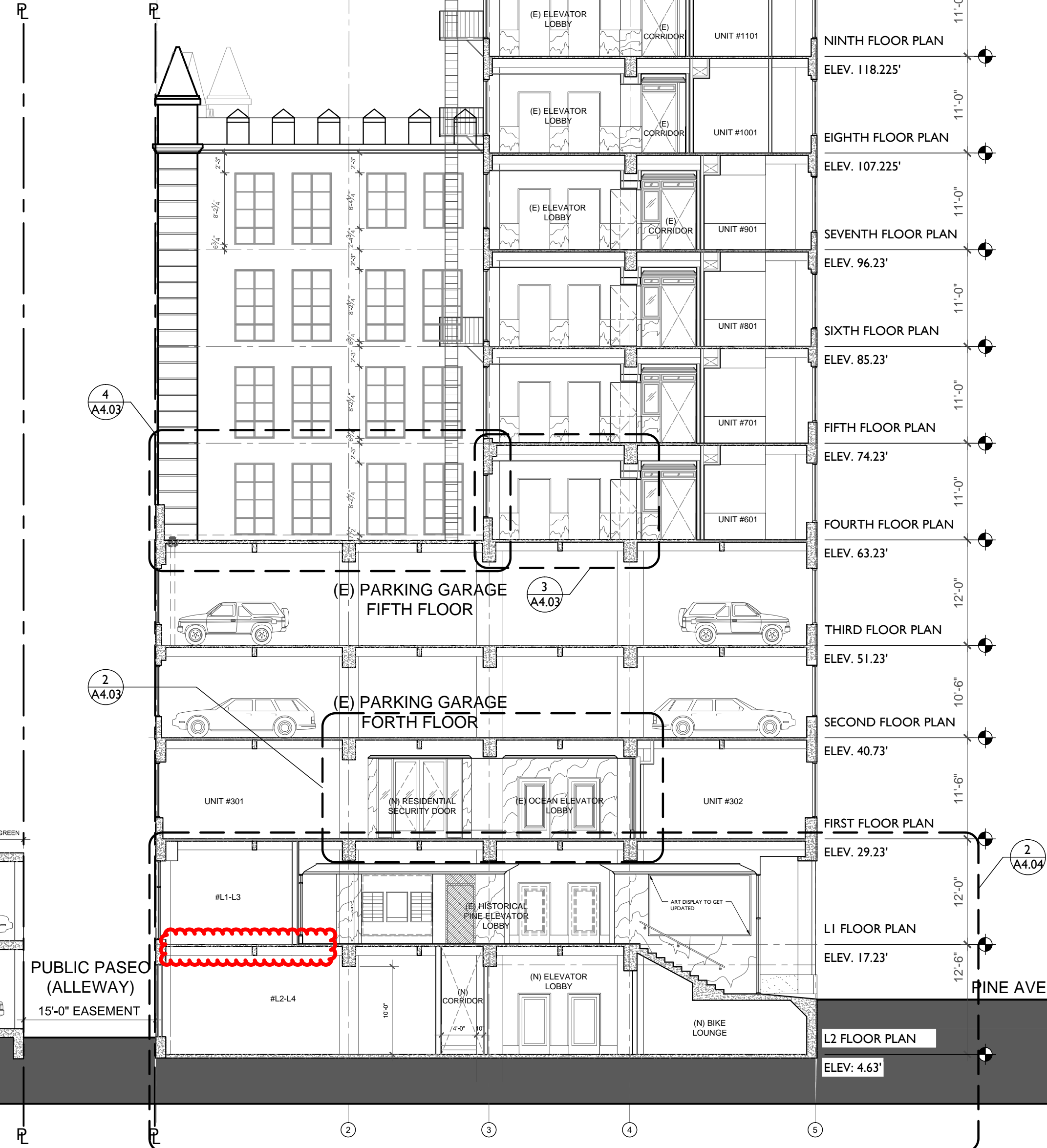
4 NEW RESIDENTIAL SECURITY DOOR AND OUTDOOR DECK 1/4" = 1'-0"



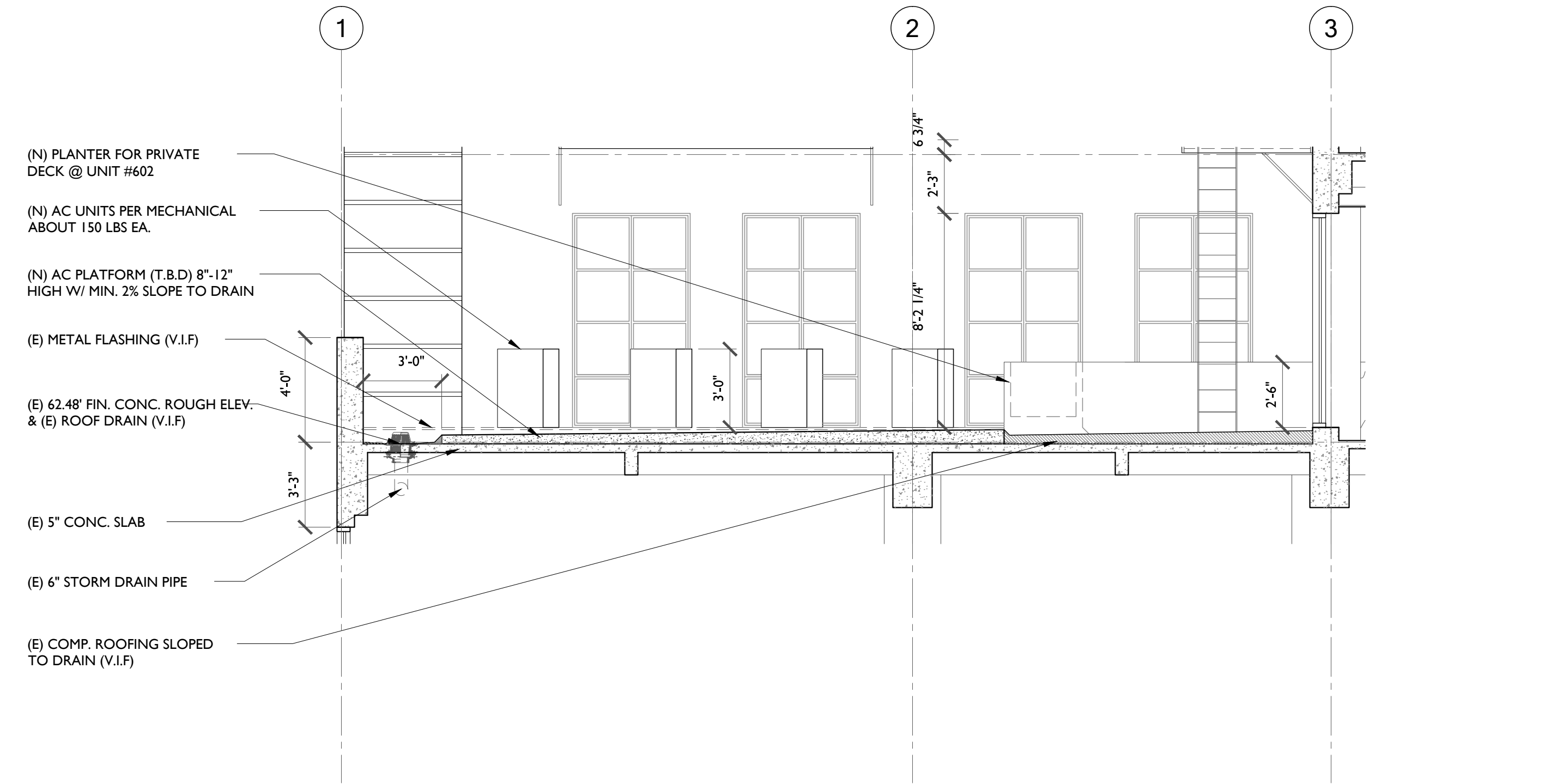
1 LONGITUDINAL SECTION C-C 3/32" = 1'-0"



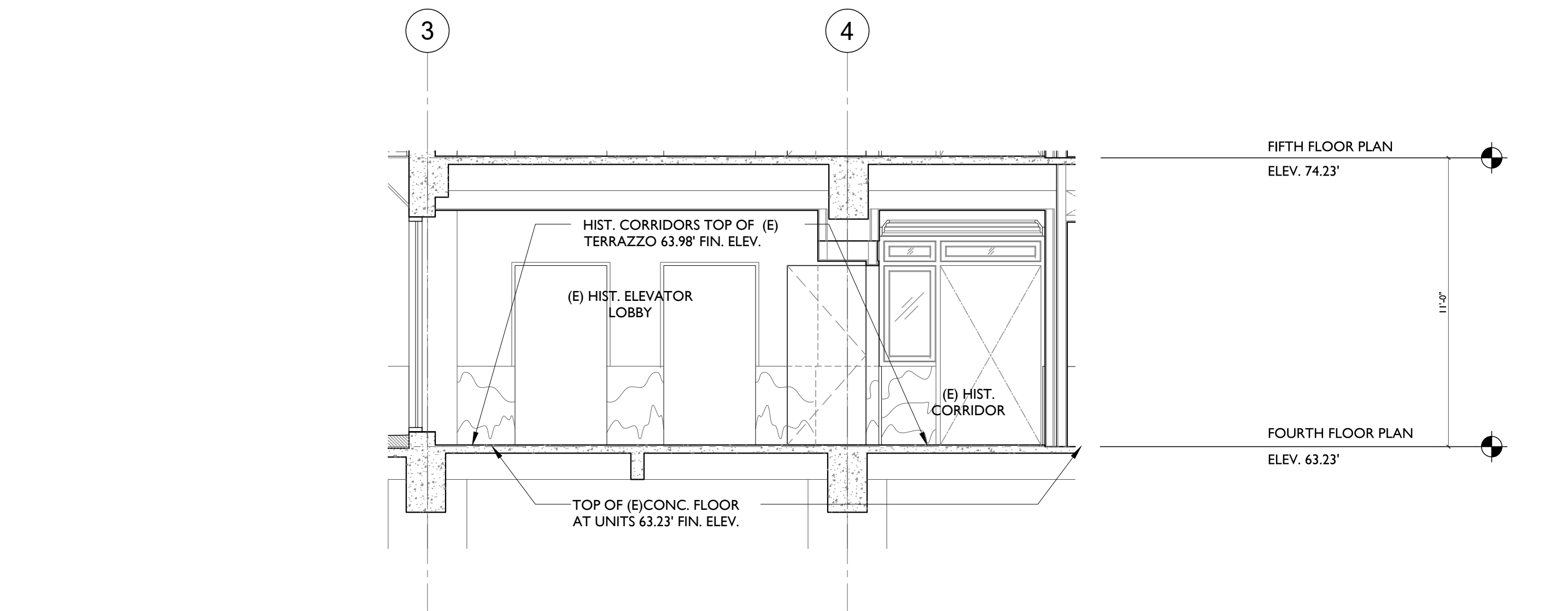
1 LONGITUDINAL SECTION C-C 3/32" = 1'-0"



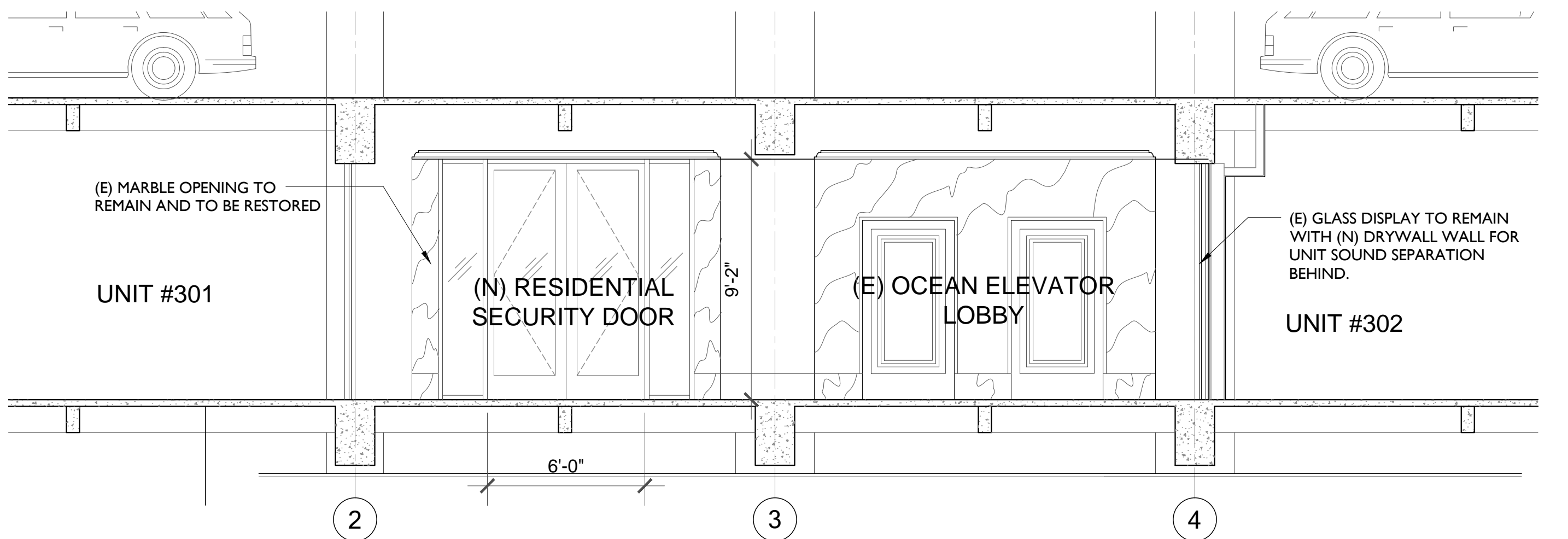




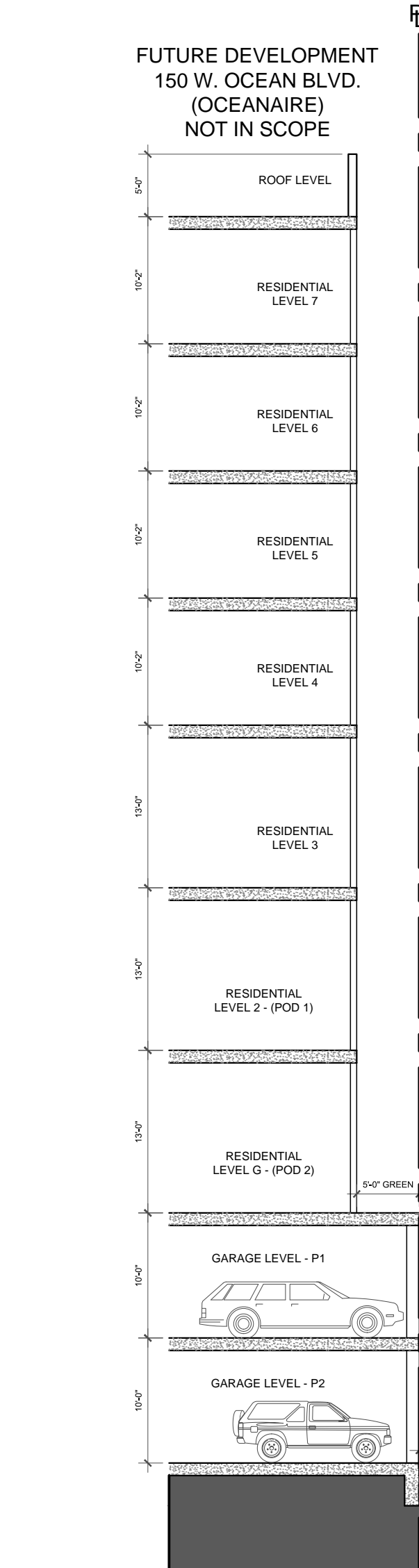
4 NEW RESIDENTIAL SECURITY DOOR AND OUTDOOR DECK 1/4" = 1'-0"



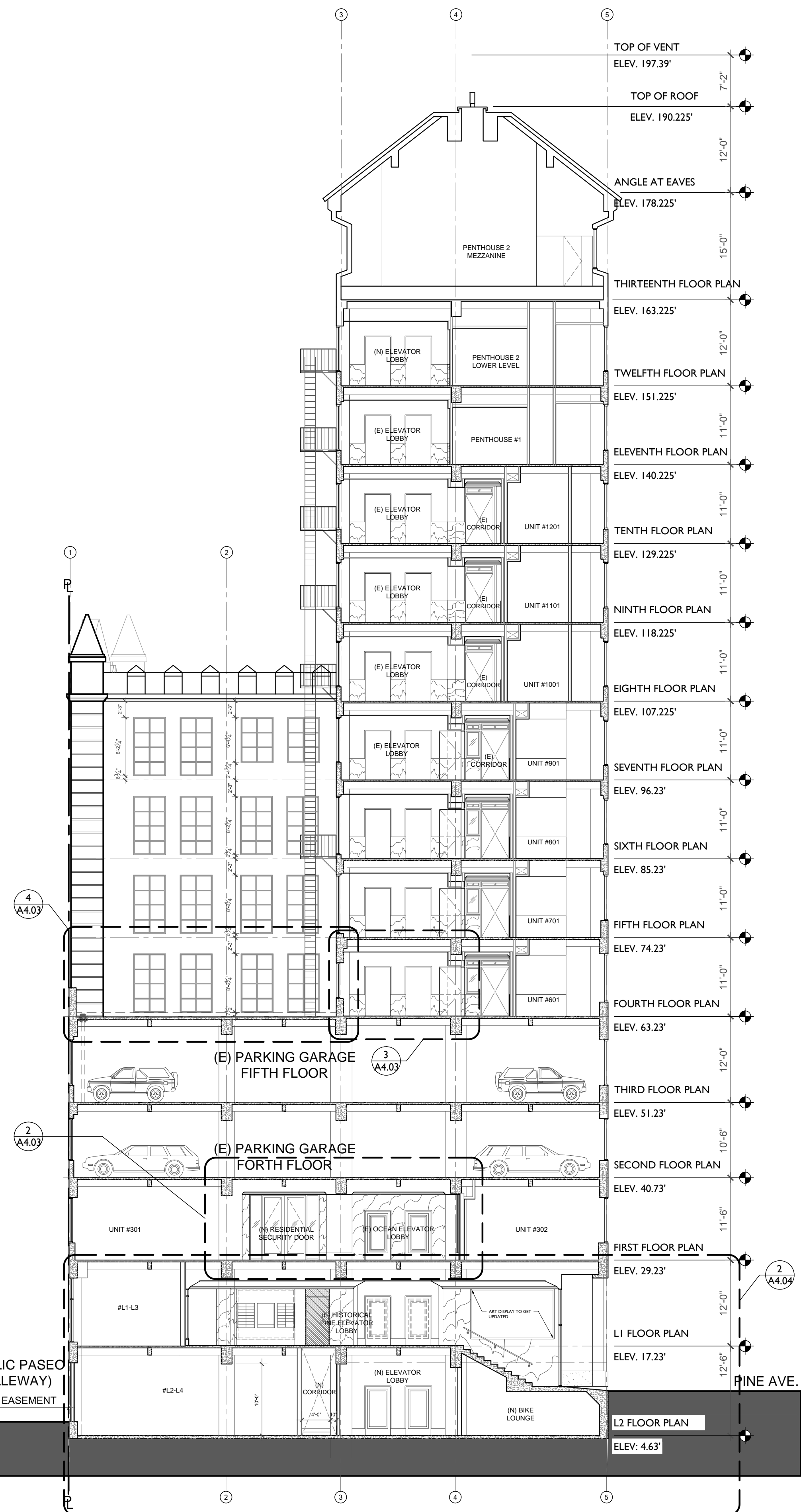
3 NEW HIST. CORRIDOR STAIRWELL WALL PER MOD#I A0.04 1/4" = 1'-0"



2 NEW RESIDENTIAL SECURITY DOOR 1/4" = 1'-0"



1 LONGITUDINAL SECTION C-C 3/32" = 1'-0"



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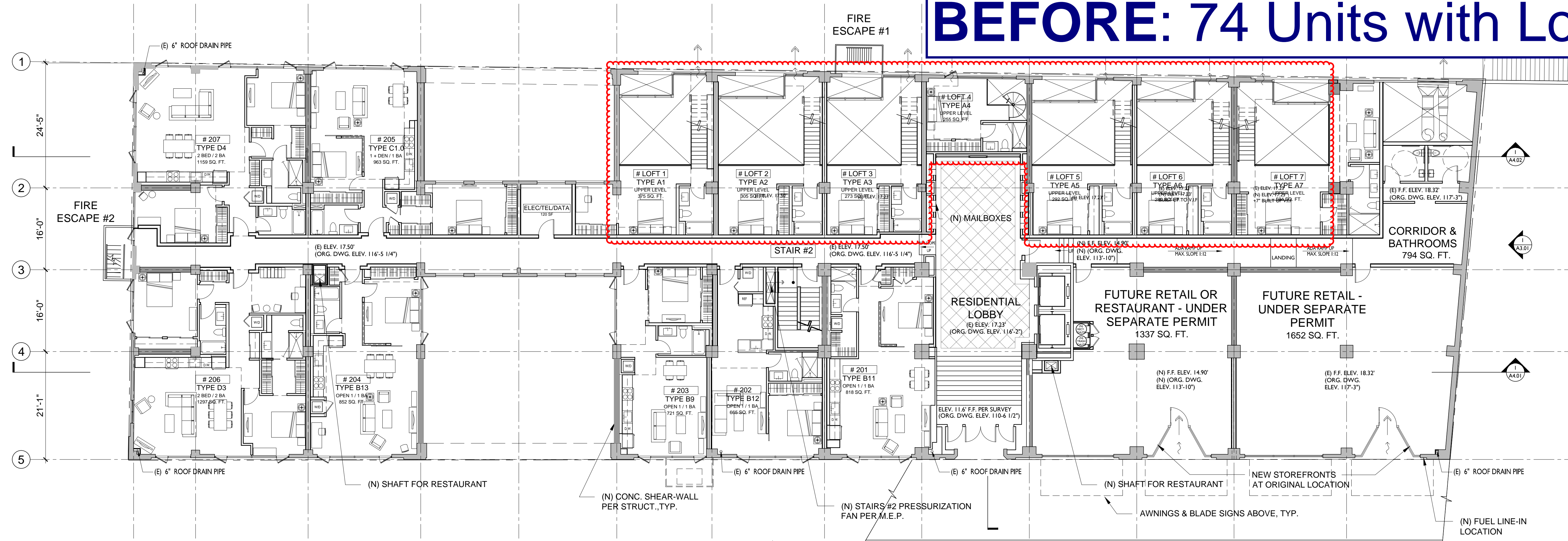
CROSS  
SECTION C-C

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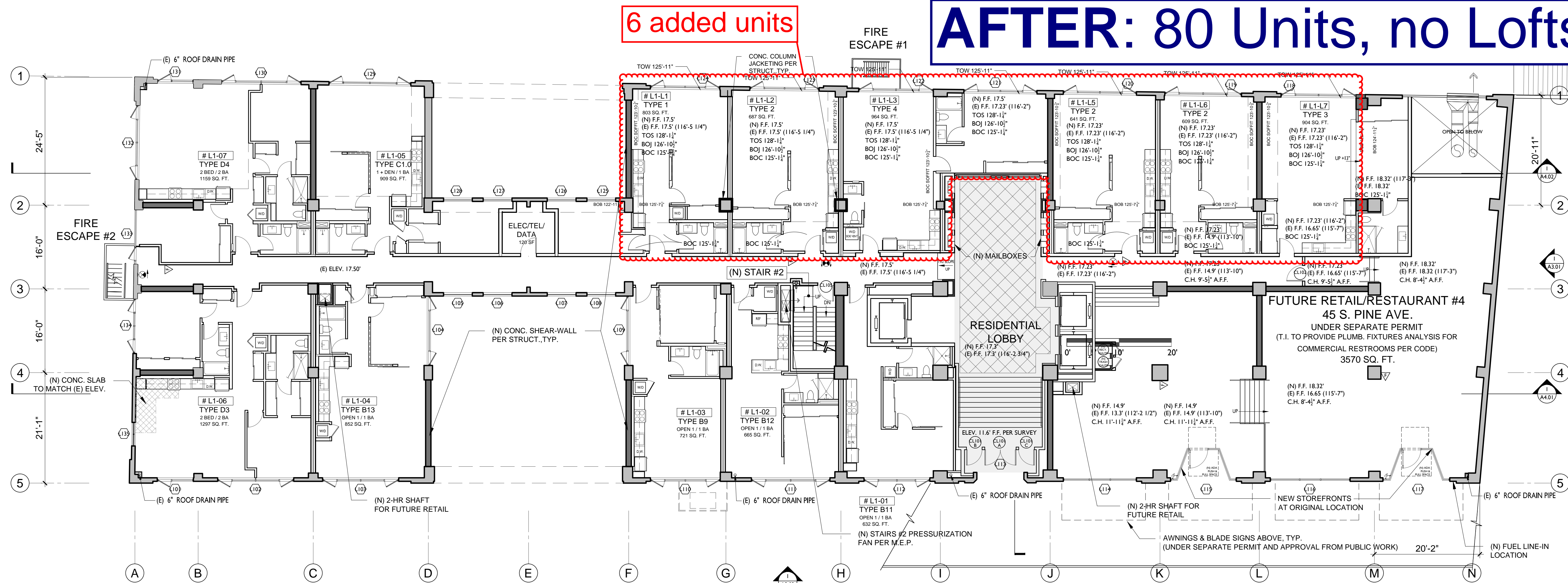
A4.03



# BEFORE: 74 Units with Lofts



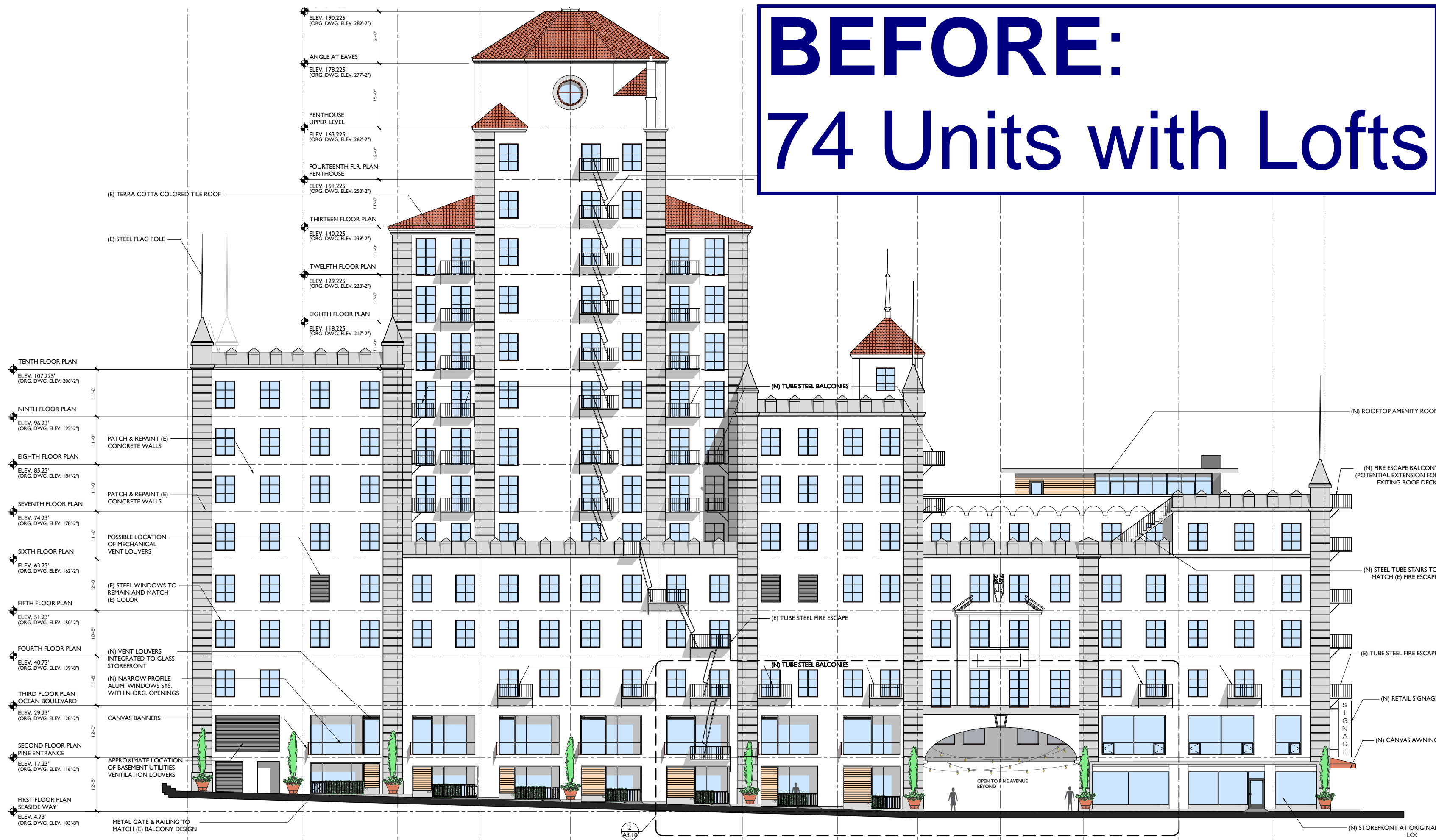
# AFTER: 80 Units, no Lofts



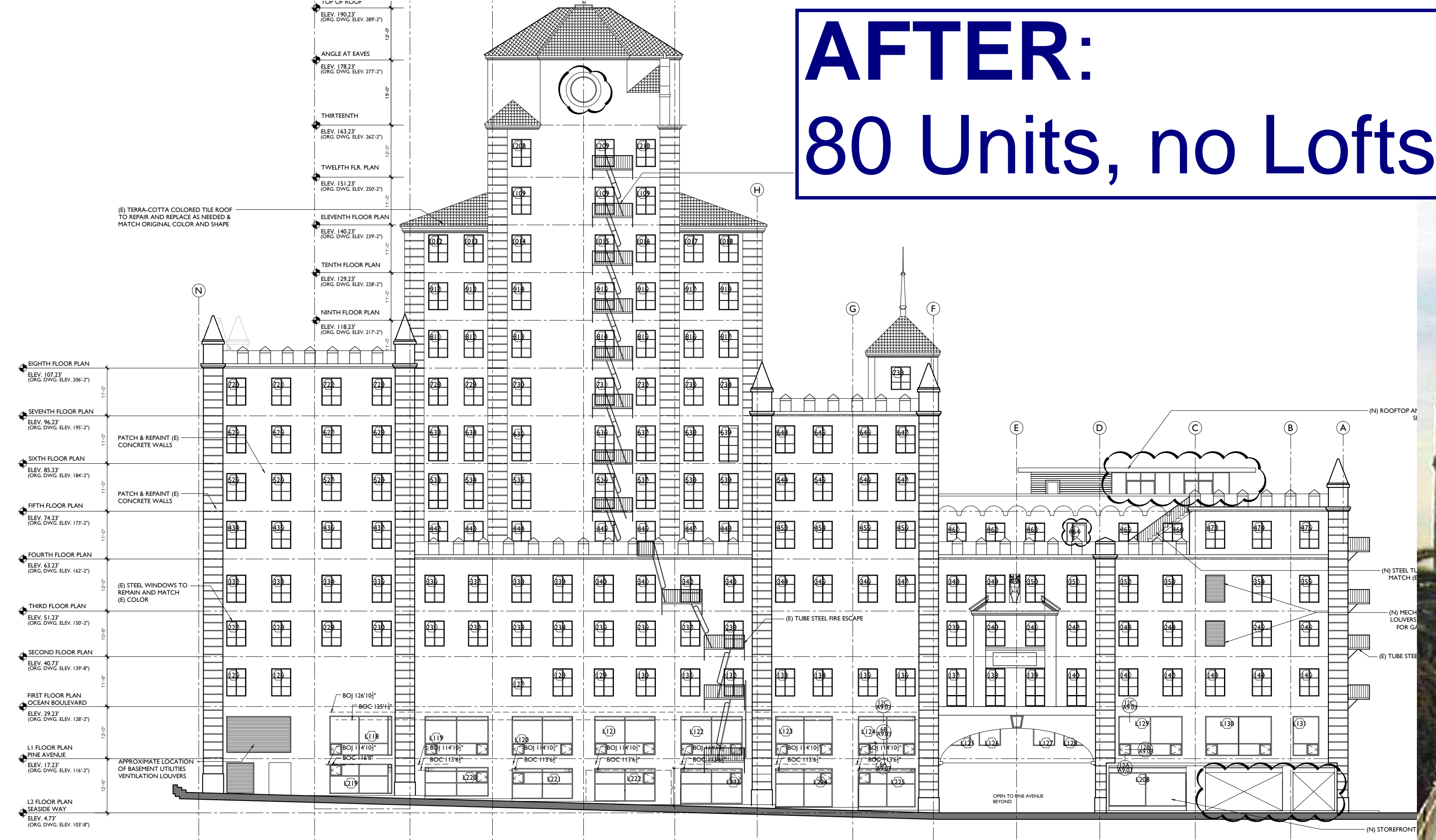
6 added units



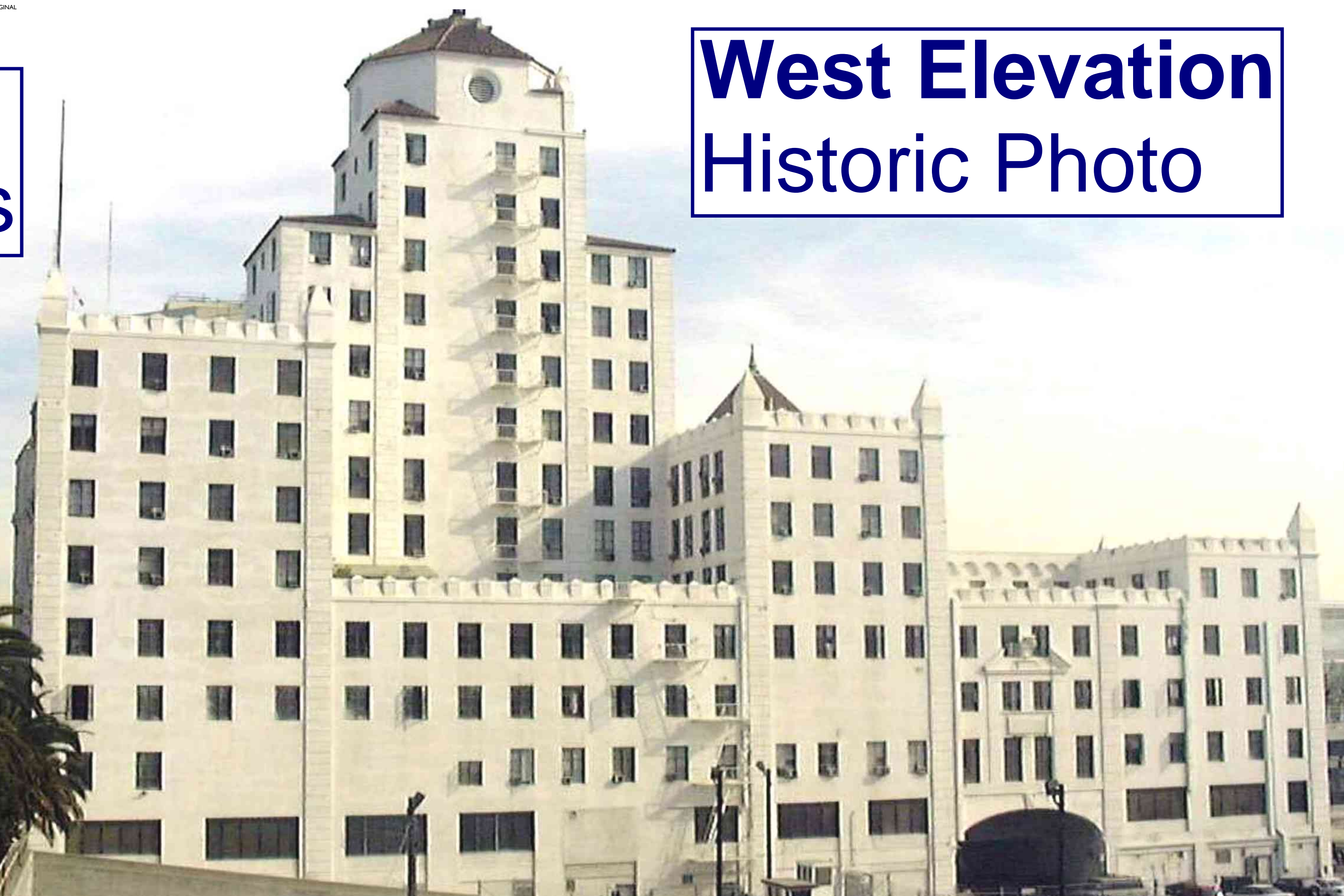
# BEFORE: 74 Units with Lofts



# AFTER: 80 Units, no Lofts



# West Elevation Historic Photo



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