ABBREVIATIONS AND

ADJUSTABLE ADJ ABOVE FINISHED FLOOR ASPHALT CONCRETE ALUMINUM BOARD BETWEEN BUILDING BEAM BOTTOM CENTERLINE CABINET

ALUM. BET BLDG BOT CAB CEM CEMENT CER CERAMIC CLG CEILING CLR CLEAR CMU COL COLUMN

CONCRETE MASONRY UNIT CONC CONCRETE CONST CONSTRUCTION CONT CONTINUOUS CONTRACTOR INSTALLED DET D.F. DRINKING FOUNTAIN DIAG DIAGONAL DIM DIMENSION DOOR DWG DRAWING EACH

ELECTRICAL ELEVATION EQUAL **EQUIPMENT** EXPANSION EXTERIOR EXISTING FLOOR DRAIN FINISH FACE FINISH GRADE FLOW LINE FLOOR

FLUOR F.O.S. GAUGE GLASS GYPSUM HEADER HOUR HEIGHT INCH INTERIOR

MACHINE BOLT M.B. MATERIAL MAT MAXMAXIMUM MECH MECHANICAL MTL METAL MFR MANUFACTURER MIN MINIMUM MISC MOUNTED NEW NUMBER

PNL

PART

PLAS

P.LAM

PLYWD

RAD

REQ

REV

R.D.

SCHED

SECT

SIM

S.S.

STD

TYP.

U.N.O.

VENT

VERT

VEST

V.T.R.

W.H.

W.I.

VOL

STRUCT

S.M.S.

SPEC(S)

MISCELLANEOUS NOT APPLICABLE NOT RATED N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE ON CENTER O.D. OUTSIDE DIMENSION

PANEL

PLATE

PARTITION

PLASTER

PLYWOOD

RADIUS

REFRIGERATOR

REQUIRED

REVISION

SCHEDULE

SECTION

SHELF

SHEET

SIMILAR

STANDARD

STRUCTURAL

SUSPENDED

TELEPHONE

THICK

VENT

VERTICAL

VESTIBULE

VOLUME

WITH

WOOD

TYPICAL

ROOF DRAIN

ROUGH OPENING

SHEET METAL SCREW

SPECIFICATIONS

STAINLESS STEEL

TO BE DETURMINED

UNIFORM BUILDING CODE

UNLESS NOTED OTHERWISE

VINYL COMPOSITION TILE

VENT THROUGH ROOF

WATER HEATER

WROUGHT IRON WATER RESISTANT

DETAIL NUMBER
DETAIL SYMBOL
SHEET NUMBER

DETAIL NUMBER
PRIMARY SECTION CUT

SHEET NUMBER

DETAIL NUMBER
INTERIOR ELEVATION
SHEET NUMBER

ROUND

ROOM

O.F.C.I. OWNER FURNISHED CONTRACTOR INSTALLED 0.H. OVERHEAD OPNG OPENING OPPOSITE OPP P.P. PATCH PANEL

POUND PER SQUARE INCH

AGENCIES HAVING JURISDICTION. 27. THE CONTRACTOR SHALL EMPLOY A CAPABLE SUPERINTENDENT WHO SHALL BE IN FULL CHARGE OF OPERATIONS UNDER THE GENERAL CONTRACTOR, INCLUDING ALL SUB-CONTRACTORS. THE SUPERINTENDENT AND/OR GENERAL CONTRACTOR SHALL BE ON THE JOB SITE AT ALL TIMES WHEN CONSTRUCTION IS IN PROGRESS. PLASTIC LAMINATE

28. SUBMIT SHOP DRAWINGS FOR CABINETRY, DOORS, HARDWARE, GLAZING, STAIRS, AND STOREFRONT SYSTEMS.

AND CEILINGS SHALL NOT EXCEED THAT SET FORTH IN TABLE 803.5 CBC.

OUTSIDE CORNERS, UNLESS NOTED OTHERWISE.

THE CONSTRUCTION IN WHICH THEY ARE INSTALLED.

INSTALLATION OF SAID WORK.

SHOWN AND NOTED HEREIN.

22. PROVIDE METAL TRIM ACCESSORIES AND/OR CASINGS @ ALL EDGES OF PLASTER OR

24. THE CONTRACTOR SHALL PROVIDE ACCESS PANELS AND FRAMES AS REQUIRED TO

25. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE IN ACCORDANCE TO THESE

DRAWINGS AND SPECIFICATIONS. THIS INCLUDES FURNISHING ALL LABOR, TOOLS,

DRYWALL SURFACES WHERE IT TERMINATES OR MEETS ANY OTHER MATERIAL, AND AT ALL

23. ALL EXTRAS AND/OR CHANGE ORDERS SHALL BE APPROVED IN WRITING BY BLANKSPACES

/ ARCHITECT COORDINATOR AND THE PROJECT MANAGER PRIOR TO THE PURCHASE OR

MECHANICAL, ELECTRICAL, AND PLUMBING; ACCESS PANELS SHALL BE COMPATIBLE WITH

EQUIPMENT, MATERIALS, TRANSPORTATION, AND SERVICES (UNLESS NOTED OTHERWISE) TO

ALL DRAWINGS, SPECIFICATIONS, ADDENDA, AND CHANGE ORDERS; COMPLETE AND IN GOOD

ORDER) AT THE JOB SITE, AVAILABLE TO REPRESENTATIVES OF THE OWNER AND PUBLIC

26. THE CONTRACTOR SHALL KEEP ONE (1) COPY OF ALL CONTRACT DOCUMENTS (INCLUDING

PERFORM ALL OF THE OPERATIONS NECESSARY FOR THE COMPLETION OF THE PROJECT AS

29. COPIES OF NOTIFICATION TO AQMD SHALL BE PROVIDED TO BUILDING AND SAFETY PRIOR TO THE REMOVAL OF ANY ASBESTOS—CONTAINING MATERIAL, PER AQMD RULE 1403.

GENERAL NOTES 21. THE MAXIMUM FLAME SPREAD CLASS OF FINISH MATERIALS USED ON THE INTERIOR WALLS

1. THE CONTRACTOR IS RESPONSIBLE FOR "PULLING" ALL PERMITS REQUIRED FOR THIS WORK. THE WORK SHALL COMPLY WITH APPLICABLE CODES AND BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND ORDINANCES. (ALSO SEE "SEPARATE PERMITS" UNDER BUILDING DATA)

2. THE CONTRACTOR IS TO REMOVE WASTE MATERIAL FROM THE BUILDING SITE AND DISPOSE OF ALL WASTE MATERIAL FROM THE PROJECT IN A LEGAL MANNER IN ACCORDANCE WITH 2013 CALGREEN CODE.

3. EXISTING CONDITIONS AND DIMENSIONS ARE TO BE REVIEWED AND VERIFIED BY THE CONTRACTOR. IF ANY DISCREPANCIES FROM THE DOCUMENTS ARE FOUND THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. DO NOT SCALE THE DRAWINGS.

4. THE CONTRACTOR IS TO REVIEW THE INSTALLATION OF ELECTRICAL, MECHANICAL, PLUMBING AND ARCHITECTURAL WORK. IF THERE ARE ANY DISCREPANCIES THAT WOULD CAUSE AN AWKWARD INSTALLATION THE CONTRACTOR IS TO REVIEW IT WITH THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION.

5. WHERE ANY NEW FLOOR FINISH IS TO BE INSTALLED, EXISTING SUBSTRATES ARE TO BE REPAIRED, PATCHED, LEVELED OR FLOATED AS NECESSARY AND CLEANED TO RECEIVE NEW FINISH MATERIAL AND RELATED ADHESIVES.

6. ALL EXISTING SURFACES TO RECEIVE NEW PAINT ARE TO BE PATCHED, REPAIRED FREE OF DEFECTS AND PREPARED TO RECEIVE NEW FINISH. WHERE NEW AND EXISTING DRYWALL SURFACES MEET THEY ARE TO BE PATCHED AND PAINTED TO FORM A SMOOTH CONTINUOUS SURFACE.

CAUSED DURING PERFORMANCE OF THE NEW WORK. THE DAMAGE IS TO BE REPAIRED TO MATCH EXISTING CONDITIONS PRIOR TO DAMAGE OR WHERE APPROPRIATE, TO MATCH NEW WORK.

7. THE CONTRACTOR IS TO REPAIR ALL DAMAGE TO EXISTING FINISHES AND BUILDING SYSTEMS

8. THE CONTRACTOR IS TO PROTECT ALL EXPOSED EXISTING AND NEW WORK FROM WEATHER AND INCLEMENT CONDITIONS. ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO SECURE AND PROTECT SUCH WORK IS TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

9. ALL ITEMS RECESSED INTO FIRE RATED PARTITIONS ARE TO BE BACKED IN AN APPROVED MANNER TO MAINTAIN THE REQUIRED FIRE RATINGS.

10. THE CONTRACTOR IS TO CONSTRUCT TEMPORARY BARRIERS TO PROTECT ADJACENT FACILITIES FROM MIGRATION OF CONSTRUCTION DEBRIS AND DUST. REQUIRED EXIT WAYS ARE TO BE MAINTAINED FREE FROM OBSTRUCTIONS AND CONTRACTOR IS TO CONFORM TO TITLE 24, PART 9, C.F.C. ARTICLE 87, "FIRE SAFETY DURING CONSTRUCTION."

11. CHANGES TO THE APPROVED DRAWINGS WILL BE MADE BY ADDENDA OR CHANGE ORDER APPROVED BY THE OWNER, ARCHITECT AND BUILDING DEPARTMENT.

12. ALL ELECTRICAL OUTLETS, DATA OUTLETS, SWITCHES, AND COVER PLATES TO MATCH APPROVED COLOR.

13. PROVIDE FIRE EXTINGUISHERS PER THE REQUIREMENTS OF THE LOCAL FIRE AUTHORITY.

14. SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS CONCERNING THEIR USE OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.

15. DRAWINGS INDICATE THE GENERAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED. OTHER DETAILS NOT EXPLICITLY SHOWN ON THE DRAWINGS SHALL BE EXECUTED IN ACCORDANCE WITH STANDARD CONSTRUCTION PRACTICES AND WORKMANSHIP.

16. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE CONSTRUCTION WORK TO BE PERFORMED BY ALL TRADES.

17. ALL GYPSUM BOARD USED ON THIS PROJECT IS TO BE TYPE "X."

18. NON-BEARING PARTITION WALLS SHALL BE SHOT-IN WITH $\frac{7}{32}$ " DIAMETER SHANK APPROVED FASTENERS @ 32" OC AND 6" MAX. FROM EACH END OF PLATE TYPICAL. (I.C.B.O.

19. INTERIOR NON-BEARING WALLS SHALL BE OF APPROVED METAL STUDS 2X4 (NOMINAL) @ 16" OC.

EXISTING BUILDING DATA

LOCATION: 625 W. ANAHEIM STREET, LONG BEACH, CA 90813 PROJECT DESCRIPTION: CUP FOR EXISTING INDUSTRIAL USE SPACE

PROPERTY TYPE: COMMERCIAL / INDUSTRIAL

SPECIAL ZONE:

ASSESSOR'S ID NO.: 7271-006-020

TRACT NO.: CHAPMAN TRACT - TROOO9-107A

1 - 12

EXISTING BUILDING AREA: 23,340 SF PROPOSED NEW TENANT AREA: 23,340 SF

AREA OF RENOVATION: NO RENOVATION

YR. BUILT / EFFECTIVE YR. BUILT: 1970 **BUILDING NO. OF STORIES: BUILDING CONSTRUCTION:** TYPE V-B FIRE SPRINKLERS:

FIRE RESISTIVE REQUIREMENTS: (CBC / IBC TABLE 601)

> STRUCTURAL FRAME BEARING WALLS — EXTERIOR BEARING WALLS — INTERIOR

NONBEARING AND PARTITION — EXTERIOR NONBEARING AND PARTITION — INTERIOR

<u>PER CODE:</u> 0 HR PROVIDED IN DESIGN: FLOOR CONSTRUCTION NO CHANGE 2 HR NO CHANGE (including supporting beams 0 HR NO CHANGE and joists) SEE TABLE 602 NO CHANGE

0 HR NO CHANGE ROOF CONSTRUCTION (including supporting beams (E) CONC. 0 HR and joists)

APPLICABLE BUILDING CODES:

2016 CALIFORNIA BUILDING CODE/ IBC WITH STATE ADMEND 2016 CALIFORNIA PLUMBING CODE/ UPC IAPMO WITH STATE ADMENDED CONC. 2016 CALIFORNIA MECHANICAL CODE/ UMC IAPMO WITH STATE ADMEND

2016 CALIFORNIA ELECTRICAL CODE/ NEC IAPMO WITH STATE ADMEND 2016 CALIFORNIA FIRE CODE/ IFC

2016 CALIFORNIA FIRE CODE/ IFC

2016 CALIFORNIA BUILDING CODE (TITLE 24, PART 2) 2016 CALIFORNIA ENERGY CODE

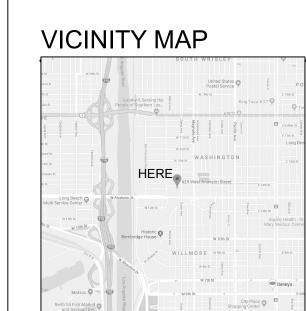
CITY OF LONG BEACH ZONING MUNICIPAL 2016 CALIFORNIA GREEN BUILDING CODE

SHEET INDEX

A300 A400	A202 A203	G003 G004 G005	G001		
INTERIOR ELEVATIONS EXTERIOR ELEVATIONS	PROPOSED PLAN PROPOSED PARKING PLAN	SITE PLAN SITE PLAN, ENLARGED PARKING PROPOSED SITE PLAN	GENERAL INFORMATION		
•	•	•	•	CUP DRAWINGS	08-20-2019
•	•	•	•	CUP DRAWINGS	10-01-2019
•	•	•	•	CUP DRAWINGS	11-01-2019
•	•	•	•	CUP DRAWINGS, CORRECTIONS	11-11-2019
•	•	•	•	CUP DRAWINGS, CORRECTIONS	11-16-2019

PROJECT TEAM

BUILDING OWNER	TENANT
ALL FORTUNE GROUP, LLC	TRANSPARENTSEA FARM
625 W ANAHEIM STREET	625 W ANAHEIM STREET
LONG BEACH, CA 90813	LONG BEACH, CA 90813



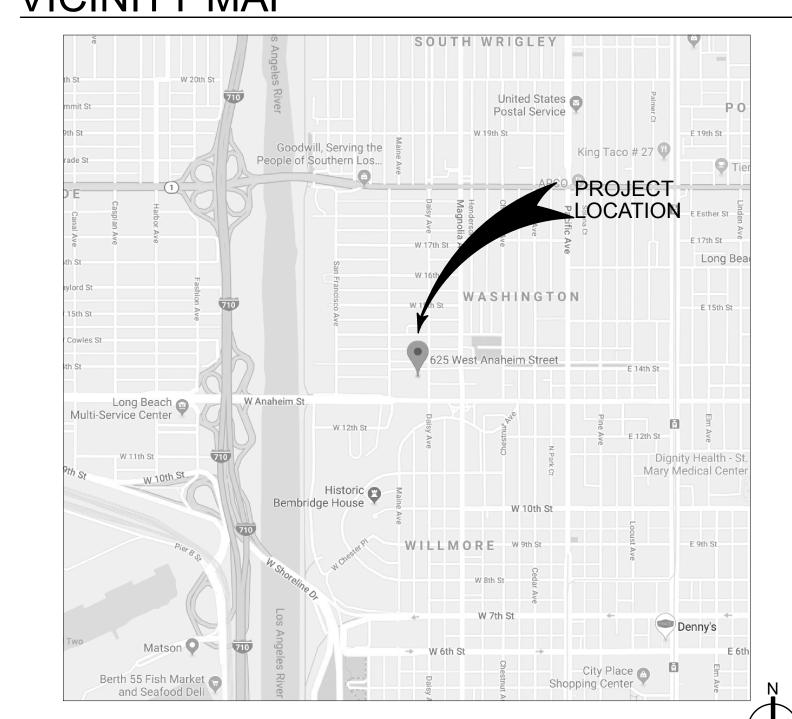
ANAHEIM BEACH, C/

TRANSPARENTSEA FARM. LLC

625 W ANAHEIM ST

LONG BEACH, CA 90813

VICINITY MAP



CONDITIONAL USE PERMIT DRAWINGS

ISSUE RECORD NO. DESCRIPTION 01\ CUP DRAWINGS 02 CUP DRAWINGS CUP DRAWINGS, CORRECTIONS

DRAWING TITLE RAL

DRAWING NO.

G001

ELEV EQUIP EXP EXT F.D. F.F. F.G. F.H.C. FLR FLUORESCENT FACE OF STUD

FIRE EXTINGUISHER FIRE HOSE CABINET GALVANIZED GALVANIZED IRON

GALV GYP H.B. HANDICAPPED HĎR HDWHARDWARE HDWD HARDWOOD H.M. HOLLOW METAL HOR HORIZONTAL HGT INSIDE DIMENSION

INSUL INSULATION INT JOINT LABORATOR' LAM LAMINATED LAVATORY LAV LB/# POUNDS LONG LT/LGT LIGHT

SYMBOL LEGEND

CONSTRUCTION KEYNOTE

DEMOLITION KEYNOTE / ACCESSORY KEYNOTE WALL TYPE KEYNOTE

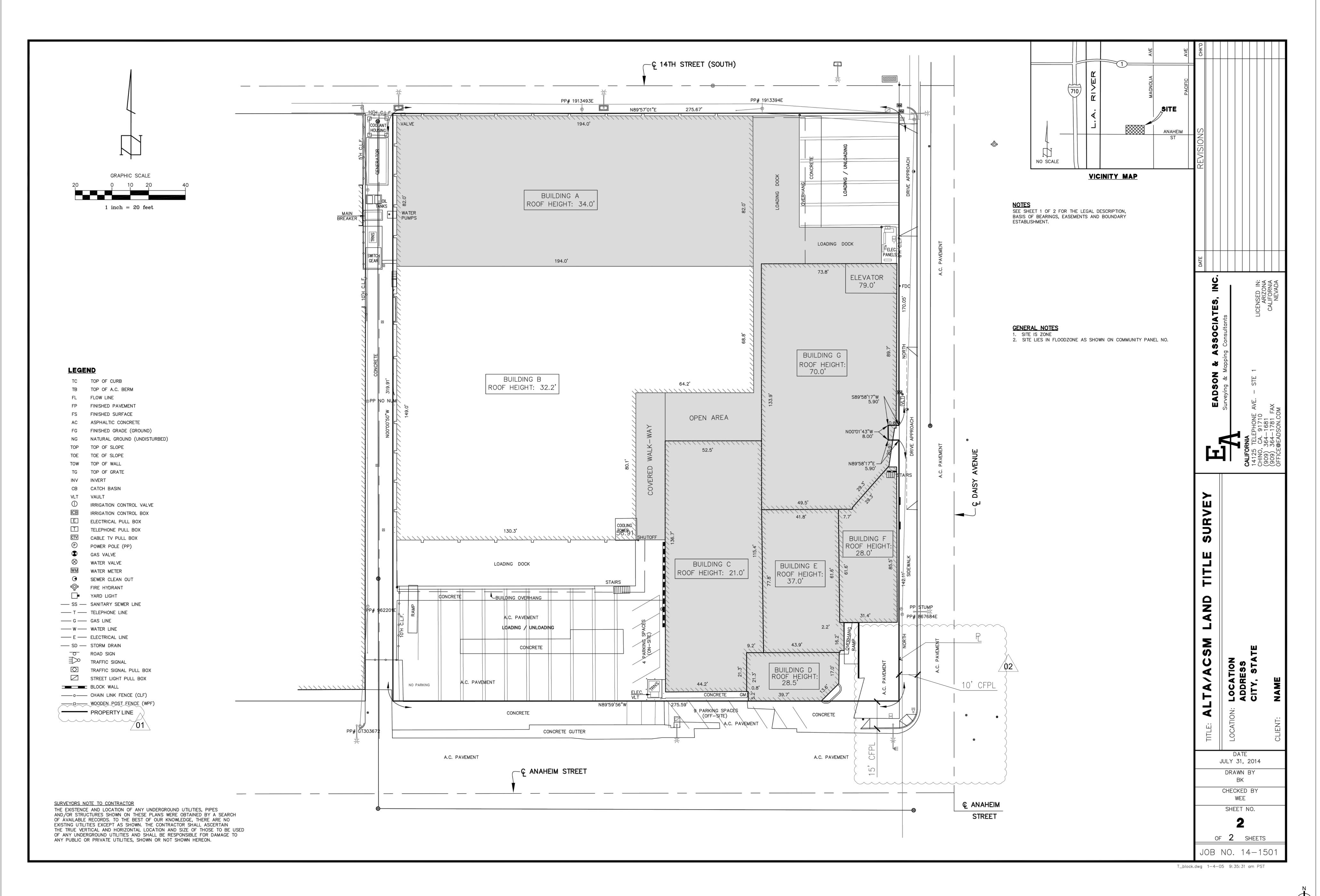
ROOM NUMBER

DOOR NUMBER REVISION DELTA



INDICATES FINISHED ↓ SURFACES TO ALIGN

Existing Site Plan



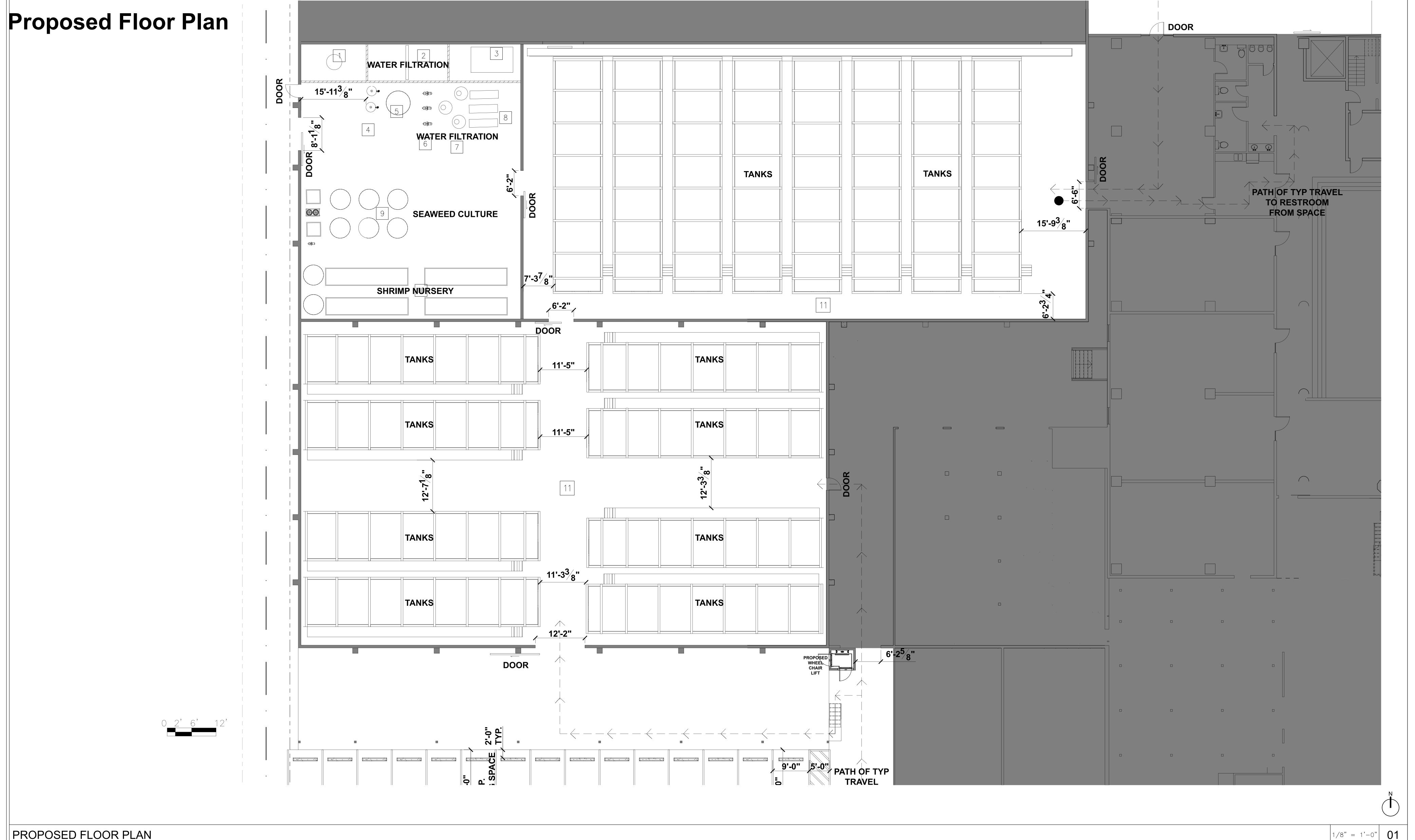
VICINITY MAP

CONDITIONAL USE PERMIT DRAWINGS

ISSUE RECORD NO. DESCRIPTION DATE CUP DRAWINGS 01\ CUP DRAWINGS 10.01.2019 02 CUP DRAWINGS CUP DRAWINGS, CORRECTIONS 11.16.2019

AS NOTE SCALE DRAWING TITLE SITE PLAN





EQUIPMENT KEYNOTES

DESCRIPTION OF BASIC COMPONENTS:

COMPONENTS 1-3 ARE IN THE RAS (RECIRCULATING AQUACULTURE SYSTEM) SUMP (OR BASIN FOR WATER TREATMENT). COMPONENTS 4-8 ARE INTEGRAL IN THIS PROCESS BUT SIT OUTSIDE ON GRADE.

- 1 VAL (VACUUM AIR LIFT): 20'TALL, SITS IN WATER AND USES A SMALL EFFICIENT VACUUM PUMP TO REMOVE GASES, PRIMÀRILY CO2 FROM THE WATER.
- HEAT EXCHANGER: SITS IN WATER AND MAINTAINS WATER FOR THE WHOLE SYSTEM AT AROUND 86F. RUNS ON NATURAL GAS BOILER.
- ROTATING DRUM FILTER (RDF): THIS EQUIPMENT FILTERS SOLIDS FROM THE SYSTEM DOWN TO 29 MICRONS. IT WILL DISCHARGE TO A SMALL RADIAL FLOW SETTLER WHICH TAKES A PORTION OF WATER AND RETURNS IT TO THE
- CARBON FILTERS: THE CITY WATER COMING INTO THE FACILITY WILL BE CARBON FILTERED AND PUMPED INTO OUR
- SYSTEM AS NEEDED. MIXING TANK: THIS IS A TANK WHERE WE CAN ADD SMALL AMOUNTS OF SALT OR OTHER MINERALS THE ANIMALS

THREE LINES TO DISTRIBUTE WATER

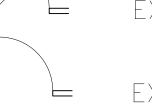
- DISTRIBUTION PUMPS: THESE PUMPS DELIVER WATER TO THE PRODUCTION FLOOR, AND GRAVITY RETURNS IT TO THE
- RAS SUMP OZONE AND OXYGEN SATURATION CONES: AN OZONE GENERATOR WILL BE IN PLACE TO DISINFECT AND OXYGENATE THE WATER BEFORE IT RETURNS TO THE PRODUCTION TANKS. SATURATION CONES ARE JUST TOWERS THAT ALLOW FOR WATER AND AIR TO MIX FOR A LONGER PERIOD OF TIME.

- UV STERILIZERS: ONCE THE WATER IS FILTERED, CONCENTRATED UV LIGHT IS USED TO DISINFECT THE WATER AND NEUTRALIZE ANY REMAINING OZONE (03).
- SEAWEED CULTURE: EXACT LOCATION TO BE FLEXIBLE WITHIN THIS ROOM. SETUP WILL BE SIMPLE AND INCLUDE A SEAWATER CHILLER AND SMALL DISTRIBUTION PUMP.
- SHRIMP NURSERY TANKS: THESE TANKS WILL BE USED TO GROW SHRIMP FROM POST LARVAE (20 DAYS OLD) TO 50-60 DAYS OLD BEFORE THEY GO INTO THE PRODUCTION TANKS.
- PRODUCTION FLOOR: 9 TANKS WILL BE 11'WIDE X 57'LONG X 6'TALL. WATER LEVEL WILL BE 5-6'DEPTH. THE SHRIMP WILL GROW IN THESE TANKS FOR APPROXIMATELY 3 MONTHS.

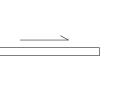
SYMBOLS/ LEGEND

E) WALL

(N) LOW CURB, 1' FROM FINISHED FLOOR



EXISTING DOOR TO REMAIN.



EXISTING SLIDING DOOR TO REMAIN



EXISTING GLAZING TO REMAIN

NOT IN SCOPE



02 CUP DRAWINGS EXISTING DOOR TO REMAIN. CUP DRAWINGS, CORRECTIONS CUP DRAWINGS, CORRECTIONS ARROW INDICATES DIRECTION OF OPEN

SCALE

CONDITIONAL USE

PERMIT DRAWINGS

11.11.2019

ISSUE RECORD

NO. DESCRIPTION

VICINITY MAP

TRANSPARENTSEA FARM, LLC

625 W ANAHEIM ST

LONG BEACH, CA 90813

DRAWING TITLE FLOOR PLAN

DRAWING NO.

A202

