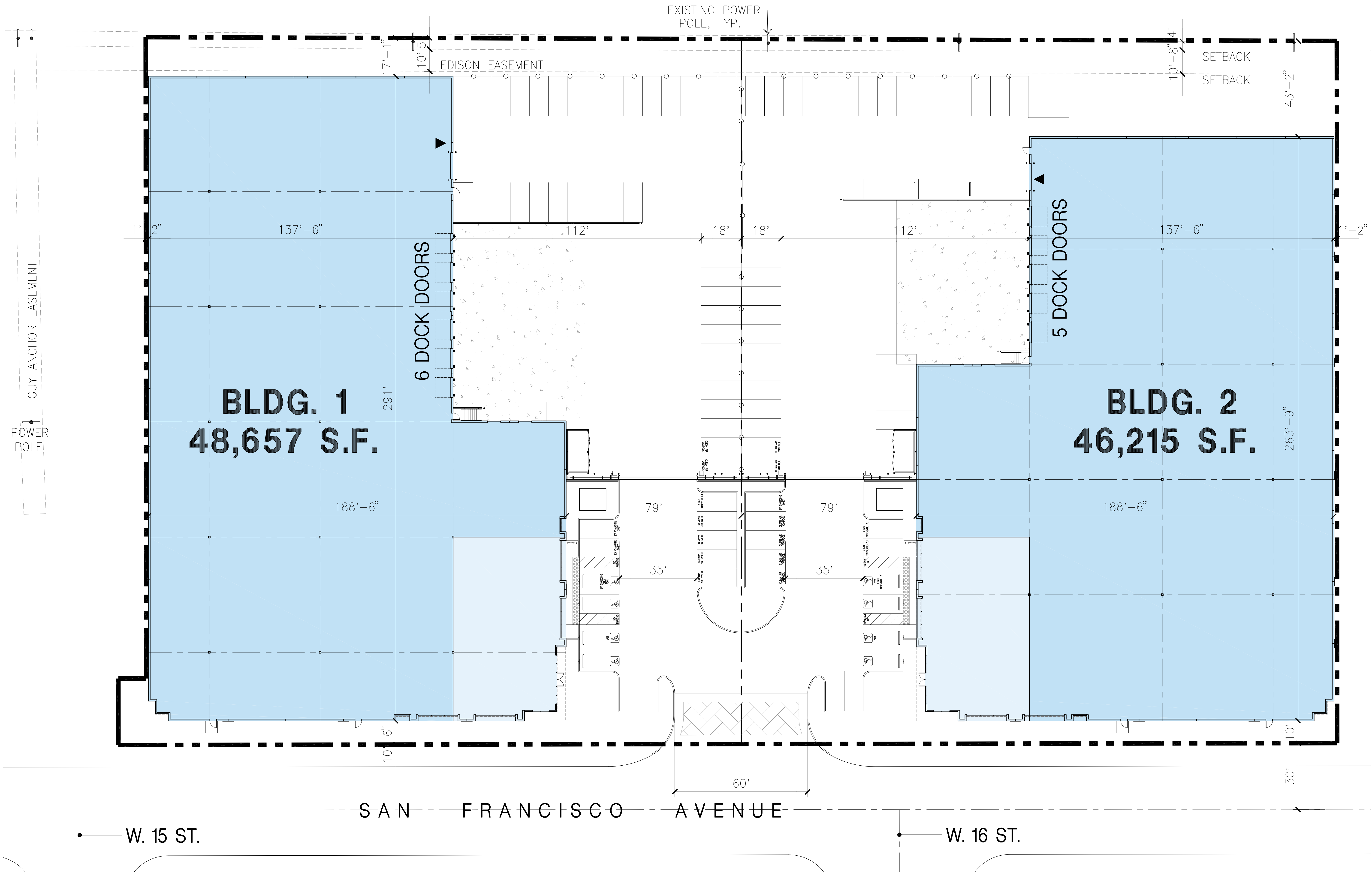




Note: This is a conceptual plan. It is based on preliminary information which is not fully verified and may be incomplete. It is meant as a comparative aid in examining alternate development strategies and any quantities indicated are subject to revision as more reliable information becomes available.

Aerial Map



Legend

- POTENTIAL OFFICE WITH 2ND FLOOR
- WAREHOUSE
- DRIVE THRU DOOR

Tabulation

	BLDG. 1	BLDG. 2	TOTAL
SITE AREA			
In s.f.	100,192	92,518	192,710 s.f.
In acres	2.30	2.12	4.42 ac
BUILDING AREA			
Office - 1st floor	10,128	9,518	19,646 s.f.
Office - 2nd floor	2,000	2,000	4,000 s.f.
Warehouse	36,529	34,697	71,226 s.f.
TOTAL	48,657	46,215	94,872 s.f.
COVERAGE	48.6%	50.0%	49.2%
AUTO PARKING REQUIRED			
Office: 1/250 s.f. (if exceed 25%)	n/a	n/a	n/a stalls
Whse: 1/1,000 s.f.	49	47	96 stalls
TOTAL	49	47	96 stalls
AUTO PARKING PROVIDED			
Standard (8.5' x 18')	36	34	70 stalls
Accessible Parking (9'x18')	2	2	4 stalls
Accessible Van Parking (12'x18')	1	1	2 stalls
EV Accessible parking (12'x18')	1	1	2 stalls
EV Parking (8.5'x18')	3	3	6 stalls
Clean Air / Van Pool (8.5'x18')	6	6	12 stalls
TOTAL	49	47	96 stalls
ZONING ORDINANCE FOR CITY			
Zoning Designation - General Industrial (IG)			
MAXIMUM BUILDING HEIGHT ALLOWED			
Height - 65'			
MAXIMUM LOT COVERAGE			
Coverage - 80%			
SETBACKS			
Yard fronting Arterial St.- 10'			
Yard local or collector St - none			
Parking lot setback fronting St. - 5'			



18831 Bardeen Ave. - Ste. #100
Irvine, CA 92612
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Conceptual Site Plan

San Francisco Industrial Center

City of Long Beach, CA



October 2, 2018 / Job #18057
Scheme 8



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18831 bardeen avenue - ste.
#100 irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com

Owner:

ALERE
PROPERTY GROUP LLC

100 BAYVIEW CIRCLE, STE 310
NEWPORT BEACH, CA 92660
TEL : 949-509-5000

Project:

SAN FRANCISCO
INDUSTRIAL
CENTER

1601 SAN FRANCISCO AVE.
LONG BEACH, CA

Consultants:

Civil: THIENES
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: HUNTER LANDSCAPE
Fire Protection: -
Soils Engineer: -

Title: Overall Site Plan

Project Number: 18057
Drawn by: ML
Date: 6/13/19
Revision:

Sheet:

DAB-A1.1

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED.
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH.
- 6 PROVIDE 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 7 TRASH ENCLOSURE PER CITY STANDARD.
- 8 APPROXIMATE LOCATION OF TRANSFORMER.
- 9 PRE-CAST CONCRETE WHEEL STOP.
- 10 CONCRETE FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- 11 DESIGNATED SMOKING AREA.
- 12 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 13 ACCESSIBLE ENTRY SIGN.
- 14 ACCESSIBLE PARKING STALL SIGN.
- 15 8" HIGH FIRE EMERGENCY GATE WITH KNOX-LOCK.
- 16 8" HIGH METAL FENCE.
- 17 TRUNCATED DOME.
- 18 NOT USED.
- 19 EXTERIOR CONCRETE STAIR.
- 20 5 SPACES OF SHORT-TERM BIKE RACK.
- 21 NOT USED.

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

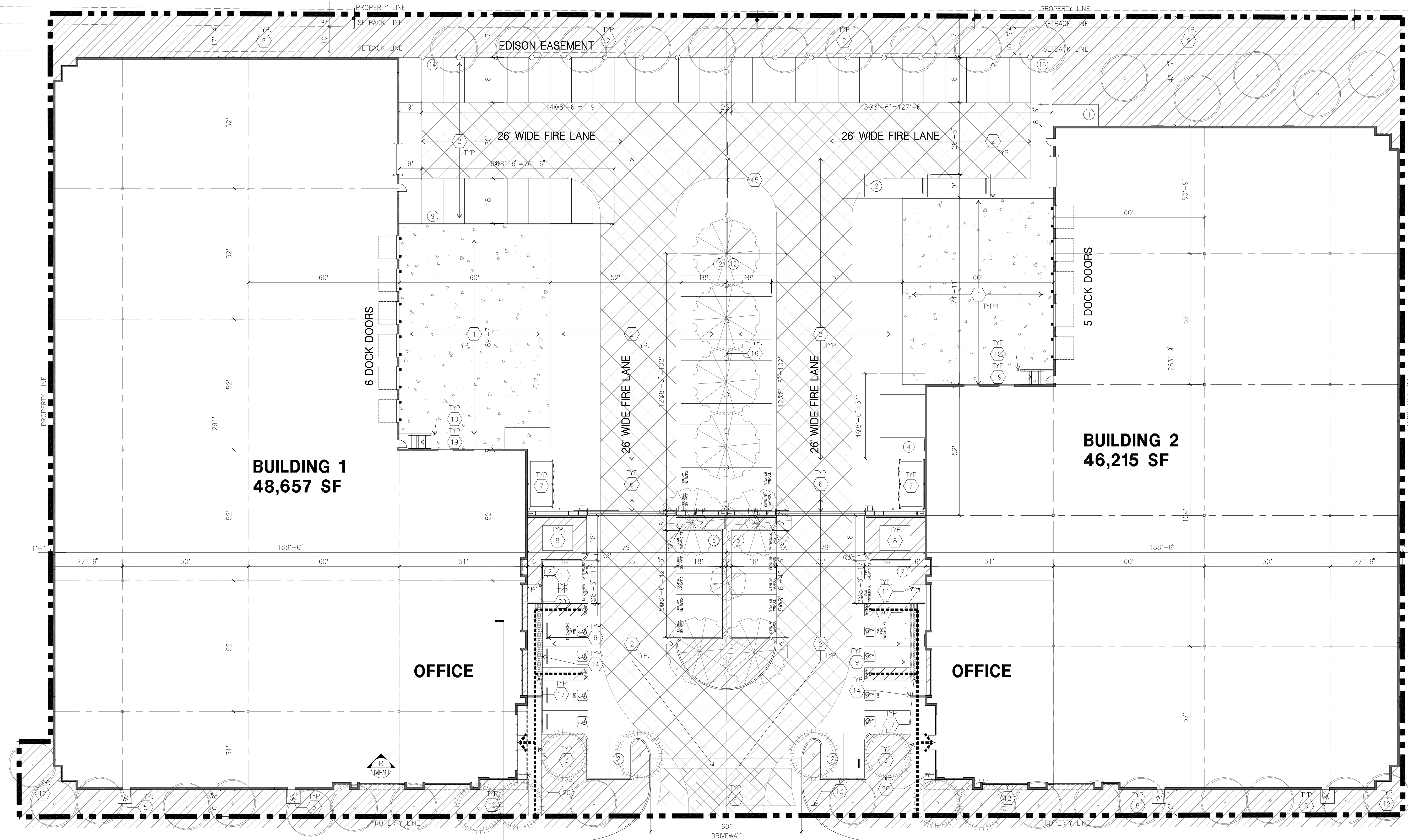
SITE LEGEND

- CONCRETE PAVING
- ASPHALT CONCRETE PAVING
- STANDARD PARKING STALL (8'-6" X 18')
- ACCESSIBLE PARKING STALL (9' X 18') + 5' W/ ACCESSIBLE AISLE
- ACCESSIBLE PARKING (VAN) STALL (12' X 18') + 5' W/ ACCESSIBLE AISLE
- LANDSCAPED AREA
- PATH OF TRAVEL
- 26' FIRE WIDE FIRELANE

PROJECT DATA

SITE AREA	BLDG. 1	BLDG. 2	TOTAL
In s.f.	100,192	92,518	192,710 s.f.
In acres	2.30	2.12	4.42 ac
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Height - 65'			
MAXIMUM LOT COVERAGE			
Coverage - 80%			
SETBACKS			
Yard fronting Arterial St. - 10'			
Yard local or collector St - none			
Parking lot setback fronting St. - 5'			

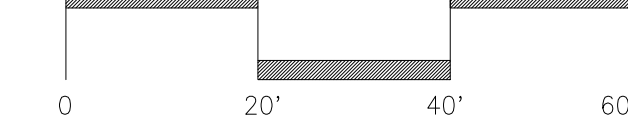
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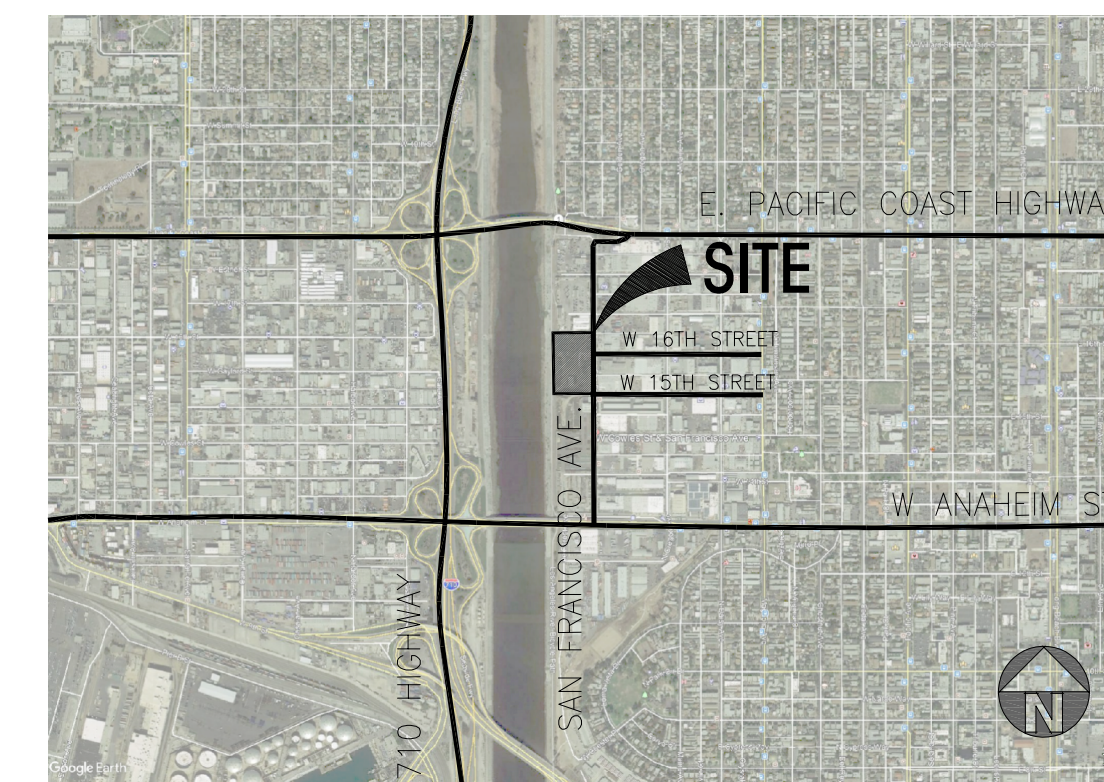
OVERALL SITE PLAN A

Scale: 1"=20'-0"

Scale: 1"=20'-0"



VICINITY MAP



PROJECT INFORMATION

Owner / Applicant

SAN FRANCISCO YARD LLC
100 BAYVIEW PL. STE 310
NEWPORT BEACH, CA 92660
PHONE: 949-509-5000
CONTACT: CLARK NEUHOFF

Project Address

1601 SAN FRANCISCO AVE.
LONG BEACH, CA

Applicant Representative

HPA, INC.
18831 BARDEEN AVE. STE 100
IRVINE, CA 92612
PHONE: 949-862-2138
CONTACT: MATTHEW LEE

Construction Type

CONCRETE TILT-UP BUILDING

BUILDING OCCUPANCY : S-1 / B
CONSTRUCTION TYPE I III-B

Code Analysis

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS

Legal Description

LOT 1 OF TRACT NO. 23012, IN THE CITY OF SAN FERNANDO, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 610, PAGES 3 AND 4 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN

7271-007-005, 7271-008-013, 7271-011-008,
7271-012-020, 7271-012-023, 7271-017-015

Zoning

IG GENERAL INDUSTRIAL

General Plan

9G GENERAL INDUSTRIAL



hpa, inc.
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SAN FRANCISCO
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CENTER

1601 SAN FRANCISCO AVE.
LONG BEACH, CA

Civil:	THIENES
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	HUNTER LANDSCAPE
Fire Protection:	-
Soils Engineer:	-

Title: overall floor plan bldg 3

Project Number: 18057
 Drawn by: ML
 Date: 6/13/19
 Revision:

Sheet:

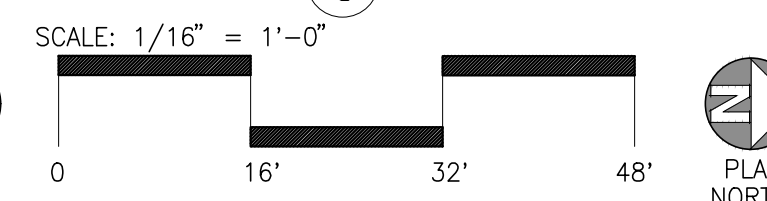
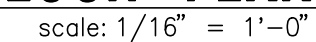
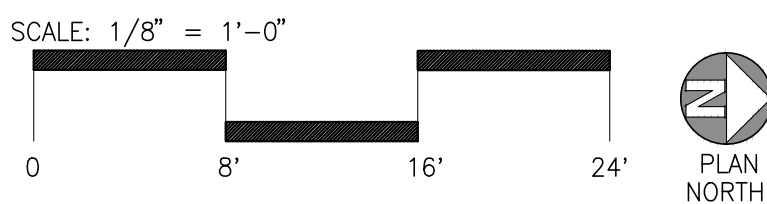
DAB-1-A2.1

- (1) CONCRETE TILT-UP PANEL.
- (2) STRUCTURAL STEEL COLUMN.
- (3) TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- (4) CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING W/ ON BOTH SIDE OF RAMP.
- (5) 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH.
- (6) EXTERIOR CONCRETE STAIR.
- (7) 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- (8) LOUVERED OPENING FOR VENTILATION.
- (9) DOCK DOOR BUMPER TYPICAL.
- (10) 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
- (11) 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
- (12) SOFFIT LINE ABOVE.
- (13) CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.
- (14) EXTERIOR DOWNSPOUT WITH 2 OVERFLOW SCUPPER.
- (15) Z GUARD.
- (16) METAL CANOPY ABOVE.
- (17) INTERIOR ROOF DRAIN WITH 2 OVERFLOW SCUPPER.

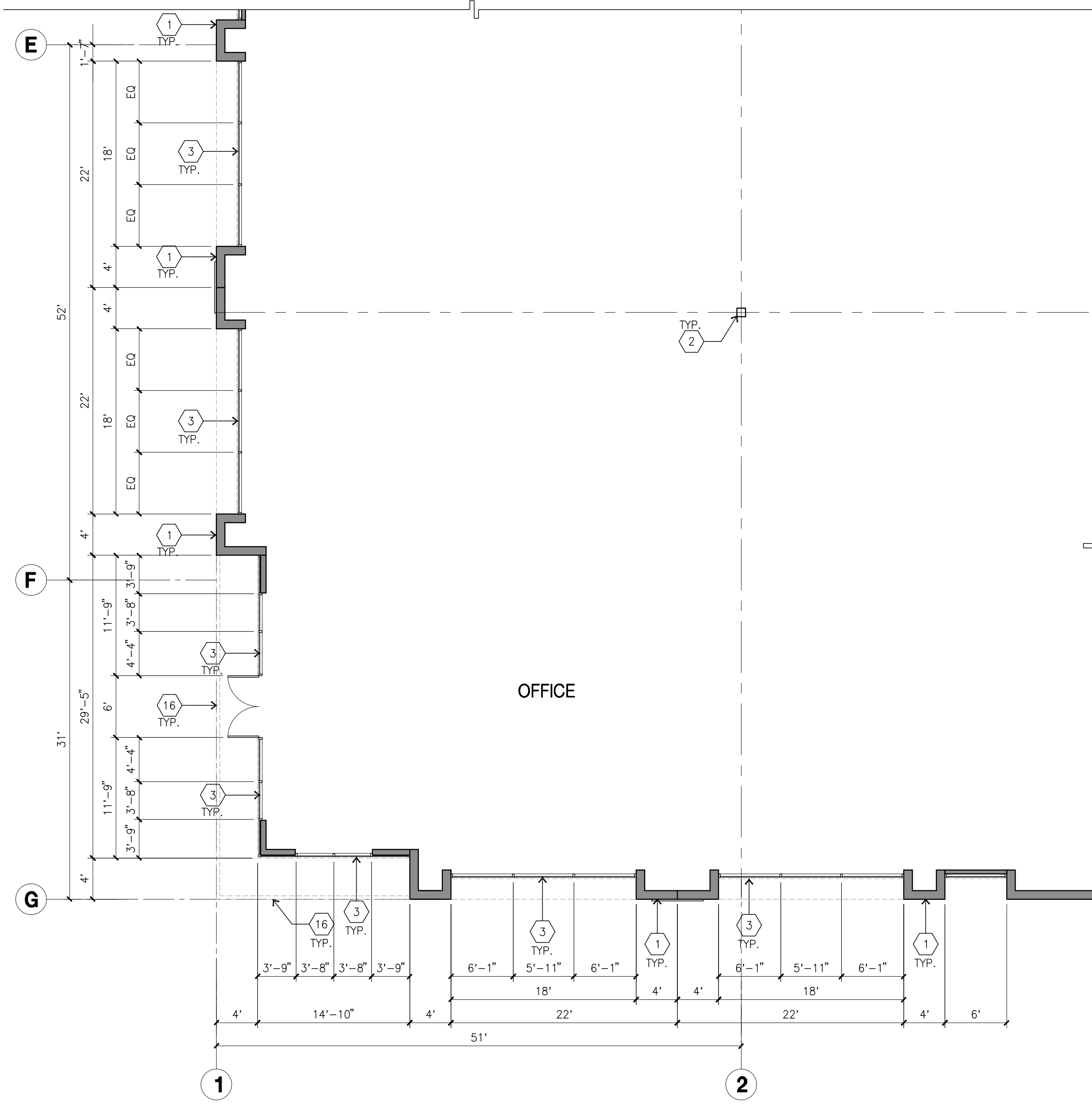
1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS DOORS AT APPROXIMATELY 100' O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE COAT OF WHITE TO COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOUR EXITS.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRID LINE, OR FACE OF STUD U.I.N.O.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. SEE DOOR LEGEND FOR DOOR TYPES AND SIZES.
- NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAIN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNING SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR: PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11B-703.5
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/A-1 SECTION.
15. PROVIDE FIRE RATED PANEL JOINTS AND CAULKING AT ALL OPENINGS ON 3HR FIRE RATED WALL. SEE A DRAWING FOR LOCATIONS.
16. PROVIDE 2A 10BC FIRE EXTINGUISHERS FOR OFFICE AREA (1 FOR EVERY 1,500 SF) AND 4A 40BC FIRE EXTINGUISHERS FOR WAREHOUSE AREA (1 FOR EVERY 1,000 SF)

THESE NOTES ARE VERY MIN.

1. FLOOR COMPACT - 95%
2. TRENCH COMPACT - 90%
3. BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS.
CONTRACTOR TO BUILD FOUR CLASS V FLOOR PER A.C.I. 302-R-96
5. CONCRETE SLAB TO HAVE STEEL FLOOR TROWEL BURNISHED FINISH.
6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS
7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED
NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON
THE SLAB.
9. SLAB TO BE FF50 FL35 MEASURED WITHIN 24 HOURS.
10. NO FLY ASH IN THIS SLAB.
11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15MIL STEGO
OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND
FILLER FOR SOILS ENGINEER OR MANUFACTURER'S
RECOMMENDATION.
- CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VIOLEEN ARE
REQUIRED, SHALL BE PROPERLY COMPACTED WITHOUT USE OF BURLINE, CURB
COMPOUND, OR RELEASE AGENTS.
- CONTRACT/CONSTRUCTION Joints SHALL NOT BE FILLED WITH MM-80 UNLESS
FILLER IN FUTURE OFFICE AREAS.
12. SEAL CONCRETE SLAB W/ "LIPOHIT" SEALER
13. 10' POUR STRIP AT TRUCK DORE, 4TH. MAX. ELSEWHERE.
14. FILLER IN FUTURE OFFICE AREAS SHALL BE FILLED WITH APPROVED 2 P.
EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000, BURE
EPOXY INJECTION RESIN OR EQUAL.
15. PROVIDE FIVE EXTENDED PROTECTIVE FIRE DEPARTMENT REQUIREMENT
16. MM-80 AT SPEED BAY ONLY



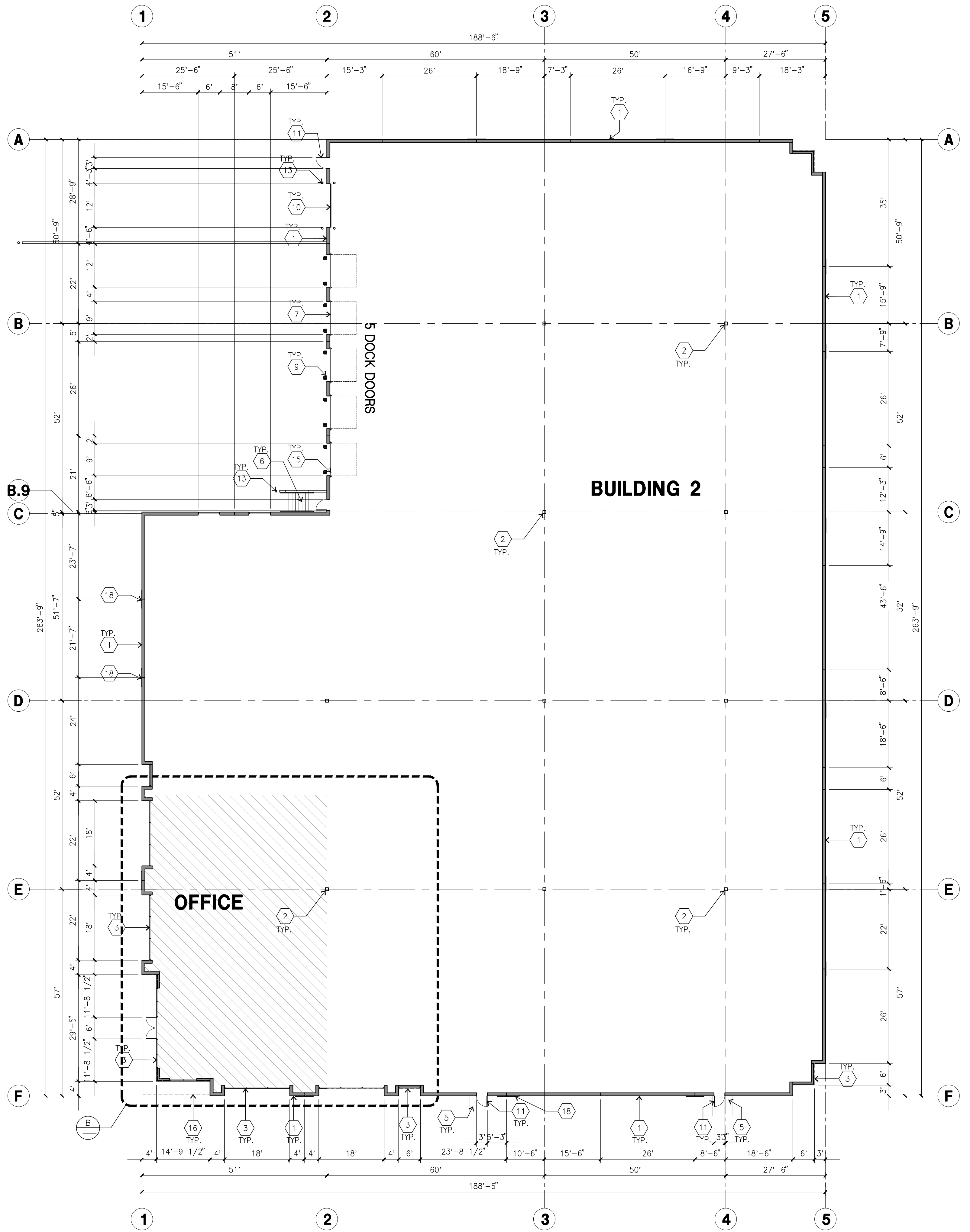
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ENLARGED FLOOR PLAN

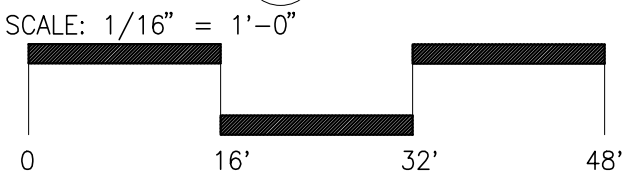
scale: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



OVERALL FLOOR PLAN

scale: 1/16" = 1'-0"



FLOOR PLAN KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42"HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD. TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROWN FINISH.
- 6 EXTERIOR CONCRETE STAIR.
- 7 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER TYPICAL.
- 10 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE.
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.
- 14 EXTERIOR DOWNSPOUT WITH 2 OVERFLOW SCUPPER.
- 15 Z GUARD.
- 16 METAL CANOPY ABOVE.
- 17 INTERIOR ROOF DRAIN WITH 2 OVERFLOW SCUPPER.

FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT APPROXIMATELY 100' O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL CYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE FOUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRID LINE, OR FACE OF STUD U.N.O.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. SEE DOOR LEGEND FOR DOOR TYPES AND SIZES. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11B-703.5
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/44.1 OFFICE SECTION.
15. PROVIDE FIRE RATED PANEL JOINTS AND CAULKING AT ALL OPENINGS ON 3HR FIRE RATED WALL. SEE A DRAWING FOR LOCATIONS.
16. PROVIDE 2A 10B:C FIRE EXTINGUISHERS FOR OFFICE AREA (1 FOR EVERY 1,500 SF) AND 4A 40B:C FIRE EXTINGUISHERS FOR WAREHOUSE AREA (1 FOR EVERY 1,000 SF)

FLOOR SLAB & POUR STRIPS REQ.

THESE NOTES ARE VERY MIN.

1. FLOOR COMPACTION - 95%
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 3. BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS.
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 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FF50 FL35 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15MIL STEGO OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
- CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VIQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
- CONTROL/CONSTRUCTION JOINTS: SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
12. SEAL CONCRETE SLAB W/ "LIPIDOLITH" SEALER
 13. 10" POUR STRIP AT TRUCK DOOR. 4FT. MAX. ELSEWHERE.
 14. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000,BURKE.
 15. EPOXY INJECTION RESIN OR EQUAL.
 16. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
 17. MM-80 AT SPEED BAY ONLY



hpa, inc.
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#100 irvine, ca
92612
tel: 949•863•1770
fax: 949•863•0851
email: hpa@hparchs.com

Owner:



100 BAYVIEW CIRCLE, STE 310
NEWPORT BEACH, CA 92660
TEL : 949-509-5000

Project:

SAN FRANCISCO
INDUSTRIAL
CENTER

1601 SAN FRANCISCO AVE.
LONG BEACH, CA

Consultants:

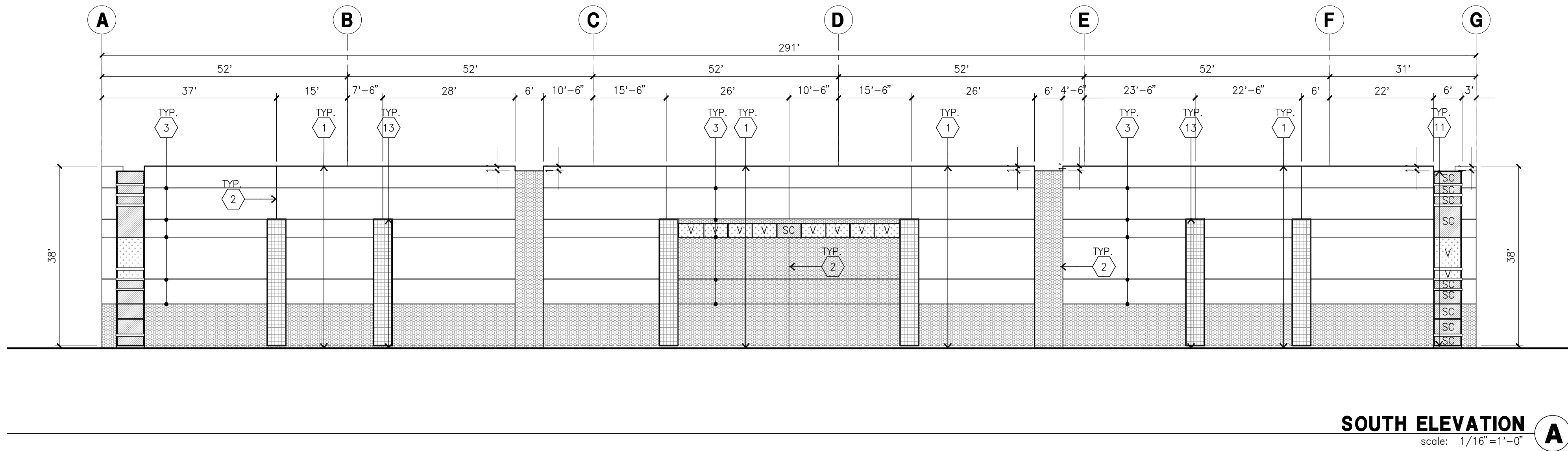
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Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	HUNTER LANDSCAPE
Fire Protection:	-
Soils Engineer:	-

Title: overall floor plan bldg 3

Project Number: 18057
Drawn by: ML
Date: 6/13/19
Revision:

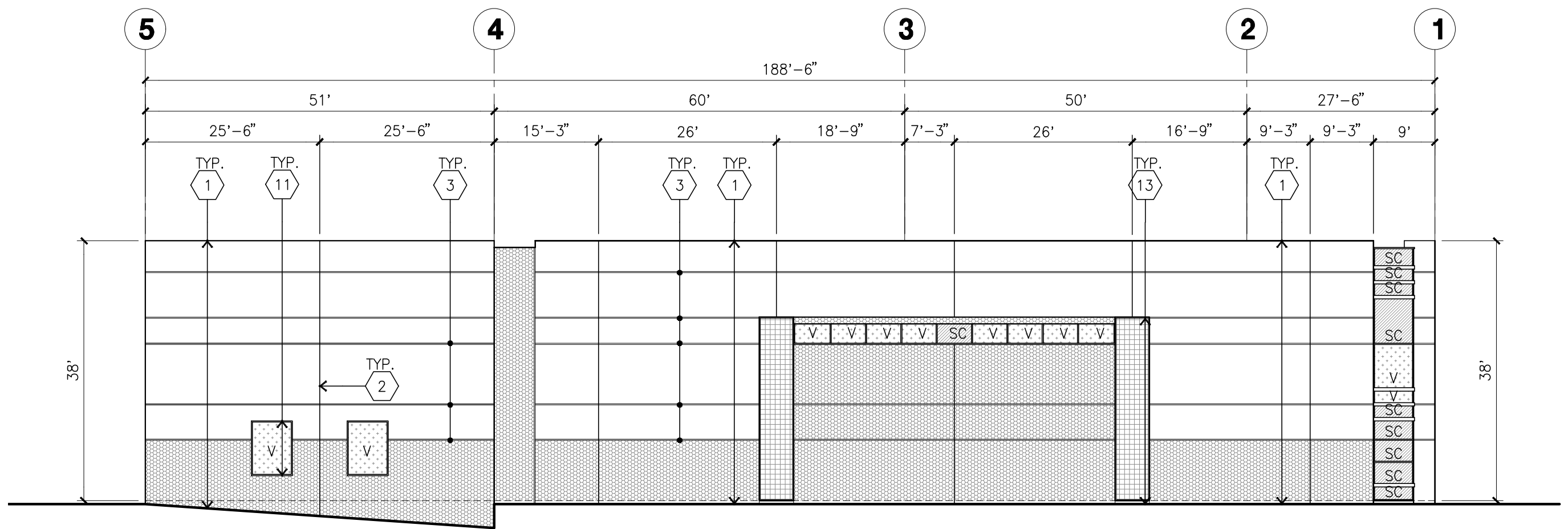
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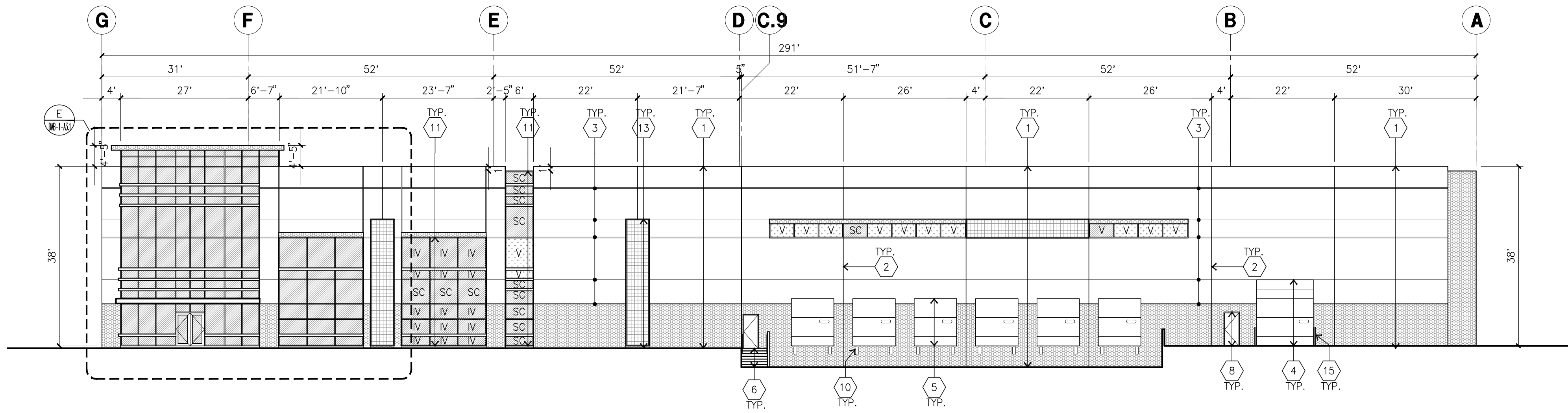
SOUTH ELEVATION

scale: 1/16"=1'-0"



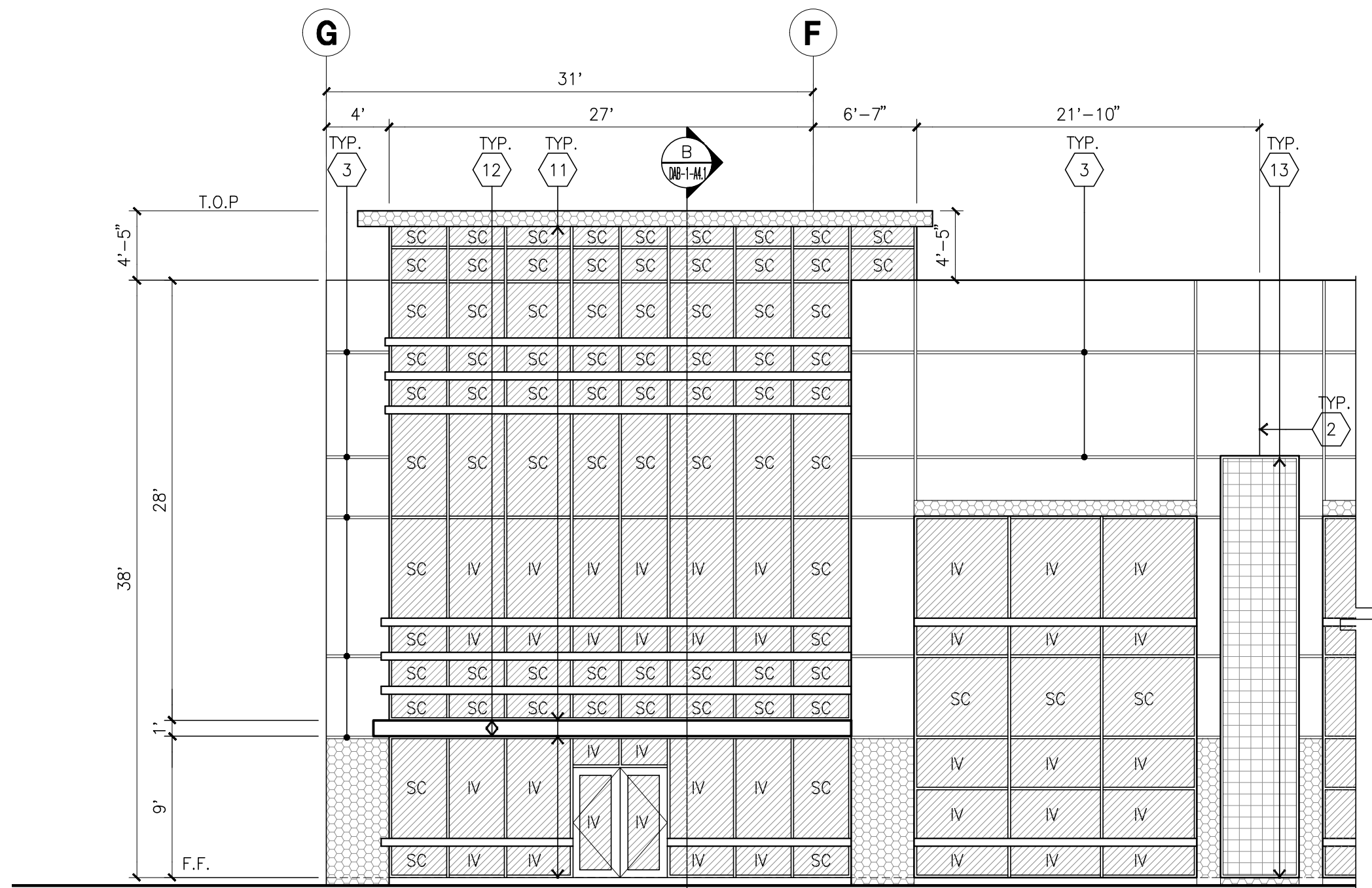
WEST ELEVATION

scale: 1/16"=1'-0"



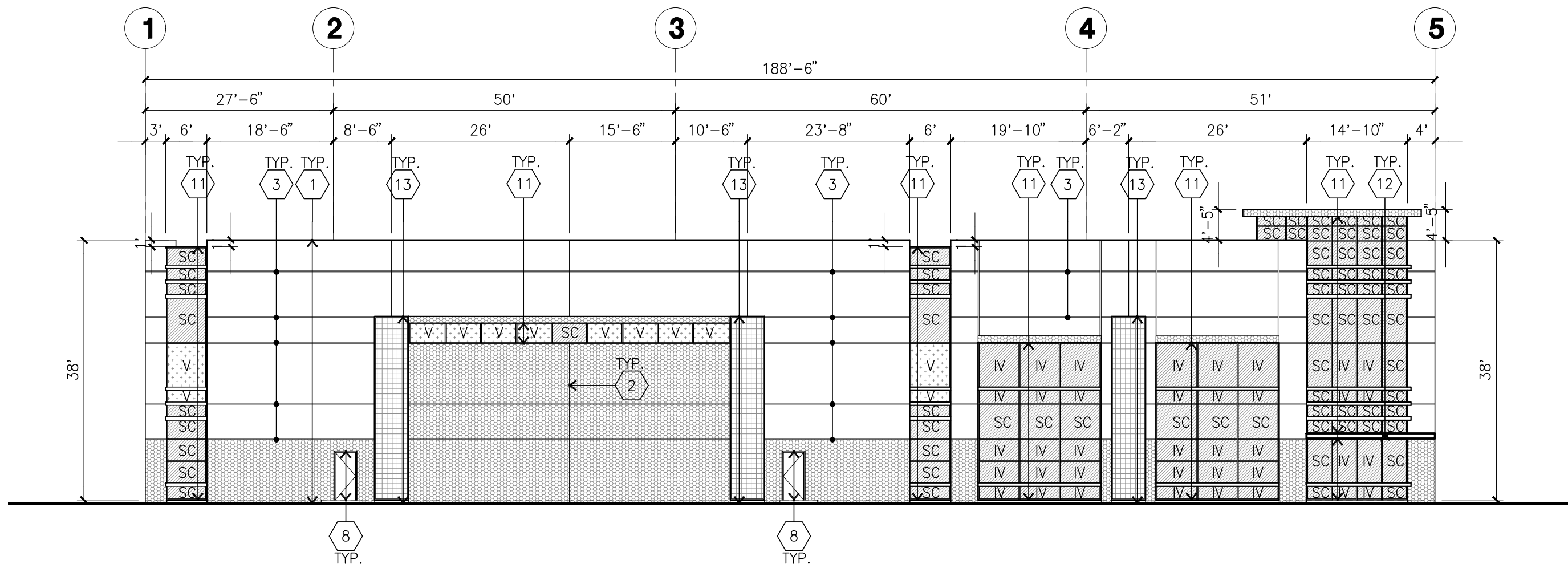
NORTH ELEVATION

scale: 1/16"=1'-0"



ENLARGED EAST ELEVATION

scale: 1/8"=1'-0"



EAST ELEVATION

scale: 1/16"=1'-0"

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER.
- 4 REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 5 12" X 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 9" X 10" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 7 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 8 4" X 8" METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 9 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR.
- 10 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 11 DOCK DOOR BUMPER TYPICAL.
- 12 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE. FINISH FLOOR ELEVATION.
- 13 METAL CANOPY.
- 14 DECORATIVE METAL MESH.
- 15 NOT USED.
- 16 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
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6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. PROVIDE 1" DIAMETER HOLES AT CONCRETE WALL.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

ELEVATION COLOR LEGEND/SCHED.

- 1 PAINT. COLOR : SW 7004 SNOWBOUND
- 2 PAINT. COLOR : SW 7072 ONLINE
- 3 PAINT. COLOR : SW 7074 SOFTWARE
- 4 MULLIONS COLOR : CLEAR ANODIZED
- 5 GLAZING COLOR : BLUE REFLECTIVE
- 6 DECORATIVE METAL MESH.

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

- IV INSULATED VISION GLASS SC SPANDREL GLASS WITH CONCRETE BEHIND

- V SINGLE LITE VISION GLASS

IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.21 VLT: 26%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B

SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE

V : VISION GLASS
1/4" VISTACOL PACIFICA

MULLIONS : ANODIZED CLEAR.



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Project:

**SAN FRANCISCO
INDUSTRIAL
CENTER**

1601 SAN FRANCISCO AVE.
LONG BEACH, CA



Consultants:

Civil: THIENES
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: HUNTER LANDSCAPE
Fire Protection: -
Soils Engineer: -

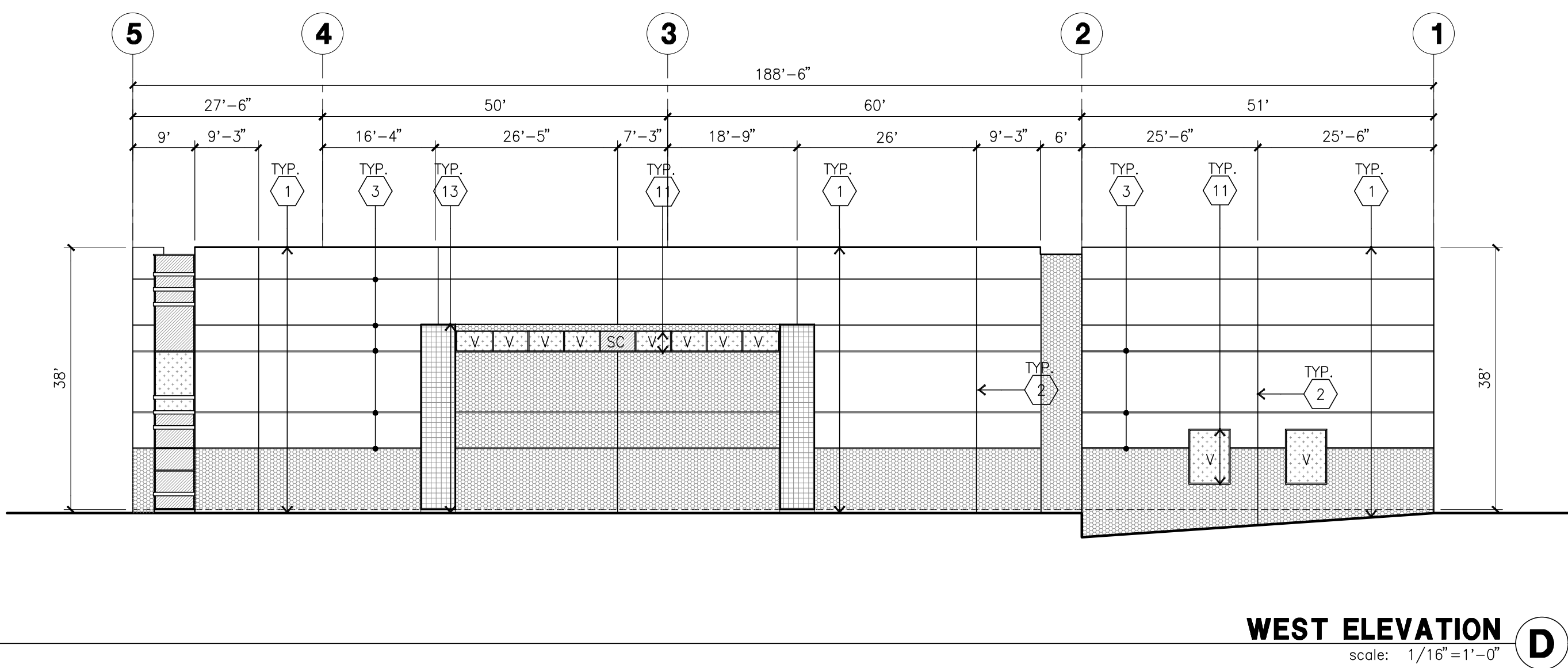
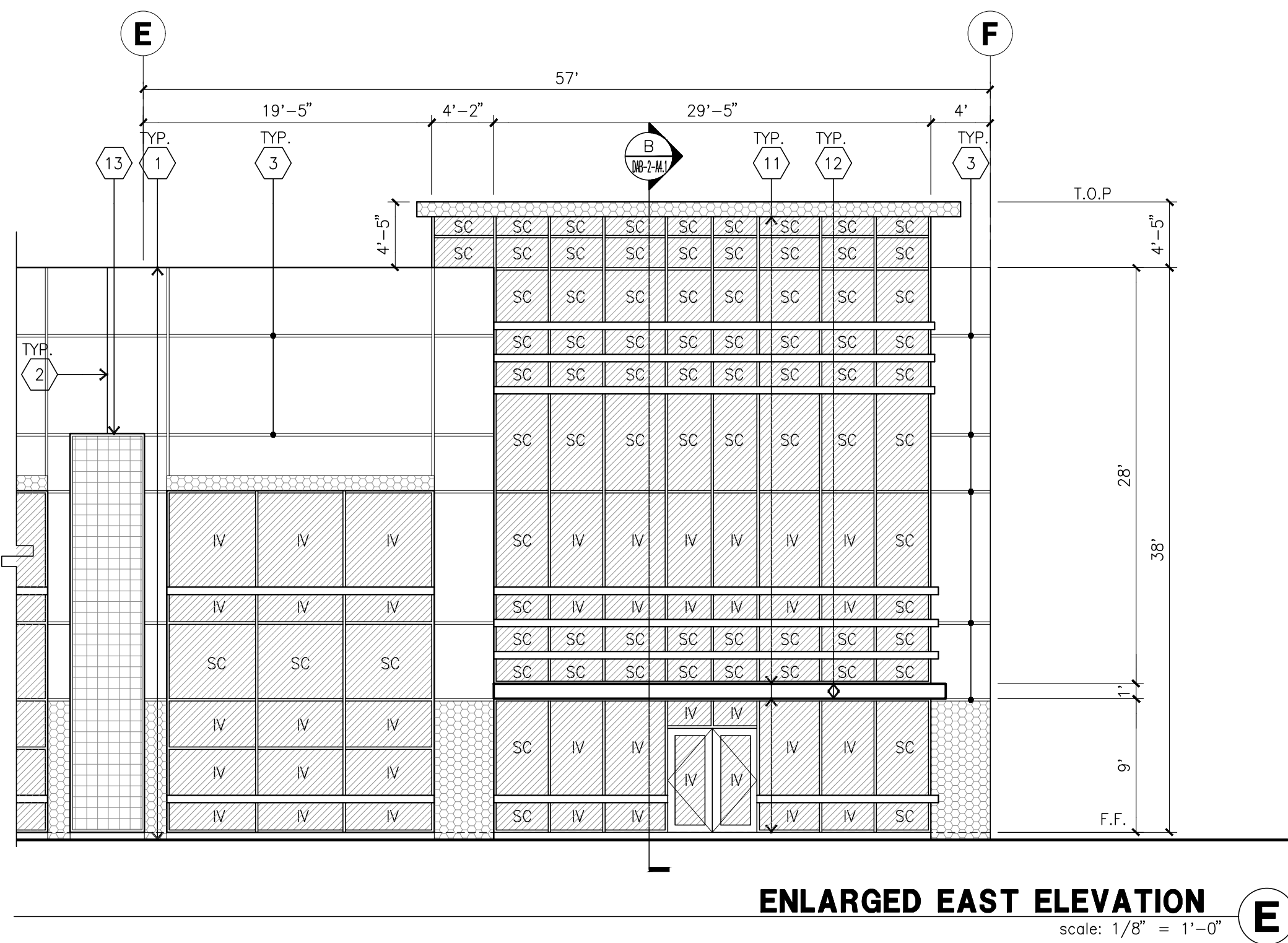
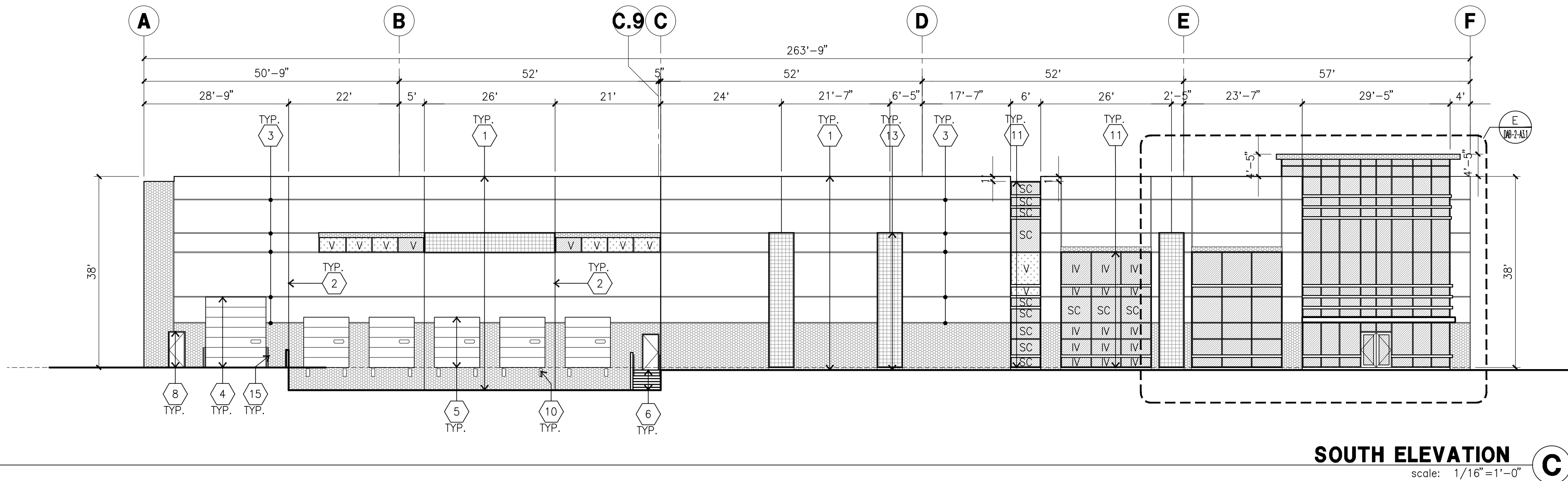
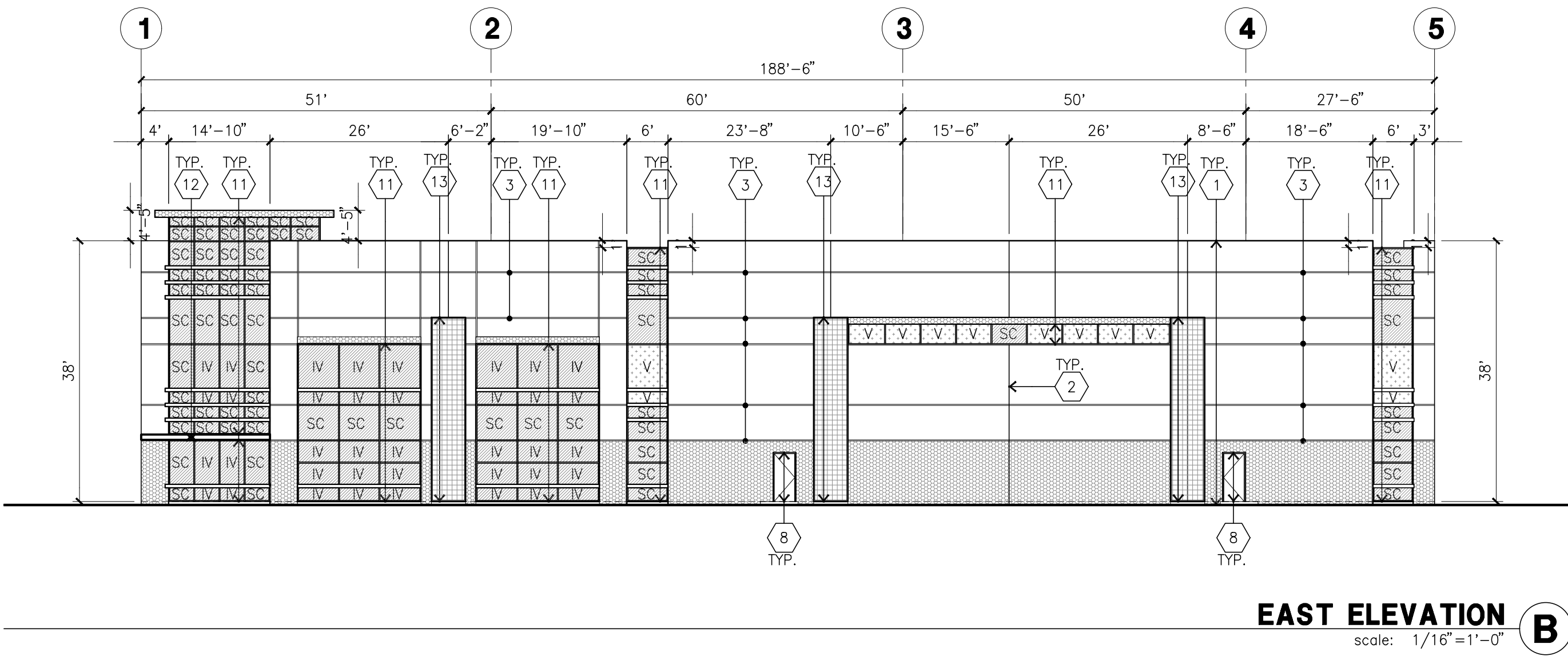
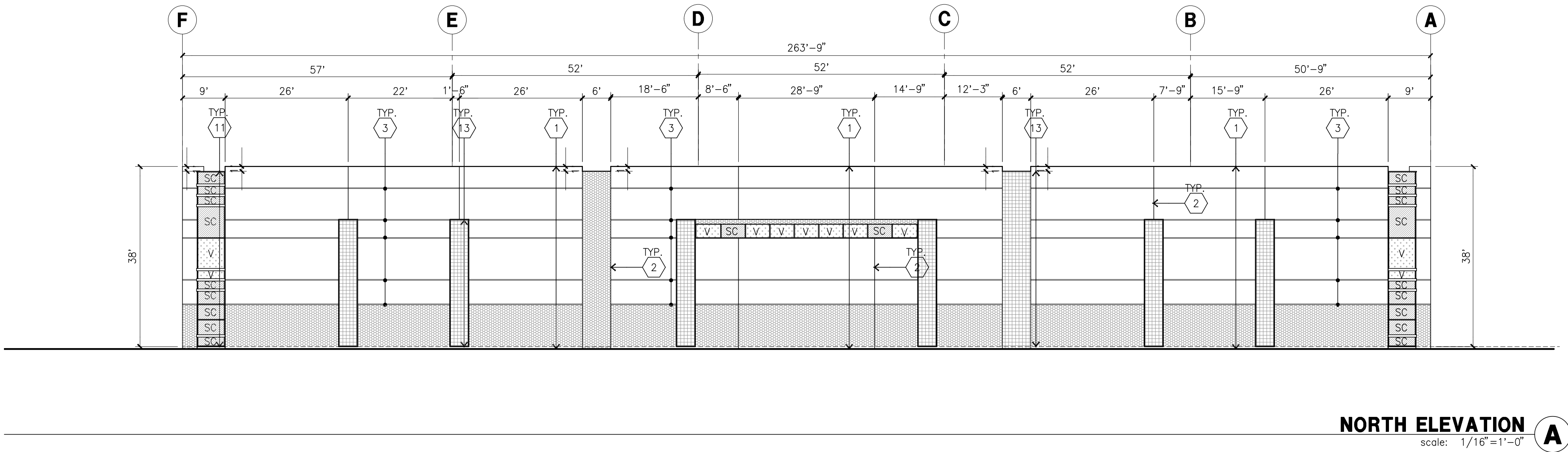


Title: Elevations

Project Number: 18057
Drawn by: ML
Date: 6/13/19
Revision:

Sheet:

DAB-1-A3.1



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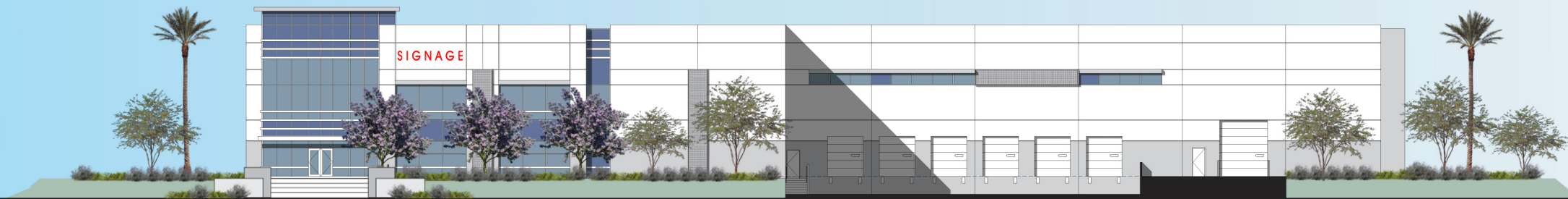
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Structural: -
Mechanical: -
Plumbing: -
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Landscape: HUNTER LANDSCAPE
Fire Protection: -
Soils Engineer: -

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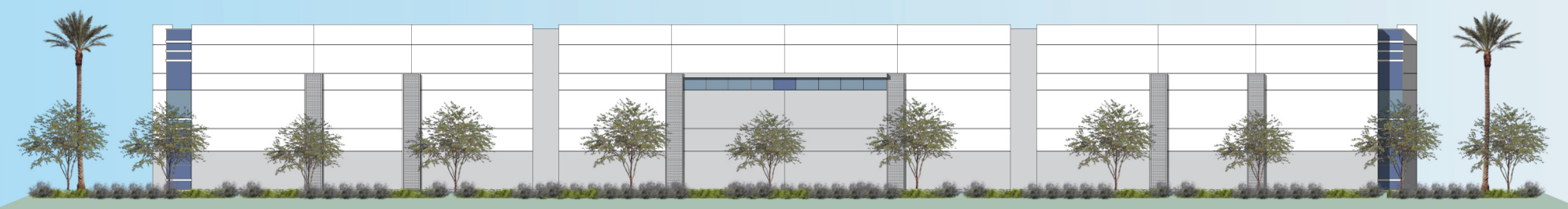
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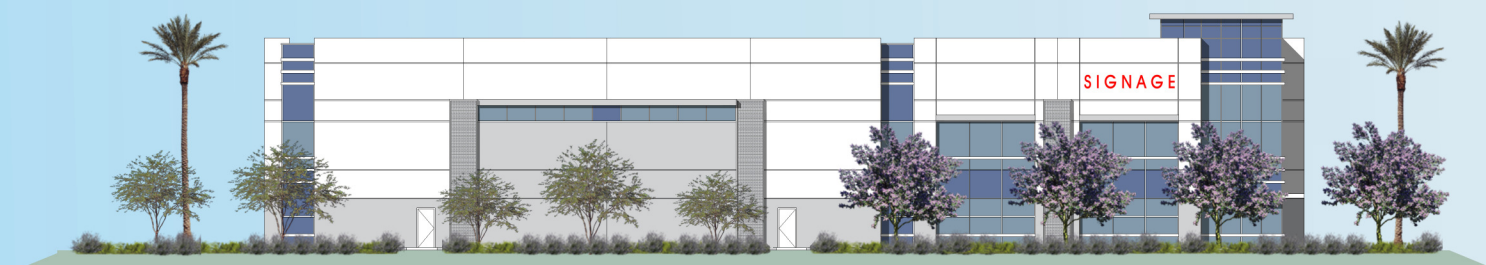
North Elevation



West Elevation



South Elevation



East Elevation



San Francisco Industrial Center

1601 SAN FRANCISCO AVE. LONG BEACH, CA



North Elevation

West Elevation

South Elevation

East Elevation



San Francisco Industrial Center

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