

Exhibit B

GENERAL NOTES

1. The Contractor shall visit and inspect the job site, familiarize himself with site conditions, and study these documents fully before agreeing to work on the project. His agreement to work on the project constitutes verification that he has so studied the job site and the documents prior to commencing construction.

2. Upon inspection of the site and studying of the documents, the Contractor shall submit to the owner for review any special conditions or unclear areas, which might alter the bid during construction.

3. Any changes or additions to the project shall be approved by the owner prior to construction.

4. There are to be no substitutions of materials or products without the owner's approval.

5. All sub-contractors shall be responsible for the removal of all debris accumulated as a result of their operation. All scrap debris and other excess material shall be removed from the site, unless otherwise directed by the Contractor.

6. The drawing are necessarily schematic and are not intended to show complete situations; the Drawings, Specifications, and Addenda are complainant, therefore what is called for by one is called for by all. As such, the Drawings, Specifications, and Addenda must be considered as a whole,

7. DO NOT SCALE DRAWINGS!

TITLE 24

1. All weatherproofing around windows and doors shall be performed in accordance with manufacturers' requirements. Any special conditions where installation has to be altered shall be presented to the Owner in writing for approval.

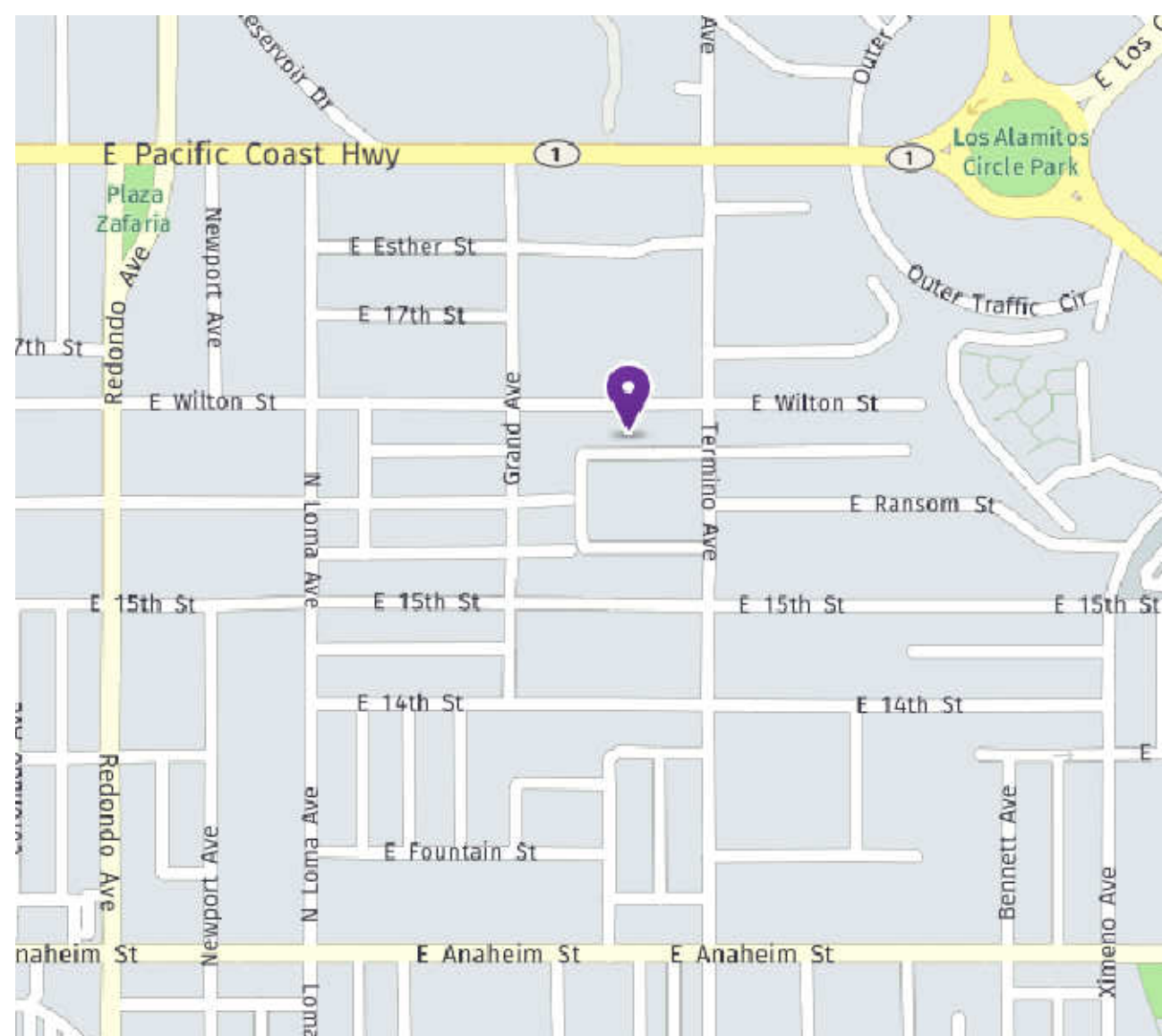
2. Comply with the California Energy Commission (CEC) laws enforced.

3. Insulate all exterior partitions with full thick batts. Use sound full batts at walls enclosing bathrooms, laundry rooms, FAU closet and any other interior partitions as called for by the drawings.

4. Caulking or weather stripping:
 - a. Around all doors & window frames.
 - b. Between wall bottom plates & concrete and between plates to the exterior.
 - c. All penetrations in walls, ceilings, floor due to the installation of plumbing, electrical, gas and HVAC lines.
 - d. All openings in attic.
 - e. All other openings in bldg. envelop.

5. Insulation:
- a. All exterior walls: R-15 batts.
 - b. Under roof: R-30 batts.
 - c. Under floor: R-19 battas

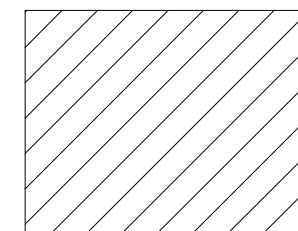
6. Contractor shall sign and post on the structure an Insulation Certificate prior to the finish inspection.



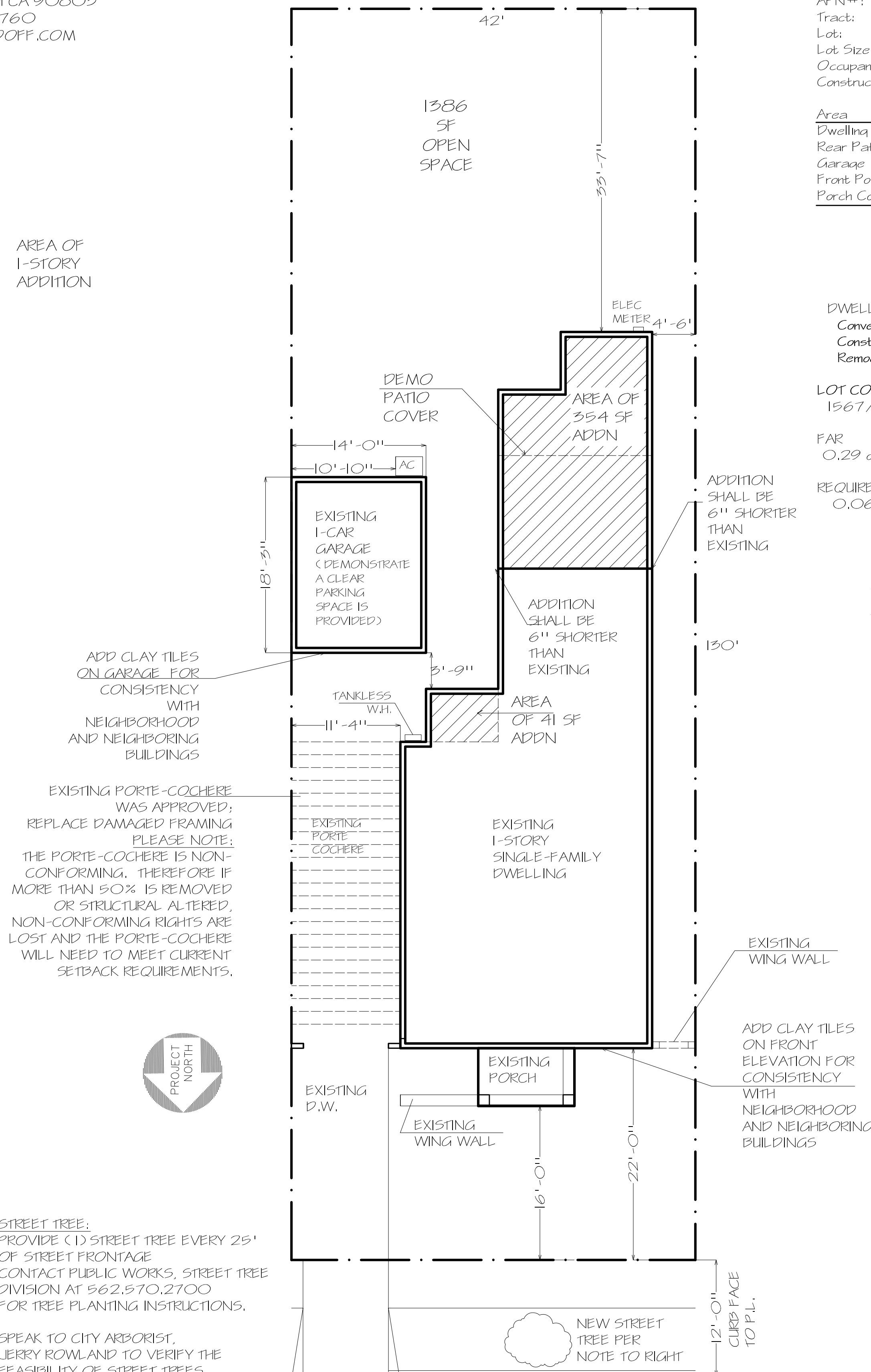
VICINITY MAP

Applicable codes:
 2016 California Residential Code
 2016 California Building Code
 2016 California Mechanical Code
 2016 California Plumbing Code
 2016 California Electrical Code
 2016 California Energy Code (Title 24)
 2016 CA Green Building Standards (CalGreen)
 CalGreen only applies within the
 area of the addition/ remodel.
 Title 18 of Long Beach Municipal Code

PLANS DRAWN BY:
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AREA OF
1-STORY
ADDITION



STREET TREE:
PROVIDE (1) STREET TREE EVERY 25'
OF STREET FRONTAGE
CONTACT PUBLIC WORKS, STREET TREE
DIVISION AT 562.570.2700
FOR TREE PLANTING INSTRUCTIONS.

SPEAK TO CITY ARBORIST,
JERRY ROWLAND TO VERIFY THE
FEASIBILITY OF STREET TREES.
IF SITE CONDITIONS PRECLUDE TREE
PLANTING AN IN-LIEU FEE (CURRENTLY
\$75) WILL BE ACCESSED.
THIS FEE WILL PLANT A TREE IN ANOTHER
PART OF THE CITY.

WILTON ST

SITE / ROOF PLAN

SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION

Address: 3836 E Wilton St
Long Beach CA 90804

ZONE: R-2-N

APN#: 7253-013-007
Tract: 8613
Lot: 20
Lot Size: 5460
Occupancy Group: R-3, U
Construction Type: V-B

Area	Existing	Demo	New	Total	Lot Coverage
Dwelling	1172	0	395	1567	1567
Rear Patio Cover	188	188	0	0	0
Garage	256	0	0	256	0
Front Porch	60	0	0	60	0
Porch/Coche (open rf)	332	0	0	0	0
Total (Living space): 1567					Lot Coverage: 1567

DWELLING:
Convert den to a bedroom and closet.
Construct a new bedroom, bathroom and laundry room.
Remodel bathroom and bedroom.

LOT COVERAGE
1567 / 5460 = 29% OK

FAR
0.29 ok

REQUIRED OPEN SPACE
 $0.06(5460) = 328$ ok per plan

As Architect/ Engineer of Record, I have selected appropriate Best Management Practices (BMPs) to effectively minimize the negative impacts of this project's construction activities on storm water quality. The project owner and contractor are aware that selected BMPs must be installed, monitored and maintained to ensure their effectiveness. The BMPs not selected for implementation are redundant or deemed not applicable to the proposed construction activities.

	Designer	7.25.19
Jon Udoff	Position	Date

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REVISIONS

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IRONAY ADDITION
3836 WILTON ST
LONG BEACH CA 90804

DRAWN

CHECKED

DATE

SCALE

JOB NO.

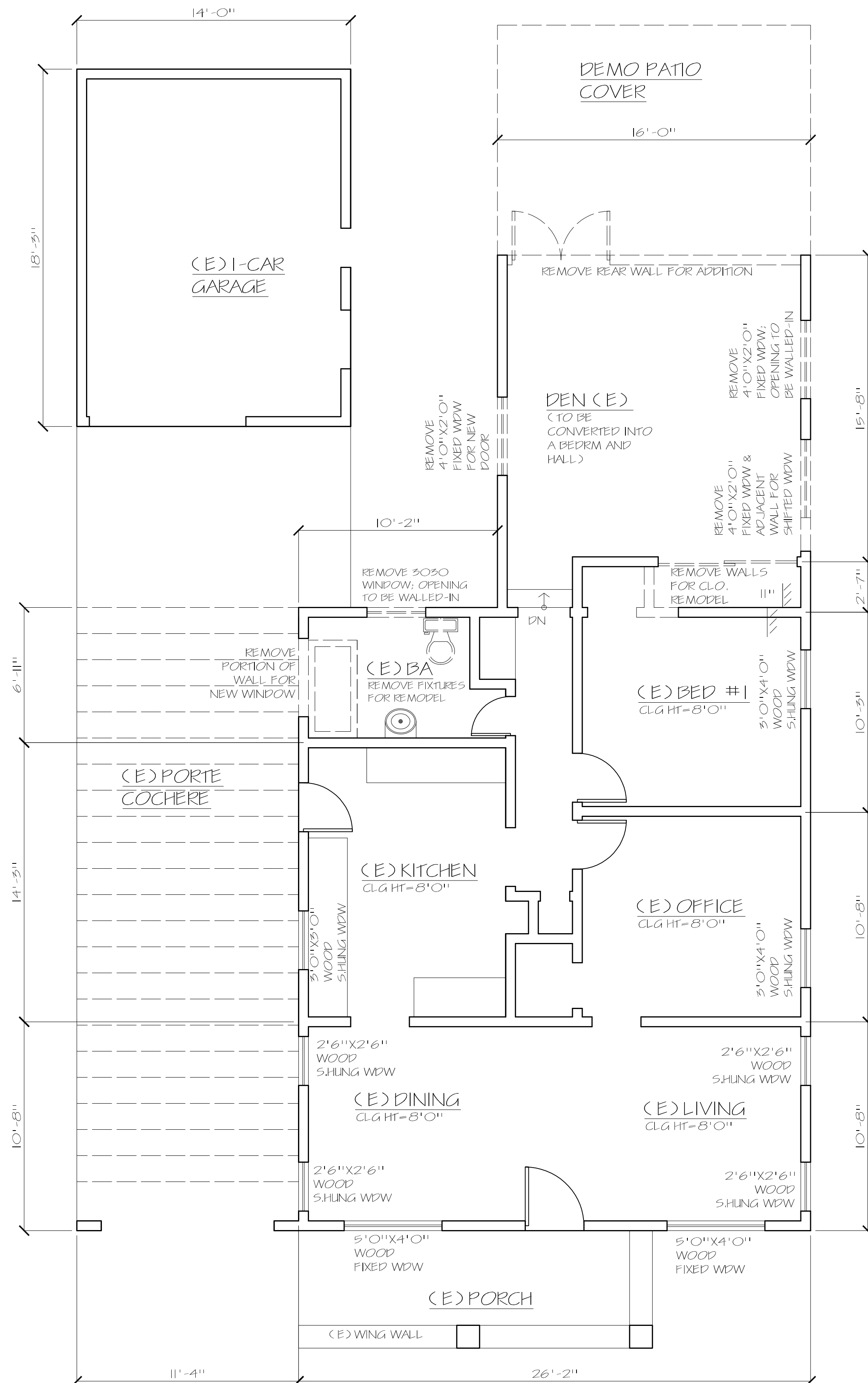
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drawn by/ contact: Jon Udoff



DEMO PLAN

SCALE 1/4" = 1'-0"

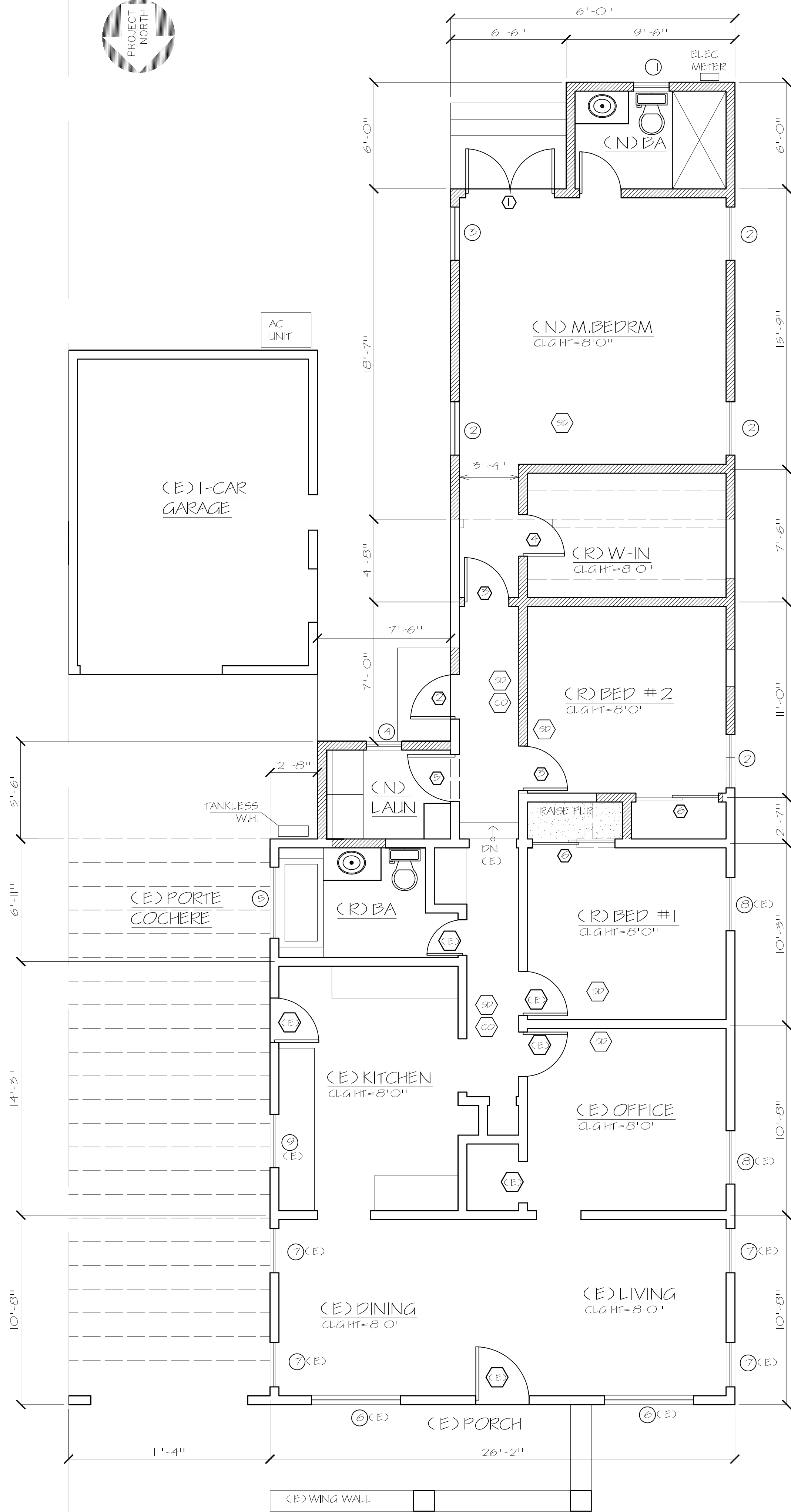
DEMO PLAN NOTES

- Removed Walls
- ===== Walls to remain

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FLOOR PLAN NOTES

1. New 2x4 stud walls
(R-15 at infill exterior walls)

Removed Walls

Existing Walls

2. Interior Walls: Walls and clg to be covered w/ minimum 1/2" gyp bd

SMOKE DETECTOR

CARBON MONOXIDE ALARM
Please note: CO alarm combined with smoke alarms shall comply with both sections R314 & R315, all applicable standards and requirements for listing and approval by the Office of State Fire Marshall for smoke alarms.

DOOR SCHEDULE

SYMBOL	WTH	HT	THK	TYPE	QTY	COMMENTS
	2'-3/4"	6'-8"	1-3/4"	FRENCH DOORS	1	TEMP GLASS, SIMPSON '7002' FULL WOOD
	2'-6"	6'-8"	1-3/4"	FULL LITE	1	TEMP GLASS
	2'-6"	6'-8"	1-3/8"	INTERIOR DOOR	2	
	2'-4"	6'-8"	1-3/8"	INTERIOR DOOR	1	
	2'-8"	6'-8"	1-3/8"	INTERIOR DOOR	1	LOUVERED TO PROVIDE VENT.
	2'-2'4"	6'-8"	1-3/8"	BI-PASS WARDROBE	2	TEMP GLASS

WINDOW SCHEDULE

SYMBOL	WTH	HT	TYPE	FRAME	#	NEW OR EXISTING	COMMENTS
	2'-0"	3'-0"	S. HUNG	WOOD	1	NEW	OBSCURED GLASS - MANUF: PARAMOUNT
	3'-0"	4'-0"	S. HUNG	WOOD	4	NEW	EGRESS (2016 CA Historic Building Code) MANUF: PARAMOUNT
	3'-0"	4'-0"	S. HUNG	WOOD	1	NEW	TEMP GLASS - MANUF: PARAMOUNT
	2'-0"	3'-0"	S. HUNG	WOOD	1	NEW	TEMP GLASS - MANUF: PARAMOUNT
	4'-0"	2'-0"	AWNING	WOOD	1	NEW	TEMP GLASS; OBSCURED GLASS - MANUF: PARAMOUNT
	5'-0"	4'-0"	FIXED	WOOD	2	EXISTING	SEE REPAIR NOTE BELOW
	2'-6"	2'-6"	S. HUNG	WOOD	4	EXISTING	SEE REPAIR NOTE BELOW
	3'-0"	4'-0"	S. HUNG	WOOD	2	EXISTING	SEE REPAIR NOTE BELOW
	3'-0"	3'-0"	S. HUNG	WOOD	1	EXISTING	SEE REPAIR NOTE BELOW

REPAIR EXISTING WINDOWS:
CONDITIONS OF APPROVAL SHALL BE PLACED THAT ALL WINDOWS AND DOORS ON THE PRIMARY RESIDENCE SHALL BE REPAIRED INCLUDING STAIN AND PAINT SINCE THEY ARE DETERIORATED. A SPECIAL CONDITION OF APPROVAL SHALL BE USED FOR THESE REPAIRS.

DOOR AND WINDOW NOTES

DOOR and WINDOWS: All manuf. doors and windows shall be labeled and certified by the Calif. Energy Comm.

Provide safety glazing (tempered) at hazardous locations; glass doors to building's exterior (sliding or French type), doors to tubs & showers*, doors serving as tub or shower enclosures*, wardrobe doors, all windows within 18" of the floor, all windows within 3' of bottom of the stairs and all windows 60" above walking surface and within 24" of door edge.

* - Shall have 3/16" temp glass or 3/4" laminated glass or approved plastic.

Each pane of safety glazing installed in hazardous locations shall be identified (acid etched, sand-blasted, ceramic fired, etc.) by a manufacturer's designation, the manufacturer or installer and the safety glazing standard which it complies. Multi-pane assemblies shall be identified per CRC R 308.1

The load resistance of glass under uniform load shall be determined in accordance with ASTM E 1300.

Any bars, grilles or similar devices are placed over any sleeping room door or window shall be releasable from the inside with the use of a key, tool or any special knowledge.

All windows and doors shall be a label indication the U-factor and the SHGC to comply with energy docs.

All new or modified bedrooms shall have emergency rescue windows or doors per California Historic Building Code

Escape or rescue windows or doors shall have a minimum clear area of 3.3 square feet and a minimum width or height dimension of 18 inches and be operable from the inside to provide a full, clear opening without the use of special tools.

Locks: As directed by owner.

FLASH AROUND ALL EXTERIOR DOOR AND WINDOW OPENINGS WITH APPROVED FLASHING.

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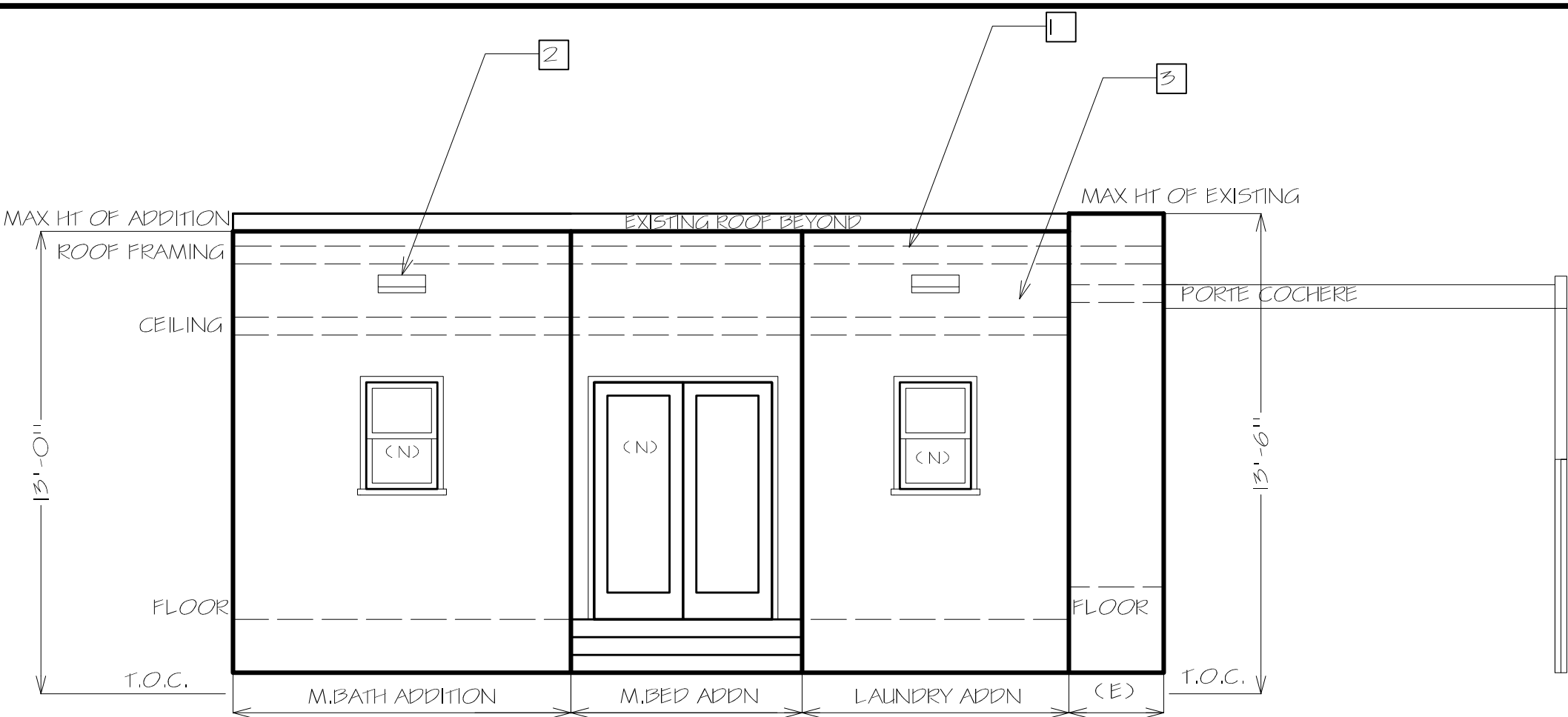
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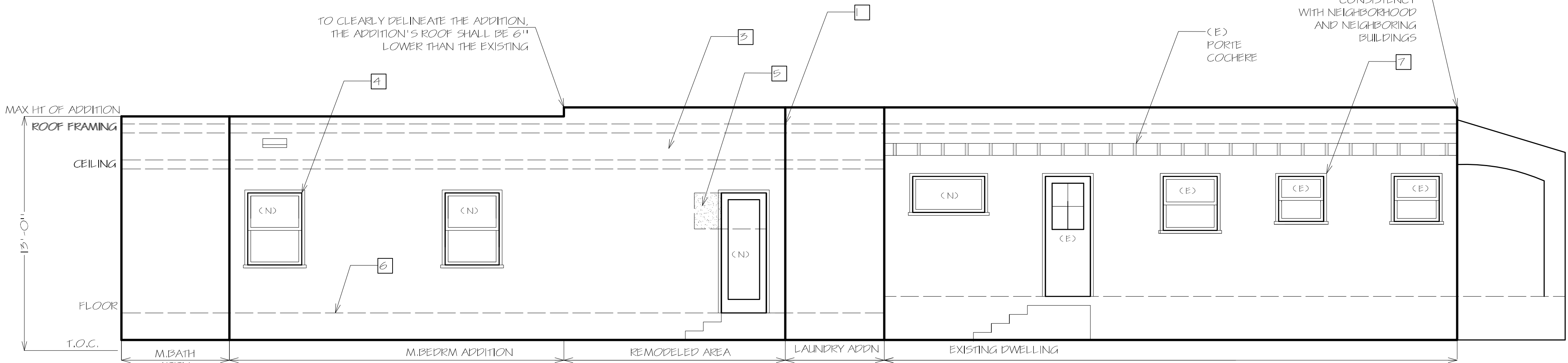
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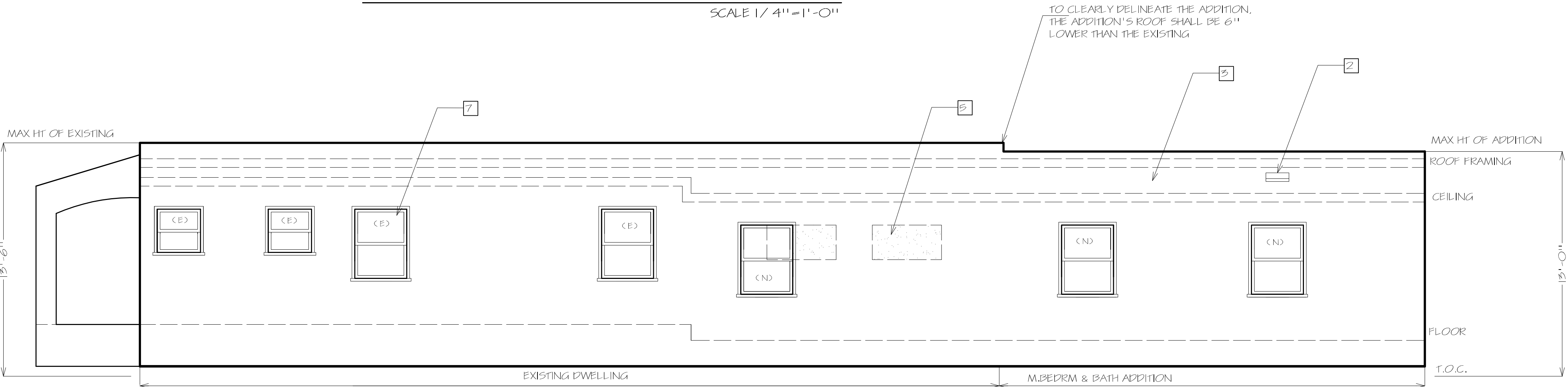
REAR (SOUTH) ELEVATION

SCALE 1/ 4" = 1' - 0"



EAST ELEVATION

SCALE 1/ 4" = 1' - 0"



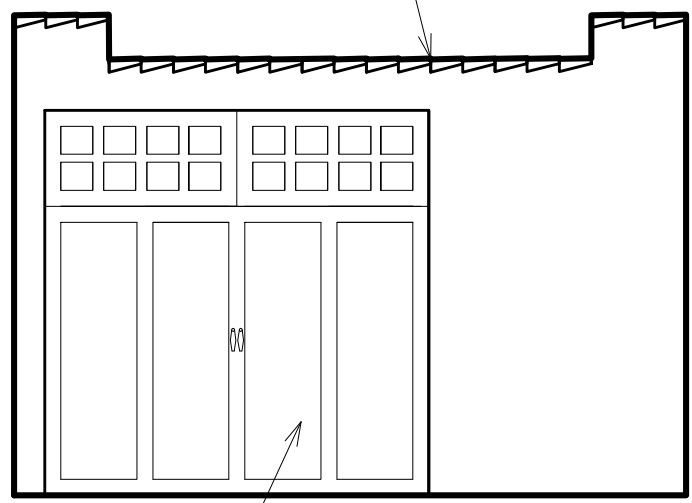
WEST ELEVATION

SCALE 1/ 4" = 1' - 0"

ELEVATION NOTES

- 1 Roof material: Flat roof; Use GAF Ruberoid modified bitumen roofing ICC ESR 1274; Slope: min 1/4" per foot.
Roof to match existing roof in color (light grey), and material.
(Please note that the roof is hidden by the parapet.)
- 2 Metal ventilation detail to match existing.
- 3 Use 7/8" min stucco.
Over min (1) layer of #15 felt free from holes and breaks. ASTM compliant. On all new exterior walls
Use 2 layers of Grade D or 60 min Grade D paper over plywood.
All new stucco shall be smooth and fine finish.
Additionally, the entire building, including the addition, will have to be repainted.
- 4 Moisture-stop flashing around all windows, doors, and other openings.
Wood sill and trim detailing to match existing.
- 5 Stucco at modified openings per note 3
- 6 Provide min. O.C19" (No. 26 galv. sheet gage)
corrosion-resistant or plastic weep screed located below the foundation plate line and 4" above grade on all exterior walls or 2" above paved areas.
- 7 Conditions of approval shall be placed that all windows and doors on the primary residence shall be repaired including stain and paint since they are deteriorated. A special condition of approval shall be used for these repairs.
Additionally, all wood rot will need to be replaced throughout the primary residence and existing garage. A special condition of approval shall be used for this item.

ADD CLAY TILES
ON GARAGE FOR
CONSISTENCY
WITH NEIGHBORHOOD
AND NEIGHBORING
BUILDINGS



NEW GARAGE DOOR PER
FLOOR PLAN

GARAGE: NORTH ELEV.

SCALE 1/ 4" = 1' - 0"

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