

REHABILITATION/RESTORATION/MAINTENANCE PLAN

Use this template to create a detailed work plan to be completed in the first 10 years of the contract. Recall that all work must be consistent with the Secretary of the Interior's Standards for Rehabilitation (see Application Guide Appendices), and properties which have already been fully rehabilitated or restored, and do not need additional work, are not eligible. Work that is visible from the public right-of-way, corrects any critical systems or structural deficiencies, and preserves historic features of the property should be given first priority. Duplicate this form as needed or provide additional sheets to include all work plan items. **Remember that all exterior work on historic properties requires prior City approval through a Certificate of Appropriateness, and that any unpermitted work could be subject to fines, penalties, or might have to be modified, removed or redone at owner expense.**

Property Name and Address: The Parsonage, 326 W. 10th Street

<p>Item No.: <u>1</u></p> <p>Building Feature: <u>Window Restoration (For this feature and all others, see Photographs submitted with this application for additional detail.)</u></p> <p>Completion Year: 20 <u>20</u></p> <p>Plan to Use Long Beach Vendors For Materials/Labor: <input checked="" type="checkbox"/> Yes (If Yes, specify/list) <input type="checkbox"/> No </p>	<p>Detailed description of work:</p> <p>Windows throughout the property will be progressively removed. While removed, each window's hardware will be removed and cleaned. Broken glass will be replaced, and each window will be carefully cleaned and lightly sanded to remove debris. Wood will be filled or patched as appropriate, following the Standards. Windows will be repainted appropriately, and reinstalled in their original position (as cataloged prior to removal.)</p>
<p>Item No.: <u>2</u></p> <p>Building Feature: <u>Diagonal Wood Siding Repair within Front Porch Area</u></p> <p>Completion Year: 20 <u>20</u></p> <p>Plan to Use Long Beach Vendors For Materials/Labor: <input type="checkbox"/> Yes (If Yes, specify/list) <input checked="" type="checkbox"/> No </p>	<p>Detailed description of work:</p> <p>Diagonal wood siding is exposed and covered in various areas throughout the building. Any intact or salvageable material will be retained and restored in accordance with the Secretary's Standards for Rehabilitation. All siding will be uncovered, carefully cleaned and lightly sanded to remove debris, and will be filled and patched as necessary. Beyond-repair material will be replaced when necessary with new material that is like in size, texture, and material.</p>

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<p>Item No.: <u>3</u></p> <p>Building Feature: <u>Restoration of Original Entry Door/Window Opening and Entry Door</u></p> <p>Completion Year: 20 <u>20</u></p> <p>Plan to Use Long Beach Vendors For Materials/Labor: <input checked="" type="checkbox"/> Yes (If Yes, specify/list) <input type="checkbox"/> No </p>	<p>Detailed description of work:</p> <p>The original entry of the building will be restored by returning the historic entry door to its original position in the east-most door opening, and installing a rectangular window in what is currently the western-most door frame. The entry door will be carefully restored using the same practice noted for window restoration in Item No. 1. All work will be based upon historic documentation of the building, and completed according to the Standards for Rehabilitation.</p> <p>Specify/list: Will be completed by JR van Dijs, Inc. or by another Long Beach-based vendor</p>
<p>Item No.: <u>4</u></p> <p>Building Feature: <u>Interior Staircase Repair and Restoration</u></p> <p>Completion Year: 20 <u>20</u></p> <p>Plan to Use Long Beach Vendors For Materials/Labor: <input type="checkbox"/> Yes (If Yes, specify/list) <input checked="" type="checkbox"/> No </p>	<p>Detailed description of work:</p> <p>Decorative components of the staircase were recently removed prior to relocation. Structural components will be repaired and rebuilt as necessary for safety. Historic components will be gently cleaned and then stripped of varnish, taking care not to damage historic fabric. After varnish removal, new and historic wood will be lightly sanded, stained, and sealed as appropriate to match the wood coloring and stain of preserved interior window frames.</p> <p>Specify/list:</p>
<p>Item No.: <u>5</u></p> <p>Building Feature: <u>Exterior Painting in Original Color Scheme Determined by Forensic Paint Analysis</u></p> <p>Completion Year: 20 <u>20</u></p> <p>Plan to Use Long Beach Vendors For Materials/Labor: <input type="checkbox"/> Yes (If Yes, specify/list) <input checked="" type="checkbox"/> No </p>	<p>Detailed description of work:</p> <p>A forensic paint analysis was recently completed, revealing the building's original color palette. Once restored, the building's exterior trim, shingles, siding, porch area, doors, and decorative components will be repainted according to the color palette utilized during the building's period of historic significance.</p> <p>Specify/list:</p>

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<p>Item No.: <u>6</u></p> <p>Building Feature: <u>Interior Window Frame Restoration</u></p> <p>Completion Year: 20 <u>21</u></p> <p>Plan to Use Long Beach Vendors For Materials/Labor: <input checked="" type="checkbox"/> Yes (If Yes, specify/list) <input type="checkbox"/> No </p>	<p>Detailed description of work:</p> <p>On windows with ornamental frames (14 total,) frames will be gently cleaned and sanded to remove debris and prepare for repair. On those window frames which have been varnished/painted, that varnish/paint will be carefully removed with care to protect historic material. Holes will be filled with suitable wood filler, and wood will be lightly sanded, stained, and sealed if appropriate to the existing stain/color of preserved wood window frames.</p> <p>Specify/list: Will be completed by JR van Dijs, Inc. or by another Long Beach-based vendor</p>
<p>Item No.: <u>7</u></p> <p>Building Feature: <u>Interior Door Frame and Door Restoration</u></p> <p>Completion Year: 20 <u>21</u></p> <p>Plan to Use Long Beach Vendors For Materials/Labor: <input checked="" type="checkbox"/> Yes (If Yes, specify/list) <input type="checkbox"/> No </p>	<p>Detailed description of work:</p> <p>This work will only apply to remaining historic doors within the building (7 doors total.) Door locations will be noted and cataloged, and then doors will be progressively removed and restored, along with their hardware, to complete this work. Door frames, doors, and door hardware will be treated according to the same steps outlined in Items 1, 3, and 6 of this Rehabilitation Plan. Following work, doors will be reinstalled in their original position.</p> <p>Specify/list: Will be completed by JR van Dijs, Inc. or by another Long Beach-based vendor</p>
<p>Item No.: <u>8</u></p> <p>Building Feature: <u>Restoration of Original Built-in China Cabinet</u></p> <p>Completion Year: 20 <u>22</u></p> <p>Plan to Use Long Beach Vendors For Materials/Labor: <input type="checkbox"/> Yes (If Yes, specify/list) <input checked="" type="checkbox"/> No </p>	<p>Detailed description of work:</p> <p>This cabinet dates to the building's period of historic significance. To begin work, the cabinet's drawers and doors will be cataloged and removed. All components will be gently cleaned and sanded to remove debris. Drawers and drawer tracks will be repaired to ensure proper function. The rear wall of the cabinet may be repainted appropriately. Holes will be filled with suitable wood filler, and wood will be lightly sanded, stained, and sealed as appropriate.</p> <p>Specify/list:</p>

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Item No.: <u>9</u> Building Feature: <u>Repairs to Exterior Clapboard Siding and Wood Shingle Siding</u> Completion Year: 20 <u>29</u>	Detailed description of work: Several years after the complete restoration of the exterior, it is expected that materials will have experienced wear and tear, and that some shingles and clapboard siding may need to be repaired or replaced. Shingles and clapboard siding materials that are missing or damaged will be replaced with materials that are similar in size and material origin, and then are cut, placed, and painted to match the original.
Plan to Use Long Beach Vendors For Materials/Labor: <input type="checkbox"/> Yes (If Yes, specify/list) <input checked="" type="checkbox"/> No	Specify/list:
Item No.: _____ Building Feature: _____ Completion Year: 20 _____	Detailed description of work:
Plan to Use Long Beach Vendors For Materials/Labor: <input type="checkbox"/> Yes (If Yes, specify/list) <input type="checkbox"/> No	Specify/list:

NOTE: Please ensure that the current condition of all building features proposed for rehabilitation/restoration/maintenance as part of this work plan are clearly photographed or otherwise documented and labelled as required, and submitted with the Mills Act Application (see Application Guide page 10).

This form is available in alternative format by request at 562.570.3807. For an electronic version, visit our website at www.lbds.info.

Property Name and Address: The Parsonage Residence, 326 W. 10th Street

Exterior View: Primary (North) Elevation



North Elevation, View Southeast (March 21, 2019)



North Elevation, View Southeast (January 9, 2018)

This elevation retains additional character-defining features not listed in the enclosed Rehabilitation Plan including roof gables, bracketed window surrounds, and porch supports and decorative porch detailing. These features will be repaired and restored during 2019, and so work completed will not take place during the applicable work period.

Photographs of the building in its present condition as well as its whole condition are shown to provide context, considering that the building is currently in the process of being reassembled after its relocation in November 2018. Reassembly will be complete by the beginning of the applicable work period on January 1, 2020.

Property Name and Address: The Parsonage Residence, 326 W. 10th Street

Exterior View: East Elevation



East Elevation, View Southwest (March 21, 2019)



East Elevation, View West (January 9, 2018)

This elevation retains additional character-defining features not listed in the enclosed Rehabilitation Plan including roof gables, bracketed window surrounds, bay windows with individual roof forms, and decorative wood detailing. These features will be repaired and restored during 2019, and so work completed will not take place during the applicable work period.

Photographs of the building in its present condition as well as its whole condition are shown to provide context, considering that the building is currently in the process of being reassembled after its relocation in November 2018. Reassembly will be complete by the beginning of the applicable work period on January 1, 2020.

Property Name and Address: The Parsonage Residence, 326 W. 10th Street

Exterior View: South Elevation



South Elevation, View Northwest (November 9, 2018)



South Elevation, View Northwest (January 9, 2018)

The photograph at left of the building in its present condition documents an opening created through the removal of an addition to the building added after the period of significance, which took place prior to the building's relocation in November 2018. This elevation also retains additional character-defining features not listed in the enclosed Rehabilitation Plan including roof forms and bracketed window surrounds are shown in these photographs. The opening will be filled according to currently-approved plans, and these additional features will be repaired and restored during 2019. As such, they are not included in the Rehabilitation Plan as work completed will not take place during the applicable work period.

Photographs of the building in its present condition as well as its whole condition are shown to provide context, considering that the building is currently in the process of being reassembled after its relocation in November 2018. Reassembly will be complete by the beginning of the applicable work period on January 1, 2020.

Property Name and Address: The Parsonage Residence, 326 W. 10th Street

Exterior View: West Elevation



West Elevation, View Southeast (March 21, 2019)



West Elevation, View East (September 21, 2018)

This elevation retains additional character-defining features not listed in the enclosed Rehabilitation Plan including roof gables, bracketed window surrounds, additional wood detailing, and porch supports and decorative porch detailing. These features will be repaired and restored during 2019, and so work completed will not take place during the applicable work period.

Photographs of the building in its present condition as well as its whole condition are shown to provide context, considering that the building is currently in the process of being reassembled after its relocation in November 2018. Reassembly will be complete by the beginning of the applicable work period on January 1, 2020.

Property Name and Address: The Parsonage Residence, 326 W. 10th Street

Item No. 1: Window Restoration



A number of windows throughout the residence, including all upstairs windows, are painted. Most of these painted windows are functional, and they and their hardware vary from fair to good condition.

Unpainted wood windows (found on the first floor) vary from poor to fair condition.

Item No. 2: Diagonal Wood Siding Repair and Restoration



Diagonal wood siding in the front porch area is exposed. This siding dates to the period of historic significance, and is in poor condition. Over the course of relocation, it was discovered that this siding continues throughout the base of the residence. It was covered when the building was painted white for the first time, as the siding retains its original gray paint coloring. This was likely after the building's most recent relocation in 1913/14 or during its 1921 conversion to a duplex. As part of this work, clapboard siding added after the period of significance will be removed, and existing diagonal wood siding hidden beneath will be repaired and restored according to the Rehabilitation Plan.

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Item No. 3: Restoration of Original Entry Door/Window Opening and Entry Door



Through observation of historic photographs, it's known that the original doorway was filled with this wood door after the period of significance.



The building's original door will be returned to its original opening at left. A fixed window will be installed in the upper half of its current opening.



Historic hardware, including knobs, backplates, and doorbells will be removed, and their paint will be removed prior to re-installation.

Item No. 4: Interior Staircase Repair and Restoration



The staircase banister and its supports are highly decorative, and were removed prior to relocation to ensure protection.



Decorative elements like this post are in good condition, and will be restored.



The staircase rise and run is in very poor condition, and must be replaced for safety purposes.

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Item No. 5: Exterior Painting in Original Color Scheme Determined by Forensic Paint Analysis



This historic photograph clearly indicates the varying tones of paint colors as well as other features (like front door placement.)

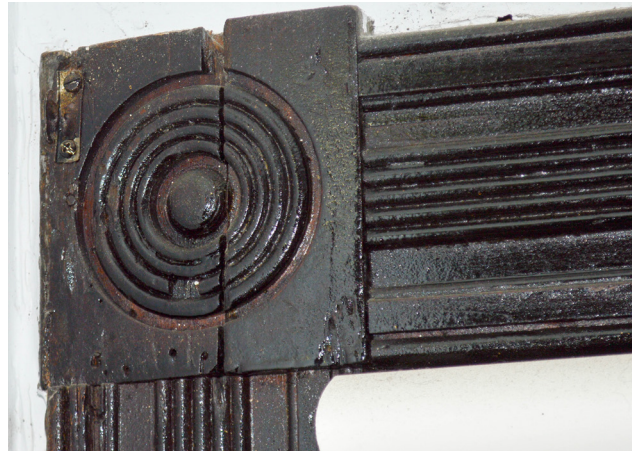


A forensic paint analysis was completed in 2018, identifying the above color palette as original to the building.



The original color scheme was painted over with a monochrome cream in the 1920s, most likely. It has remained as such since.

Item No. 6: Interior Window Frame Restoration



On the first level only, windows have decorative dart and other detailing in the wood window surrounds. Three of these window frames have been painted or varnished (demonstrated through the two images at right) while most are unpainted and sealed (as seen in the left-most image.)

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Item No. 7: Interior Door Frame and Door Restoration



Unpainted wood door frames and doors throughout the first story are in need of repair and restoration.



The upstairs retains all of its original doors, although they have been painted.



Historic door hardware remains on select doors throughout the first and second story, and will be restored.

Item No. 8: Restoration of Original Built-in China Cabinet



The china cabinet dating to the building's period of historic significance remains in the dining room area. This cabinet is functioning fairly well, and is generally in good condition. Cleaning, minor hardware repair, and some drawer repair is needed to return the cabinet to full functionality.

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Item No. 9: Repairs to Exterior Clapboard Siding and Wood Shingle Siding



Wood siding that was removed as required for relocation will be replaced according to the Rehabilitation Plan.



Shingle cladding will be repaired according to the Rehabilitation Plan.



Wood clapboard siding (seen in the upper half of this image) will be repaired, while siding around the base (seen in the lower half) will be removed to restore diagonal wood siding hidden beneath it.