

Exhibit B

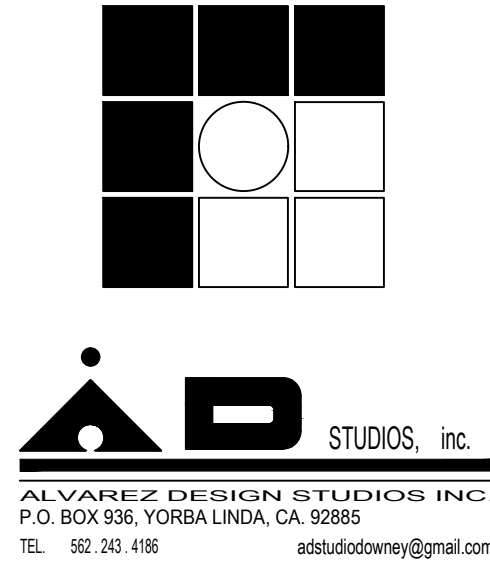
CODES:

BUILDING: 2016 CALIFORNIA BUILDING CODE - TITLE 24, PART 2
RESIDENTIAL: 2016 CALIFORNIA RESIDENTIAL CODE - TITLE 24, PART 2.5
ELECTRICAL: 2016 CALIFORNIA ELECTRICAL CODE - TITLE 24, PART 3
MECHANICAL: 2016 CALIFORNIA MECHANICAL CODE - TITLE 24, PART 4
PLUMBING: 2016 CALIFORNIA PLUMBING CODE - TITLE 24, PART 5
ENERGY: 2016 CALIFORNIA ENERGY CODE - TITLE 24, PART 6
FIRE: 2016 CALIFORNIA FIRE CODE - TITLE 24
GREEN BUILDING: 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
TITLE 24, PART 11

PROJECT SUMMARY		
GROSS LOT AREA	4,800.00	SQ. FT.
(E) RESIDENCE	1,809.00	SQ. FT.
(N) ADDITION TO SECOND FLOOR	+ 19.00	SQ. FT.
(N) TOTAL LIVING AREA	1,824.00	SQ. FT.
(E) GARAGE	636.00	SQ. FT.

OCCUPANCY: R-3/U
ZONE: R-2-N
CONSTRUCTION TYPE: V-B
FIRE SPRINKLER: NO

LOT COVERAGE:
ADDITION OF 19 SQ. FT. SHOWER TO THE SECOND FLOOR.



CONSULTANT :

OWNER INFORMATION :

Haj Residence

Mr. Ray Haj
705 Stanley Avenue
Long Beach, Ca. 90804

PROJECT LOCATION:

795 Stanley Avenue
Long Beach, Ca. 90804

ISSUE / DATE:

REVISION :

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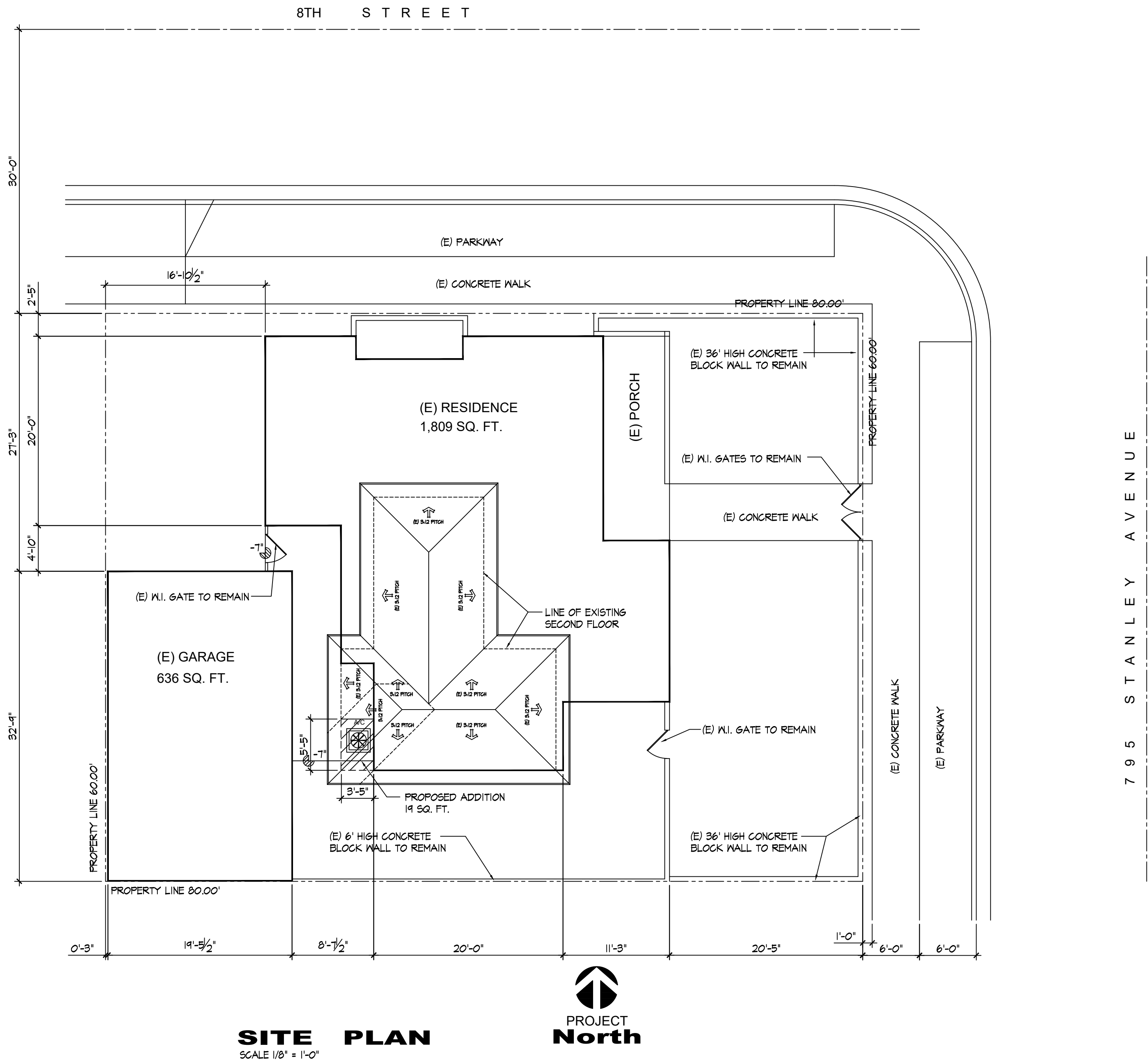
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project no: 1901003
phase: Cd's
date:
scale: 1/8" = 1'-0"
drawn by:

SHEET TITLE :

Site Plan

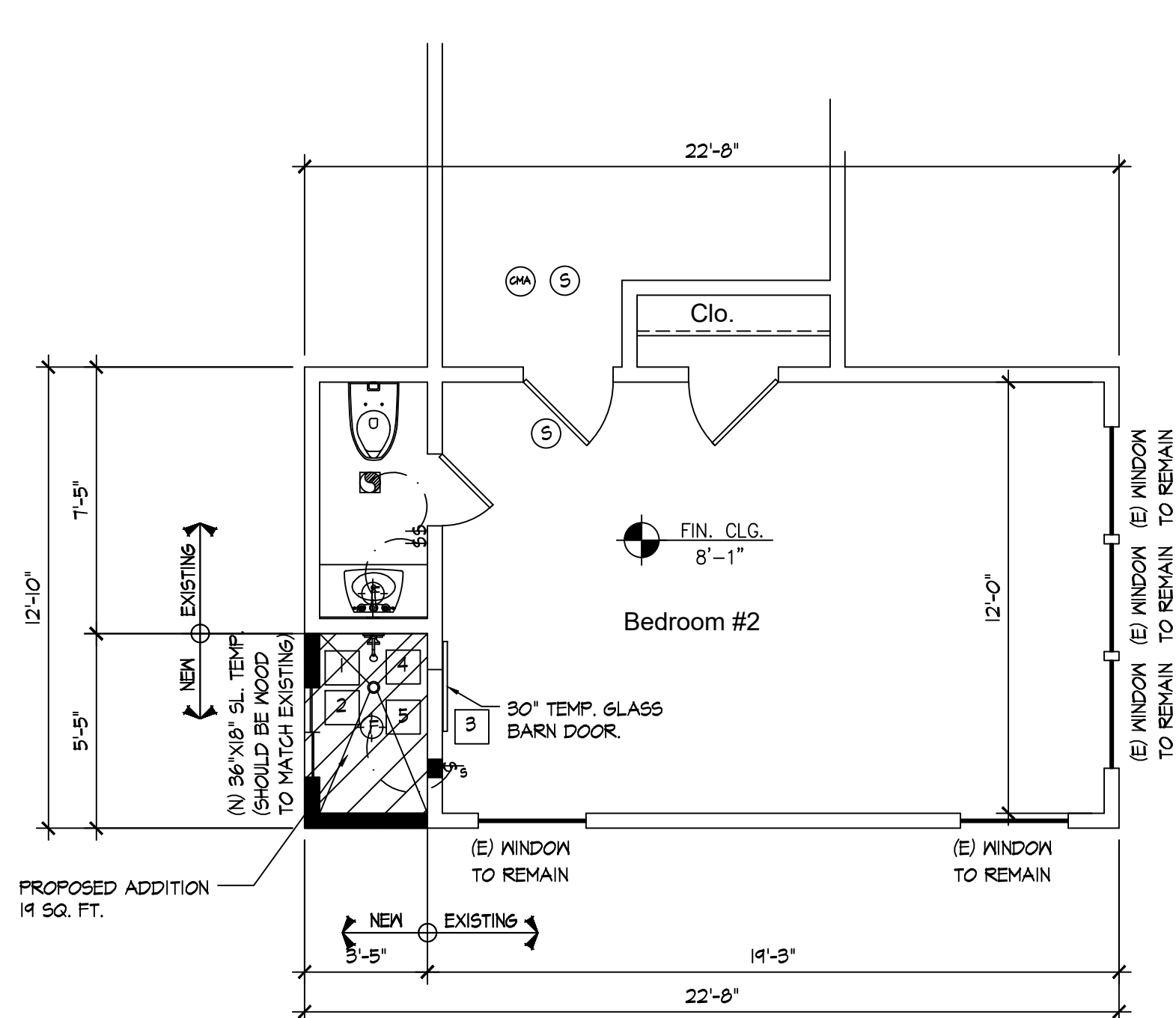
SHEET NO. :



SITE PLAN
SCALE 1/8" = 1'-0"



SP



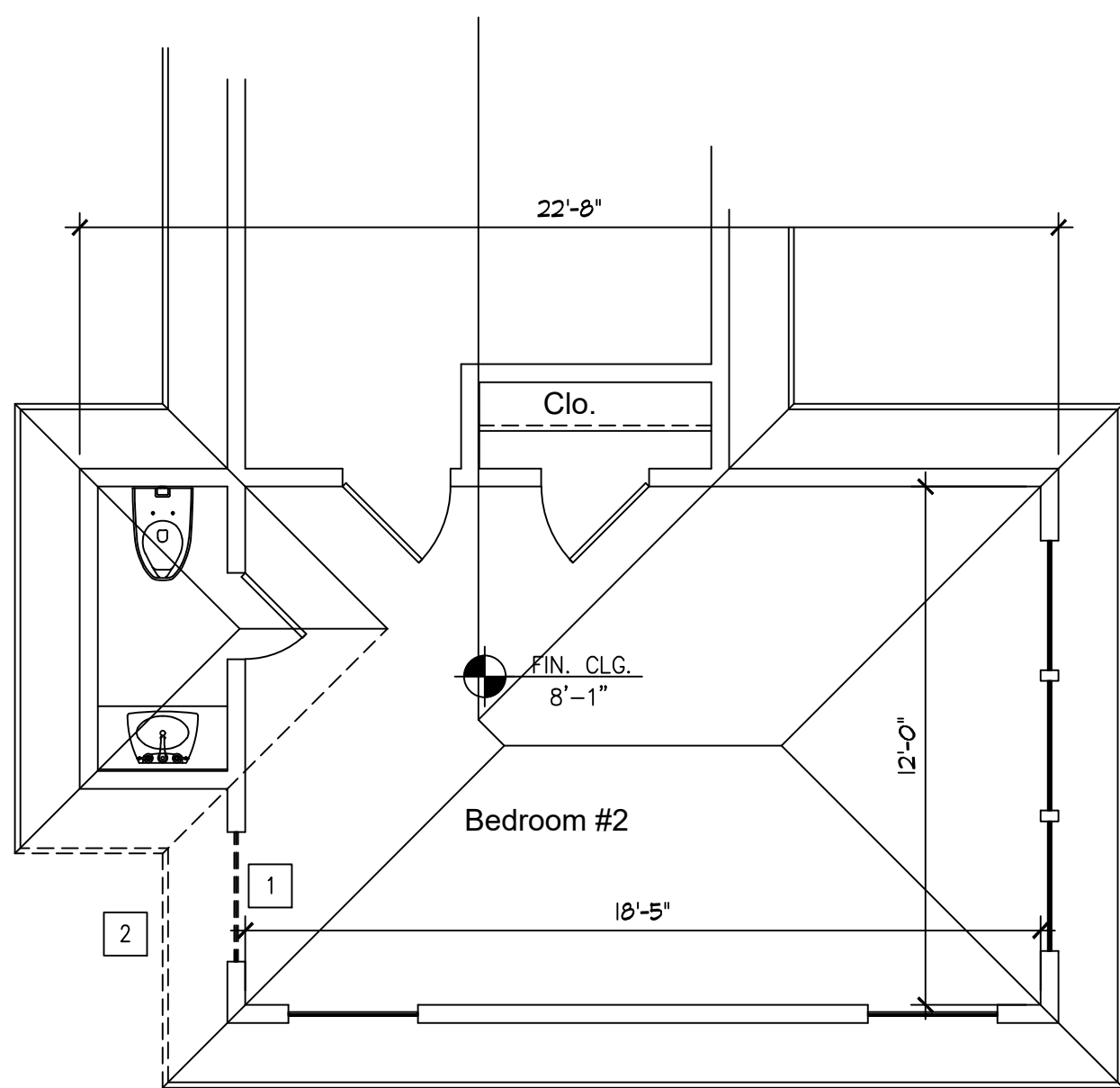
(N) SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

FLOOR NOTES:

- 1 RIGID FIT CONNECTION.
- 2 36" X 60" SHOWER, INSTALL PER MFG. SPECS
- 3 SAFETY GLASS (TEMP.) ENCLOSURE WITH METAL FRAME. CRC R308.1
- 4 FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ECT. SHALL BE 1.8 GALLONS PER MINUTE.
- 5 SHOWER HEADS SHALL BE DESIGN AND INSTALLED SO THAT THEY WILL NOT EXCEED A WATER SUPPLY FLOW RATE OF 2.0 GALLON PER MINUTE MEASURED AT 80 psi. CPC 402.1.1
- * ALL SHOWER AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBUSTION PRESSURE BALANCE/ THERMOSTATIC MIXING TYPE VALVE." CPC 418.0.
- 6 WATER CLOSETS, EITHER FLUSH TANK, FLUSHOMETER TANK, OR FLUSHOMETER VALVE OPERATED, SHALL HAVE AN AVERAGE CONSUMPTION OF MAXIMUM OF 1.26 GALLONS (6.1 LITERS) OF WATER PER FLUSH. CPC 402.2.

ELECTRICAL SYMBOLS

- ⊕ CEILING LIGHT FIXTURE, HIGH EFFICACY OR SENSOR. CEC 410.B
- ⊕ WALL HUNG FIXTURE, HIGH EFFICACY OR SENSOR.
- ⊕ ELECTRIC EXHAUST FAN CAPABLE OF PROVIDING 50 CFM BATHROOM WITH HUMIDITY CONTRL. 100 CFM IN KITCHENS AND 50 CFM IN LAUNDRY / UTILITY ROOMS. EXHAUST VENTS SHALL BE SEPERATELY SWITCHED FROM THE LIGHTING. (ENERGY STAR)
- AFCI ALL NEW RECEPTACLES SHALL BE TAMPERPROOF 2016 CEC 406.1.1
- 6FI ALL NEW 120 V-SINGLE PHASE, 15a-20a BRANCH CIRCUITS IN AREAS DEFINED BY 2016 CEC 210.12(B).
- 6FI DUPLEX OUTLET, 120 V-SINGLE PHASE, 15a-20a BRANCH CIRCUITS IN AREA OF KITCHEN (AFCI) 6FI DUPLEX OUTLET, 2016 CEC 210.52(C).
- ⊕ SINGLE POLE SWITCH AT 48" HIGH.
- ⊕ SENSOR SWITCH AT 48" HIGH.
- ⊕ HARDWIRE AND INTERCONNECTED ALL SMOKE ALARMS WHERE ACCESS IS AVAILABLE WITHOUT THE REMOVAL OF BUILDING FINISHES PER R314.4.
- ⊕ CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.
- ⊕ WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING UNIT OR WITHIN A SLEEPING UNIT IN GROUP R OCCUPANCIES, THE ALARMS SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT (CRC R15.7).



(E) SECOND FLOOR / ROOF / DEMO PLAN
SCALE 1/4" = 1'-0"

DEMOLITION NOTES

A. GENERAL

1. By careful study of the Contract Documents, determine the location of extent of selective demolition to be performed. In company with the Owner, visit the site and verify the extent and location of selective demolition required.

- * Carefully identify limits of selective demolition.
- * Mark interface surfaces as required to enable requirements also to identify items to be removed and items to be left in place intact.
- * Prepare and follow an organized plan for demolition and removal of items.

2. General work shall not proceed until all protective work is placed as required to protect the buildings activities, properties, and personnel from the hazards of the work. Noise, dust, etc., shall be kept to a minimum, by careful handling, dampening, etc., as

3. Existing work damaged in the prosecution of the work shall be repaired or restored to it's original condition at the Contractor's expense.

4. Demolition shall be done only by experienced workers using appropriate tools and equipment and provided with all necessary safeguards.

5. Wherever the removal of any existing finished surface is required by the drawings and/or specifications, the contractor shall make due allowance for finishing all unfinished surfaces exposed as a result

6. All materials removed under this contract which are not to be salvaged or reused shall become the property of the contractor and be promptly removed from the site. At all times use movable debris boxes, covered, to convey the material through the building. Do not store or permit debris to accumulate on the site.

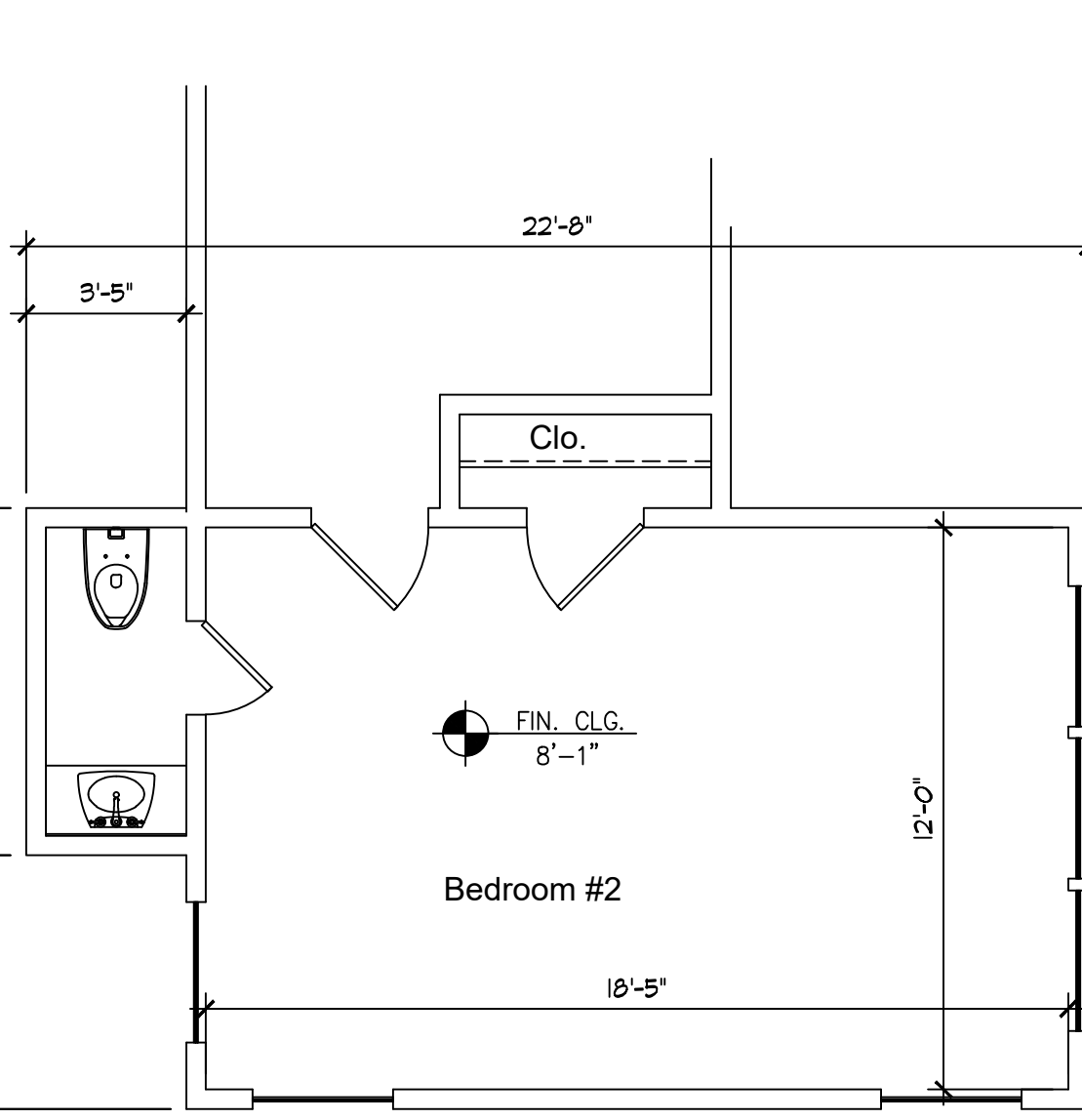
7. Extreme care shall be exercised to prevent chipping, breakage, bending, and mishandling of all materials.

8. Upon completion of demolition work, leave the property and adjacent areas clean and satisfactory to the Designer and Owner.

B. MECHANICAL AND ELECTRICAL

1. Carefully review drawings, and determine lines to be removed and those to be kept active or to be reactivated. Protect lines to remain. Provide for minimum service interruption of lines to remain.

2. Remove fixtures and equipment as indicated. When indicated for reuse, clean, store as directed, and protect. Identify point of reuse. See mechanical drawings for additional information on demolition required for H.V.A.C., and plumbing work.



(E) SECOND FLOOR / ROOF PLAN
SCALE 1/4" = 1'-0"

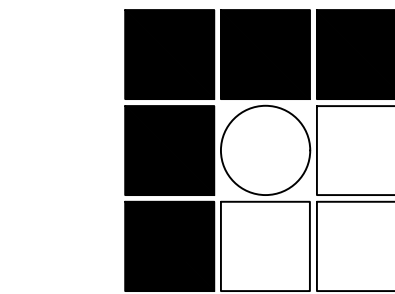
NOTES

- 1 (E) WINDOW TO BE REMOVED
- 2 (E) EAVE TO BE REMOVED

WALL LEGEND

- WALLS TO BE DEMO
- ===== EXISTING WALLS
- NEW WALLS
2X4 WALL STUDS @16" O.C.
W/ 1/2" GYPSUM BOARD @
INTERIOR WALLS
EXTERIOR WALLS
7/8" LATH & PLASTER

NOTE: ALL PLUMBING WALLS TO BE 2'X6"



ALVAREZ DESIGN STUDIOS, inc.
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CONSULTANT :

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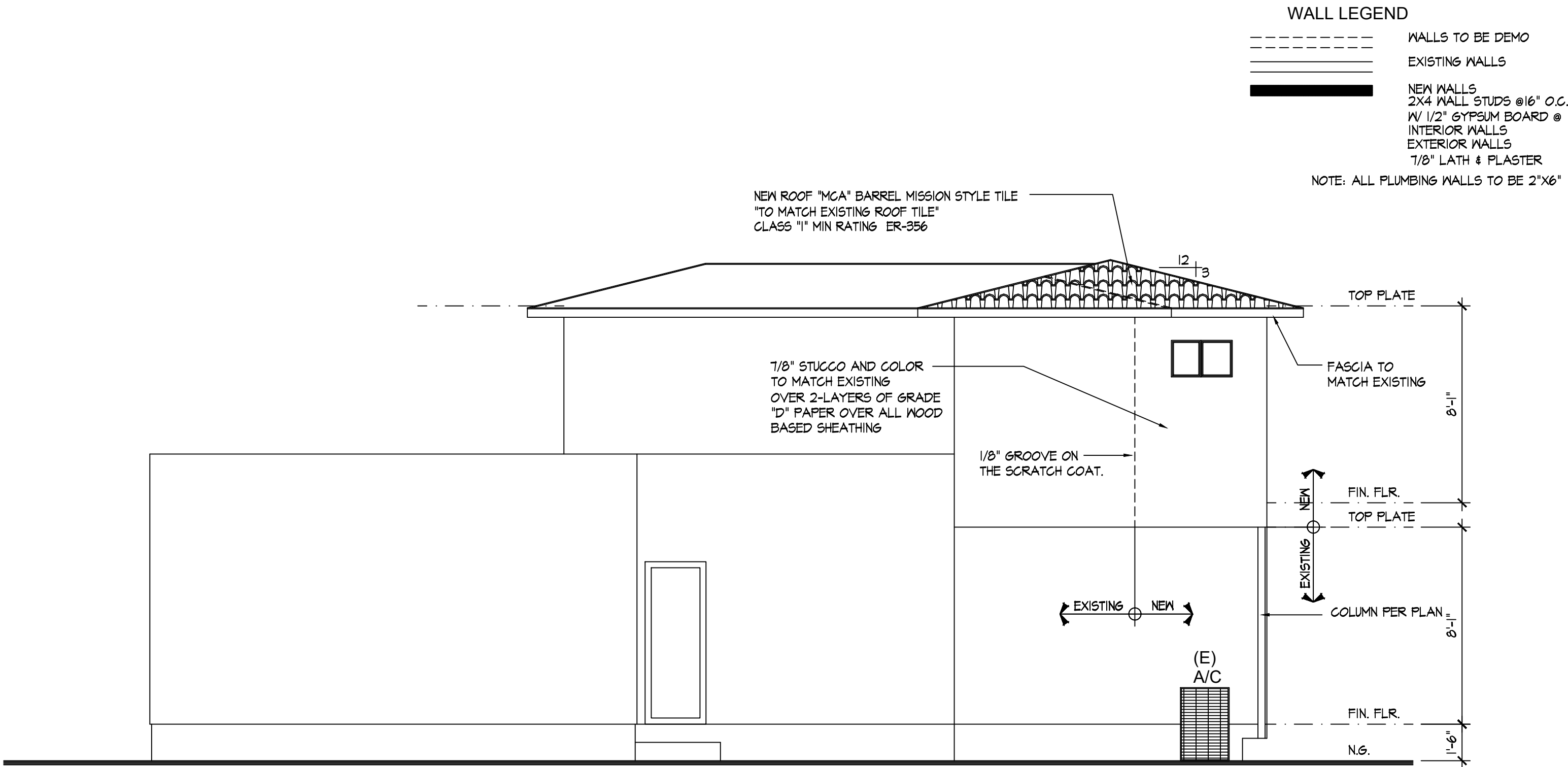
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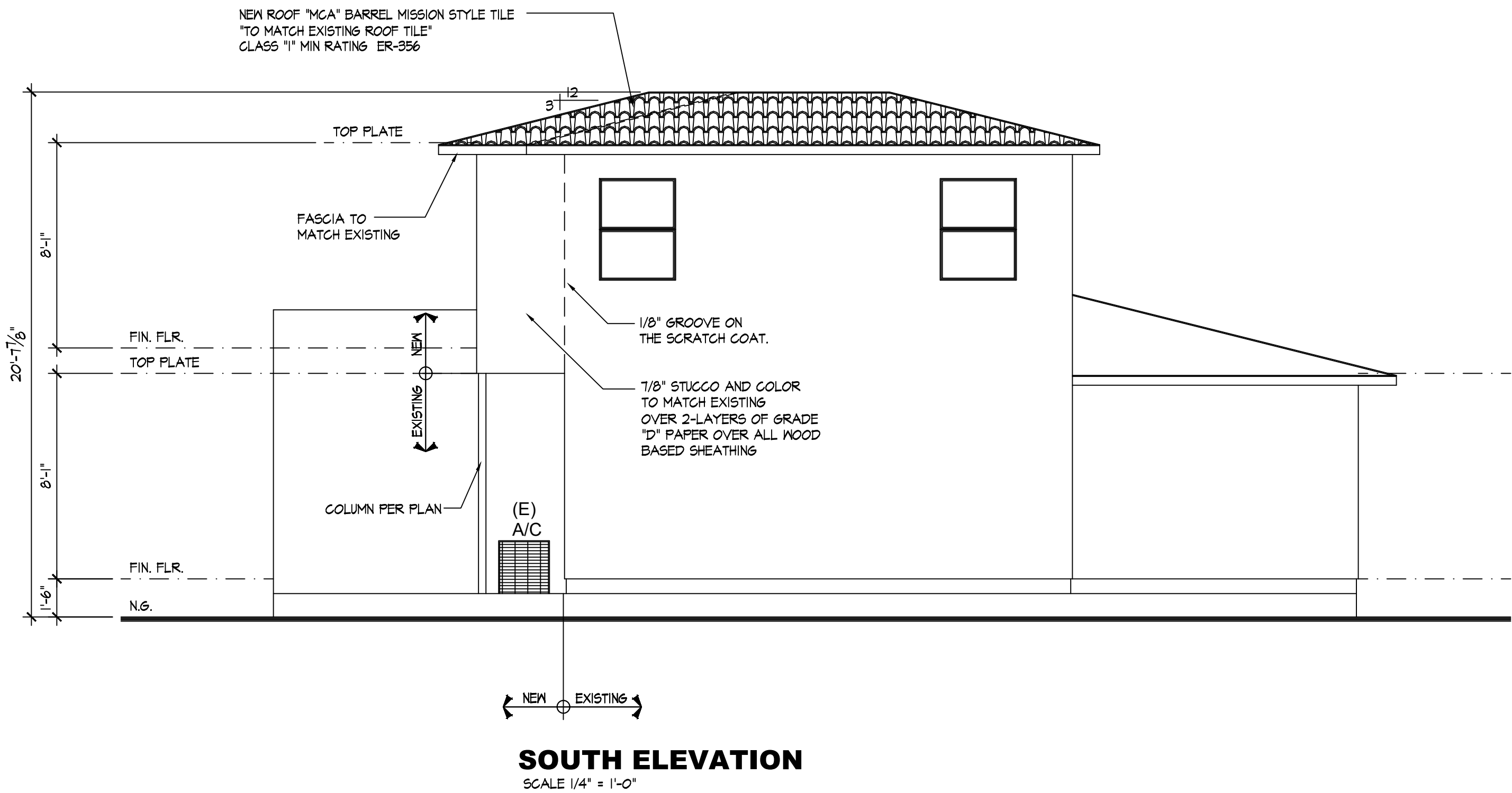
(E) Floor Plan
(E) Floor / Demo Plan

SHEET NO. :

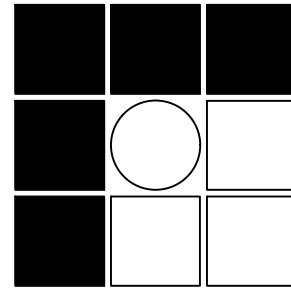
A-1



WEST ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



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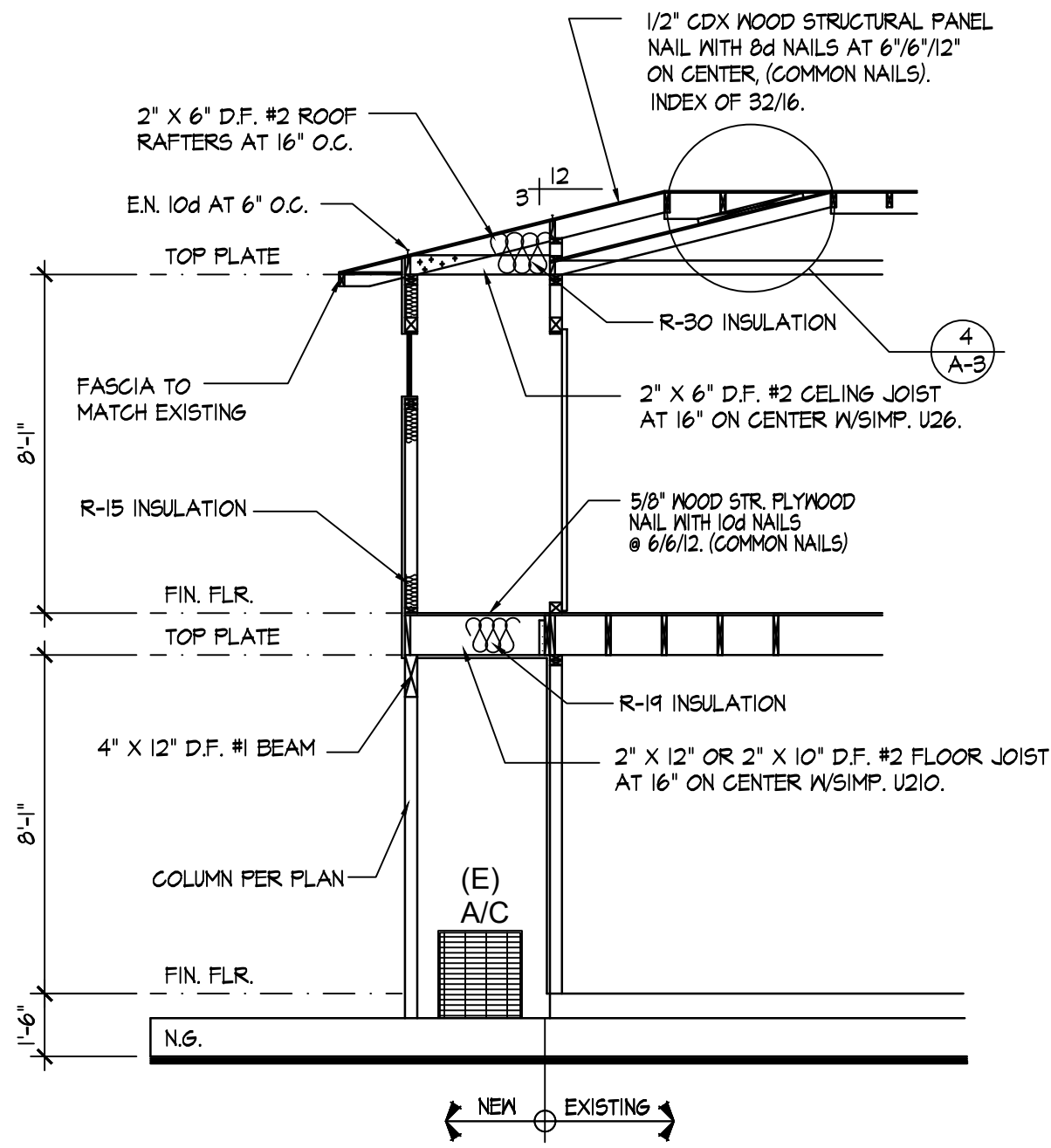
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scale: 1/4" = 1'-0"
drawn by: .

SHEET TITLE :

Floor Plan

A-2

SHEET NO. :



SECTION A-A
SCALE 1/4" = 1'-0"

ROOF SPECIFICATION:

NEW ROOF "MCA" BARREL MISSION STYLE TILE
"TO MATCH EXISTING ROOF TILE"
COOLROOF, ASPHALT SHINGLES TO MATCH EXISTING.
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE
WITH MANUFACTURER'S SPECIFICATIONS.
GLASS "1" MIN RATING ER-356
ROOF PITCH: 3:12 (CONTRACTOR TO VERIFY ROOF PITCH)

NOTE:
ROOF DIAPHRAM NAILING MUST BE INSPECTED BEFORE
COVERING. FACE GRAIN OF PLYWOOD SHALL BE
PERPENDICULAR TO SUPPORTS.
* VENTILATION REQUIREMENTS PER C.B.C. 1203.2.

ROOF NOTES:

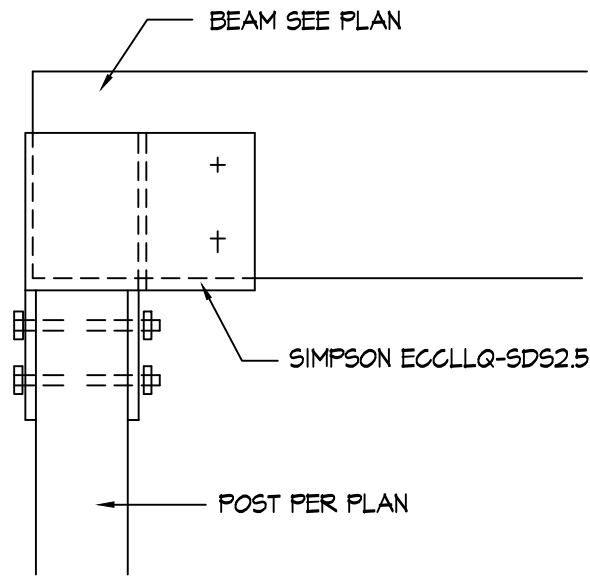
PRIOR TO COVERING ANY CRICKETS OR SIMILAR
THE HORIZONTAL DIAPHRAGM INSPECTION
WILL BE MADE BY THE CITY BUILDING DIVISION
** ROOF SHEATHING TO BE PER ENERGY CALCULATIONS
** PROVIDE FOR LATH, PLASTER AND DRYWALL TO
CONFORM TO THE REQUIREMENTS OF C.B.C. CHAP. 25.
TWO LAYERS OF GRADE 'D' PAPER SHALL BE
APPLIED AT ALL WOOD BASE SHEATHING

NEW ATTIC SPACE VENTILATION

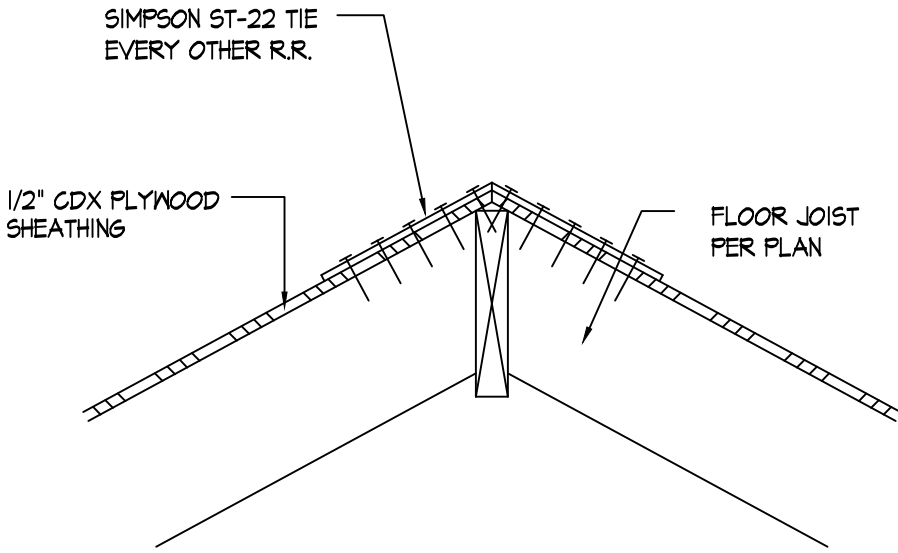
A. NOTE: OPENINGS SHALL HAVE CORROSIVE-RESISTANT WIRE
MESH OR OTHER APPROVED MATERIAL WITH 1/16-IN. MINIMUM
AND 1/4-IN. MAXIMUM OPENINGS.

- EAVE VENT NFVA (C4J METAL)
14' x 3' = 39 SQ. IN. / 144 = 0.23 SQ. FT.
- HALF ROUND ROOF DORMER VENT: DM24
44 SQ. IN. / 144 = 0.6875 SQ. FT.
- OHASIN ATTIC VENT: "STEALTH" 30"
53 SQ. IN. / 144 = 0.31 SQ. FT.

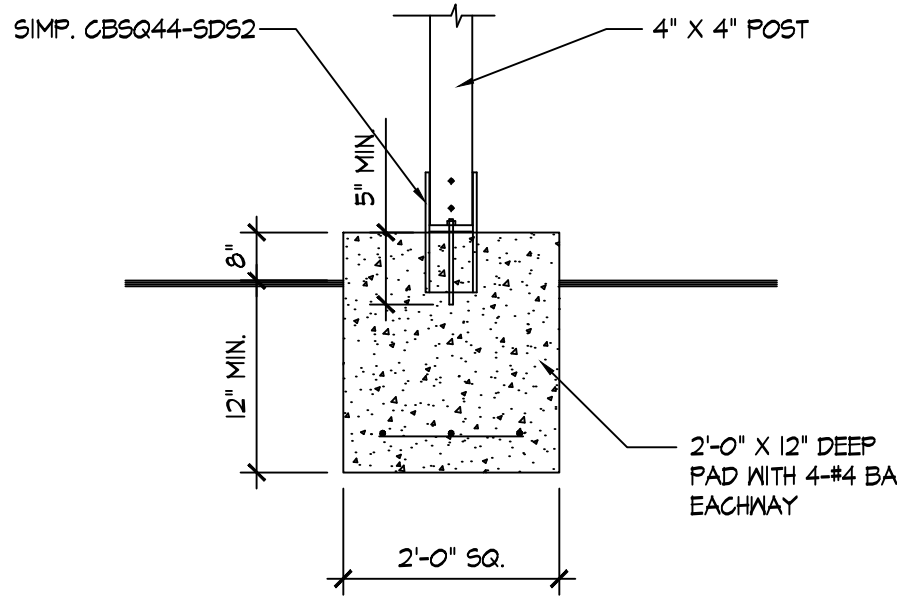
NEW ATTIC: REQUIRED VENTILATION
85 SQ. FT. / 150 = 0.56 SQ. FT.
EAVE VENT NFVA (C4J METAL)
0.23 SQ. FT. X 5 = 1.15 SQ. FT.
TOTAL VENTILATION PROVIDED: 1.15 SQ. FT.



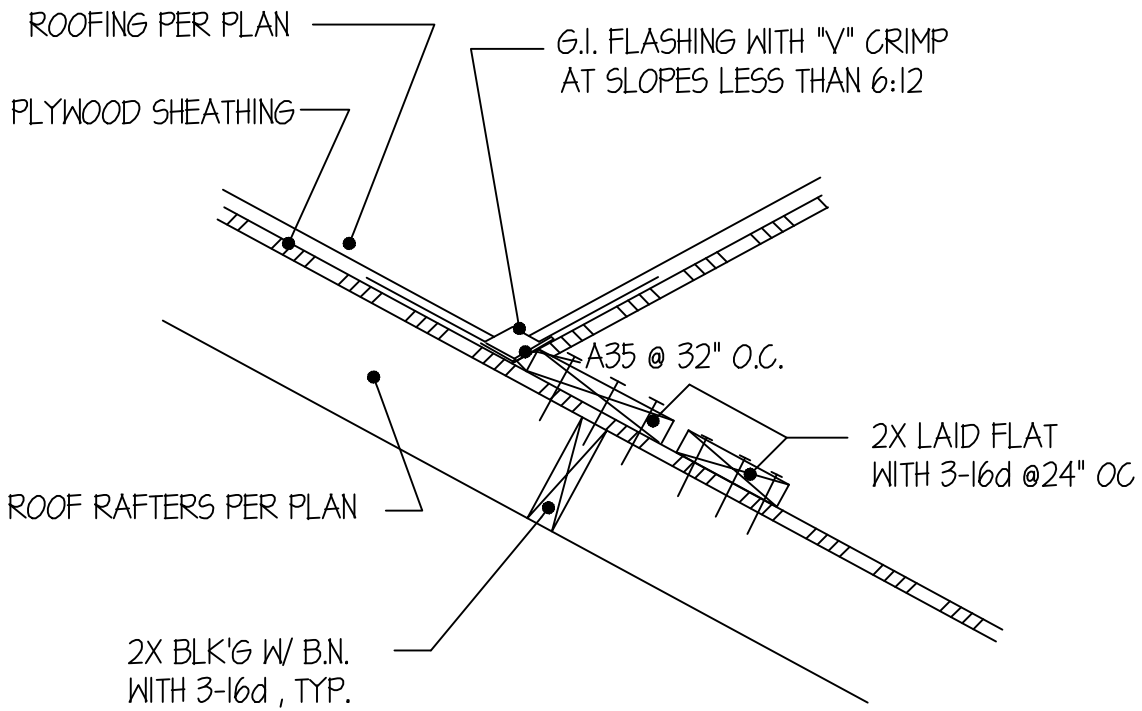
5 POST TO BEAM



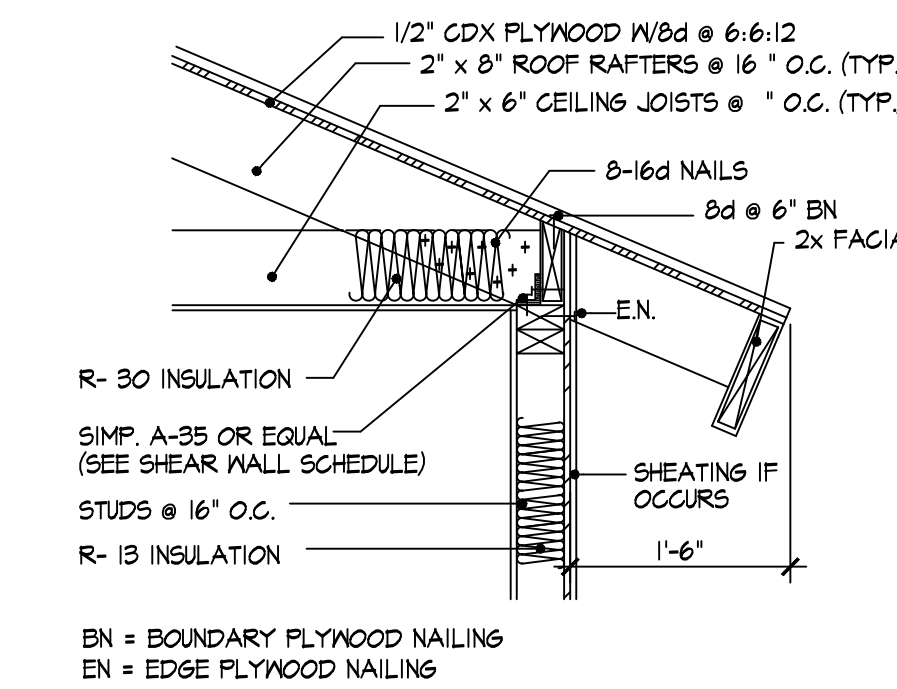
3 RIDGE DETAIL



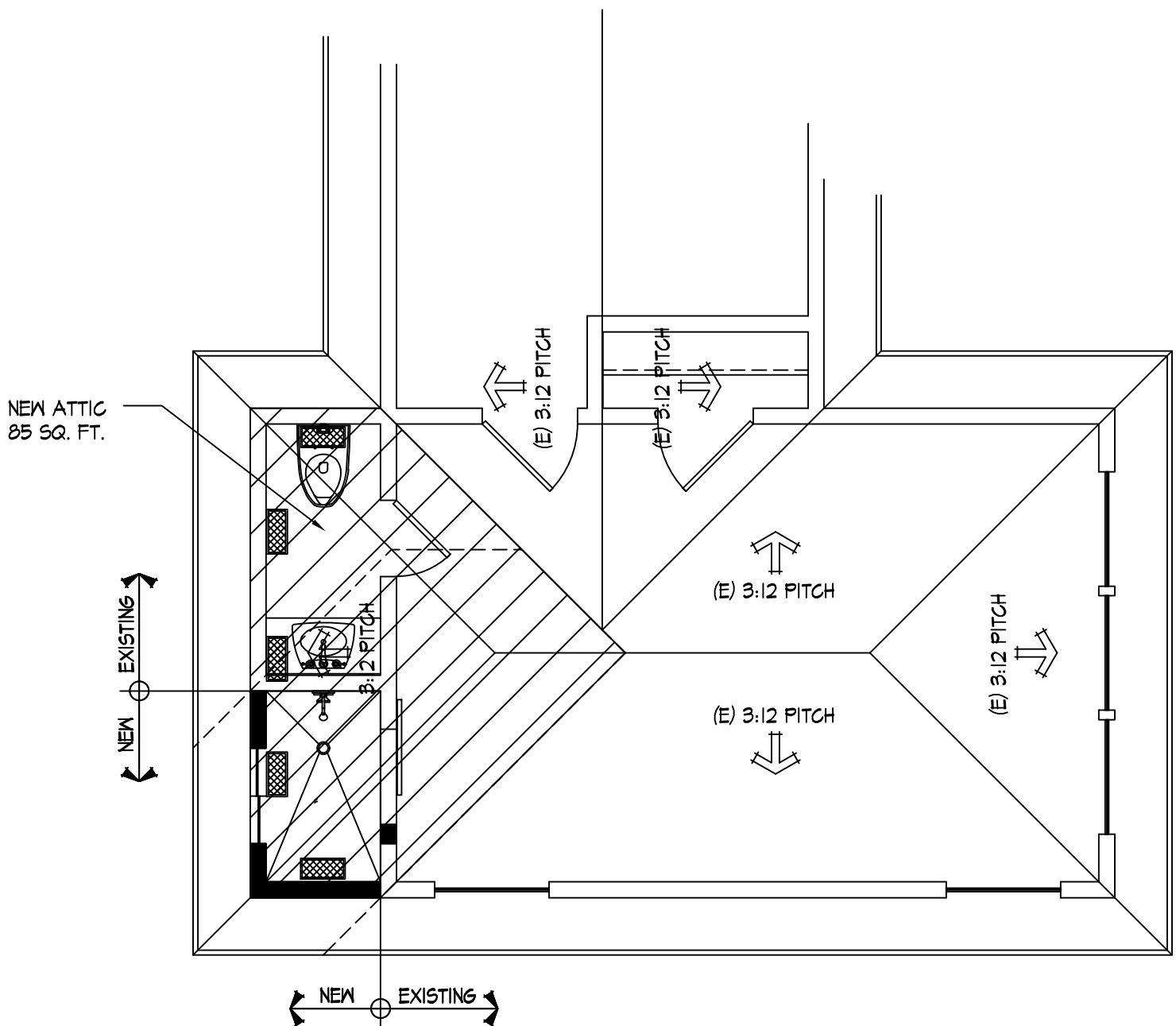
1 PAD DETAIL INTERIOR



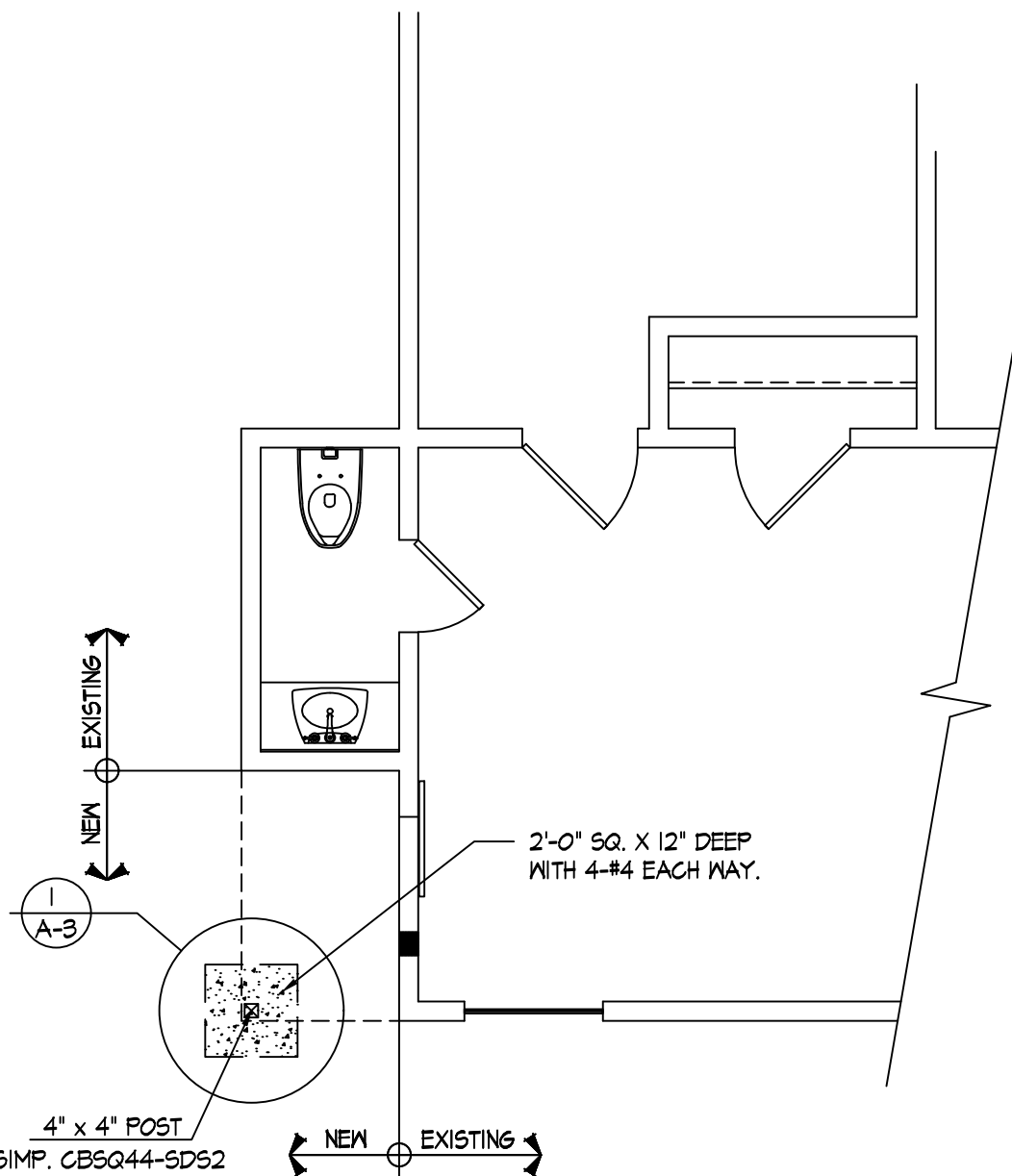
4 CALIFORNIA FRAME



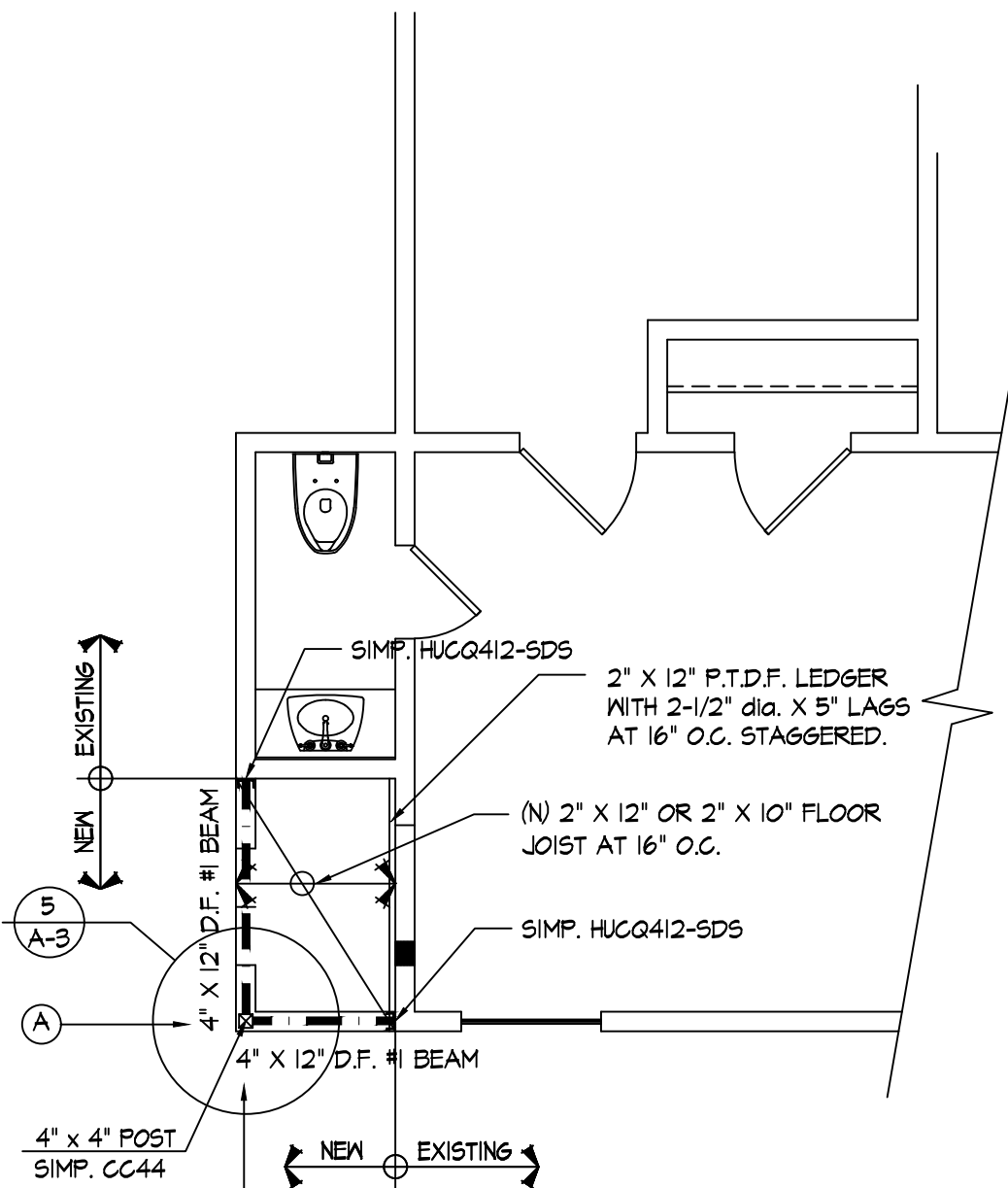
2 EAVE DETAIL



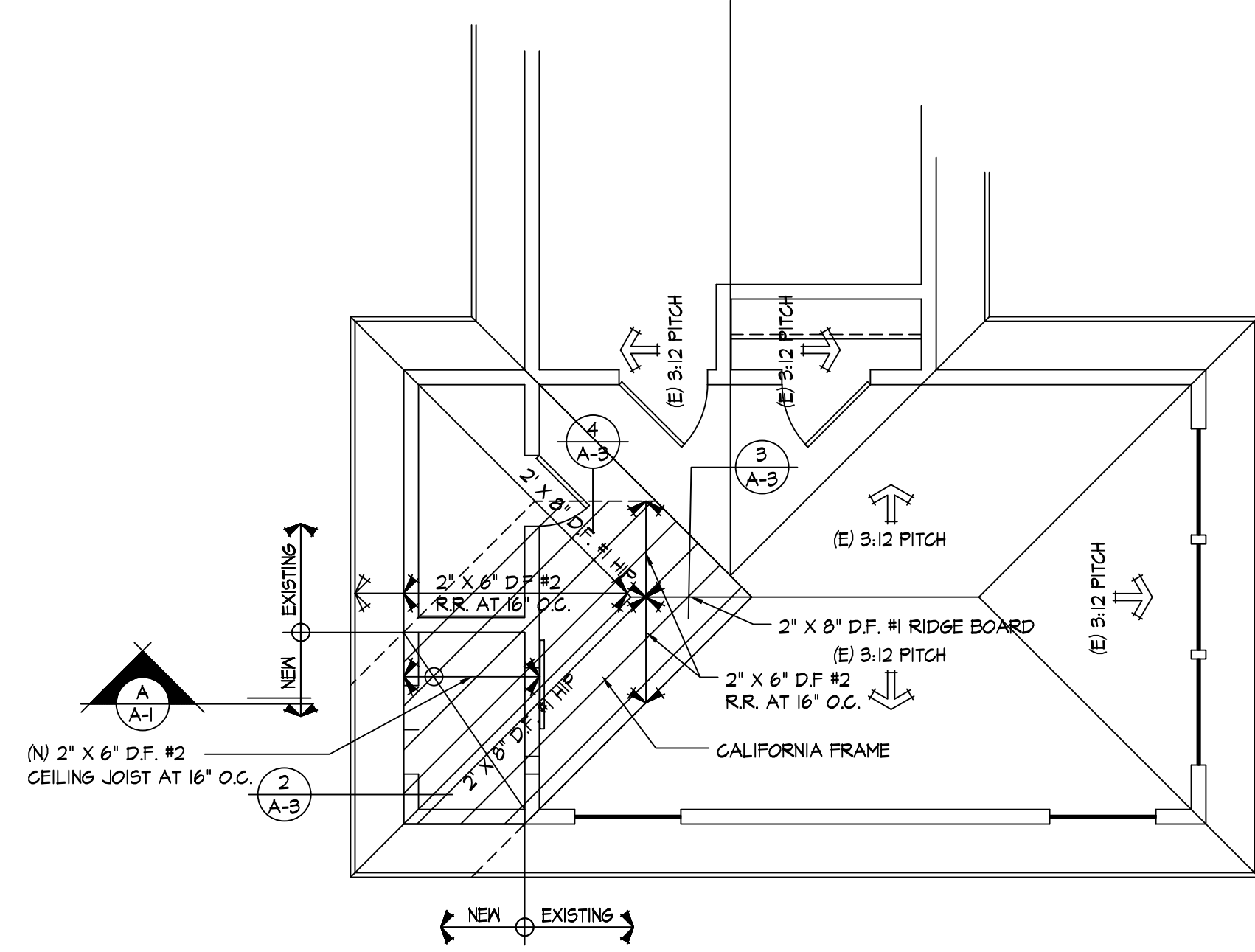
(N) SECOND FLOOR ROOF PLAN
SCALE 1/4" = 1'-0"



FOUNDATION PLAN
SCALE 1/4" = 1'-0"



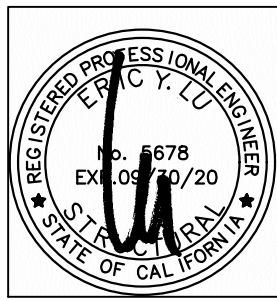
SECOND FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



FRAMING PLAN
SCALE 1/4" = 1'-0"



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SHEET TITLE :

(E) Floor Plan
(E) Floor / Demo Plan

SHEET NO. :

A-3

SITE PHOTOGRAPHS
795 Stanley Avenue
Application No. COAC1904-01
June 10, 2019





