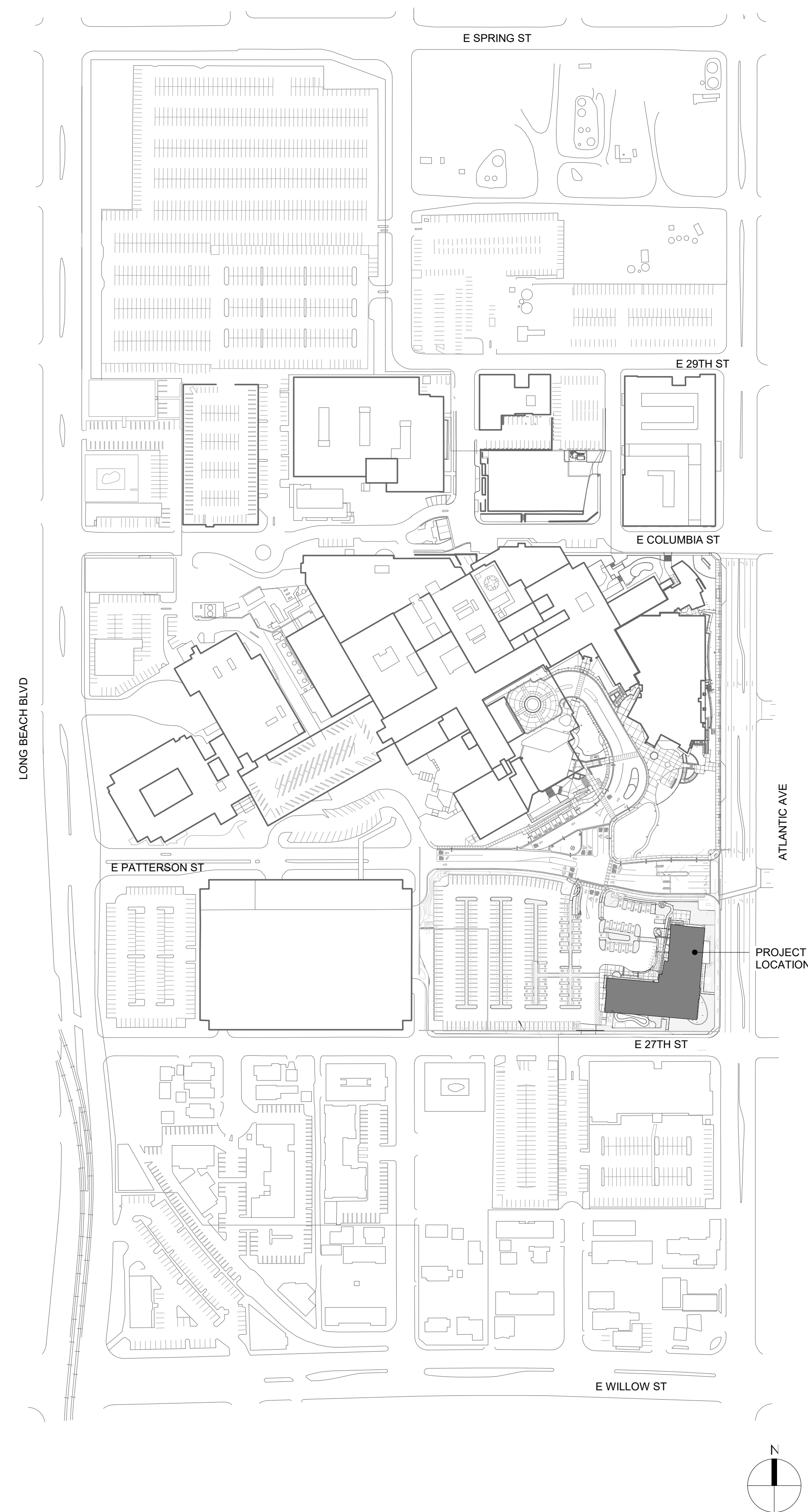


CAMPUS MAP



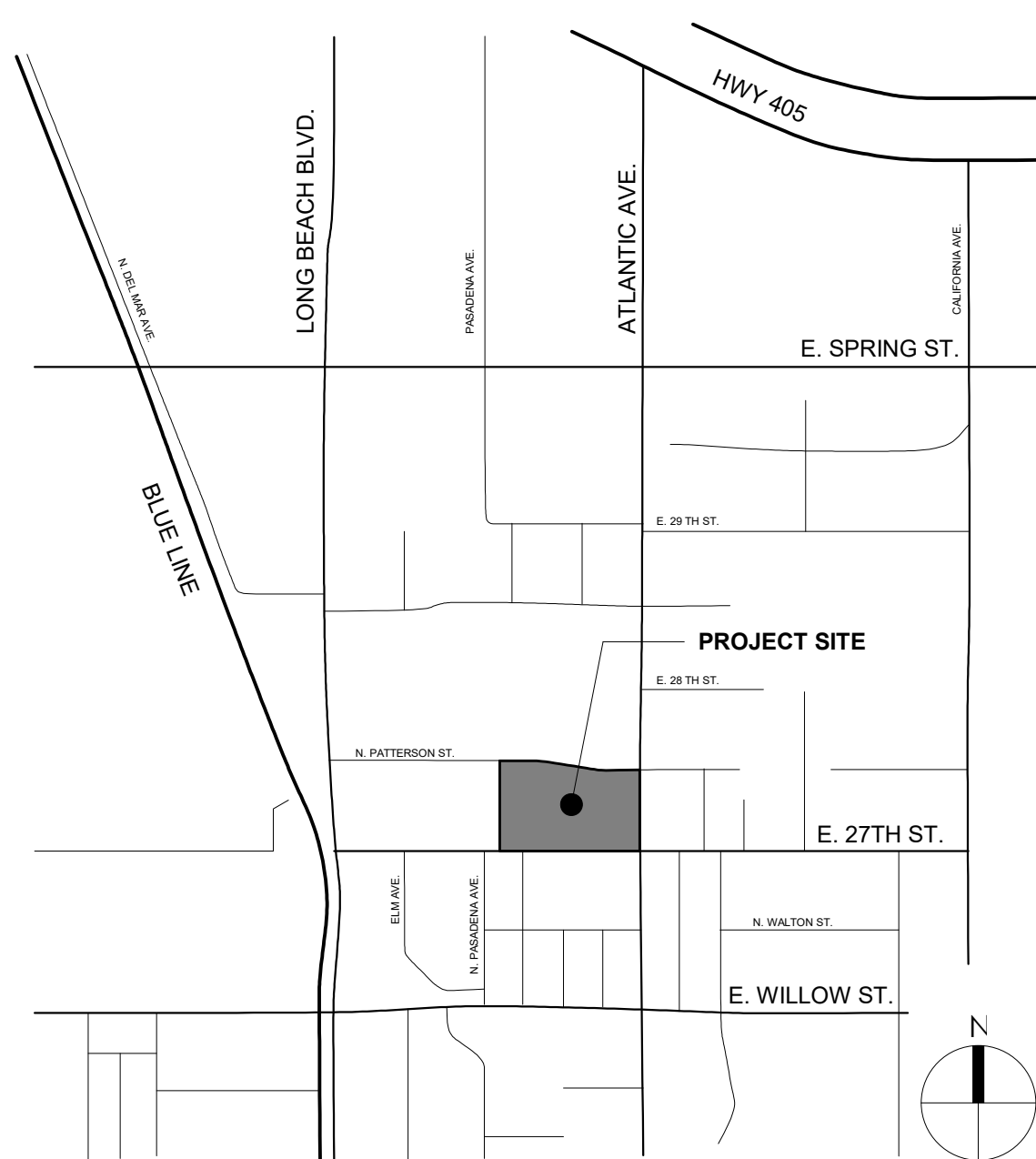
MILLER CHILDREN'S VILLAGE
SITE PLAN REVIEW

EXHIBIT B



MemorialCare™
Miller Children's & Women's
Hospital Long Beach

VICINITY MAP



PROJECT TEAM

ARCHITECT
c/a ARCHITECTS
3633 LONG BEACH BOULEVARD, SUITE 200
LONG BEACH, CALIFORNIA 90807
(562) 595-5666

INTERIOR DESIGN
c/a ARCHITECTS
3633 LONG BEACH BOULEVARD, SUITE 200
LONG BEACH, CALIFORNIA 90807
(562) 595-5666

STRUCTURAL
MHP STRUCTURAL ENGINEERS
3900 COVER STREET
LONG BEACH, CALIFORNIA 90808
(562) 985-3200

CIVIL
PFEILER & ASSOCIATES ENGINEERS, INC.
22609 E. LA PALMA AVE., SUITE 202
YORBA LINDA CA 92887
(909) 993-5808

LANDSCAPE ARCHITECT
BRIGHTWORKS CURLEY ASSOCIATES, INC.
3633 LONG BEACH BOULEVARD, SUITE 107
LONG BEACH CA 90807
(562) 424-8182

GENERAL CONTRACTOR
TURNER CONSTRUCTION COMPANY
1900 S. STATE COLLEGE BLVD, SUITE 200
ANAHEIM, CA 92806
(213) 891-3000

MECHANICAL CONTRACTOR
UNIVERSITY MECHANICAL & ENGINEERING CONTRACTOR
1000 W. KRAEMER PLACE
ANAHEIM, CA 92806
(714) 584-1736

ELECTRICAL CONTRACTOR
CSI ELECTRIC
10623 FULTON WELLS AVENUE
SANTA FE SPRINGS, CA 92806
(562) 946-0700

MECHANICAL/ELECTRICAL/PLUMBING ENGINEER
TKISC
15231 LAGUNA CANYON ROAD, SUITE 100
IRVINE CA 92618
(949) 751-5800

SUSTAINABILITY
BRIGHTWORKS SUSTAINABILITY LLC
811 W. 7TH AVE
LOS ANGELES CA 90017
(310) 452-5050

TRAFFIC, PARKING ENGINEER
LINSOTT, LAW, & GREENSPAN, ENGINEERS (LLG)
2 EXECUTIVE CIRCLE, SUITE 250
IRVINE, CA 92614
(714) 579-7501

PROJECT DATA

CONSTRUCTION TYPE: II-B (FIRE SPRINKLERED)

OCCUPANCY: B- MEDICAL OFFICE (OSHPD 3)

PROJECT SQUARE FOOTAGE: 80,000 SQ. FT.

PROJECT BUILDING INFORMATION

BUILDING STORIES: 4 STORIES

FIRE RESISTIVE REQUIREMENTS (CBC TABLE 601)

FULLY SPRINKLERED: YES
STRUCTURAL FRAME: 0-HOUR
SHAFT ENCLOSURES: 2-HOUR
FLOOR (CBC 713): 0-HOUR
ROOF: 0-HOUR
INTERIOR EXIT STAIR ENCLOSURE (CBC 1022.2): 2-HOUR
EXTERIOR BEARING WALLS: 0-HOUR

EXTERIOR WALL SYSTEM INSULATION

R VALUE= 19

ROOFING SYSTEM INSULATION

R VALUE= 30

PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF CONSTRUCTING A NEW 80,000 SQ. FT., 4 STORY, STEEL MOMENT FRAMED MEDICAL OFFICE BUILDING. THE BUILDING WILL HOUSE OSHPD 3 CLINICS, FOR CHRONIC PEDIATRIC PATIENTS.

MEDICAL OFFICE TENANT IMPROVEMENT PHASE BUILDING WILL CONTAIN OSHPD3 OCCUPANTS

APPLICABLE CODES

TITLE 24, CALIFORNIA CODE OF REGULATIONS

2016 CALIFORNIA ADMINISTRATIVE CODE (CAC)

PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)

2016 CALIFORNIA BUILDING CODE (CBC) PART 2, TITLE 24

CCR BASED ON THE 2015 INTERNATIONAL BUILDING CODE (IBC)

2016 CALIFORNIA ELECTRICAL CODE (CEC) PART 3, TITLE 24

CCR BASED ON THE 2014 NATIONAL ELECTRICAL CODE (NEC)

2016 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24

CCR BASED ON THE 2015 UNIFORM MECHANICAL CODE (UMC)

2016 CALIFORNIA PLUMBING CODE (OPC) PART 5, TITLE 24

CCR BASED ON THE 2015 UNIFORM PLUMBING CODE (UPC)

2016 CALIFORNIA FIRE CODE (CFC) PART 9, TITLE 24

CCR BASED ON THE 2015 INTERNATIONAL FIRE CODE (IFC)

2016 CALIFORNIA REFERENCED STANDARDS CODE (CRSC) PART 12, TITLE 24

2016 CALIFORNIA ENERGY CODE

TITLE 19, CALIFORNIA CODE OF REGULATIONS
DIV. 1 - PUBLIC SAFETY - STATE FIRE MARSHAL REGULATIONS.
ENFORCEMENT INCLUDES ALL OTHER CODES REFERENCED IN THE ABOVE MODEL CODES, I.E., NEC MAKES REFERENCE TO NUMEROUS NFPA PAMPHLETS.

APPLICABLE NFPA STANDARDS
NFPA NO. 13 - INSTALLATION OF SPRINKLER SYSTEMS; 2016 EDITION, AS AMENDED
NFPA NO. 72 - NATIONAL ALARM CODE; 2016 EDITION, AS AMENDED
NFPA NO. 99 - HEALTH CARE FACILITIES; 2015 EDITION, AS AMENDED

SHEET INDEX

ARCHITECTURAL CSPP
AS001 COVER SHEET
AS100 EXISTING SITE PLAN
AS101 PROPOSED SITE PLAN
AS102 OPEN SPACE & FUTURE SOLAR
AS111 FIRST FLOOR PLAN
AS112 SECOND FLOOR PLAN
AS113 THIRD FLOOR PLAN
AS114 FOURTH FLOOR PLAN
AS115 ROOF PLAN
AS201 EXTERIOR ELEVATIONS
AS202 EXTERIOR ELEVATIONS
AS203 SITE ELEVATIONS/PHOTOS
AS301 SECTIONS

CIVIL (FOR REFERENCE ONLY)
C001 REFERENCE BOUNDARY ESTABLISHMENT PLAN

LANDSCAPE
TS001 PLANTING PLAN
LI200 IRRIGATION PLAN
LP300 PLANTING PLAN
LP301 PARKING AREA SHADE PLAN
LD400 LANDSCAPE DOCUMENTATION
ID500 LANDSCAPE INSTALLATION DETAILS

ELECTRICAL
E100.2P SITE LIGHTING PHOTOMETRIC PLAN

ca ARCHITECTS
DESIGNING HEALTHCARE
3633 LONG BEACH BLVD., SUITE 200
T 562.595.5666 F 562.595.5577
LONG BEACH, CA 90807
www.ca-architects.com

CONSULTANT

MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2801 ATLANTIC AVE, LONG BEACH CA 90806

MILLER CHILDREN'S VILLAGE
SITE PLAN REVIEW

REVISIONS	SPR INITIAL SUBMITTAL	2/14/2019

AGENCY NO.

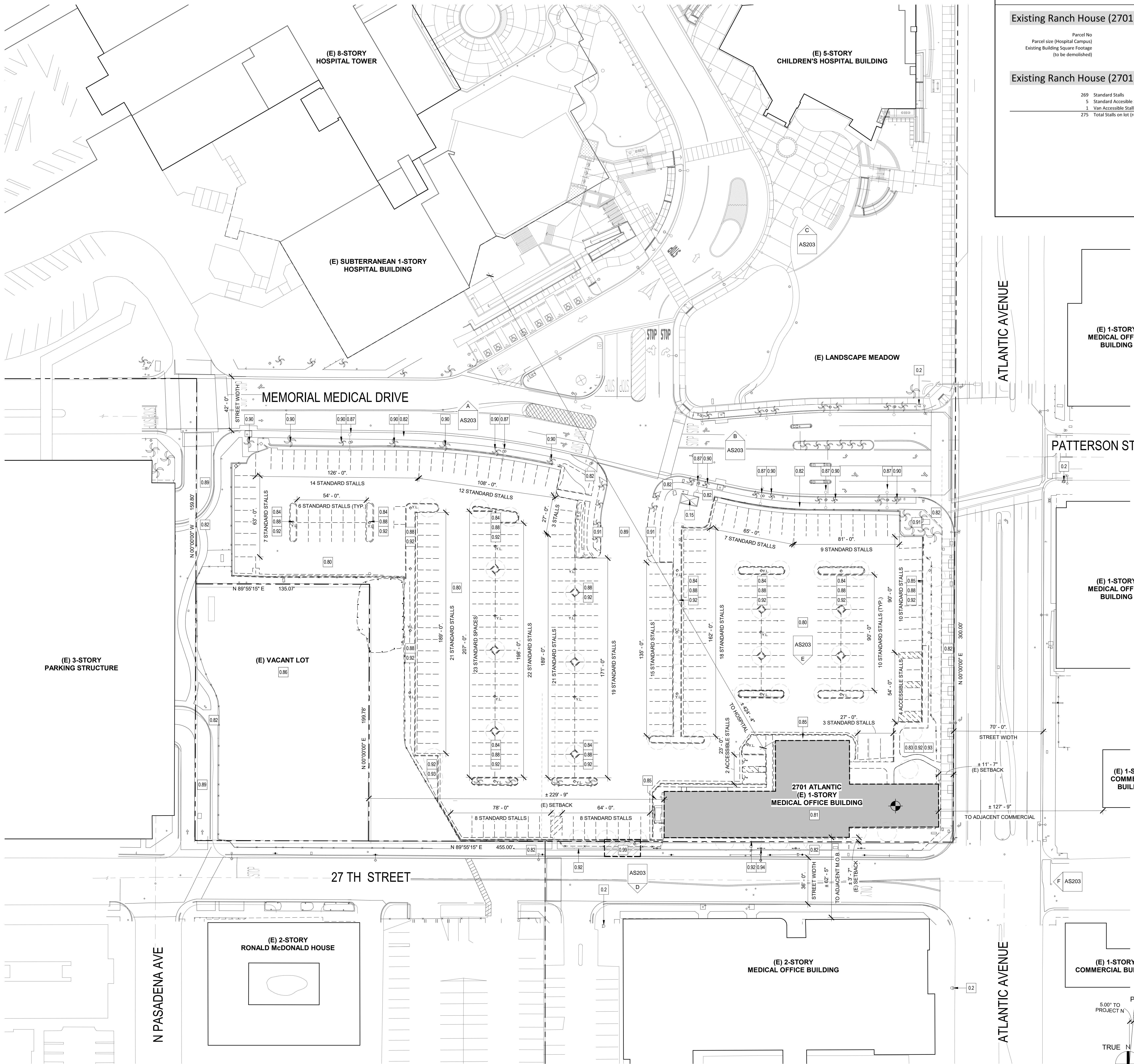
APPROVAL

STAMP

PROJECT NO.	B1387.04
DRAWN	PM
REVIEWED	CK

COVER SHEET

AS001



TABULATIONS

Existing Ranch House (2701 Atlantic) Building Tabulations

Parcel No	720-701-0037
Parcel size (Hospital Campus)	54 Acres
Existing Building Square Footage (to be demolished)	9,613 SF

Existing Ranch House (2701 Atlantic) Parking Summary

269	Standard Stalls
5	Standard Accessible Stalls
1	Van Accessible Stalls
275	Total Stalls on lot (refer to 1/AS100)

KEYNOTES

0.2	EXISTING FIRE HYDRANT TO REMAIN.
0.15	EXISTING TICKET BOOTH PROTECT IN PLACE.
0.80	EXISTING PARKING LOT: PAVEMENT RECONFIGURE AS NECESSARY, TO BE RESTRIPTED COMPLETELY.
0.81	EXISTING BUILDING TO BE DEMOLISHED.
0.82	EXISTING WALK TO REMAIN.
0.83	EXISTING WALK TO BE DEMOLISHED.
0.84	EXISTING ISLAND TO BE DEMOLISHED.
0.85	EXISTING CURB TO BE DEMOLISHED.
0.86	EXISTING LOT TO BE BE PAVED AND RESTRIPTED.
0.87	EXISTING LIGHT STANDARDS TO REMAIN.
0.88	EXISTING LIGHT STANDARDS TO BE RELOCATED, TYP.
0.89	EXISTING DRIVE TO REMAIN.
0.90	EXISTING TREES TO BE REMAIN.
0.91	EXISTING TREES AND LANDSCAPING TO REMAIN.
0.92	EXISTING TREES TO BE REMOVED, TYP.
0.93	EXISTING LANDSCAPING TO BE DEMOLISHED.
0.94	EXISTING POWER POLES TO REMAIN, TYP.
0.99	NEW CURB CUT FOR FIRE TRUCK ACCESS.

SITE DEMO PLAN LEGEND

---	ITEMS TO BE DEMOLISHED
---	EXISTING ITEMS TO REMAIN
---	EXISTING BLDG, DEMO BY OTHERS

TABULATIONS

Miller Children's Village Building Tabulations

Parcel No	720-701-0037	First Floor Square Footage	19,755 SF
Parcel size (Hospital Campus)	54 Acres	Second Floor Square Footage	20,046 SF
Project Area (as defined by property line and face of curb)	154,533 SF = 3.55 Acres	Third Floor Square Footage	20,081 SF
		Fourth Floor Square Footage	20,177 SF
		Total Building Square Footage	79,959 SF
		Maximum Building Square Footage	80,000 SF
Open Space	21,049.35 SF	(Open space/Project area)=	13.62% (refer to AS102)
Lot coverage	--	(First Floor Square Footage / Lot Size)=	0.134
Floor Area Ratio (FAR)	--	(Total Building Square Footage / Lot Size)=	0.542

Miller Children's Village Summary of Provided Parking

275	Stalls demolished on lot (refer to AS100)
108	Standard Stalls
80	Future EV Ready Stalls
37	Standard Accessible Stalls
8	Van Accessible Stalls
12	Clean Air/Van Pool/EV Stalls
18	Standard EVCS
1	Standard Accessible EVCS
1	Van Accessible EVCS
265	Total Stalls to be provided on lot/project area per above (refer to 1/AS101).
135	Parking shortfall per LLG (Traffic Engineer) report dated 8/15/2018.
400	Required Stalls per parking calculations (at right)

Miller Children's Village Required Parking

Building Use	Formula: Square footage x 5 / 1000 SF	Stalls	Ordinance	Additional notes
Outpatient	71,055 x 5/1000=	355	City of Long Beach Zoning, Chapter 21.41, table 41-1C	
Rehab Therapy	8,945 x 5/1000=	45	City of Long Beach Zoning, Chapter 21.41, table 41-1C	
Total Stalls Required		400 Stalls		All standard stalls, no compact, per Long Beach Zoning, Chapter 21.41, table 41-2
Accessible Stalls (by Building Use)	Formula: Percentage of total	Stalls	Ordinance	Additional notes
Outpatient	10% of 355 stalls=	36 Stalls	CBC 11B-208.2.1	
Rehab	20% of 45 stalls=	9 Stalls	CBC 11B-208.2.1	
Total Accessible Stalls Required		45 Stalls		
Accessible Van Stalls	1:6 ratio of Total Accessible required to be Van Accessible=	8 Stalls	CBC 11B-208.2.4	1 of these shall be an EVCS
		Van Accessible Stalls Required	8 Stalls	
		Standard Accessible Stalls Required	37 Stalls	
		Total Accessible Stalls Required	45 Stalls	

Miller Children's Village Required EV Parking

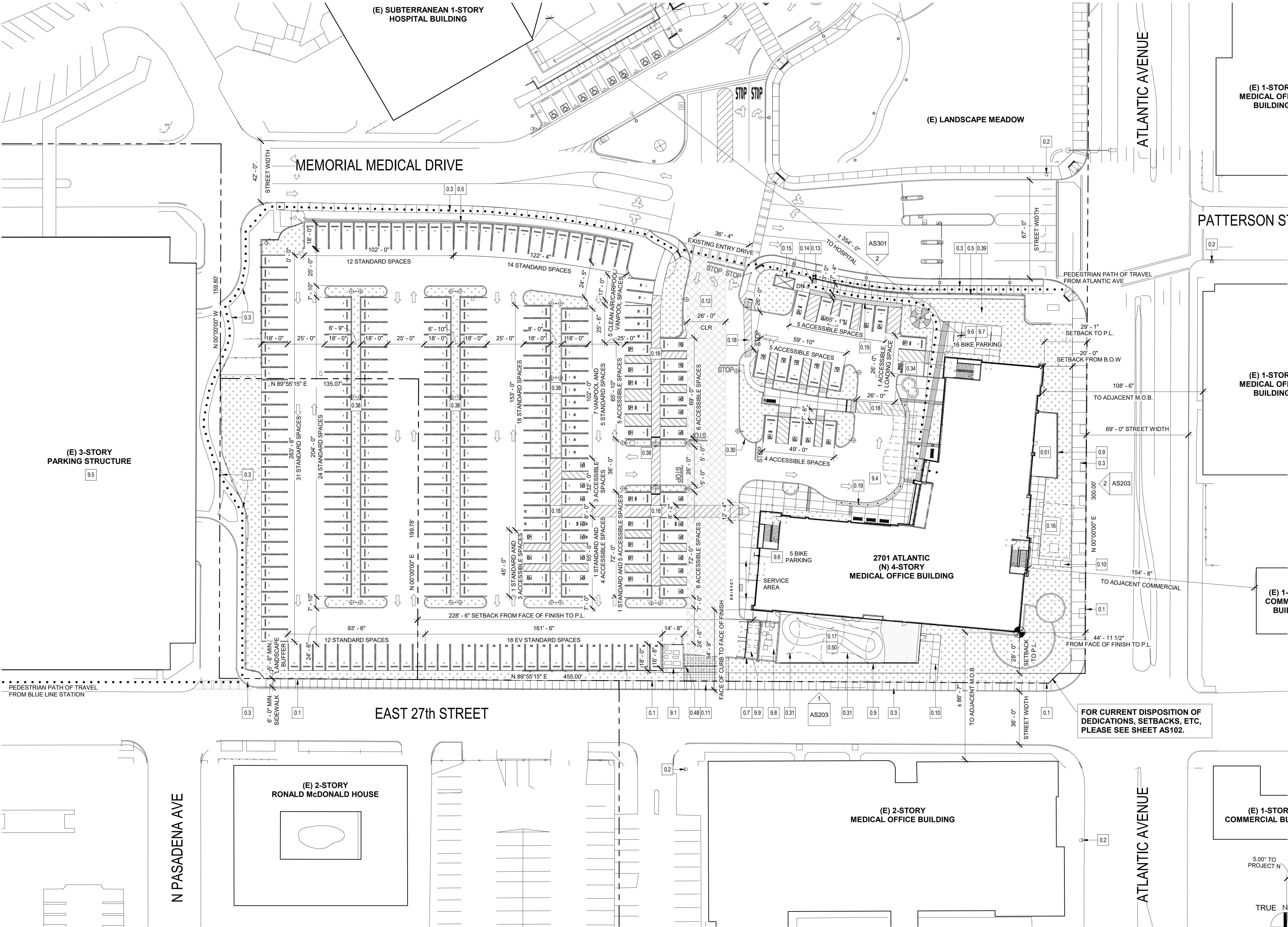
EV Stall Type	Formula: Percentage of total	Stalls	Ordinance	Additional notes
EV Stalls, Fully functional	5% of 400 stalls shall be EVCS=	20	LBMC 18.47.050	
EV Stalls, Infrastructure only	25% of 400 stalls shall be EV capable=	100	LBMC 18.47.050	(Broken down to 80 Future EV Ready Stalls + 20 Current, Fully Functional EV Stalls)
Clean Air/Van Pool	8% of required 400 spaces shall be designated as Clean Air/Van Pool/EV=	32	CalGreen 5.106.5.2	(Broken down to 18 Standard EVCS + 1 Standard Accessible EVCS + 1 Van Accessible EVCS + 12 Clean Air/Van Pool/EV)

Miller Children's Village Required Bike Parking

Short Term Parking	Formula: 5% of Total Parking	Stalls	Ordinance	Additional notes
	400 x 5%=	20	CAL GREEN 5.106.4	
Long Term Parking	Formula: 5% of Total Parking	Stalls	Ordinance	Additional notes
	400 x 5%=	20	CAL GREEN 5.106.4	

Miller Children's Village Provided Bike Parking

- 21 Total short term bike parking provided on project area (refer to 1/AS101)
20 Total long term bike parking provided in parking structure adjacent to project area (refer to 1/AS101)



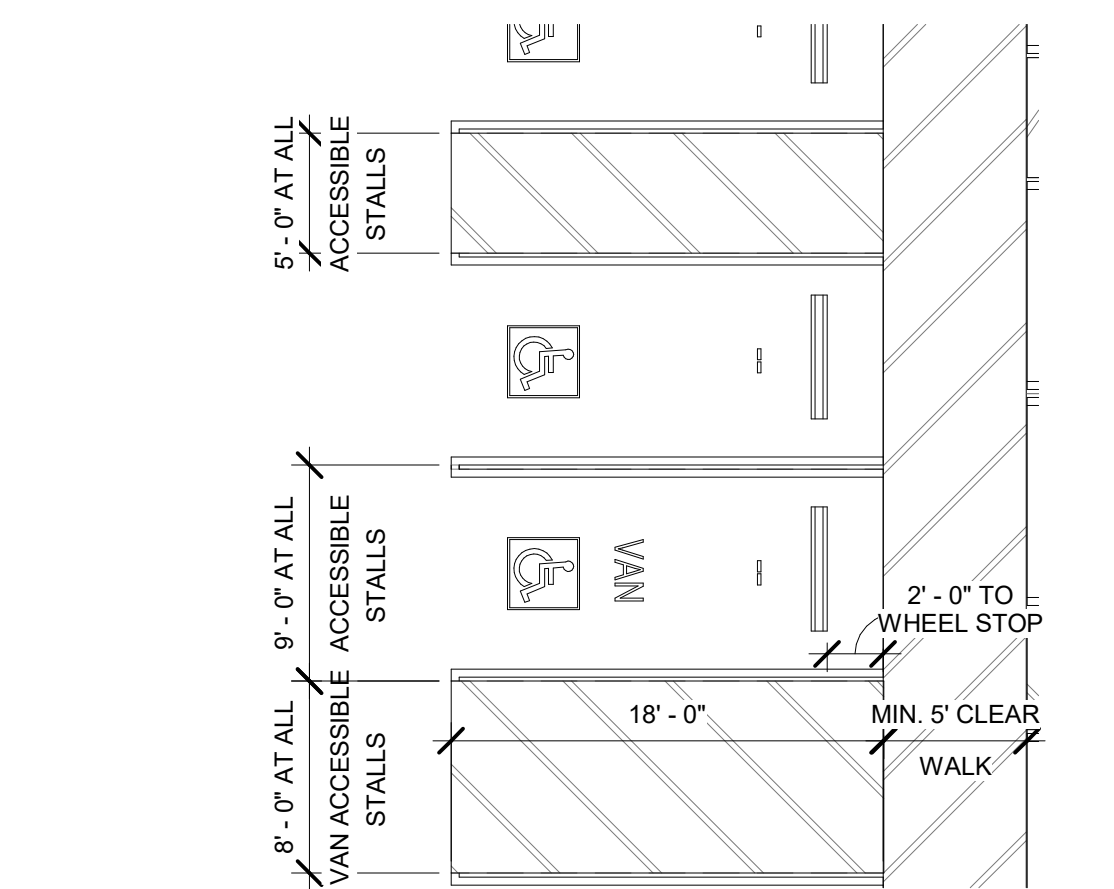
KEYNOTES

- 0.1 PROPERTY LINE.
0.2 EXISTING FIRE HYDRANT TO REMAIN.
0.3 EXISTING PUBLIC SIDEWALK TO REMAIN.
0.5 EXISTING CONCRETE RETAINING WALL TO REMAIN PROTECT IN PLACE.
0.7 CMU TRASH ENCLOSURE: 8'x8'x16' BURNISHED CMU, STACKED BOND, WITH COLORED GROUT. COMPLY WITH LBMC SECTION 21-45.167.
0.9 EXTERIOR GRADE RECYCLED COMPOSITE LUMBER FENCE AT EXTERIOR YARD.
0.10 CONCRETE PAVING.
0.11 NEW CURB CUT FOR FIRE TRUCK ACCESS.
0.12 FIRE LANE.
0.13 EXISTING INLET.
0.14 METAL GUARDRAIL EXTENSION, MATCH EXISTING ADJACENT RAIL.
0.15 EXISTING TICKET BOOTH PROTECT IN PLACE.
0.16 TRANSFORMER CONC. PAD.
0.17 MULTI-COLORED PAINTED CONCRETE PAVING AT REHAB THERAPY YARD.
0.18 CONCRETE WALKWAY 5% MAXIMUM SLOPE IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE TO BE MAINTAINED FOR ACCESSIBILITY.
0.19 TRUNCATED DOMES, ADA DETECTABLE WARNING SURFACE.
0.30 CONCRETE CURB, TYP.
0.31 SUN SHADE, STRUCTURAL BY OTHERS.
0.34 PHARMACY LOADING AREA.
0.36 RELOCATED LIGHT STANDARD, TYP.
0.39 LOCATION OF DRAINAGE SYSTEM (TORRENT DRYWELL OR EQUAL).
0.48 FIRE ACCESS KNOX BOX.
0.50 REHAB THERAPY YARD.
0.51 STAFF LOUNGE PATIO.

9.1 POTENTIAL ELECTRICAL YARD.
9.4 DROP OFF AREA.
9.5 LONG TERM BIKE PARKING STALLS PROVIDED IN LOCKED ENCLOSURE LOCATED IN PARKING STRUCTURE.
9.6 PERMANENTLY ANCHORED U SHAPE BIKE RACKS.
9.7 PERMANENTLY ANCHORED BIKE SHAPE BIKE RACK.
9.8 PUMP ROOM.
9.9 AREA FOR COLLECTION OF RECYCLABLES.

SITE PLAN LEGEND

	TURF/PLANTER AREA
	TRUNCATED DOMES, DETECTABLE WARNING SURFACE
	FENCE
	PROPOSED FIRE LANE
	HEAVY DUTY RATED SIDE WALK AND TURF BLOCK AT EGRESS
	PROPERTY LINE
	PARKING LOT POLE LIGHT
	PARKING LOT POLE LIGHT (SINGLE)
	ACCESSIBLE PARKING SIGN
	EV
	CA
	PATH OF PEDESTRIAN TRAVEL



PROPOSED SITE PLAN

SCALE: 1" = 30'-0"

1

TYP. ACCESSIBLE PARKING

CONSULTANT

MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2801 ATLANTIC AVE., LONG BEACH, CA 90806

MILLER CHILDREN'S VILLAGE
SITE PLAN REVIEW

REVISIONS

AGENCY NO.

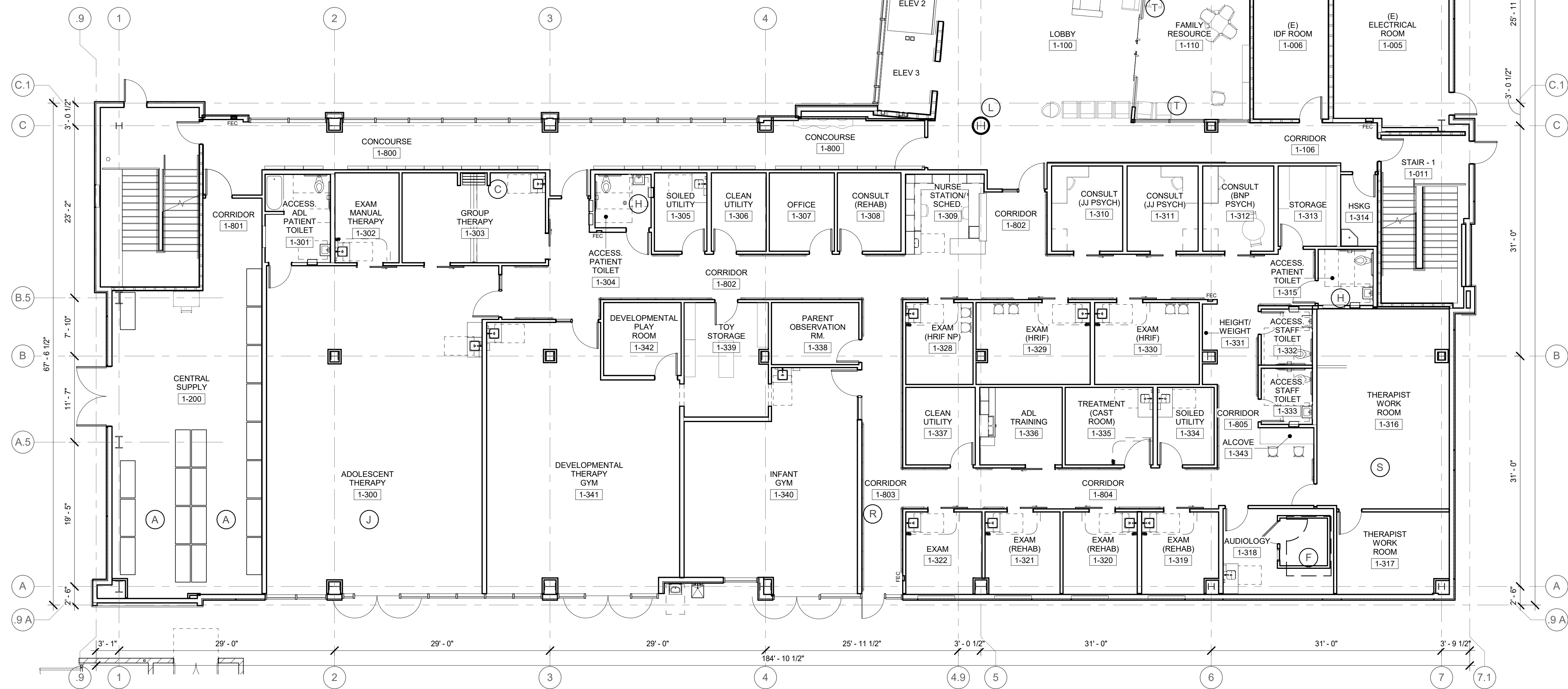
APPROVAL

STAMP

PROJECT NO. B1387.04
DRAWN PM
REVIEWED CK

PROPOSED SITE PLAN

AS101



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

1

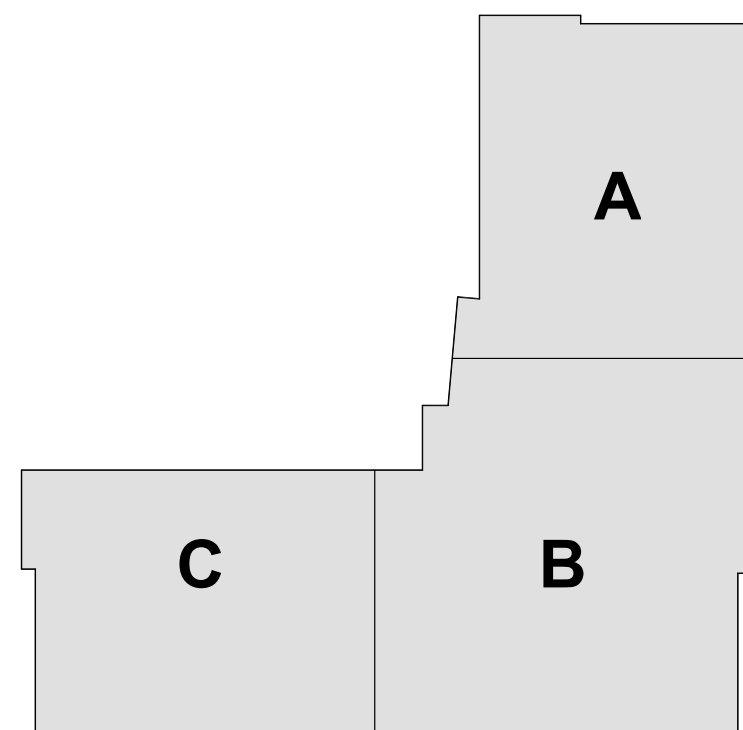
PLAN NOTES

- NOTE: NOT NOTES ALL ARE APPLICABLE TO THIS SHEET
- (A) STORAGE RACKS, TYP. IN CENTRAL SUPPLY
 - (B) ENTRY CANOPY, ABOVE
 - (C) OPERABLE PARTITION
 - (D) DONOR WALL
 - (E) LOCKERS
 - (F) AUDIOLOGY BOOTH
 - (G) HI-LOW DRINKING FOUNTAIN WITH WATER BOTTLE FILLER
 - (H) BABY CHANGING STATION
 - (I) CEILING OPEN TO STRUCTURE ABOVE, PAINT WHITE
 - (J) OVERHEAD COILING DOOR AT PHARMACY
 - (K) COLUMN COVER
 - (L) CEILING MOUNTED PROJECTOR
 - (M) MOTORIZED CEILING RECESSED PROJECTOR SCREEN
 - (N) REGISTRATION KIOSK
 - (O) CLERESTORY WINDOW
 - (P) SYSTEMS FURNITURE
 - (Q) FULL HEIGHT WINDOWS
 - (R) PAYPHONE
 - (S) LEAD SHIELDING
 - (T) TRANSPORTATION INFORMATION AREA TO BE LOCATED IN LOBBY

LEGEND AND SYMBOLS

SYMBOL	PARTITION	TYPE
	NON-RATED PARTITION	A
	1 HOUR FIRE BARRIER	C
	2 HOUR FIRE BARRIER	D

KEY PLAN



MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2801 ATLANTIC AVE., LONG BEACH, CA 90806
MILLER CHILDREN'S VILLAGE
SITE PLAN REVIEW

SPR INITIAL SUBMITTAL	2/14/2019

AGENCY NO.

APPROVAL

STAMP

PROJECT NO. B1387.04
DRAWN PM
REVIEWED CK

FIRST FLOOR PLAN

AS111

CONSULTANT

REVISIONS

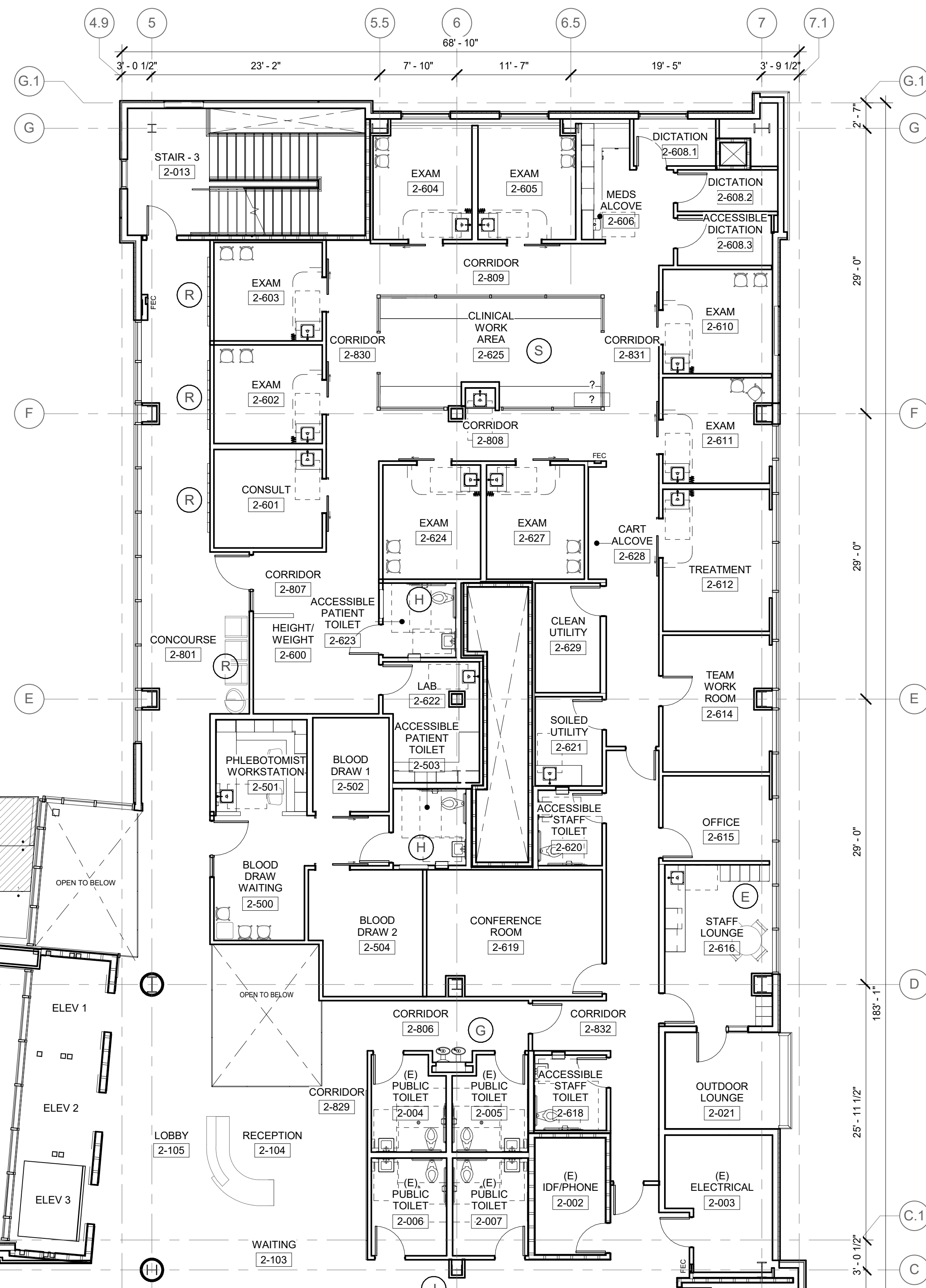
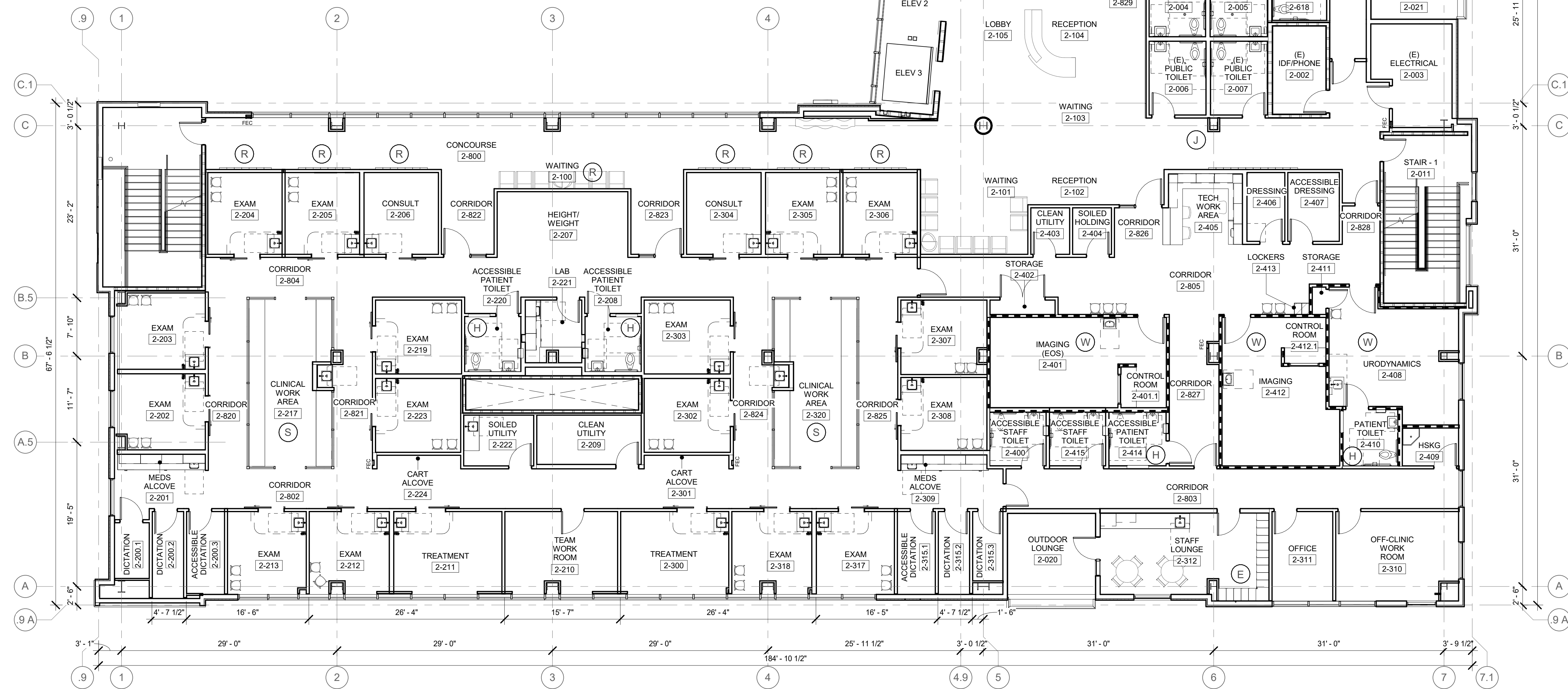
APPROVAL

STAMP

PROJECT NO. B1387.04
DRAWN PM
REVIEWED CK

FIRST FLOOR PLAN

AS111



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"




1

PLAN NOTES

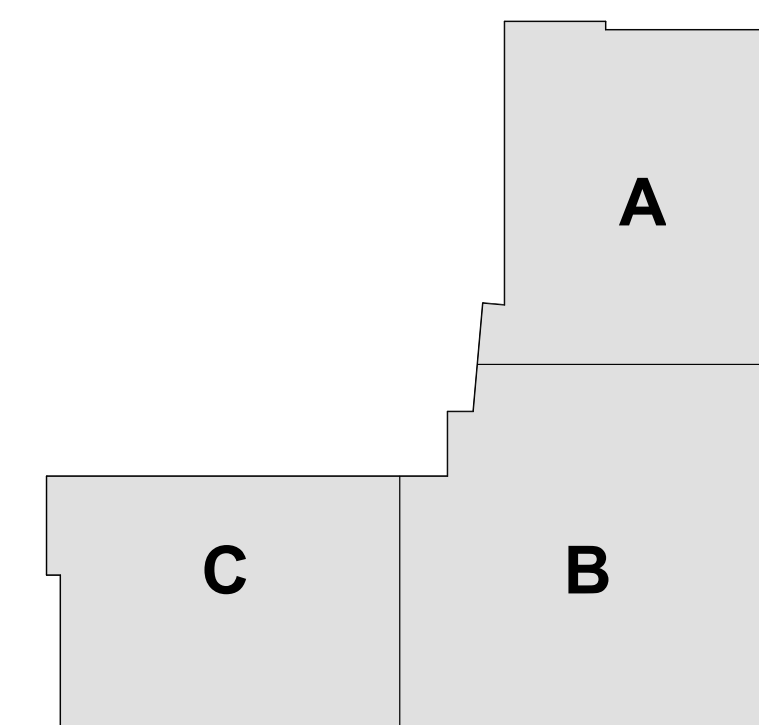
NOTE: NOT NOTES ALL ARE APPLICABLE TO THIS SHEET

- | | |
|---|--|
| A | STORAGE RACKS, TYP. IN CENTRAL SUPPLY |
| B | ENTRY CANOPY, ABOVE |
| C | OPERABLE PARTITION |
| D | DONOR WALL |
| E | LOCKERS |
| F | AUDIOLOGY BOOTH |
| G | HIGH-LOW DRINKING FOUNTAIN WITH WATER BOTTLE FILLER |
| H | BABY CHANGING STATION |
| J | CEILING OPEN TO STRUCTURE ABOVE, PAINT WHITE |
| K | OVERHEAD COILING DOOR AT PHARMACY |
| L | COLUMN COVER |
| M | CEILING MOUNTED PROJECTOR |
| N | MOTORIZED CEILING RECESSED PROJECTOR SCREEN |
| P | REGISTRATION KIOSK |
| R | CLERESTORY WINDOW |
| S | SYSTEMS FURNITURE |
| T | FULL HEIGHT WINDOWS |
| V | PAYPHONE |
| W | LEAD SHIELDING |
| Y | TRANSPORTATION INFORMATION AREA TO BE LOCATED IN LOBBY |

LEGEND AND SYMBOLS

SYMBOL	PARTITION	TYPE
	NON-RATED PARTITION	A
	1 HOUR FIRE BARRIER	C
	2 HOUR FIRE BARRIER	D

KEY PLAN



CONSULTANT

MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2801 ATLANTIC AVE, LONG BEACH CA 90806

MILLER CHILDREN'S VILLAGE SITE PLAN REVIEW

REVISIONS

AGENCY NO.

APPROVAL

STAMP

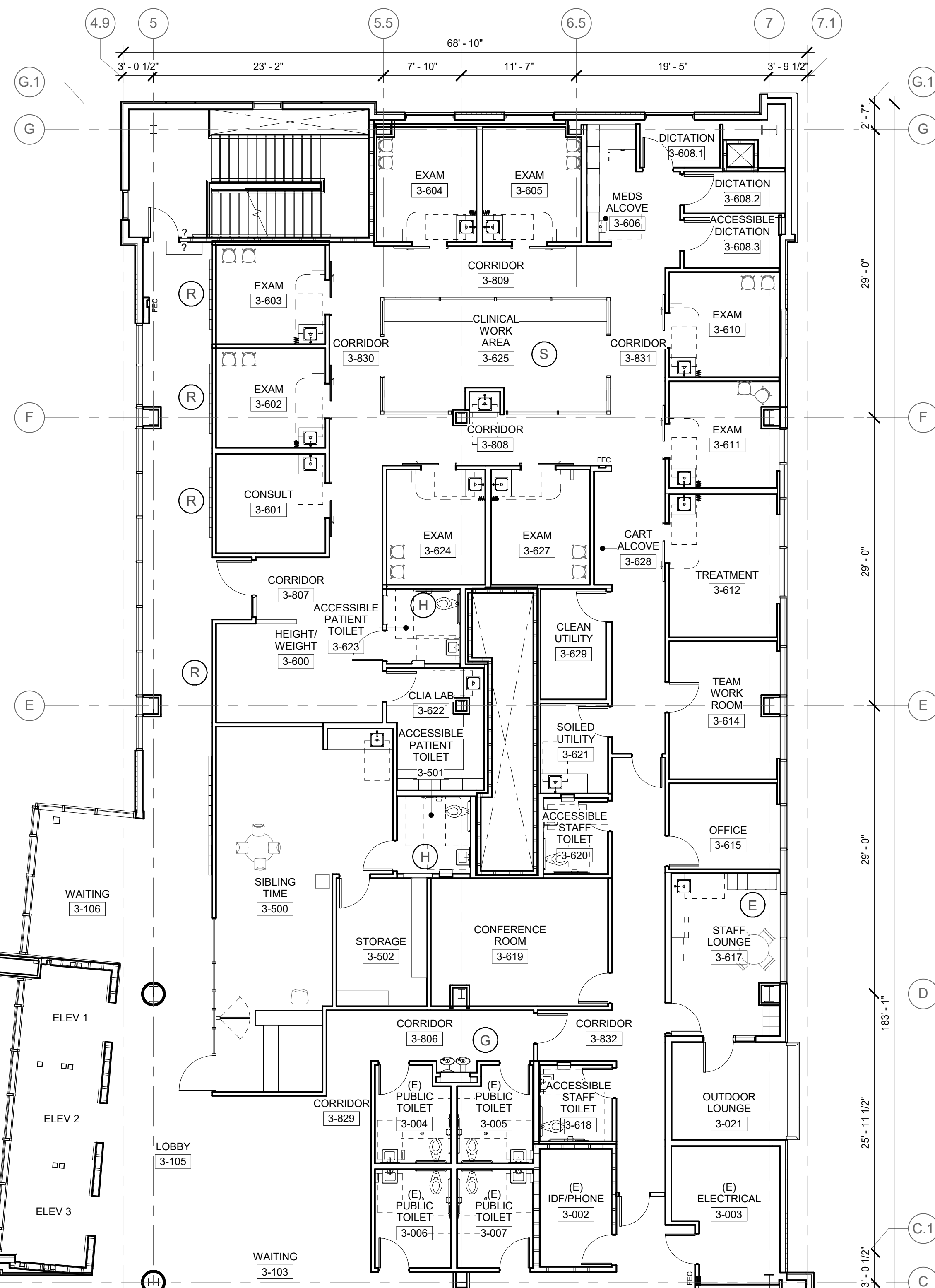
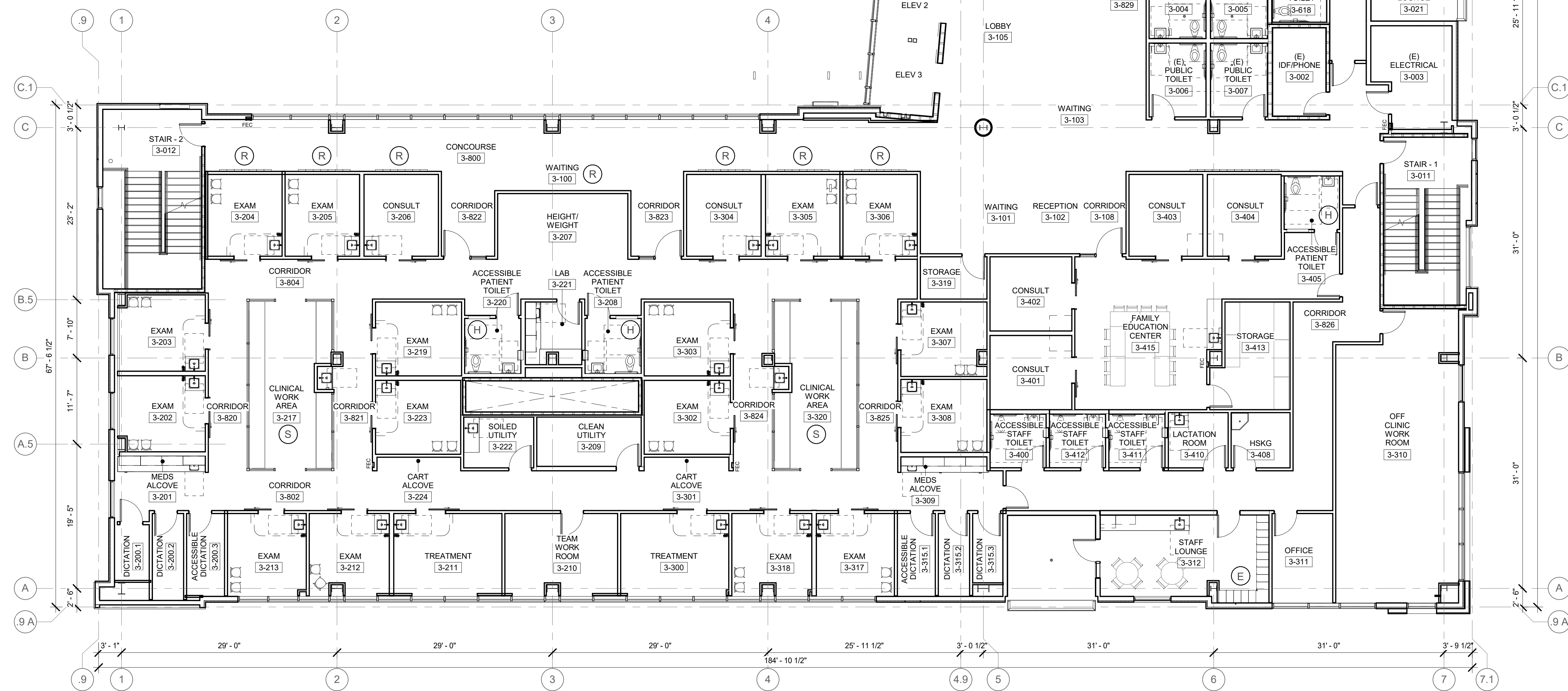
PROJECT NO.	B1387.04
DRAWN	PM
REVIEWED	CK

SECOND FLOOR PLAN

AS112

ca ARCHITECTS
DESIGNING HEALTHCARE

3633 LONG BEACH BLVD., SUITE 200
T 562.595.5666 | F 562.595.5577
LONG BEACH, CA 90807
WWW.C-BARCHITECTS.COM






PLAN NOTES

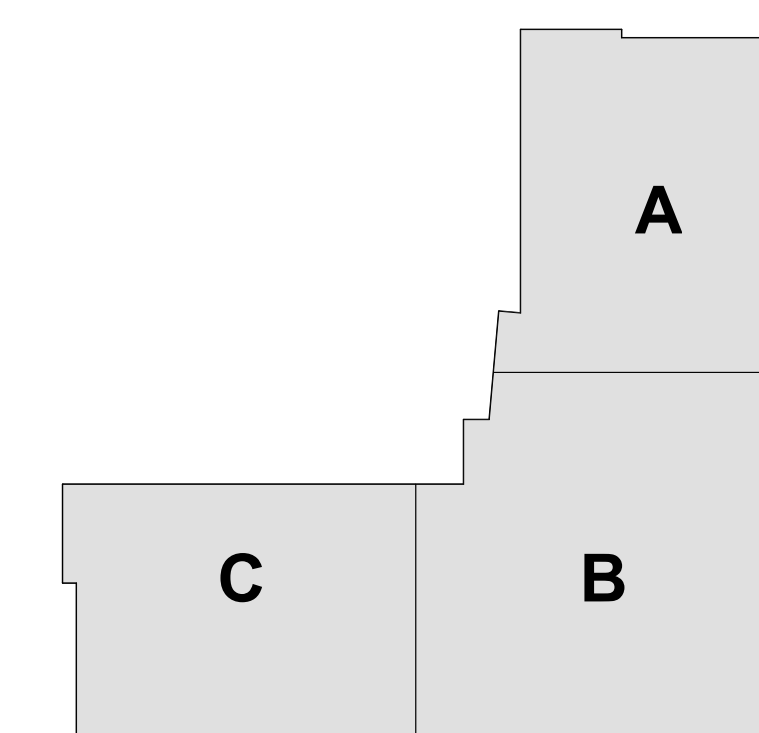
NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET

- | | |
|-----|--|
| (A) | STORAGE RACKS, TYP. IN CENTRAL SUPPLY |
| (B) | ENTRY CANOPY, ABOVE |
| (C) | OPERABLE PARTITION |
| (D) | DONOR WALL |
| (E) | LOCKERS |
| (F) | AUDIOLOGY BOOTH |
| (G) | HI-LOW DRINKING FOUNTAIN WITH WATER BOTTLE FILLER |
| (H) | BABY CHANGING STATION |
| (J) | CEILING OPEN TO STRUCTURE ABOVE. PAINT WHITE |
| (K) | OVERHEAD COILING DOOR AT PHARMACY |
| (L) | COLUMN COVER |
| (M) | CEILING MOUNTED PROJECTOR |
| (N) | MOTORIZED CEILING RECESSED PROJECTOR SCREEN |
| (P) | REGISTRATION KIOSK |
| (R) | CLERESTORY WINDOW |
| (S) | SYSTEMS FURNITURE |
| (T) | FULL HEIGHT WINDOWS |
| (V) | PAYPHONE |
| (W) | LEAD SHIELDING |
| (Y) | TRANSPORTATION INFORMATION AREA TO BE LOCATED IN LOBBY |

LEGEND AND SYMBOLS

SYMBOL	PARTITION	TYPE
	NON-RATED PARTITION	A
	1 HOUR FIRE BARRIER	C
	2 HOUR FIRE BARRIER	D

KEY PLAN



THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

CONSULTANT

**MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH**
2801 ATLANTIC AVE. LONG BEACH CA 90806

MILLER CHILDREN'S VILLAGE SITE PLAN REVIEW

ca ARCHITECTS
DESIGNING HEALTHCARE

3633 LONG BEACH BLVD., SUITE 200
T 562.595.5666 | F 562.595.5577
LONG BEACH, CA 90807
www.C-ARCHITECTS.com

REVISIONS

AGENCY NO. _____

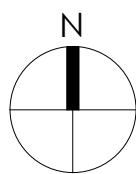
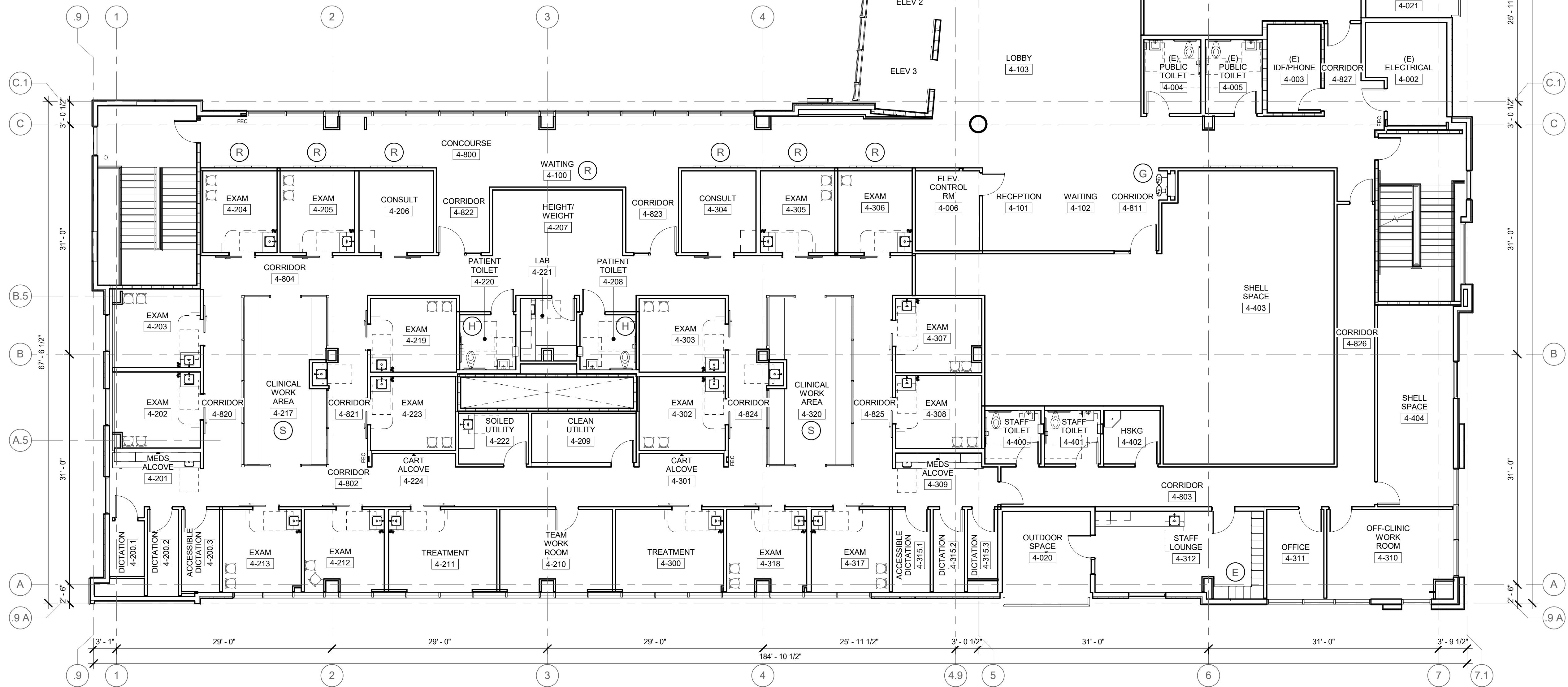
APPROVAL

STAMP

PROJECT NO.	B1387.04
DRAWN	PM
REVIEWED	CK

THIRD FLOOR PLAN

AS113



FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

1

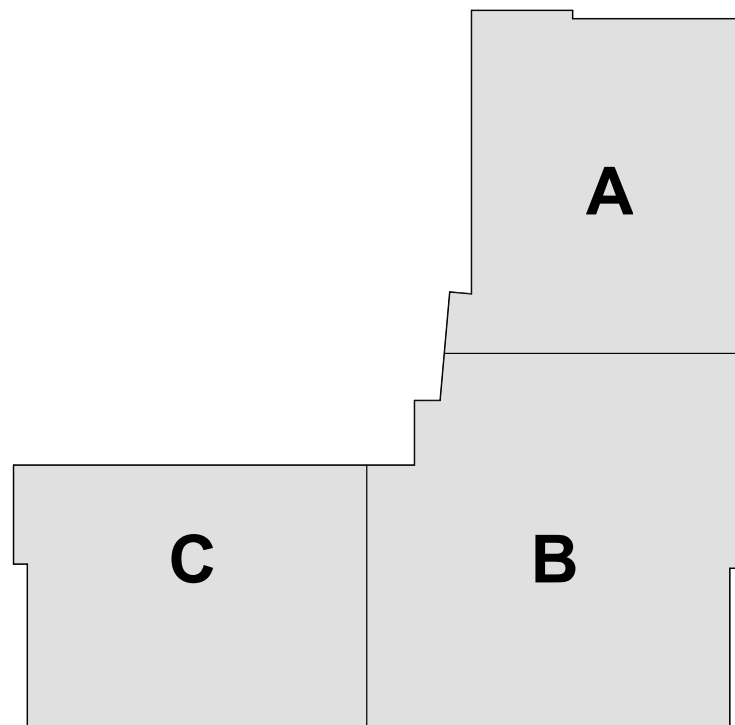
PLAN NOTES

- NOTE: NOT NOTES ALL ARE APPLICABLE TO THIS SHEET
- (A) STORAGE RACKS, TYP. IN CENTRAL SUPPLY
 - (B) ENTRY CANOPY, ABOVE
 - (C) OPERABLE PARTITION
 - (D) DONOR WALL
 - (E) LOCKERS
 - (F) AUDIOLOGY BOOTH
 - (G) HI-LOW DRINKING FOUNTAIN WITH WATER BOTTLE FILLER
 - (H) BABY CHANGING STATION
 - (I) CEILING OPEN TO STRUCTURE ABOVE, PAINT WHITE
 - (J) OVERHEAD COILING DOOR AT PHARMACY
 - (K) COLUMN COVER
 - (L) CEILING MOUNTED PROJECTOR
 - (M) MOTORIZED CEILING RECESSED PROJECTOR SCREEN
 - (N) REGISTRATION KIOSK
 - (O) CLERESTORY WINDOW
 - (P) SYSTEMS FURNITURE
 - (Q) FULL HEIGHT WINDOWS
 - (R) PAYPHONE
 - (S) LEAD SHIELDING
 - (T) TRANSPORTATION INFORMATION AREA TO BE LOCATED IN LOBBY

LEGEND AND SYMBOLS

SYMBOL	PARTITION	TYPE
	NON-RATED PARTITION	A
	1 HOUR FIRE BARRIER	C
	2 HOUR FIRE BARRIER	D

KEY PLAN



MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2801 ATLANTIC AVE., LONG BEACH, CA 90806
MILLER CHILDREN'S VILLAGE
SITE PLAN REVIEW

SPR INITIAL SUBMITTAL	2/14/2019

AGENCY NO.

APPROVAL

STAMP

PROJECT NO. B1387.04
DRAWN PM
REVIEWED CK

FOURTH FLOOR PLAN

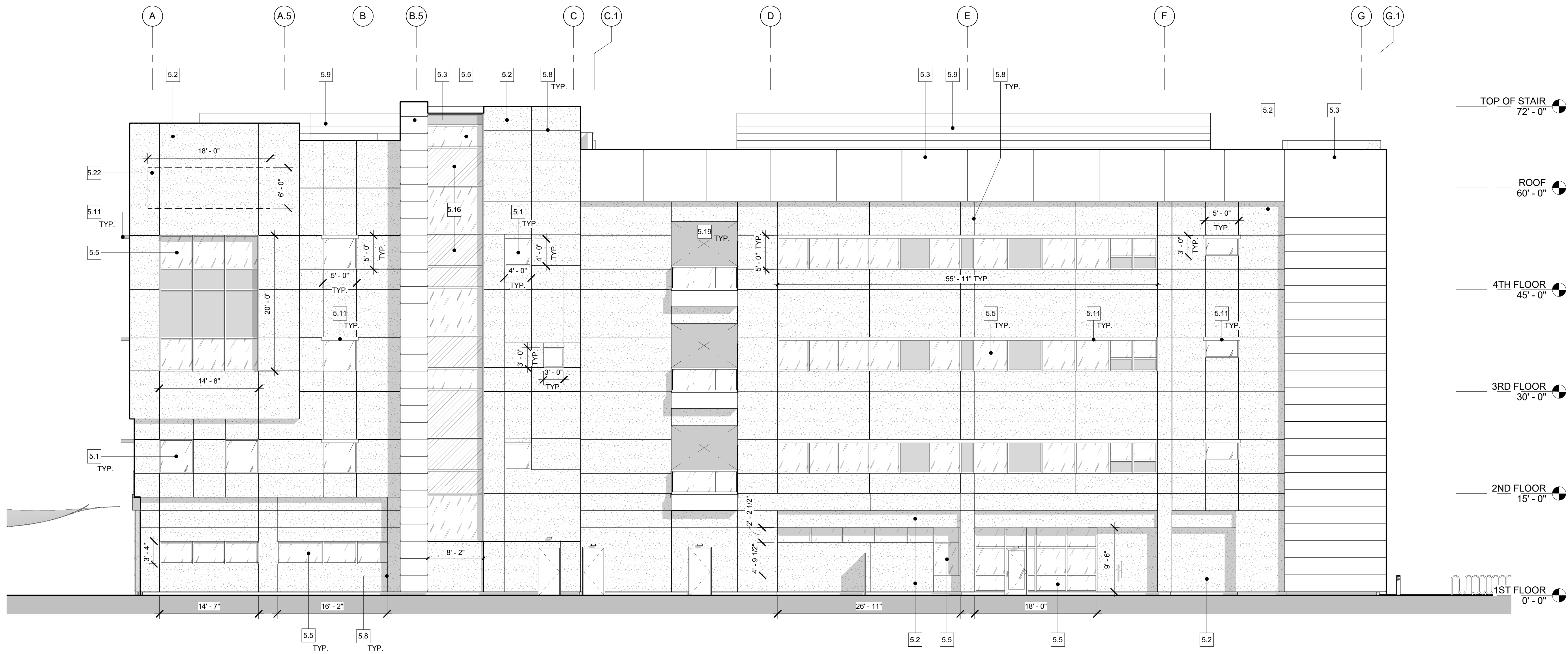
AS114



KEYNOTES

-
- The diagram shows a staircase with a vertical wall on the left and a horizontal ceiling at the top. A staircase with three steps descends from the ceiling towards the wall. Point 1 is located on the wall, and point 2 is located on the ceiling. Both points are marked with a circle containing the number and a diamond-shaped arrow pointing towards the staircase.

EXTERIOR ELEVATIONS



EAST ELEVATION 1/8" = 1'-0"

GENERAL NOTES

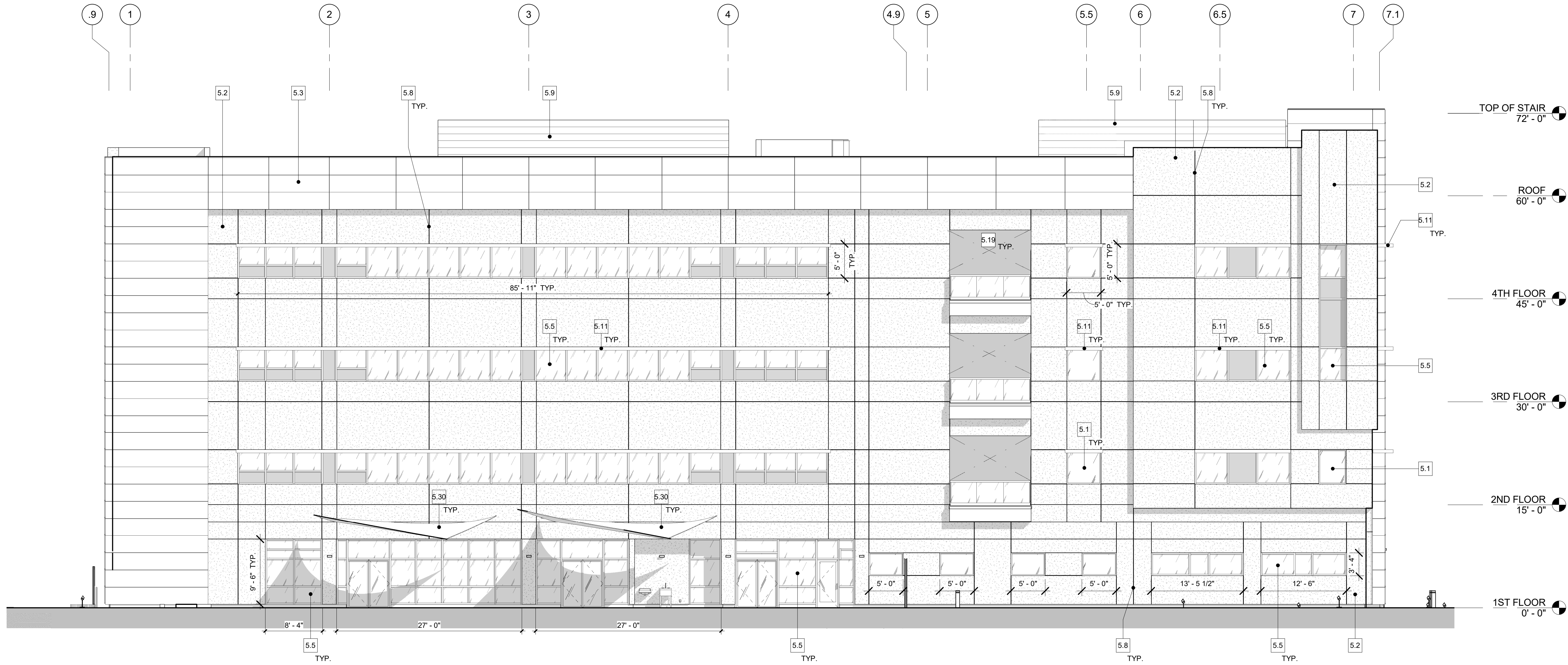
- ALL ROOFTOP MECHANICAL EQUIPMENT WILL BE SCREENED FROM PUBLIC VIEW COMPLIANT WITH LONG BEACH MUNICIPAL CODE 21.34.240

ca ARCHITECTS
DESIGNING HEALTHCARE
3633 LONG BEACH BLVD., SUITE 200
T 562.595.5666 F 562.595.5577
WWW.CA-ARCHITECTS.COM

CONSULTANT

MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2801 ATLANTIC AVE., LONG BEACH, CA 90806

MILLER CHILDREN'S VILLAGE
SITE PLAN REVIEW



SOUTH ELEVATION 1/8" = 1'-0"

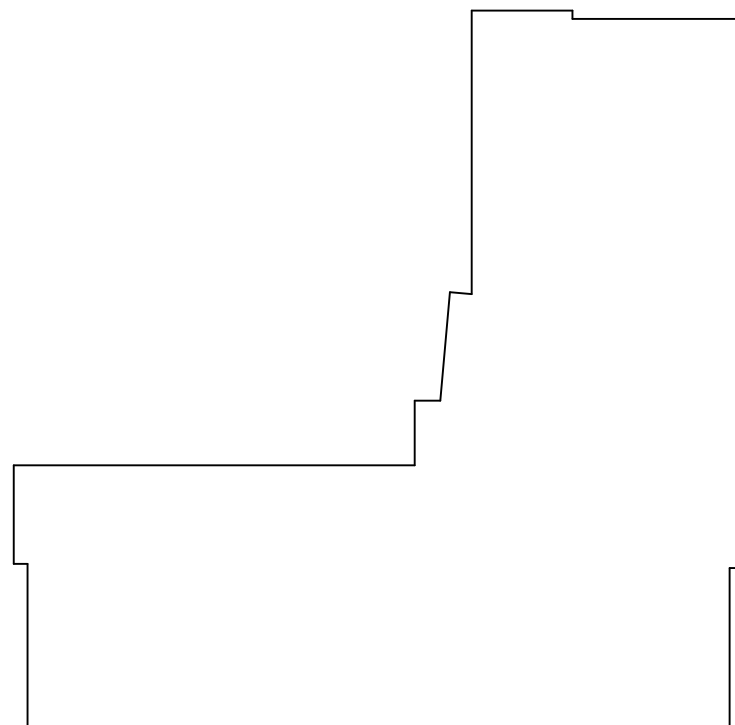
KEYNOTES

- 5.1 CLEAR ANODIZED ALUMINUM WINDOW SYSTEM.
- 5.2 PREFABRICATED INSULATED EXTERIOR WALL SYSTEM.
- 5.3 METAL WALL PANELS.
- 5.5 CLEAR ANODIZED STOREFRONT SYSTEM WITH VISION AND SPANDREL GLAZING.
- 5.8 CLEAR ANODIZED REVEALS/ CRACK CONTROL.
- 5.9 PERFORATED METAL ROOF SCREEN.
- 5.11 ALUMINUM SUN CONTROL LOUVERS ABOVE STOREFRONT WINDOW SYSTEM, WITH COLORED FASCIA.
- 5.16 COLORED LAMINATED GLASS PANELS IN CURTAINWALL SYSTEM, WHERE SHOWN.
- 5.19 OPEN BALCONY AREA.
- 5.22 AREA OF BUILDING IDENTIFICATION SIGNAGE, TO COMPLY WITH CITY OF LONG BEACH MUNICIPAL CODE 21.44.170.A.ILLUMINATED. SEE ELEC/DWGS SIGNAGE.
- 5.30 SUN SHADE, BY OTHERS.

LEGEND

- COLORED GLASS
- SPANDREL GLASS
- VISION GLASS
- METAL INFILL PANEL IN CURTAIN WALL SYSTEM
- PREFABRICATED INSULATED EXT. WALL

KEY PLAN



2

1

REVISIONS	SPR INITIAL SUBMITTAL	2/14/2019

AGENCY NO.

APPROVAL

STAMP

PROJECT NO. B1387.04
DRAWN PM
REVIEWED CK

EXTERIOR ELEVATIONS

AS202



A VIEW TOWARDS HOSPITAL TOWER



B VIEW TOWARDS HOSPITAL TOWER AND CHILDREN'S HOSPITAL



C VIEW TOWARDS CHILDREN'S HOSPITAL



D VIEW OF MEDICAL OFFICE ACROSS E. 27th ST.

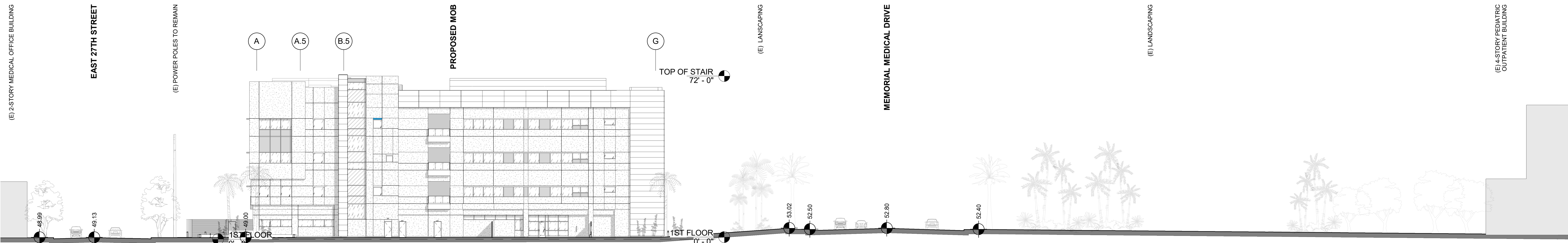


E VIEW OF EXISTING 1-STORY MEDICAL OFFICE TO BE DEMOLISHED



F VIEW OF EXISTING 1-STORY MEDICAL OFFICE TO BE DEMOLISHED

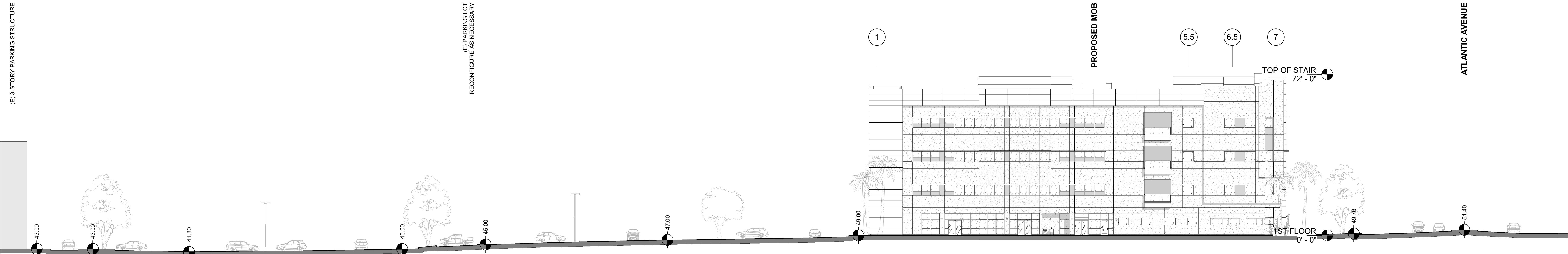
SITE PHOTOS



EAST SITE ELEVATION

1" = 20'-0"

2



SOUTH SITE ELEVATION

1" = 20'-0"

1

MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2801 ATLANTIC AVE., LONG BEACH, CA 90806
MILLER CHILDREN'S VILLAGE
SITE PLAN REVIEW

CONSULTANT

REVISIONS

AGENCY NO.

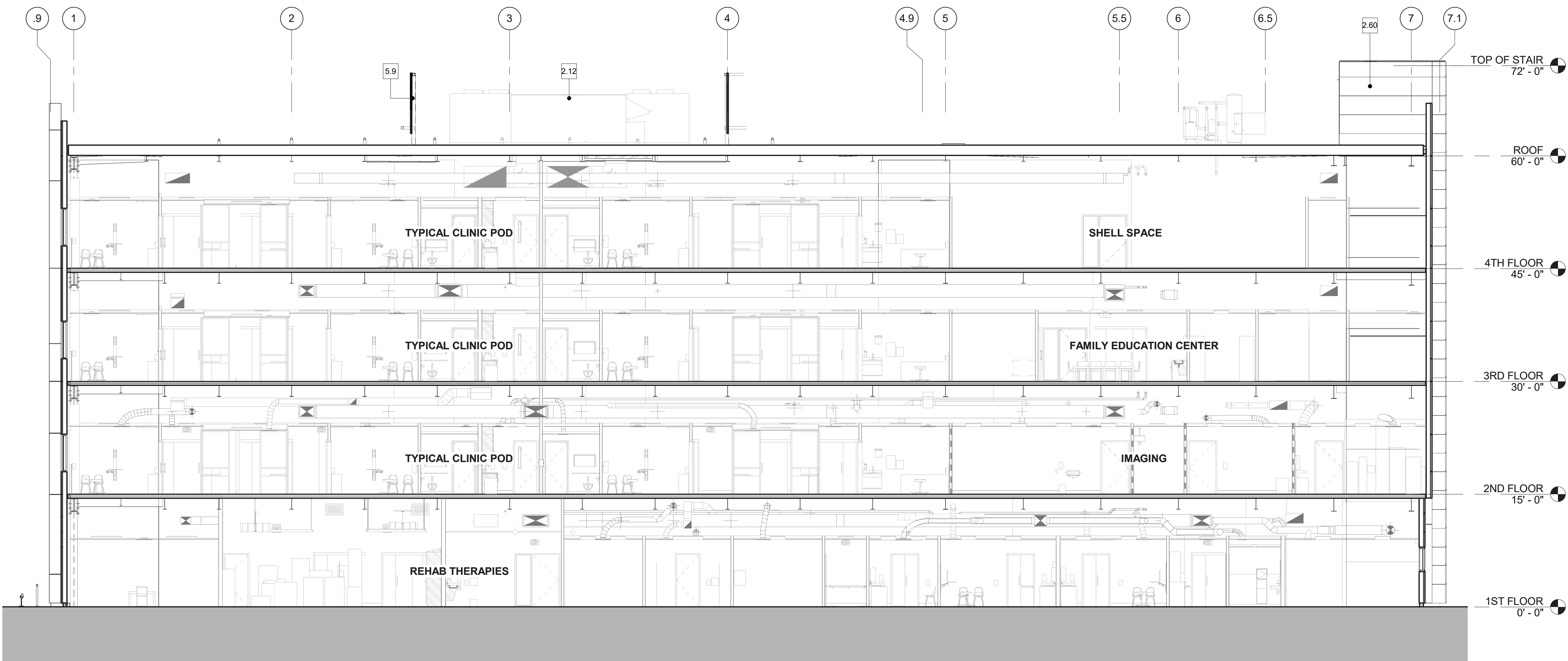
APPROVAL

STAMP

PROJECT NO. B1387.04
DRAWN PM
REVIEWED CK

SITE ELEVATIONS/PHOTOS

AS203



KEYNOTES

- 2.12 ROOFTOP AIR HANDLING UNITS.
- 2.60 STAIR-1; ACCESS TO ROOF.
- 5.9 CLEAR ANODIZED CURTAIN WALL SYSTEM, SLOPED AT 3" AWAY FROM BUILDING.
- 5.13 PERFORATED METAL ROOF SCREEN.
- ENTRY DROP OFF CANOPY.

ca ARCHITECTS
DESIGNING HEALTHCARE

3433 LONG BEACH BLVD., SUITE 200
T 562.595.5566 F 562.595.5577
LONG BEACH, CA 90807
www.ca-architects.com

CONSULTANT

MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2801 ATLANTIC AVE., LONG BEACH, CA 90806

MILLER CHILDREN'S VILLAGE
SITE PLAN REVIEW

REVISIONS	SPR INITIAL SUBMITTAL	2/14/2019

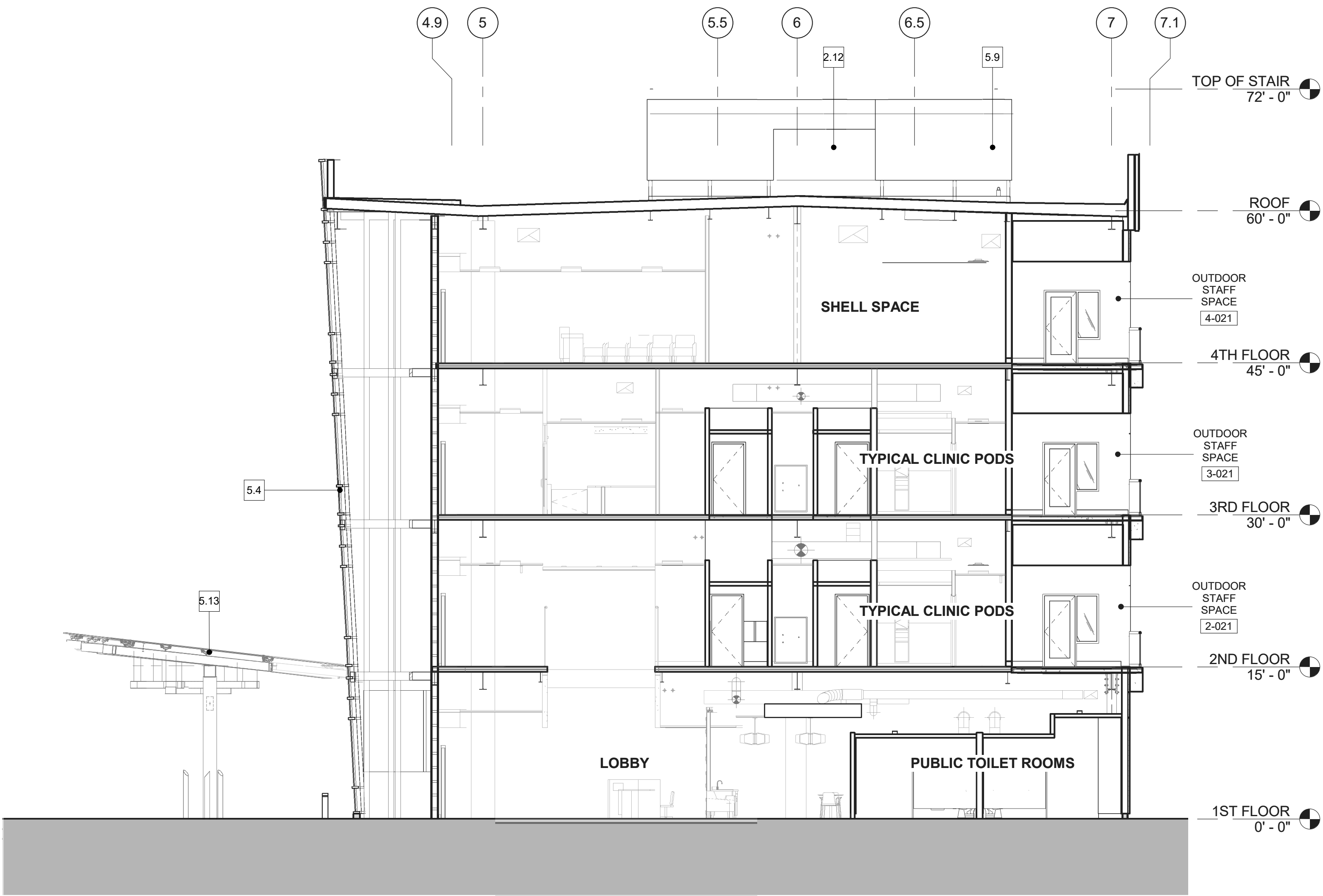
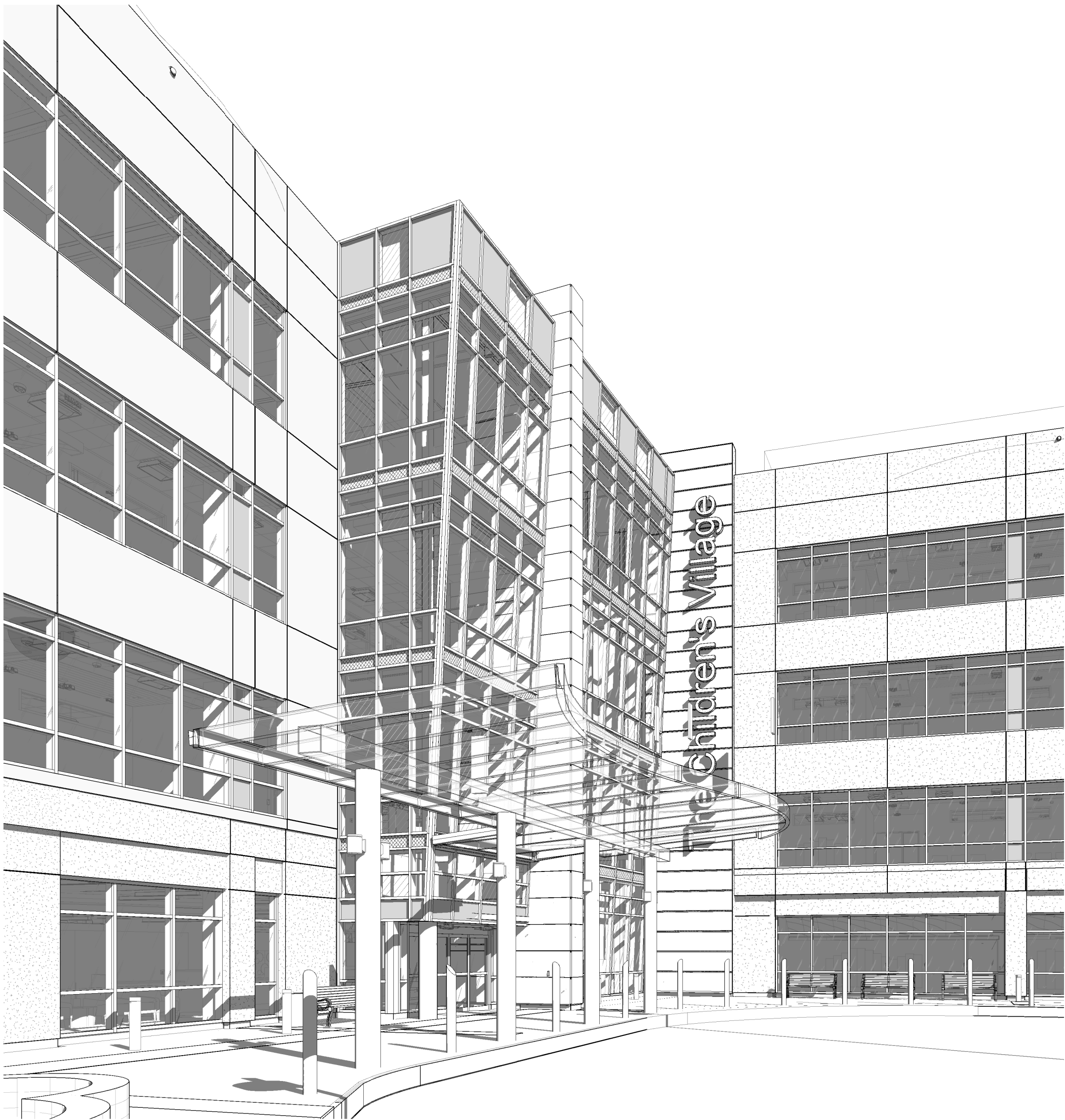
AGENCY NO.

APPROVAL

STAMP

PROJECT NO. B1387.04
DRAWN PM
REVIEWED CK

SECTIONS



ENTRY PERSPECTIVE FROM NORTH

2

NORTH WING BUILDING SECTION

1/8" = 1'-0"

1

LEGAL DESCRIPTION

FIDELITY NATIONAL TITLE COMPANY
ORDER NO.: 997-30013969-CT1
DATED: MAY 23, 2018
THE SUBJECT PROPERTY BEING A PORTION OF PARCEL 1 BELOW:
PARCEL 1:
A PARCEL OF LAND IN THE CITY OF LONG BEACH, COUNTY OF
BOUNDED WESTERLY BY LONG BEACH BOULEVARD AND PASADENA
COLUMBIA STREET, AND SOUTHERLY BY 27TH STREET AND LONG
BOULEVARD, TRACT 2, LOT 2086, RESUBDIVISION OF
PER MAP RECORDED RESPECTIVELY IN BOOK 11 PAGE 71, BOOK
OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER
OF SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED
APN: 7207-010-043

EASEMENTS

FIDELITY NATIONAL TITLE COMPANY; ORDER NO. 997-30013969-CT1 ; DATED: MAY 23,2018.

- (10) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION
PURPOSE: POLE LINES
RECORDING DATE: FEBRUARY 21, 1950
RECORDING NO: BOOK 32334, PAGE 377 OF OFFICIAL RECORDS
AFFECTS A PORTION OF THE LAND DESCRIBED HEREIN AND IS PLOTTED.

(24) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: CITY OF LONG BEACH
PURPOSE: PUBLIC STREET
RECORDING DATE: JANUARY 26, 1999
RECORDING NO: 99-0123498 OF OFFICIAL RECORDS
AFFECTS THE WEST 10.00 FEET OF EAST 20.00 FEET OF LOTS 1 THROUGH 13, INCLUSIVE OF TRACT 2086 AND IS PLOTTED.

27. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: DEPARTMENT OF CONSERVATION OF THE STATE OF CALIFORNIA
PURPOSE: EASEMENT FOR ACCESS TO THE PROPERTY AND TO THE WELL
RECORDING DATE: JULY 25, 2007
RECORDING NO: 2007-1759462 OF OFFICIAL RECORDS
AFFECTS: A PORTION OF THE LAND, AREA NOT DESCRIBED.

28. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: DEPARTMENT OF CONSERVATION OF THE STATE OF CALIFORNIA
PURPOSE: AN EASEMENT FOR ACCESS TO THE PROPERTY AND TO THE WELL
RECORDING DATE: JULY 25, 2007
RECORDING NO: 2007-1759463 OF OFFICIAL RECORDS
AFFECTS: A PORTION OF THE LAND, AREA NOT DESCRIBED.

29. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: DEPARTMENT OF CONSERVATION OF THE STATE OF CALIFORNIA
PURPOSE: AN EASEMENT FOR ACCESS TO THE PROPERTY AND TO THE WELL
RECORDING DATE: JULY 25, 2007
RECORDING NO: 2007-1759464 OF OFFICIAL RECORDS
AFFECTS: A PORTION OF THE LAND, AREA NOT DESCRIBED.

30. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: DEPARTMENT OF CONSERVATION OF THE STATE OF CALIFORNIA
PURPOSE: AN EASEMENT FOR ACCESS TO THE PROPERTY AND TO THE WELL
RECORDING DATE: JULY 25, 2007
RECORDING NO: 2007-1759465 OF OFFICIAL RECORDS
AFFECTS: A PORTION OF THE LAND, AREA NOT DESCRIBED.

32. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL AND NOT TO SEPARATE ANY PORTION THEREOF SEPARATELY
COVENANT IS EXPRESSED TO RUN WITH THE LAND AND BE BINDING UPON FUTURE OWNERS.
RECORDING DATE: NOVEMBER 14, 2011
RECORDING NO.: 20111535051 OF OFFICIAL RECORDS

BASIS OF BEARINGS

THE BEARING "NORTH" ON THE CENTERLINE OF ATLANTIC AVENUE AS SHOWN ON PARCEL MAP NO. 23831, PER BOOK 268 PAGE 46 AND 47 OF PARCEL MAPS, IN THE CITY OF SIGNAL HILL, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS.

BENCHMARK

CITY OF LONG BEACH BM#463

SW CORNER PASADENA AVE @ 27 TH ST.
BRASS CAP IN WELL 3.3' WEST OF CURB AND 14.2' SOUTH OF CURB

ELEVATION = 40.609' NGVD 29 MSL 1985

MISCELLANEOUS NOTES

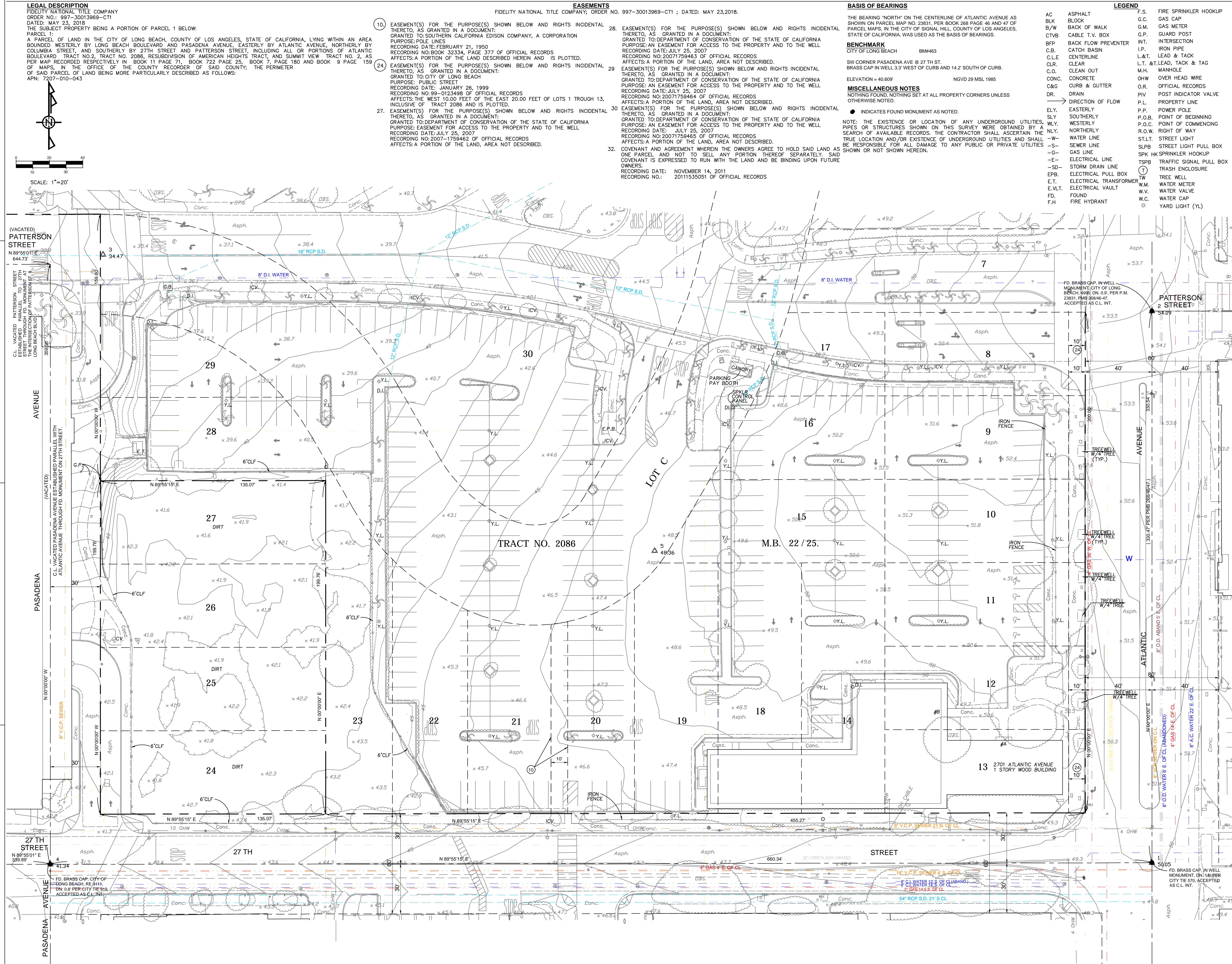
NOTHING FOUND, NOTHING SET AT ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED.

- INDICATES FOUND MONUMENT AS NOTED.

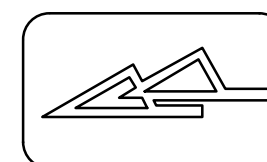
NOTE: THE EXISTENCE OR LOCATION OF ANY UNDERGROUND
PIPES OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED
FROM A SEARCH OF AVAILABLE RECORDS. THE CONTRACTOR SHALL ASSESS
THE TRUE LOCATION AND/OR EXISTENCE OF UNDERGROUND UTILITIES
AND BE RESPONSIBLE FOR ALL DAMAGE TO ANY PUBLIC OR PRIVATE PROPERTY
SHOWN OR NOT SHOWN HEREON.

LEGEND

AC	ASPHALT	F.S.	FIRE SPRINKLER HOOD
BLK	BLOCK	G.C.	GAS CAP
B/W	BACK OF WALK	G.M.	GAS METER
CTVB	CABLE T.V. BOX	G.P.	GARD POST
BFP	BATCH FLOW PREVENTER	INT.	INTERSECTION
C.B.	CATCH BASIN	I.P.	IRON PIPE
C.L.E	CENTERLINE	L.&T.	LEAD & TACK
CLR.	CLEAR	L.T. &T.	LEAD, TACK & TAG
C.O.	CLEAN OUT	M.H.	MANHOLE
CONC.	CONCRETE	OHW	OVER HEAD WIRE
C&G	CURB & GUTTER	O.R.	OFFICIAL RECORDS
DR.	DRAIN	PIV	POST INDICATOR VALVE
→	DIRECTION OF FLOW	P.L.	PROPERTY LINE
ELY.	EASTERLY	P.P.	POWER POLE
CS, A.	SOUTHERLY	P.O.B.	POINT OF BEGINNING
WLY.	WESTERLY	P.O.C.	POINT OF COMMENCING
NLY.	NORTHERLY	R.O.W.	RIGHT OF WAY
—W—	WATER LINE	ST.	STREET LIGHT
ES	SEWER LINE	STLT.	STREET LIGHT POLE BOX
—G—	GAS LINE	SPK HK	SPRINKLER HOOD
—E—	ELECTRICAL LINE	TSBP	TRAFFIC SIGNAL POLE BOX
—SD—	STORM DRAIN LINE	①	TRASH ENCLOSURE
EPB.	ELECTRICAL POLE BOX	TW	TRAIL WELL
E.T.	ELECTRICAL TRANSFORMER	W.M.	WATER METER
E.VLT.	ELECTRICAL VALVE	W.V.	WATER VALVE
FD.	FOUND	W.C.	WATER CAP
F.H	FIRE HYDRANT	✱	YARD LIGHT (YL)



CONSULTANT



**PFLEGER & ASSOCIATES
ENGINEERS, INC.**
CIVIL ENGINEERING
SURVEYING
CONSULTING

22609 LA PALMA AVENUE, SUITE 202
YORBA LINDA, CA 92889
PHONE (909) 993-5800

MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2801 ATLANTIC AVE, LONG BEACH CA 90806

MILLER CHILDREN'S VILLAGE SITE PLAN REVIEW

[illegible]

AGENCY NO. _____

APPROVAL

STAMP

PROJECT NO.	2018-026A
DRAWN	JE
REVIEWED	GNH/DM

REFERENCE
BOUNDARY
ESTABLISHMENT
PLAN

C001



TREES-R

SCALE: 1" = 20'

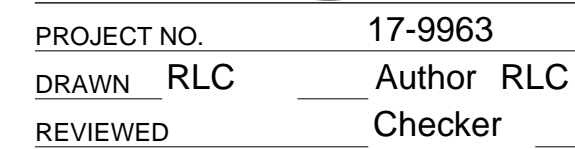
1

2801 ATLANTIC AVE, LONG BEACH CA 90806

SITE PLAN REVIEW

AGENCY NO.

STAMP



TREE SURVEY

TS001

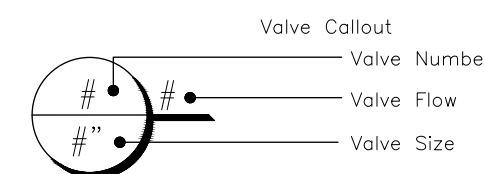
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
■ ■ ■ ■ ■ 1401 1402 1403 1404	Rain Bird RWS-B-C 1401 Root Watering System with 4.0" diameter x 36.0" long with locking grate, semi-rigid mesh tube, and check valve. Rain Bird bubbler option as indicated: 1401 0.25 gpm, 1402 0.5 gpm, 1404 1.0 gpm, 1408 2.0 gpm.	202	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
■	Rain Bird XCZ-150-PRB-COM High Flow Control Zone Kit, for Large Commercial Drip Zones. 1-1/2" PESB Valve with two 1" Pressure Regulating (40psi) Quick-Check Basket Filters. Flow range: 15-40gpm.
✕	Rain Bird XCZPGA-100-PRF Medium Flow, 3-15gpm, with 1" PGA valve and 1" Pressure Regulating RBY filter and 40psi pressure regulator. It is 2 wire compatible residential control zone kit.
F	Rain Bird MDCFAP Dripline Flush Valve cap in compression fitting coupler.
A	Netafim 65ARIA075 3/4" Male Pipe Thread Guardian Air/Vacuum Relief Vent. Install in Subsurface systems. On sloping terrain to prevent collapsing of pipes. UV Resistant. Maximum Pressure: 150 psi.
▨	Area to Receive Dripline Rain Bird XFS-CV-06-12 XFS-CV On-Surface Landscape Dripline with a Heavy-Duty 4.3 psi Check Valve. 0.6 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Specify XF insert fittings. Available Only in California

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
■	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.
■	Rain Bird 33-DRC 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, Double Track Key Lug, and 2-Piece Body.
✕	Nibco T-580-S6-R-66-LL Stainless steel ball valve shut off valve
V	Buckner-Superior 3000 2" Normally Closed Brass Master Valve that Provides Dirty Water Protection and 3-Way Solenoid Design. Available in 1", 1-1/4", 1-1/2", 2", 2-1/2" and 3" sizes.
BP	Existing RBPB 2" Reduced Pressure Backflow Preventer. Test by certified backflow specialist.
A	Existing Rain Master Controller Existing Irrigation Controller with Rain Shut off
FS	Rain Bird FS-150-B 1-1/2" Flow Sensor for use with Rain Bird Maxicom, SiteControl, and ESP-LXD Central Control Systems. Brass Model. Suggested Operating Range of 2.0 GPM to 82.6 GPM. Sensors should be sized for flow rather than pipe size.
SM	Netafim Octave/Ultrasonic Water Meter Ultrasonic Water Meter 2"
POC	Point of Connection 2" Existing Water service

— Irrigation Lateral Line: PVC Schedule 40
— Irrigation Mainline: PVC Schedule 40
— Pipe Sleeve: PVC Class 200
Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 16 inches beyond edges of paving or construction.



IRRIGATION NOTES

VERIFICATION:

The system is based on a static 80 p.s.i. and 25 g.p.m. available at the discharge outlet of the meter or other point of connection. The contractor shall verify the same at the award of the contract. The contractor shall notify the Landscape Architect immediately if the data is significantly different and would adversely affect the operation of the system. Such notice shall be in writing and shall occur within 5 days of contract award for projects anticipated to take two weeks or longer or 72 hours prior to commencement.

SCHEMATIC:

The system features are shown schematically for graphic clarity: install all piping and valves in common trenches (the minimum cover noted in the legend is required for the upper most line) where feasible and inside planting areas. Valves and main lines shall be located in planter areas.

CODES:

The irrigation system and all other mechanical, electrical, and structural systems shall be installed in accordance with all federal, state, and local codes and manufacture specifications recommendations and requirements. Notify the Landscape Architect immediately in writing prior to signing a contract with the owner of any conflicts. Conflicts noted after signing or after the commencement of work shall be the sole responsibility of the contractor.

HEAD ALLOWANCE:

The contractor is required to provide the owner with a complete project. He/she shall install any additional heads, nozzle changes, valves, irrigation lines, wire, etc. as necessary to accommodate any necessary field changes. The contractor shall make all needed changes as directed by the Landscape Architect and provide the owner with a complete project at no additional cost to the owner.

CHECK VALVES:

Install check valves at the base of any heads that display low end drainage. These shall be included in the contractors price and shall be added as directed by the Landscape Architect and provide the owner with a complete project at no additional cost to the owner.

SLEEVING:

The contractor shall be responsible for providing adequately sized sleeving for all irrigation pipes, landscape lighting and other components. The drawings are intended to be used as a guide only. Sleeves shall be clearly marked during construction and shall occur under all paved areas and shall extend 1" minimum beyond all paving. Sleeves must be 2x the diameter of pipe running through it.

GUARANTEE:

The contractor shall guarantee the irrigation system and all its components for the period of one year after final acceptance by the Landscape Architect. The contractor shall be responsible for all materials and labor associated with the guarantee, including but not limited to the loss of plant material or damage to structures due to the failure of the irrigation system.

ELECTRICAL SERVICE:

All exposed 110V wires shall be placed in rigid metal conduit and hard wired directly to 110V service. All exposed low voltage wire for irrigation and lighting shall also be placed in rigid metal conduit.

PLANT ESTABLISHMENT WITH DRIP IRRIGATION:

All planting areas including pots irrigated with drip irrigation or low volume irrigation components shall be hand watered by the installer until the plant materials root zones have established enough to effectively access the irrigation water from the drip systems.

MAINLINE SIZING:

Mainline shall be sized as follows, based on maximum GPM demand:

- 0-10 GPM: 1" Schedule 40 PVC Pipe
- 10-18 GPM: 1-1/4" Schedule 40 PVC Pipe
- 18-26 GPM: 1-1/2" Schedule 40 PVC Pipe
- 26-40 GPM: 2" Class 315 PVC Pipe
- 40-60 GPM: 2-1/2" Class 315 PVC Pipe
- 60-95 GPM: 3" Class 315 PVC Pipe

PROJECT APPLICANT:

CUMMINGS CURLEY & ASSOCIATES INC.
3633 LONG BEACH BLVD. # 300
LONG BEACH, CA 90807
562-424-8182
robert@cummingscurley.com
ROBERT CURLEY

TOTAL LANDSCAPE AREA:

25,641 SF

PROJECT TYPE:

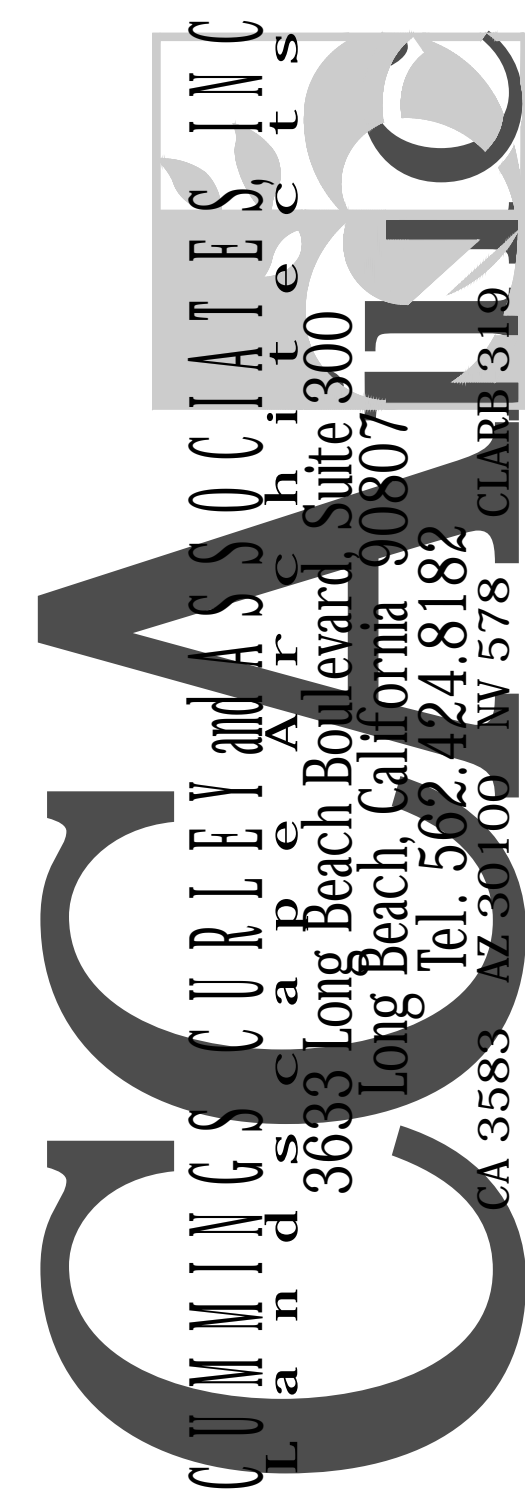
PRIVATE

WATER SUPPLY:

POTABLE, CITY OF LONG BEACH WATER DEPARTMENT

I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the irrigation design plan

Robert Curley
Robert Curley, RLA 3583

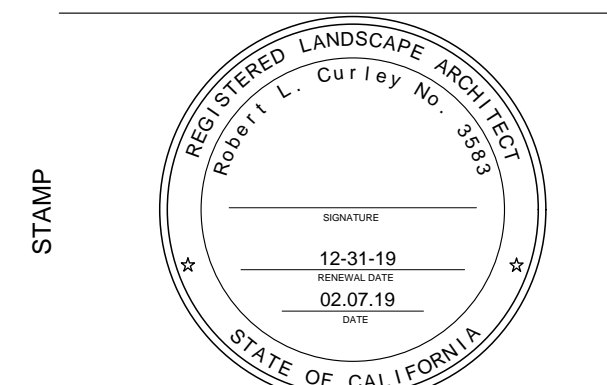


MEMORIAL CARE MILLER CHILDREN'S & WOMEN'S HOSPITAL LONG BEACH 2801 ATLANTIC AVE, LONG BEACH CA 90806 MILLER CHILDREN'S VILLAGE SITE PLAN REVIEW

REVISIONS		

AGENCY NO.

APPROVAL



PROJECT NO. 17-9963
DRAWN RLC Author RLC
REVIEWED Checker

IRRIGATION PLAN

IRRIGATION PLAN

SCALE: 1" = 20'

1

LI200

GENERAL PLANTING NOTES

1. Installer shall be responsible for making himself familiar with all underground utilities, pipes and structures. Installer shall take sole responsibility for any cost incurred due to damage of said utilities.
2. Installer shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design.
3. Installer shall have soils tested by a qualified agronomy laboratory. Materials and mixing of soil amendments, fertilizers, and back fill for planting pits shall be in accordance with recommendations of the soils agronomy report.
4. All plant material shall be approved by the Landscape Architect, Owner or Owner's representative prior to installation.
5. Final location of all plant material shall be subject to the approval of the Construction Manager.
6. See details for staking method and plant pit dimensions.
7. If conflicts arise between size of areas and plans, Installer to contact Construction Manager for resolution. Failure to make such conflicts known to the Construction Manager will result in Installer's liability to relocate the materials.
8. All ground covers to be held back 4" from edge of new shrubs typical and 2" from back of curbs or edge of walks at time of planting.
9. Ground covers shall be triangularly spaced per detail.
10. Trees shall be located minimum 4' from walls, overhead, walks, headers and other trees within the project, unless otherwise shown.
11. Place Deep Root Barrier at new trees that are within 5' of Curbs or paving unless noted otherwise on the plans. Deep Root model UB 24-2 see installation detail.
12. Separate all ground cover and shrub areas from lawn areas with headers as per the installation details.
13. All slopes greater than 3:1 in shrub areas shall be covered jute mesh to prevent soil erosion during plant establishment
14. Remove stakes and trellis from vines and espaliers and secure to walls, fences and posts as per detail
15. In all cases "Root Bound" plant material will not be accepted.
16. No trees are to be planted within or above site storm drain pipes, swales or retention basins.
17. All planting areas including pots irrigated with drip irrigation or low volume irrigation components shall be hand watered by the installer until the plant materials root zones have established enough to effectively access the irrigation water from the drip systems.
18. Planting areas (except lawn and hydroseed areas as well as areas of Decomposed Granite) to be top dressed with 4" (inch) min. layer of mulch Agromin ES-2 or equal. Agromin (800)247-6646
19. All Washingtonia Palms shall be skinned to the green fronds above and shall be as per the brown trunk height (BT) as indicated on the planting plan and legend.
20. All Phoenix Palms shall be "Pineapple Cut" skinned and shall be as per the brown trunk height (BT) as indicated on the planting plan and legend and matched to be of equal height in each area of use.
21. Brown Trunk Height "BT" shall mean as measured from the ground line to the base of the heart leaf.
22. All Palms must be certified by a licensed Arborist for "Verticillium Wilt" and "Black Diamond" disease. Written documentation must be provided prior to planting.

Soil Tests for Soil Management

1. The Contractor shall be responsible for obtaining soils testing and soil amendment recommendations. Soils testing shall be completed and test results and amendment recommendations submitted to the Owner's Representative a minimum of fifteen (15) days before commencement of any planting.
2. The testing laboratory shall be Waypoint Analytical, 474 East Hunter Avenue, Suite A, Anaheim, California 92807. Phone 714.282.8777, or approved equal as approved by the Owner's Representative.
3. The testing laboratory for soils analysis shall use the following criteria for soil testing: USDA Agricultural Suitability Test per Handbook 60, to include Boron presence and content; and University of California Soil Fertility Test.
4. Interpretations, fertilization and soil amendment recommendations, and comments regarding these tests are required.
5. Soils test sites shall occur not more than 250 feet on center in the planting areas, unless otherwise noted on plans.
6. Samples of all import soil from each source shall also be submitted to the soils testing laboratory for analysis. Interpretation and recommendations prior to placement, blending or back-filling.

PERCOLATION TEST

The landscape installer shall dig (as test areas) four (4) plant pits of 24" box size, or larger, at four (4) locations minimum within the job site. Pits are to be filled with water. The results of this test shall be reported to the Landscape Architect and owner 48 hours after initiating. Test pits shall be in actual location of trees as shown on the plan. Failure to carry out this test shall make the landscape installer liable for any and all trees that die due to poor water percolation beyond the agreed guarantee period.

OPTION 1

Should the water drain out of the test pits at a normal rate indicating good percolation then tree detail "A" and shrub planting detail "A" shall be utilized.

OPTION 2

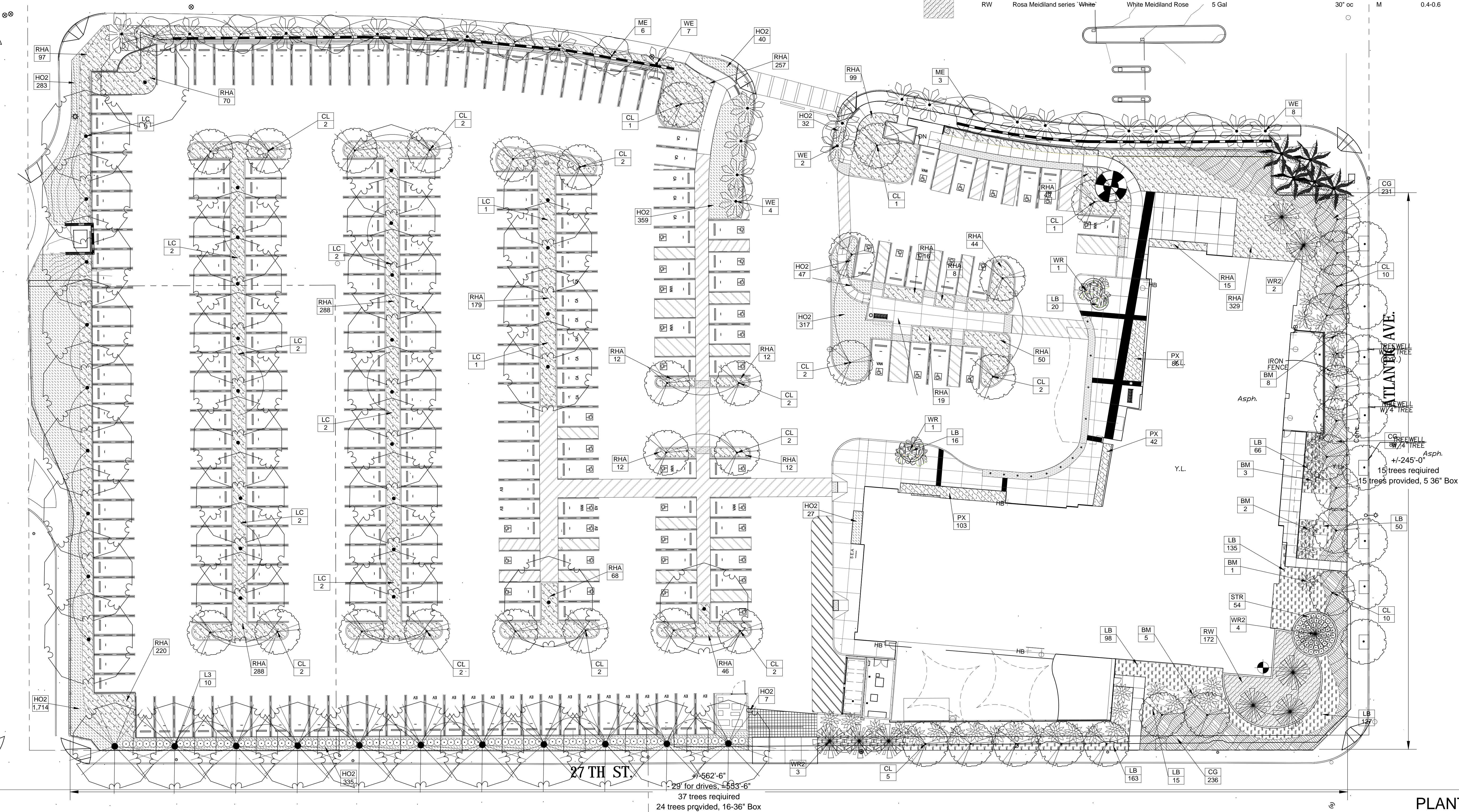
In the event any amount of water is left standing in the test pit (per the above procedure) 24 hours after initiating the percolation test then the vertical mulching details for tree detail "B" and shrub detail "B" shall apply to all trees and shrubs regardless of size. These details shall supersede all other planting details. However, the tree staking requirements of tree planting detail "A" shall remain intact in either case.

I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan

Robert Curley
Robert Curley, RLA 3583

PLANT SCHEDULE

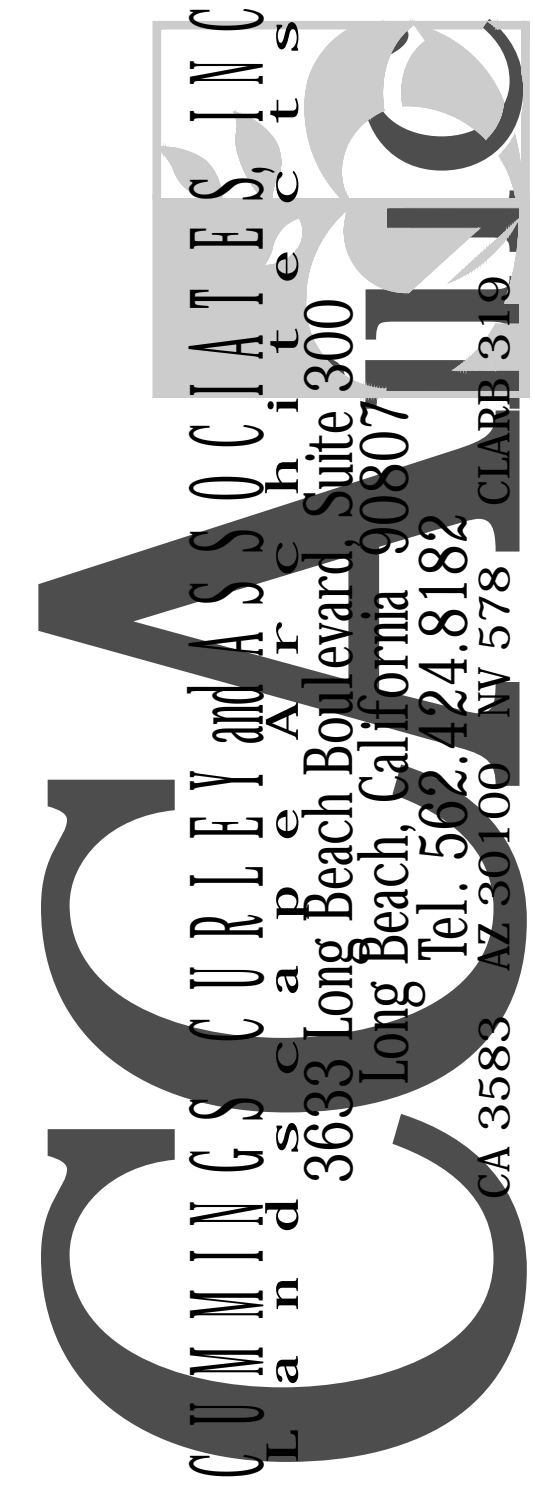
	TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT. SIZE	CAL	SIZE	WUCOLS	PLANT FACTOR	HYDROZONE	QTY
	CL	Cassia leptophylla	Gold Medallion Tree	24" Box Standard	1.25" Cal	7' x 2.5'	M	0.4-0.6	1		43
	LC	Lophostemon confertus	Brisbane Box	24"box	1.25" Cal	7' x 2.5'	M	0.4-0.6	1		34
	L3	Lophostemon confertus	Brisbane Box	36" Box	1.75" Cal	9' x3'	M	0.4-0.6	1		11
	LS	Lophostemon confertus	Brisbane Box	Existing City Street Tree							8
	ME	Magnolia grandiflora	Southern Magnolia	Existing to Remain							9
	PE	Phoenix dactylifera	Date Palm	Existing to Remain							5
	WR2	Washingtonia robusta	Mexican Fan Palm	17" Brown Trunk, Cleaned and Skinned			L	0.1-0.3	2		9
	WE	Washingtonia robusta	Mexican Fan Palm	Existing to Remain							21
WR	Washingtonia robusta	Mexican Fan Palm	Triple Trunk, 12' , 14' , 16' BT			L	0.1-0.3	2		2	
	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT. SIZE	SPACING	WUCOLS	PLANT FACTOR	HYDROZONE	QTY	
	BM	Bambusa multiplex	Hedge Bamboo	15 gal		M	0.4-0.6	3		36	
	LIG	Ligustrum texanum 36" Required Parking Screen	Texas Privet	15 gal	36" oc	M	0.3	2		92	
	STR	Strelitzia reginae	Bird Of Paradise	15 gal	30" oc	M	0.4-0.6	3		54	
	SHRUB AREAS	CODE	BOTANICAL NAME	COMMON NAME	CONT. SIZE	SPACING	WUCOLS	PLANT FACTOR	HYDROZONE	SPACING	QTY
	CG	Carissa macrocarpa 'Green Carpet'	Green Carpet Natal Plum	5 gal	30" oc	M	0.4-0.6	3		30" o.c.	3,343 sf
	HO2	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal	18" o.c.	M	0.4-0.6	3		18" o.c.	6,093 sf
	LB	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 gal	24" o.c.	M	0.4-0.6	3		24" o.c.	2,580 sf
	PX	Philodendron x 'Xanadu'	Philodendron	5 gal	18" o.c.	M	0.4-0.6	3		18" o.c.	454 sf
	RHA	Rhaphiolepis indica 'Ballerina'	Ballerina Indian Hawthorn	5 gal	30" oc	L	0.1-0.3	4		30" o.c.	13,107 sf
	RW	Rosa Meiland series 'White'	White Meiland Rose	5 Gal	30" oc	M	0.4-0.6	3		30" o.c.	1,029 sf



PLANTING PLAN

SCALE: 1" = 20'

1

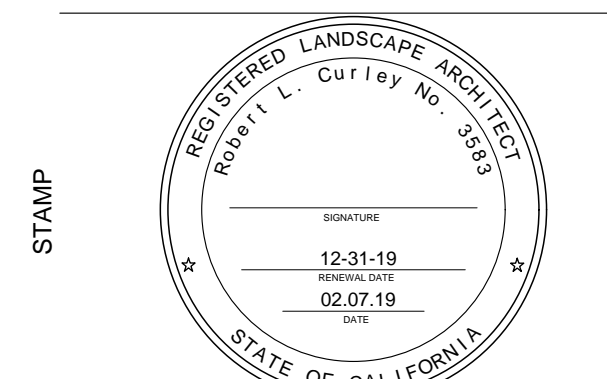


MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2807 ATLANTIC AVE, LONG BEACH CA 90806
MILLER CHILDREN'S VILLAGE
SITE PLAN REVIEW

REVISIONS	DATE	BY	DESCRIPTION

AGENCY NO.

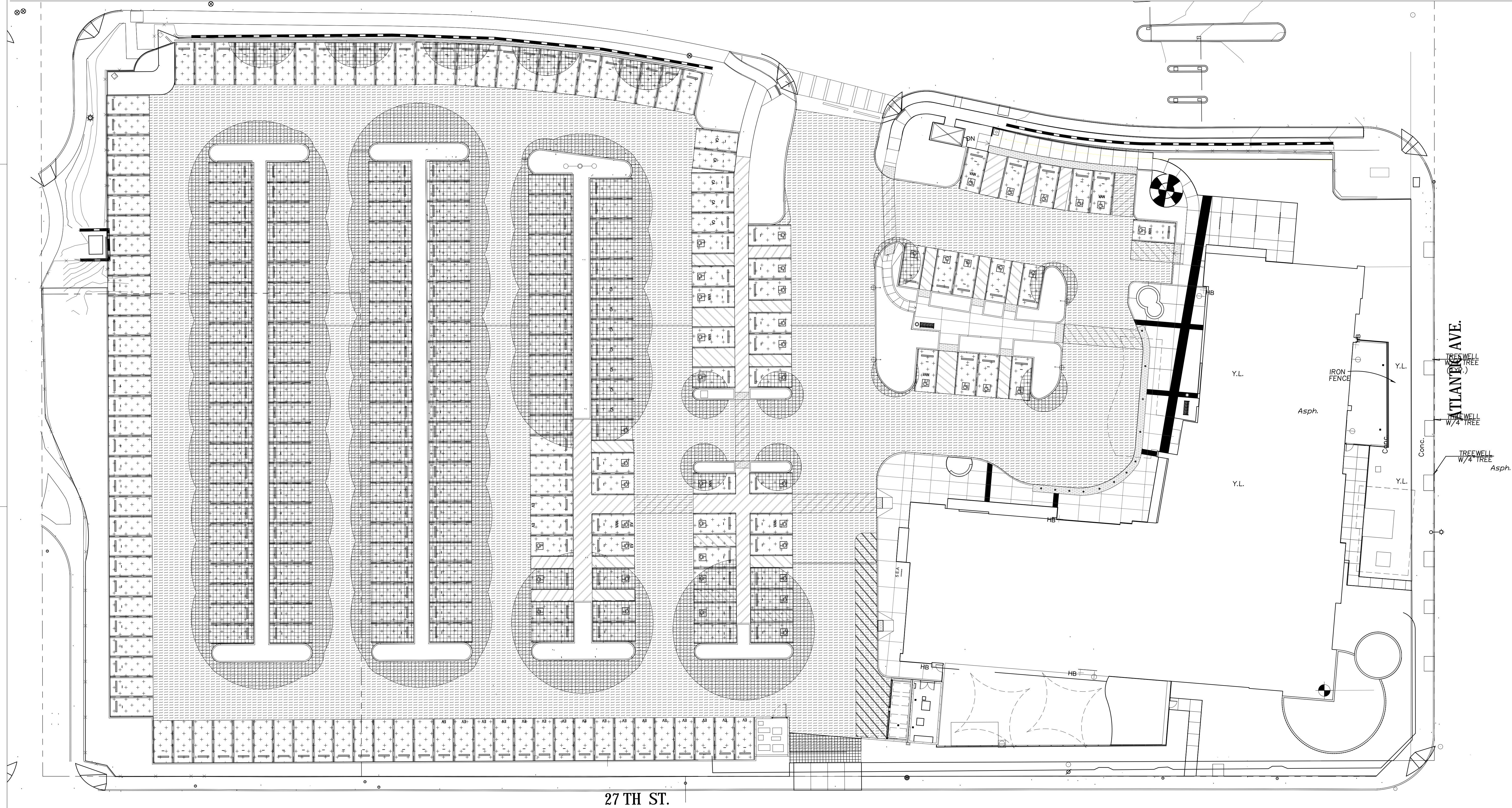
APPROVAL



PROJECT NO. 17-9963
DRAWN RLC Author RLC
REVIEWED Checker

PLANTING PLAN

LP300



Shade and Landscape Area Calculations SCHEDULE		
SYMBOL	DESCRIPTION	QTY
	Parking Area to be Shaded	41,711 sf
	Circulation to be shaded	53,387 sf
Total Parking area:		95,098 sf
Required Shade Area 40% of 95,098 = 38,039.2 sf		
	Effective Tree Shade	38,913 sf
Shade Area Provided: 38,913 sf > 38,039.2 sf (41%)		
38,913 / 95,098 = 41% shade coverage		

I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan

Robert Curley, PLA 3583

MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2801 ATLANTIC AVE, LONG BEACH CA 90806

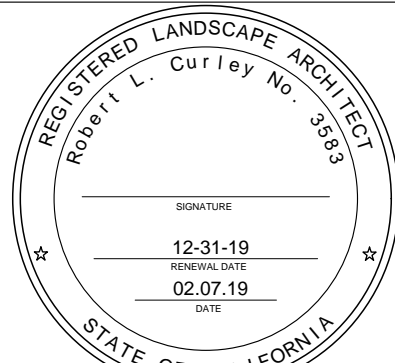
MILLER CHILDREN'S VILLAGE
SITE PLAN REVIEW

REVISIONS	

AGENCY NO.

APPROVAL

STAMP



PROJECT NO. 17-9963
DRAWN RLC Author RLC
REVIEWED Checker

PARKING SHADE PLAN

SMARTSCAPE
Model Water Efficient Landscape Ordinance
Performance Compliance



LANDSCAPE DOCUMENTATION PACKAGE REQUIREMENTS

The Landscape Documentation Package (DWR Title 23, Chapter 2.7, 492.3) shall include the following:

1. PROJECT INFORMATION

- Date
- Project Applicant
- Project Address (if available, parcel and/or lot number)
- Total Landscape Areas (square feet)
- Project Type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
- Water Supply Type (e.g., potable, recycled, well) and identify local retail water purveyor if the applicant is not served by a public well
- Check list of all documents in Landscape Documentation Package.
- Project Contacts to include contact information for the project applicant and property owner

2. MWELO WATER EFFICIENT LANDSCAPE WORKSHEET (DWR Title 23, Chapter 2.7, 492.4, Appendix A)

3. SOIL MANAGEMENT REPORT (DWR Title 24, Chapter 2.7, 492.5)

- The soil analysis shall include
 - soil texture
 - infiltration rate determined by laboratory test or soil texture infiltration rate table
 - pH
 - total soluble salts
 - sodium
 - percent organic matter
 - recommendations
- In projects with multiple landscape installations (i.e. production home developments) a soil sampling rate of 1 in 7 lots or approximately 15% will satisfy this requirement.

4. LANDSCAPE DESIGN PLAN (DWR Title 24, Chapter 2.7, 492.6)

The Landscape Design Plan shall meet the following design criteria:

- Plant Material
 - Any plant may be selected for the landscape providing the Estimated Total Water Use in the landscape area does not exceed the Maximum Applied Water Allowance.
 - Each hydrozone shall have plant materials with similar water use.
- Water Features
 - Recirculating water systems shall be used for water features.
 - Where available, recycled water shall be used as a source of water.
 - Surface area of a water feature shall be included in the high water use hydrozone area of the water budget calculation.
 - Pool and spa covers are highly recommended.
- Soil preparation, mulch and amendments
 - Prior to planting of any materials, compacted soils shall be transformed to a friable condition.
 - Soil amendments shall be incorporated according to recommendation of the soils report.
 - Amend soil at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area to a depth of six inches into the soil
 - A minimum of three inch (3") layer of mulch shall be applied on all exposed soils surfaces of planting areas, except in turf areas, creeping or rooting ground covers or direct seeding applications
 - To provide habitat for beneficial insects, and other wildlife, up to 5% of the landscape area may be left without mulch.
 - Stabilizing mulching products shall be used on slopes that meet current engineering standards.
 - Organic mulch shall take precedence over inorganic materials or virgin forest products unless the recycled post-consumer products are not locally available.

The Landscape Design Plan, at a minimum, shall:

- delineate and label each hydrozone by letter, number or other method;
- identify each hydrozone as low, moderate, high water, or mixed water use;
- identify recreational areas;
- identify areas permanently and solely dedicated to edible plants;
- identify areas irrigated with recycled water;
- identify type of mulch and application depth;
- identify soil amendments, type, and quantity;
- identify type and surface area of water features;
- identify hardscapes (pervious and non-pervious);

- Identify location, installation details, and 24-hour retention or infiltration capacity of any applicable stormwater best management practices that encourage on-site retention and infiltration of storm water.
- Identify any applicable rain harvesting or catchment technologies;
- Identify any applicable gray water discharge piping, system components and area(s) of distribution;
- contain the following statement: "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan".
- Bear the signature of a licensed landscape architect, licensed landscape contractor, or any other person authorized to design a landscape.

5. IRRIGATION DESIGN PLAN (DWR Title 24, Chapter 2.7, 492.7)

Irrigation Design Plan shall meet the following design criteria:

- System
 - Landscape water meters shall be installed for all non-residential irrigated landscapes of 1,000 square feet but not more than 5,000 square feet (the level at which Water Code 535 applies)
 - Automatic irrigation controllers utilizing either evapotranspiration or soil moisture sensor data utilizing non-volatile memory shall be required for irrigation scheduling in all irrigation systems.
 - If the water pressure is below or exceeds the recommended pressure of the specified irrigation devices, the installation of a pressure regulating device is required.
 - Sensors that suspend or alter irrigation operations during unfavorable weather conditions shall be required on all irrigation systems.
 - Manual shut off valves shall be required, as close as possible to the point of connection, to minimize water loss in case of emergency or routine repair.
 - Backflow prevention devices shall be required to protect the water supply from contamination by the irrigation system.
 - Flow sensors are required for all non-residential landscapes and residential landscapes of 5,000 square feet or larger.
 - Master shut-off valves are required on all projects except landscapes that make use of technologies that allow for individual control of sprinklers that are individually pressurized in a system equipped with low pressure shut down features.
 - The irrigation system shall be designed to prevent runoff, low head drainage, overspray or other similar conditions, where water flows onto non-targeted areas.
 - Relevant information from the soil management plan, such as soil type and infiltration rate, shall be utilized when designing irrigation systems.
 - The design of the irrigation system shall conform to the hydrozones of the landscape design plan.
 - The irrigation system must be designed and installed to meet, at a minimum, the irrigation efficiency criteria regarding the Maximum Applied Water Allowance.
 - All irrigation emission devices must meet the requirements set forth in ANSI, ASABE/ICC 802-2014.
 - It is highly recommended that the project applicant inquire with the local water purveyor about peak water operating demands or watering restrictions.

- In mulched planting areas, the use of low volume irrigation is required to maximize water infiltration into the root zone.
- Sprinkler heads and other emission devices shall have matched precipitation rates.
- Head to head coverage is recommended
- Swing joints are required on all risers subject to damage that are adjacent to hardscape or in high traffic areas of turf grass.
- Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.
- Areas less than ten (10) feet in width shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray
- Overhead irrigation shall not be permitted within 24 inches of any non-permeable surface.
- Slopes greater than 25% shall not be irrigated with an irrigation system with an application rate exceeding 0.75 inches per hour.

- Hydrozone
 - Each valve shall irrigate a hydrozone with similar site, slope, sun exposure, soil conditions, and plant materials of similar use.
 - Sprinkler heads and other emission devices shall be selected based on what is appropriate for the plant type within that hydrozone.
 - Where feasible, trees shall be placed on separate valves.
 - Individual hydrozones that mix plants of moderate and low water use, or moderate and high water use, may be allowed if:
 - plant factor calculation is based on the proportions of the respective plant water uses and their plant factor; or
 - the plant factor of the higher water using is used for calculations.
 - Individual hydrozones that mix high and low water use plants are not permitted.
 - On the landscape design plan and the irrigation design plan, hydrozone areas shall be designated by number, letter or other designation.

The irrigation design plan, at a minimum, shall contain:

- Location and size of separate water meters.
- Location, type and size of all components of the irrigation system
- Static water pressure at point of connection to the public water supply
- Flow rate (gallons per minute), application rate (inches per hour), and design operating pressure (gallons per minute) for each station.
- Recycled water irrigation systems.

- The following statement: "I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the irrigation design plan".
- The signature of a licensed landscape architect, certified irrigation designer, licensed landscape contractor, or any other person authorized to design an irrigation system

6. GRADING DESIGN PLAN (DWR Title 24, Chapter 2.7, 492.8)

- The project applicant shall submit a landscape grading plan (a grading plan prepared by a civil engineers for other local agency permits satisfies this requirement)that indicates finished configurations and elevations of the landscape area including:
 - Height of graded slopes.

- Drainage patterns.
- Pad elevations.
- Finish grade.
- Stormwater retention improvements, if applicable.
- To prevent excessive erosion and runoff, it is highly recommended that project applicants:
 - Grade so that all irrigation and normal rainfall remains within the property lines and does not drain on to non-permeable hardscapes.
 - Avoid disruption of natural drainage patterns and undisturbed soil; and
 - Avoid soil compaction in landscape areas.

- The grading design plan shall contain the following statement: "I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the grading design plan" and shall bear the signature of a licensed professional as authorized by law.

SMARTSCAPE
Model Water Efficient Landscape Ordinance
Performance Compliance



MWELO Water Efficient Landscape Worksheet

Reference Evapotranspiration (ETo) = 39.7 (annual ETo for Signal Hill/Long Beach per State Reference Table)

Hydrozone # (Planting Description) ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
MODERATE	0.4	DRIP	0.81	0.32	10,628.84	3,443.74	
LOW	0.2	BUBBLER	0.81	0.16	592.83	96.04	
MODERATE	0.4	BUBBLER	0.81	0.32	1,978	640.94	
LOW	0.2	DRIP	0.81	0.16	12,440.50	2,015.36	
					Totals	25,640.37	6,196.08
Special Landscape Areas							
				1			
				1			
				1			
					Totals	(C)	(D)
							ETWU Total
							6,196.08
							Maximum Applied Water Allowance (MAWA) ^e
							284,000.43

^aHydrozone #Planting Description

E.g.
1.) front lawn
2.) low water use plantings
3.) medium water use planting

^bIrrigation Method

overhead spray
or drip

^cIrrigation Efficiency

0.75 for spray head
0.81 for drip

^dETWU (Annual Gallons Required) =

ETo x 0.62 x ETAF x Area

where 0.62 is a conversion factor that
converts acre-inches per acre per year
to gallons per square foot per year.

^eMAWA (Annual Gallons Allowed) = (ETo) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .35 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area (A)	11,538.17
Total Area (B)	26,640.37
Average ETAF (A/B)	0.45

Average ETAF for Regular Landscape Areas must
be 0.55 or below for residential areas, and 0.45 or
below for non-residential areas.

All Landscape Areas

Total ETAF x Area (A)	11,538.17
Total Area (B)	26,640.37
Site-wide ETAF (A/B)	0.45

Page 8
Long Beach Development Services

STREET TREES

Requirement:
Street Trees:

- Provision of Trees. One (1) large canopy street tree, of not less than twenty-four inch (24") box size, shall be provided for each twenty-five feet (25') of property line length whenever a new dwelling unit is added to the adjoining property or new development requiring discretionary approval, Site Plan Review, or a fence built under the special fence height provisions. Such street tree shall be of a species approved by the Director of Public Works and shall be provided with root barriers and irrigation according to the specifications of the Director of Public Works.

- Exceptions. Street trees shall be spaced from driveways, light standards, intersections, utility poles and street furniture and shall be located only in the prescribed width of parkway as provided in Chapter 14.

ATLANTIC:

EAST 27TH:

17 trees req.
22 trees req.

8 provided due to driveways etc.
0 provided due to driveways etc.

SITE TREES

1 Site Street Frontage.

Within the required setback area along all street frontages, except at driveways, a minimum five-foot (5') wide landscaping strip (inside dimension to planter) shall be provided. This area shall be landscaped with one (1) tree for each fifteen (15) linear feet of street frontage and three (3) shrubs for each tree.

A. Sites with more than one hundred feet (100') of street frontage shall also provide one (1) tree of not less than thirty-six inch (36") box size for each one hundred feet (100') of street frontage.
B. Planters. All on-site landscaped areas adjoining the public right-of-way shall be located in planters not less than three inches (3") high. The planters shall be designed to drain back onto the private property and not directly onto the public right-of-way. When required, tree-wells shall be sized to allow full growth of proposed trees within the public right-of-way.

ATLANTIC:

17

3

24" box trees req.
36" box trees req.

0 provided 24" box min.
0 provided

(10) x 4=

40

Deficit of 7 trees made up with 36" box below.
Additional 36" box trees count towards the deficit of 24" box trees above.

Additional 48" box trees count towards the deficit of 24" box and 36" box trees above.
equivalent of 40 trees in total provided

EAST 27TH:

37

6

24" box trees req.
36" box trees req.

0 provided 24" box min.
10 provided

(11-6 = 5) x 2= 10

2 provided

(5) x 4=

20

Deficit of 5 trees made up with 36" box below.
Additional 36" box trees count towards the deficit of 24" box trees above.

Additional 48" box trees count towards the deficit of 24" box and 36" box trees above.
equivalent of 40 trees in total provided

equivalent of 40 trees in total provided

67 trees req.

76 provided min. 24" box

MISC.

C. Plant Size. All the required plant materials shall be not less than the following sizes:

1 Trees. For required on-site trees, at least twenty-four inch (24") box and seven foot (7') in height;

2 Shrubs. For required shrubs, at least five (5) gallons; and

3 Mulch. A minimum of three-inch (3") mulch shall be applied on all exposed soil services of landscaped areas.

D. Substitutions. The following substitutions for required landscaping materials may be made subject to approval of the Director of Development Services:

1 Three (3) fifteen (15) gallon trees for one (1) twenty-four inch (24") box tree;

2 One (1) thirty-six inch (36") box tree for two (2) twenty-four inch (24") box trees;

3 One (1) forty-eight inch (48") box tree for four (4) twenty-four inch (24") box trees;

4 One (1) twenty-four inch (24") box tree for five (5) five (5) gallon shrubs; and

5 Five (5) one (1) gallon shrubs for one (1) five (5) gallon shrub.

Planting Distance Between Trees. Adding the diameter of two (2) adjacent tree canopies and dividing by two (2) shall determine planting distance between two (2) trees. Distance between trees shall not be less than fifteen feet (15') or greater than twenty-five feet (25').

F. Plant Height. Plant height shall not exceed three feet (3') in corner cut-off areas.

SMARTSCAPE
Model Water Efficient Landscape Ordinance
Performance Compliance



Certificate of MWELO Completion

CERTIFICATE OF MWELO COMPLETION

This certificate is filled out by the project applicant upon completion of the landscape project.

PART 1. PROJECT INFORMATION SHEET

Date	08.21.18
Project Name	Miller Children's Village
Name of Project Applicant	Telephone No. 962.424.8182
Robert Curley	Fax No. 962.424.8181
Title	Email Address robert@cummingscurley.com
Principal	Company Cummings Curley and Associates, Inc.
Street Address 3633 Long Beach Blvd., Suite 300	State California
City Long Beach	Zip Code 90806

Project Address and Location:

Street Address 2801 Atlantic Blvd	Parcel, tract or lot number, if available.
City Long Beach	Latitude/Longitude (optional)
State CA	Zip Code 90806

Property Owner or his/her designee:

Name	Telephone No.
	Fax No.
Title	Email Address
Company Memorial Care	Street Address 2801 Atlantic Blvd
City Long Beach	State California
	Zip Code 90806

Property Owner

"I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of MWELO Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule."

Property Owner Signature _____ Date _____

Please answer the questions below:

- Date the Landscape Documentation Package was submitted to the local agency _____
- Date the Landscape Documentation Package was approved by the local agency _____

Page 9
Long Beach Development Services

REVISIONS

AGENCY NO.

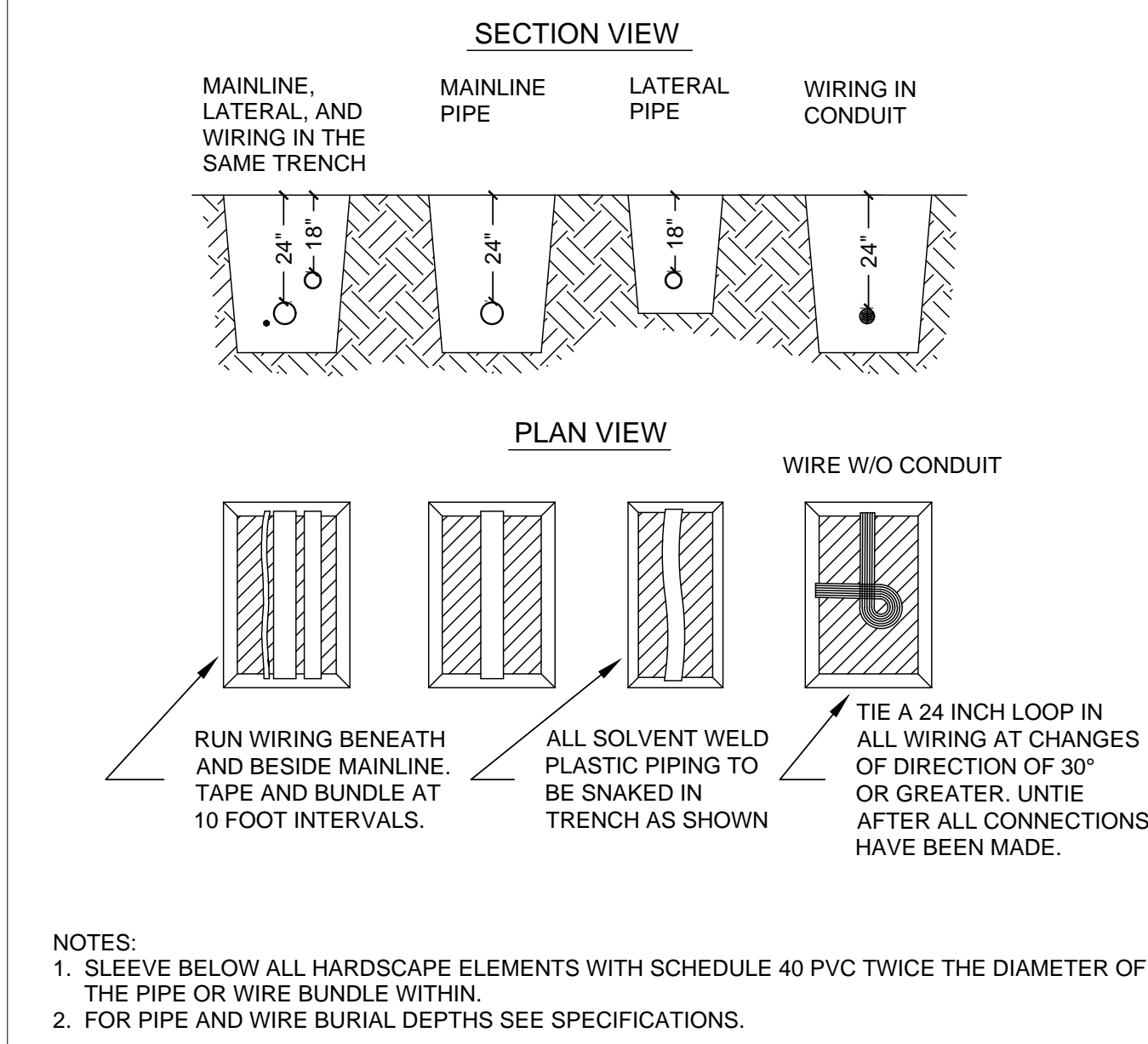
APPROVAL

STAMP

PROJECT NO. 17-9963
DRAWN RLC Author RLC
REVIEWED Checker

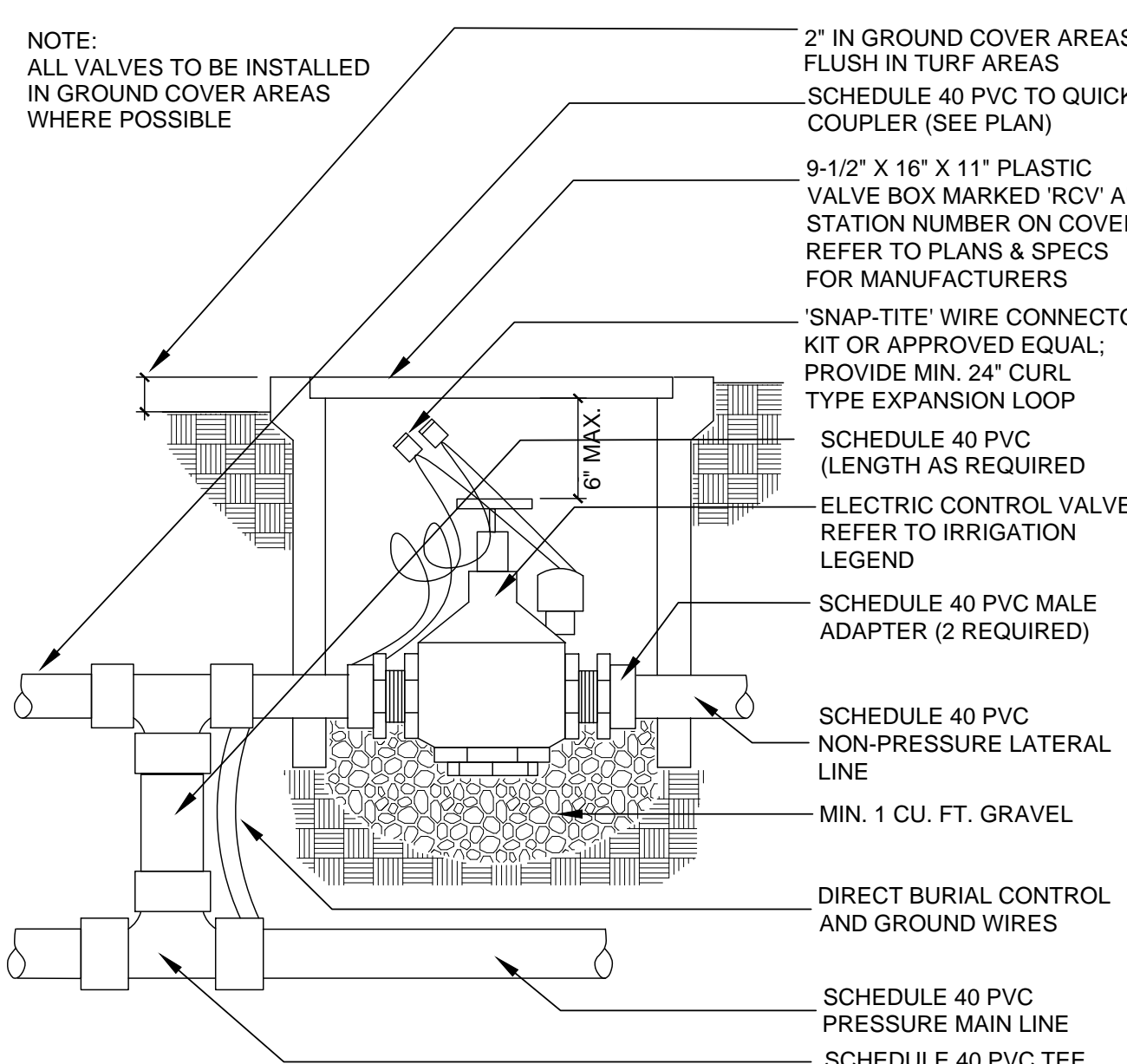
LANDSCAPE DOCUMENTATION

LD400

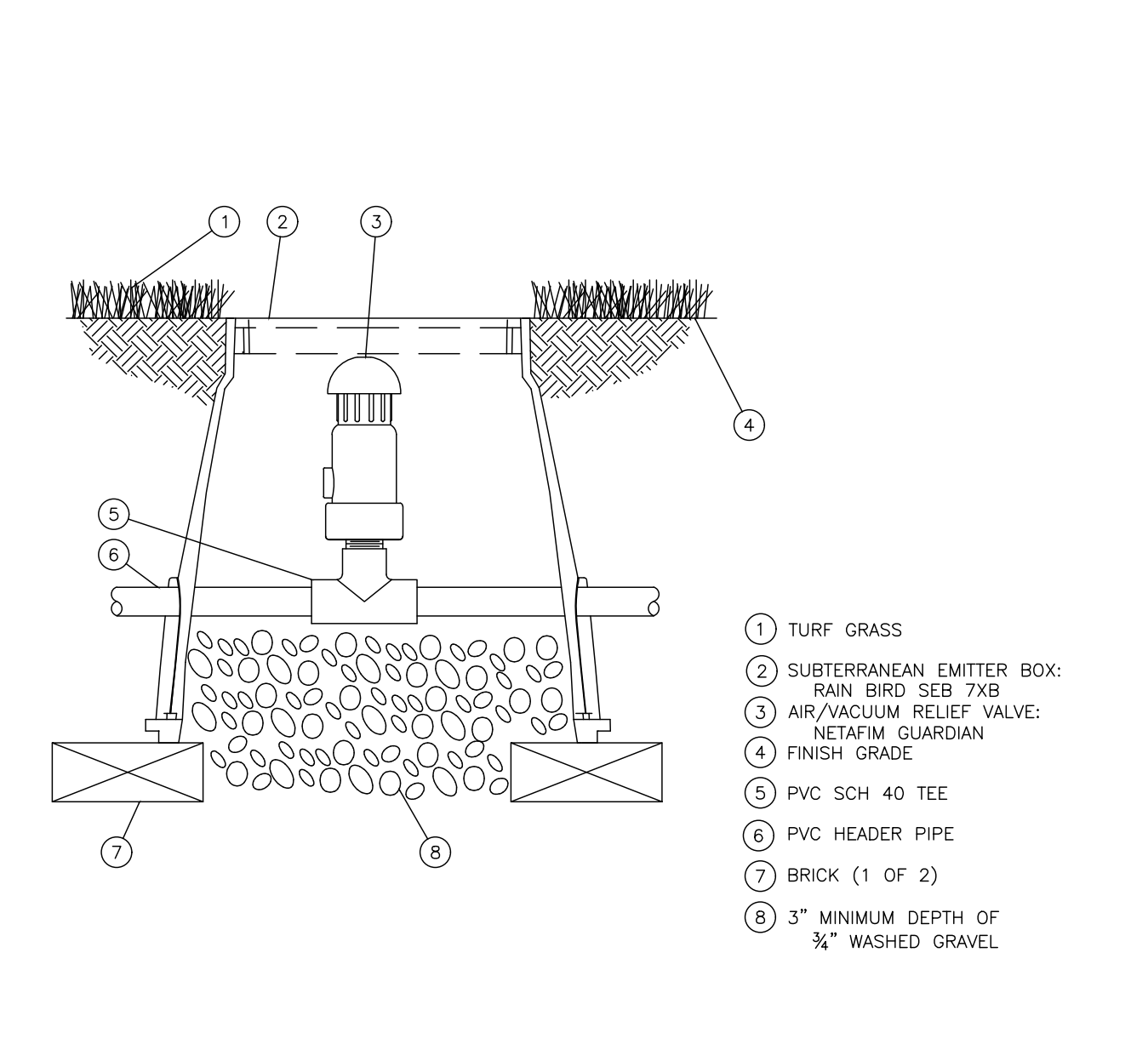


1 PIPE & WIRE TRENCHING

NOT TO SCALE

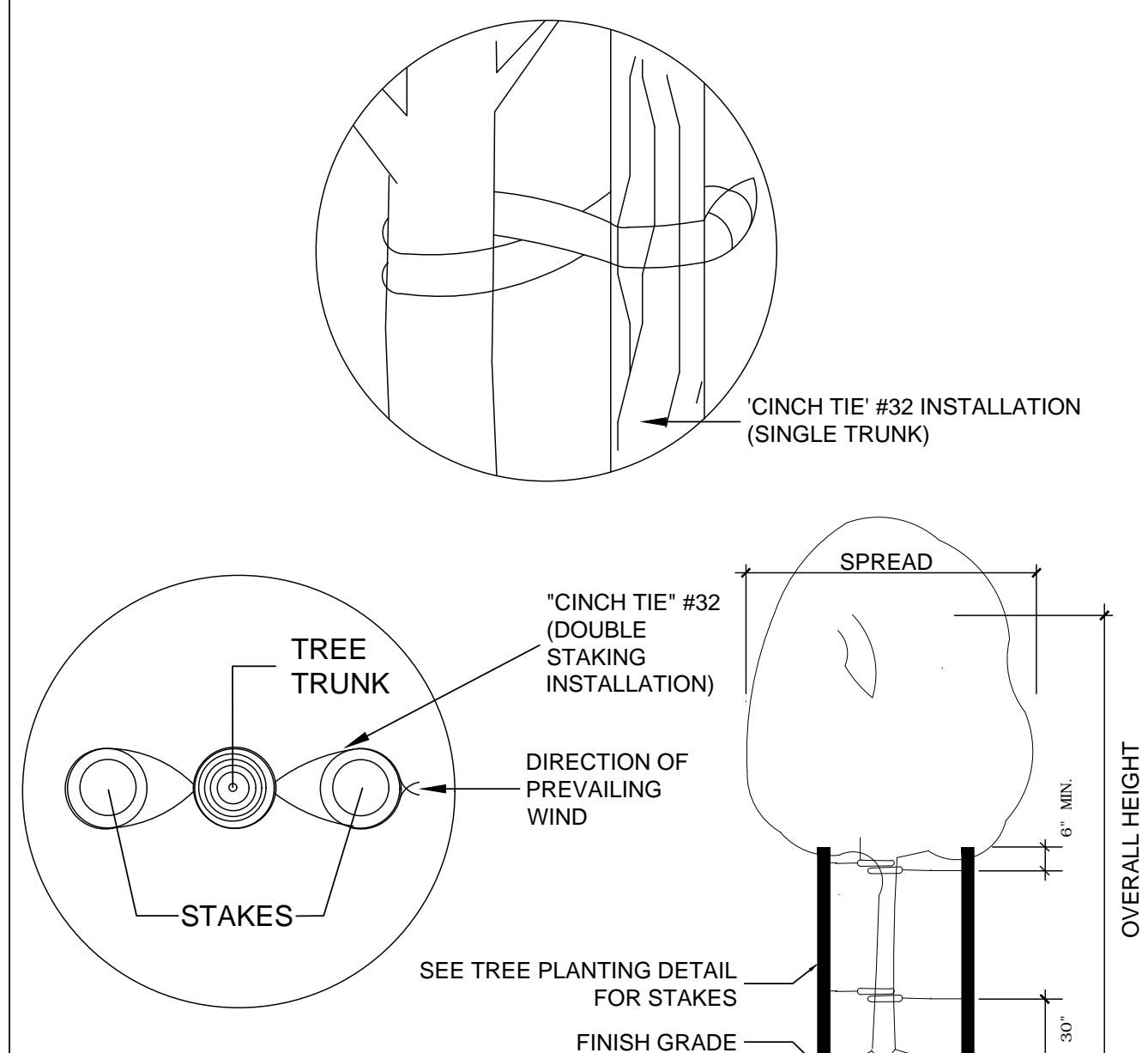


5 ELECTRIC REMOTE CONTROL VALVE



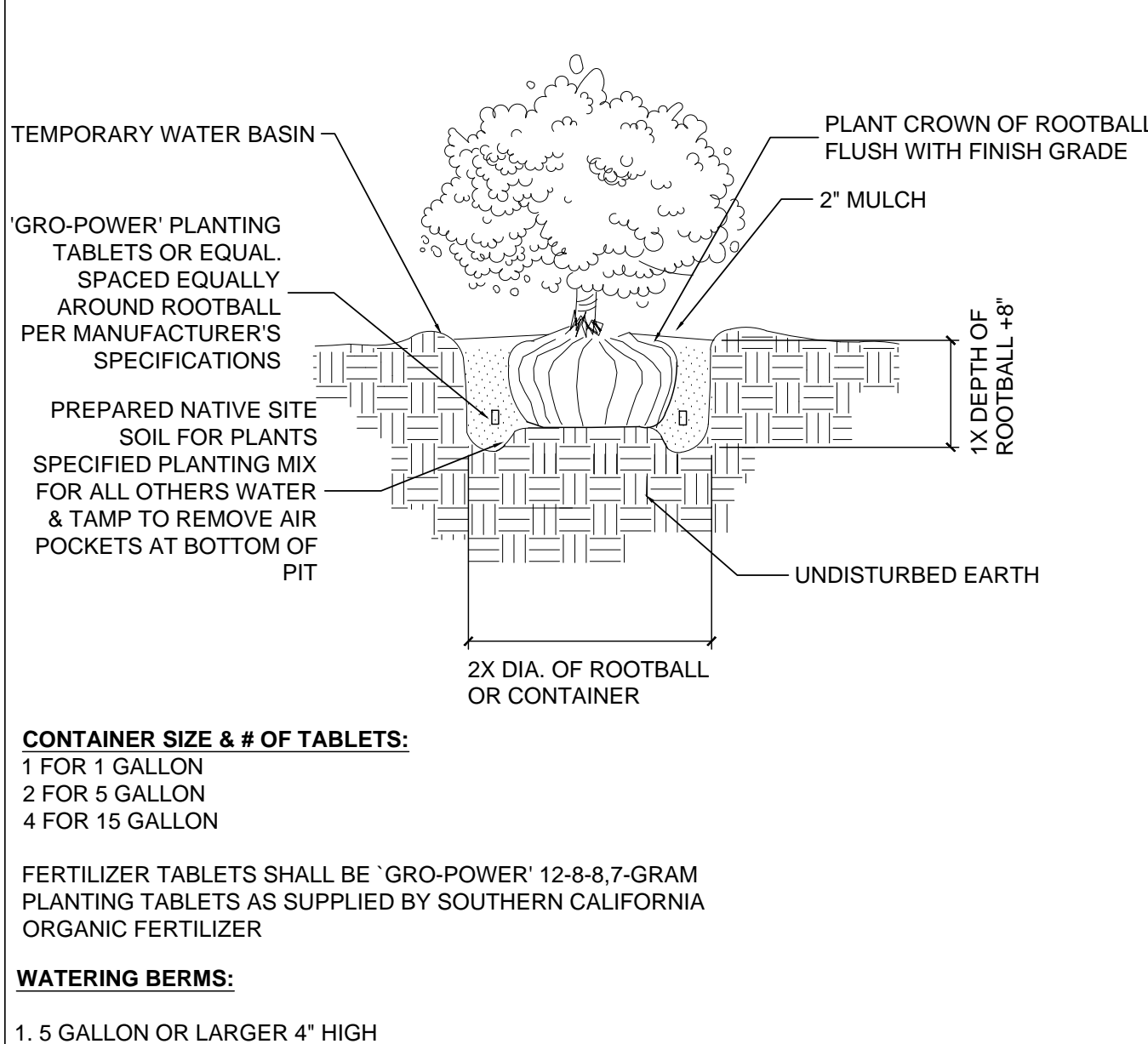
9 SUB-SURFACE AIR/VACUUM RELIEF

NOT TO SCALE



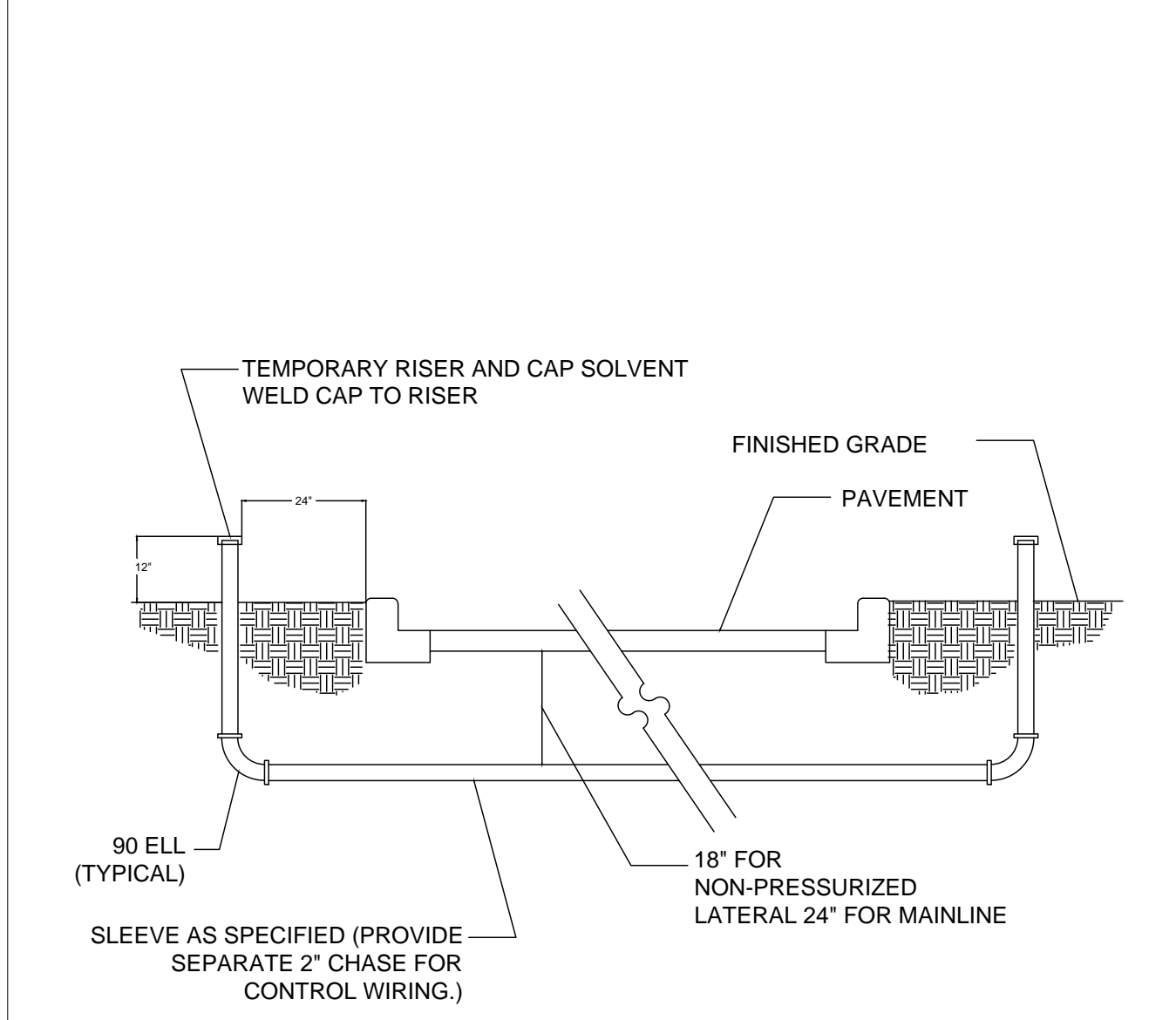
13 TREE STAKING TIE DETAIL

NOT TO SCALE



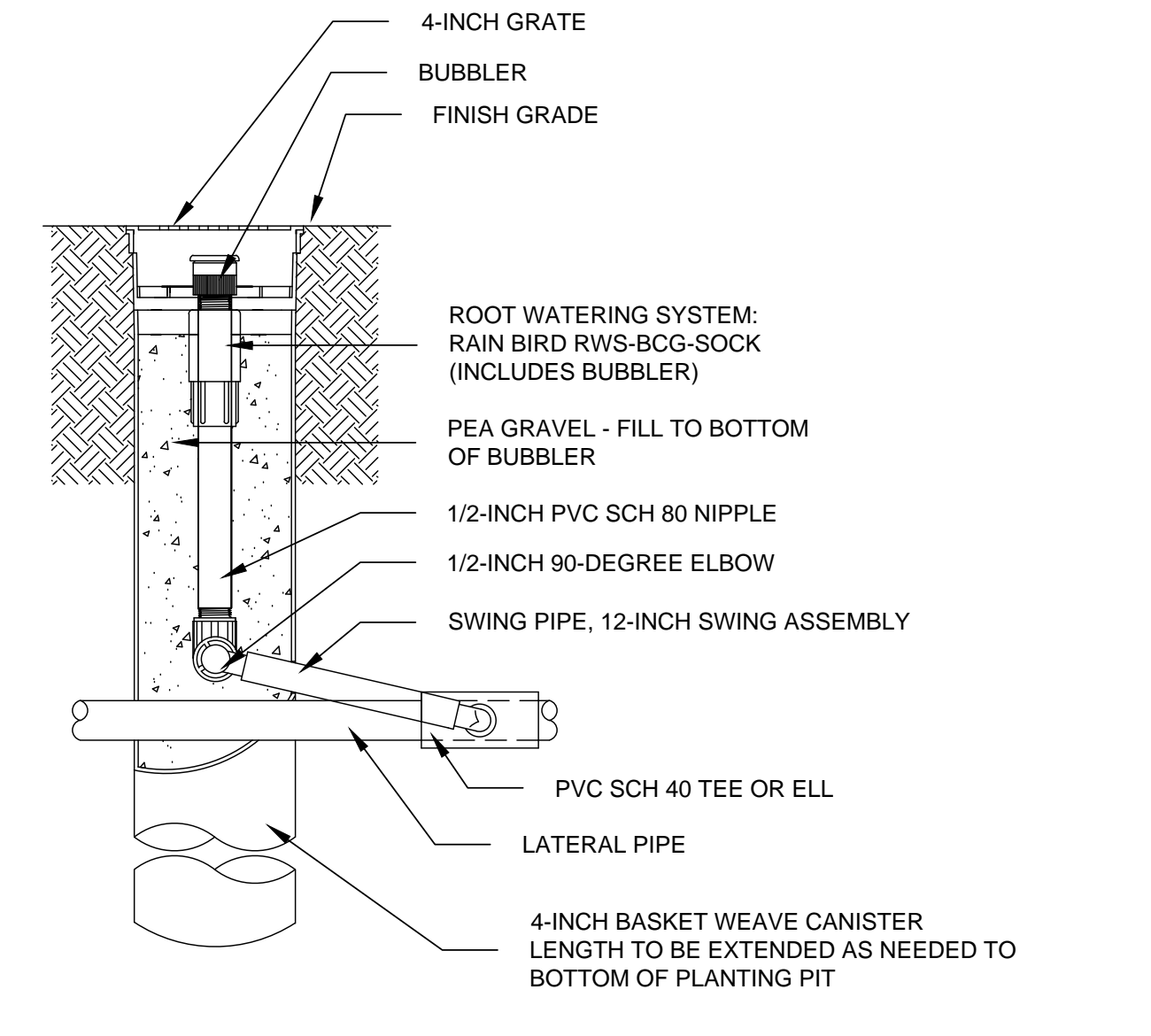
17 SHRUB PLANTING DETAIL "A"

NOT TO SCALE



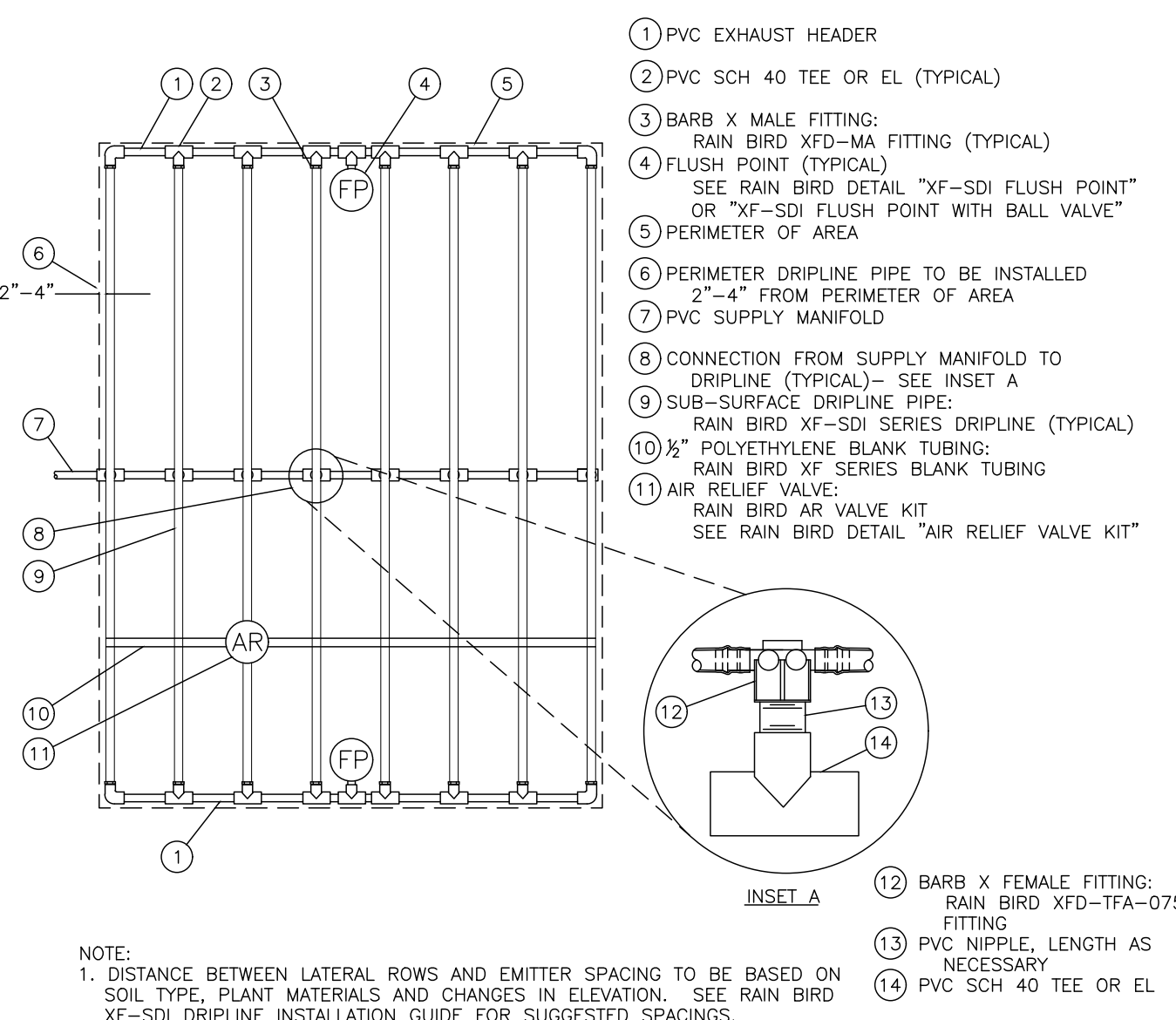
2 SLEEVING

NOT TO SCALE



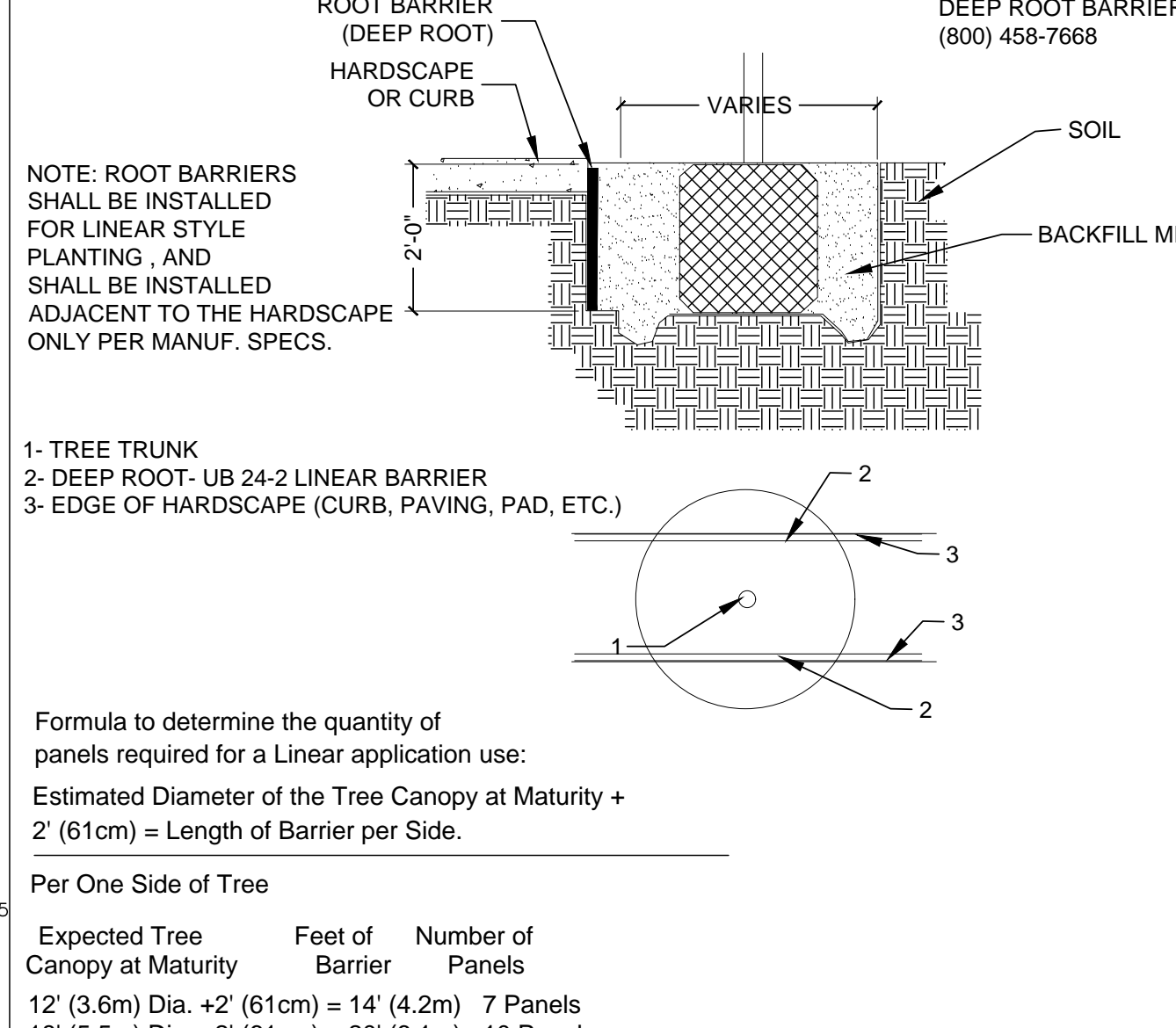
6 DEEP WATERING BUBBLER

NOT TO SCALE



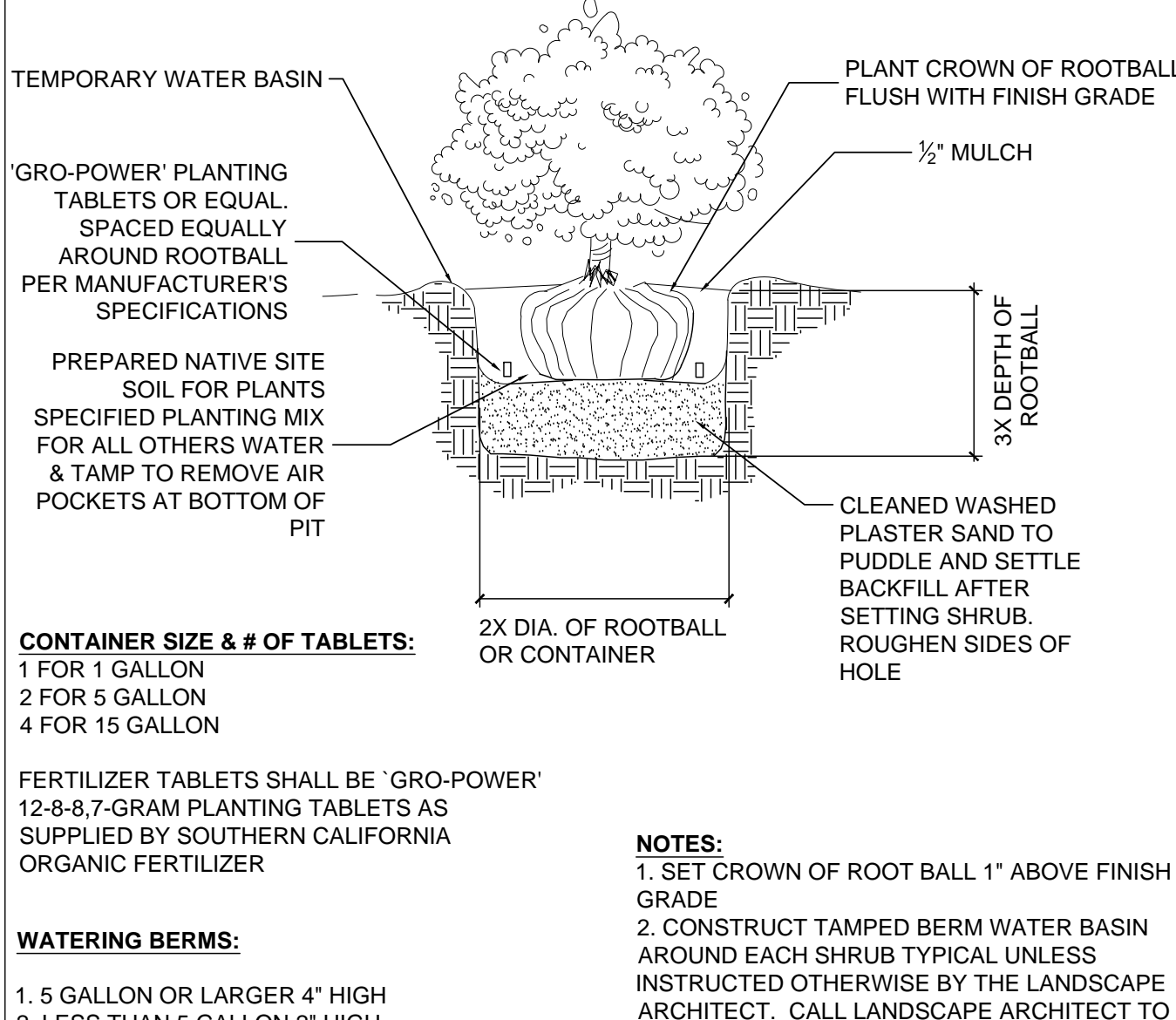
10 SUB-SURFACE DRIPLINE LAYOUT

NOT TO SCALE



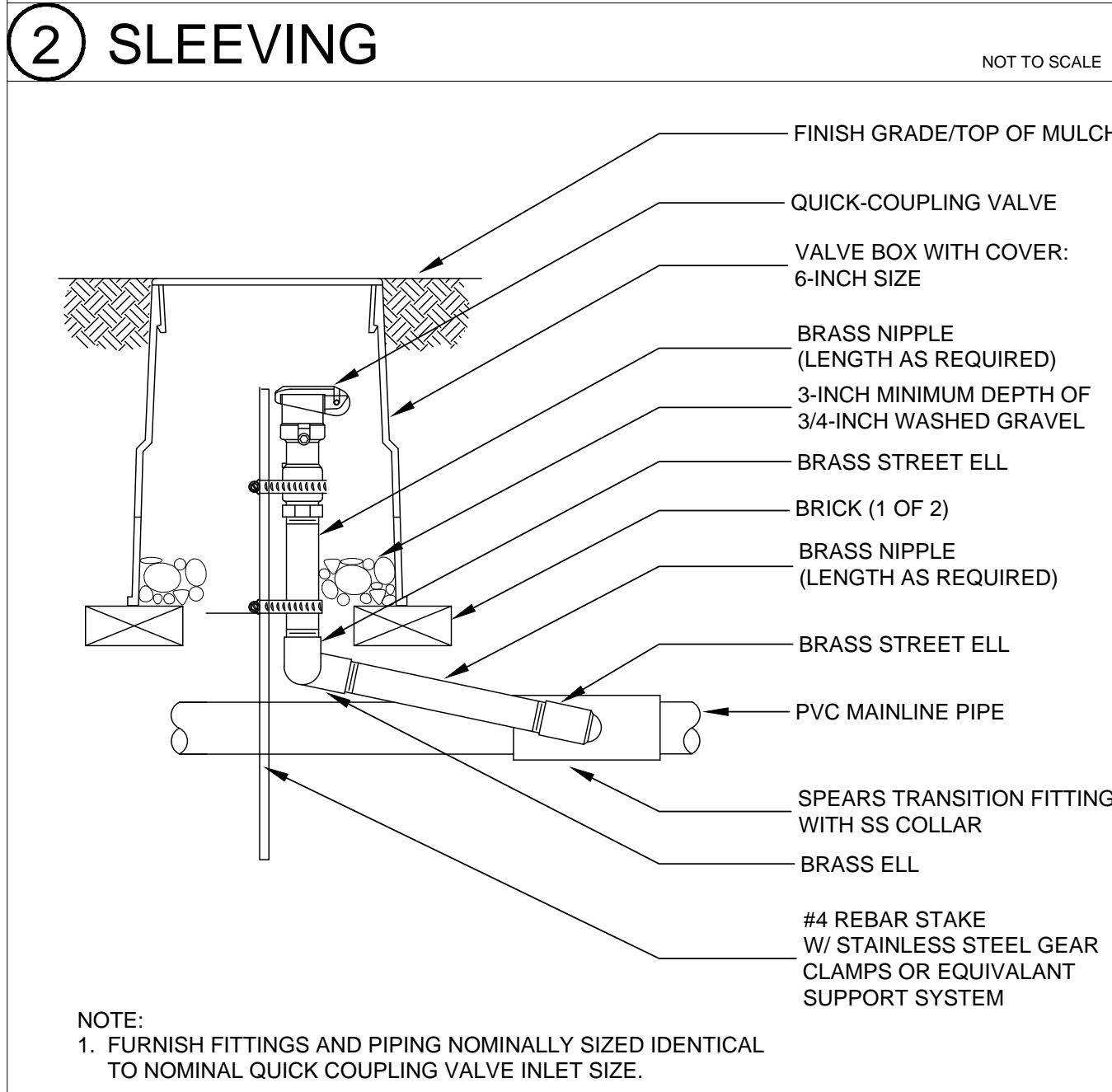
14 ROOT BARRIER DETAIL

NOT TO SCALE



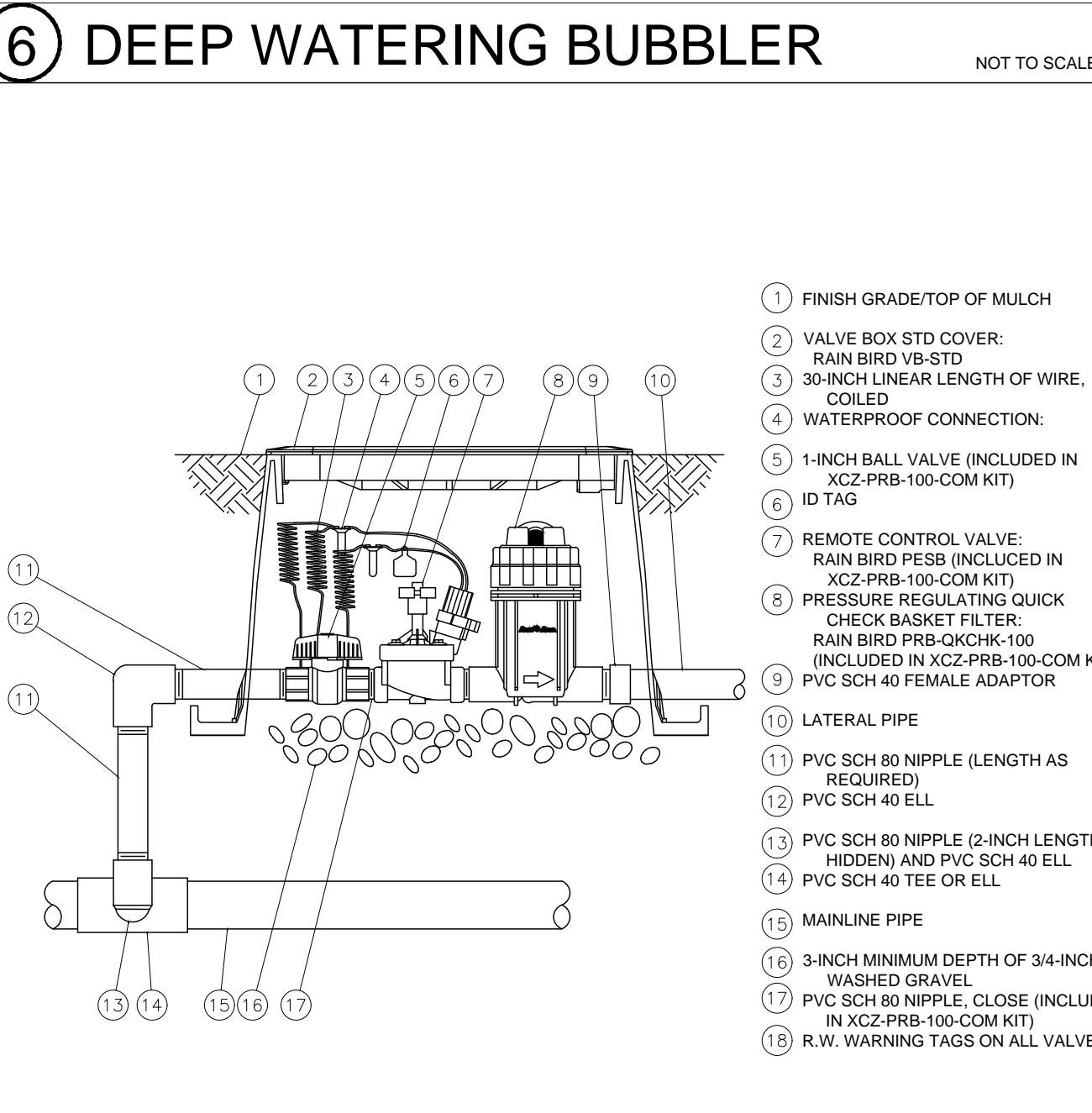
18 SHRUB PLANTING DETAIL "B"

VERTICAL MULCHING



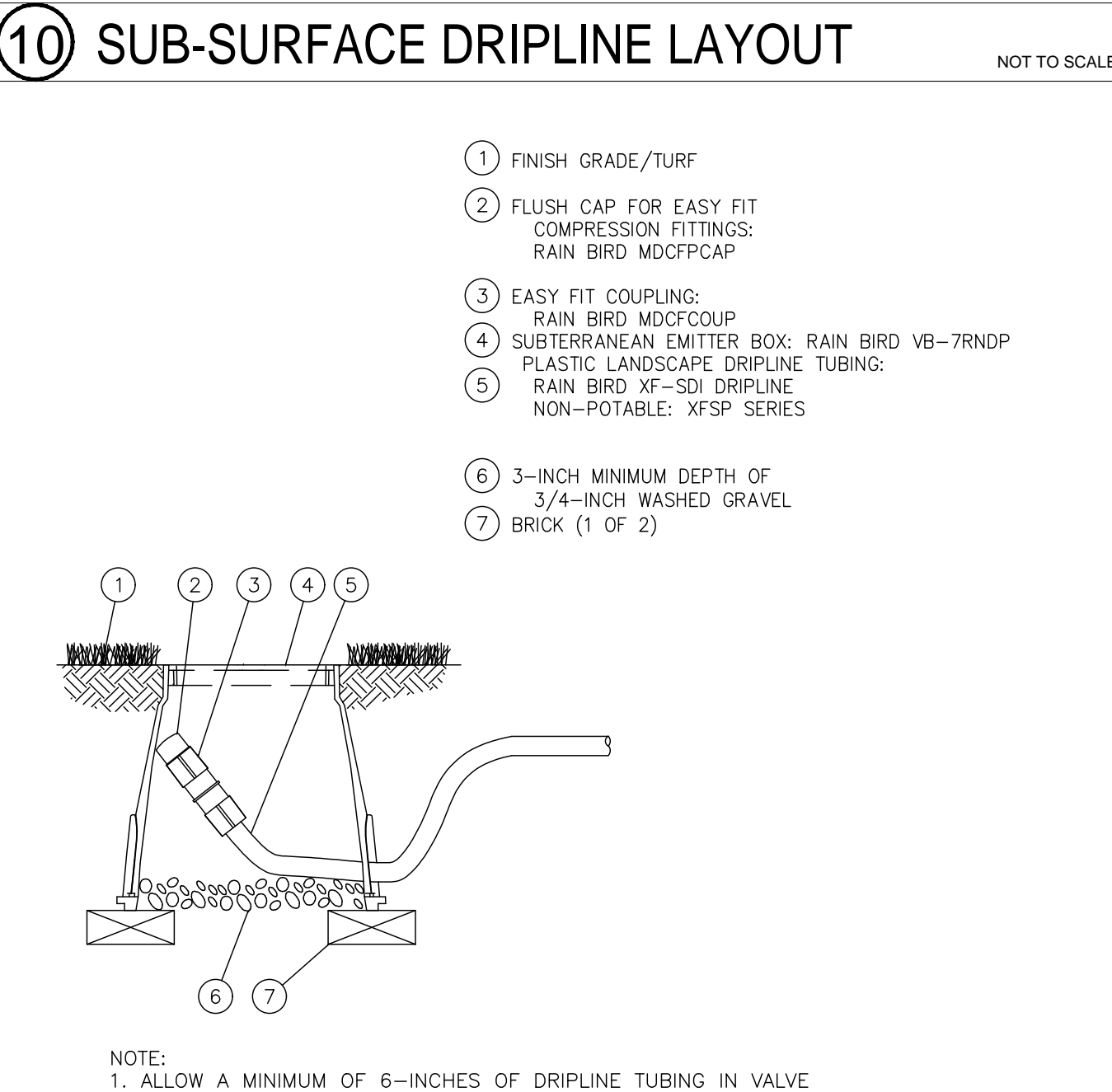
3 QUICK-COUPLING VALVE

NOT TO SCALE



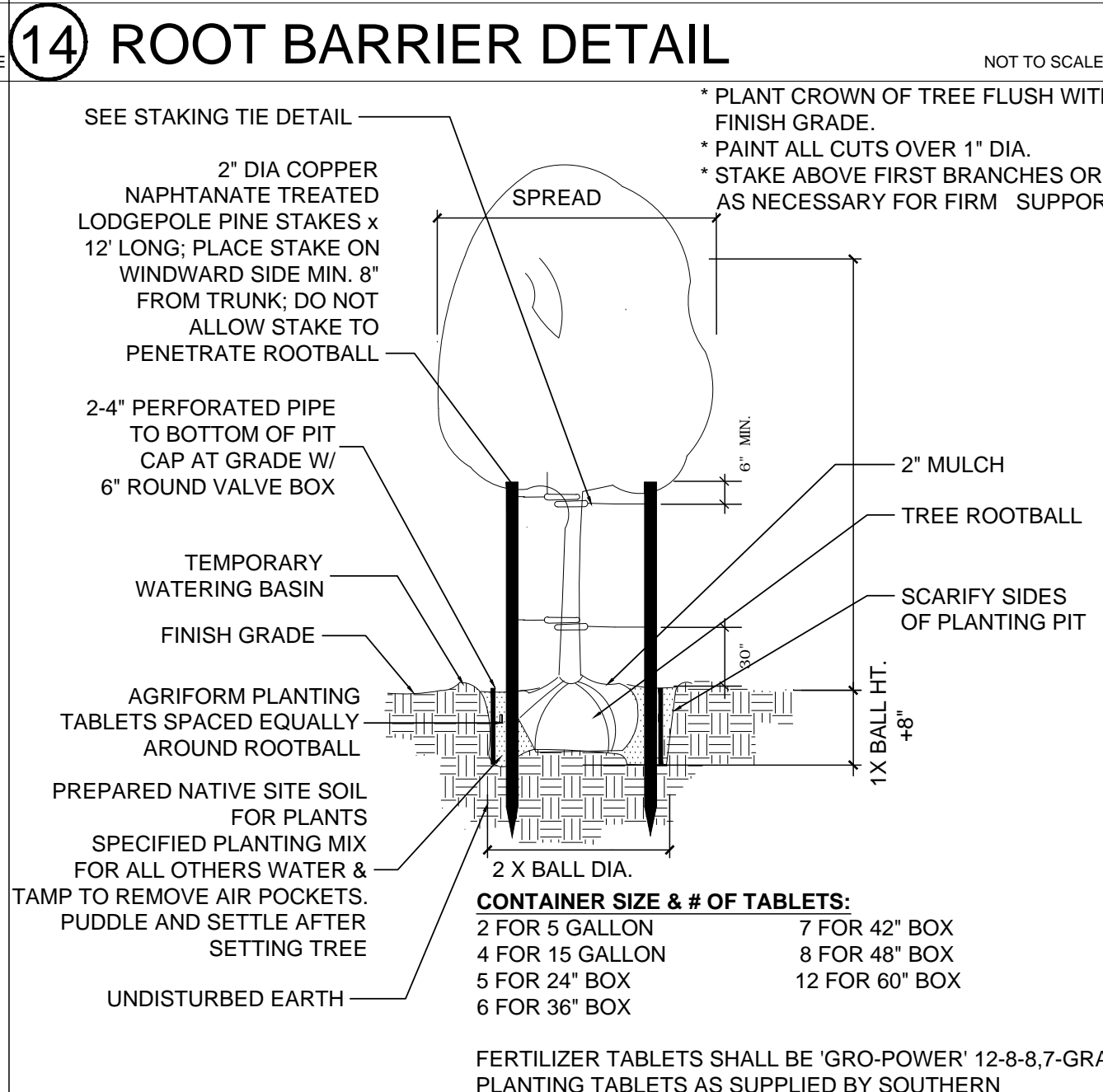
7 XEZ-PRB-100-COM ZONE KIT

NOT TO SCALE



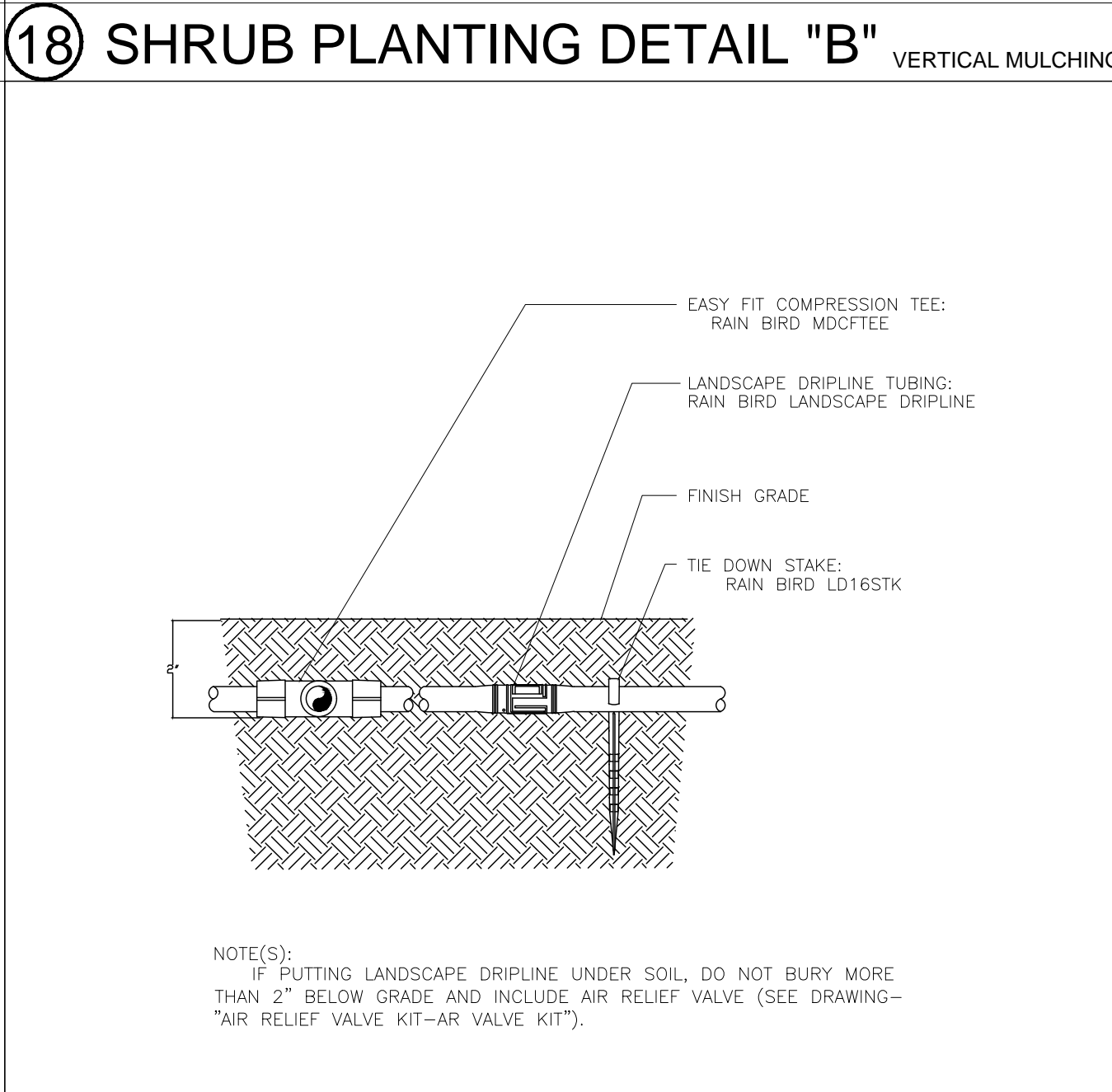
11 SUB-SURFACE DRIPLINE FLUSH POINT

NOT TO SCALE



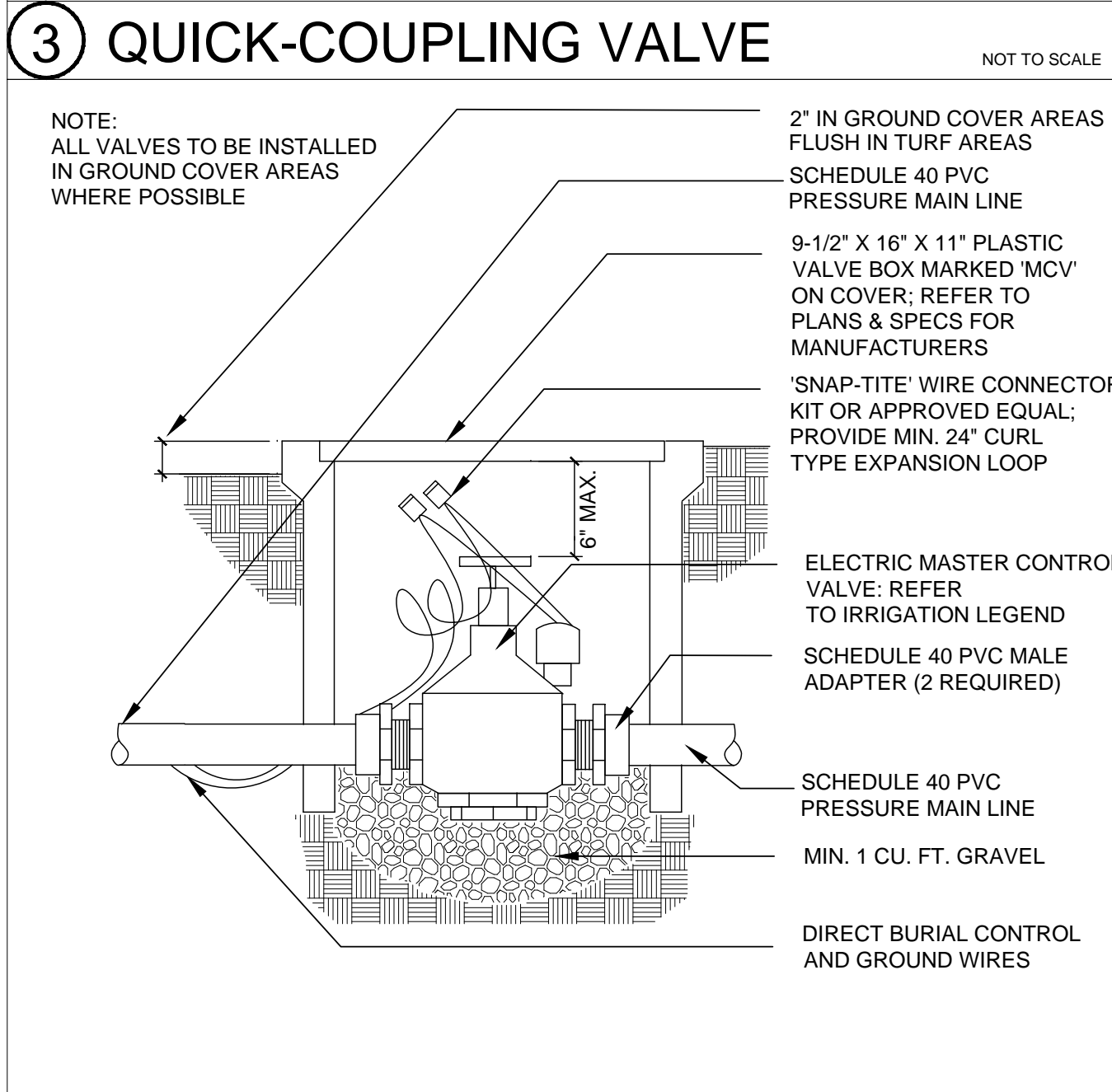
15 TREE PLANTING DETAIL "A"

NOT TO SCALE



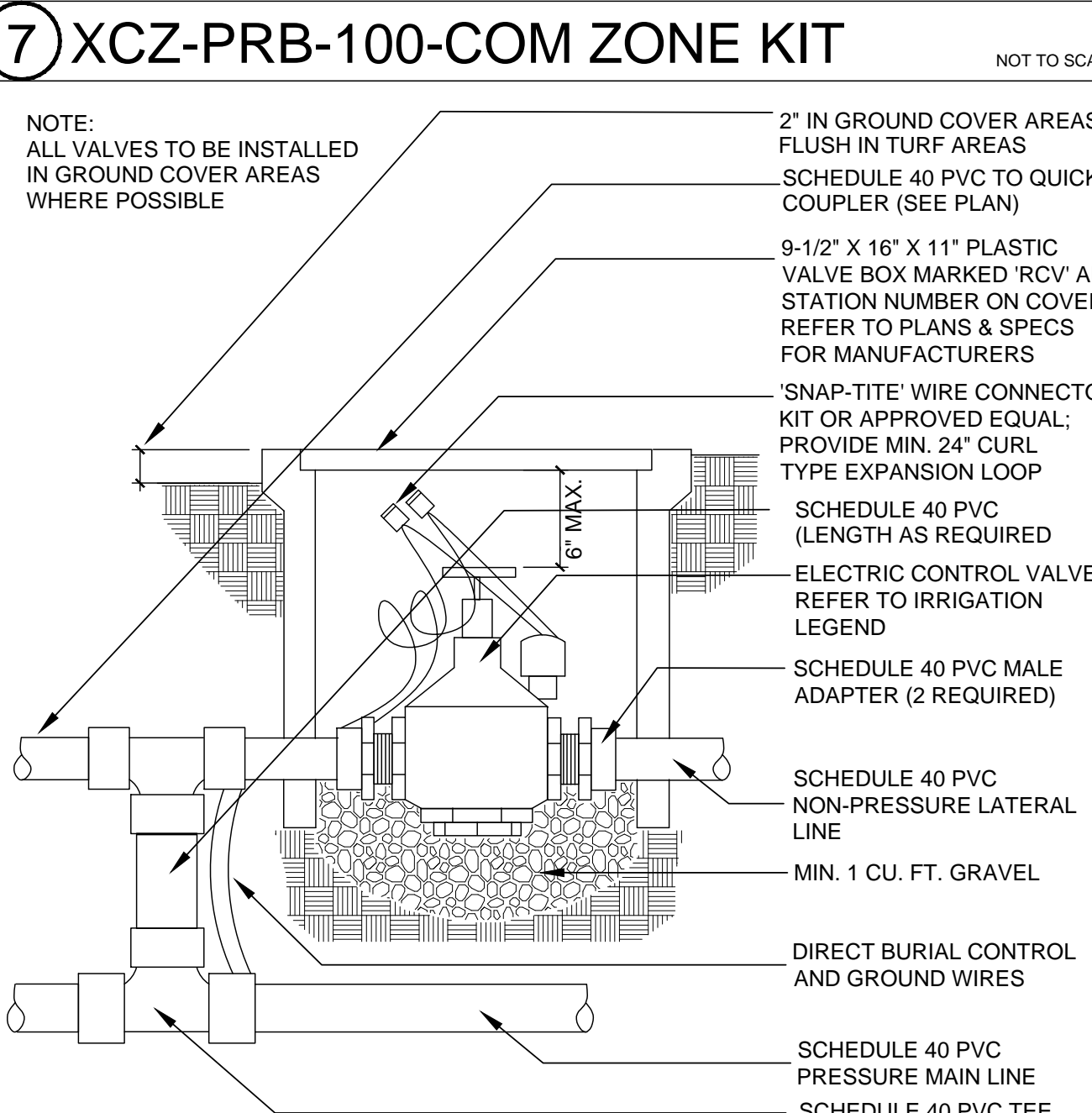
19 DRIPLINE BELOW GRADE

NOT TO SCALE



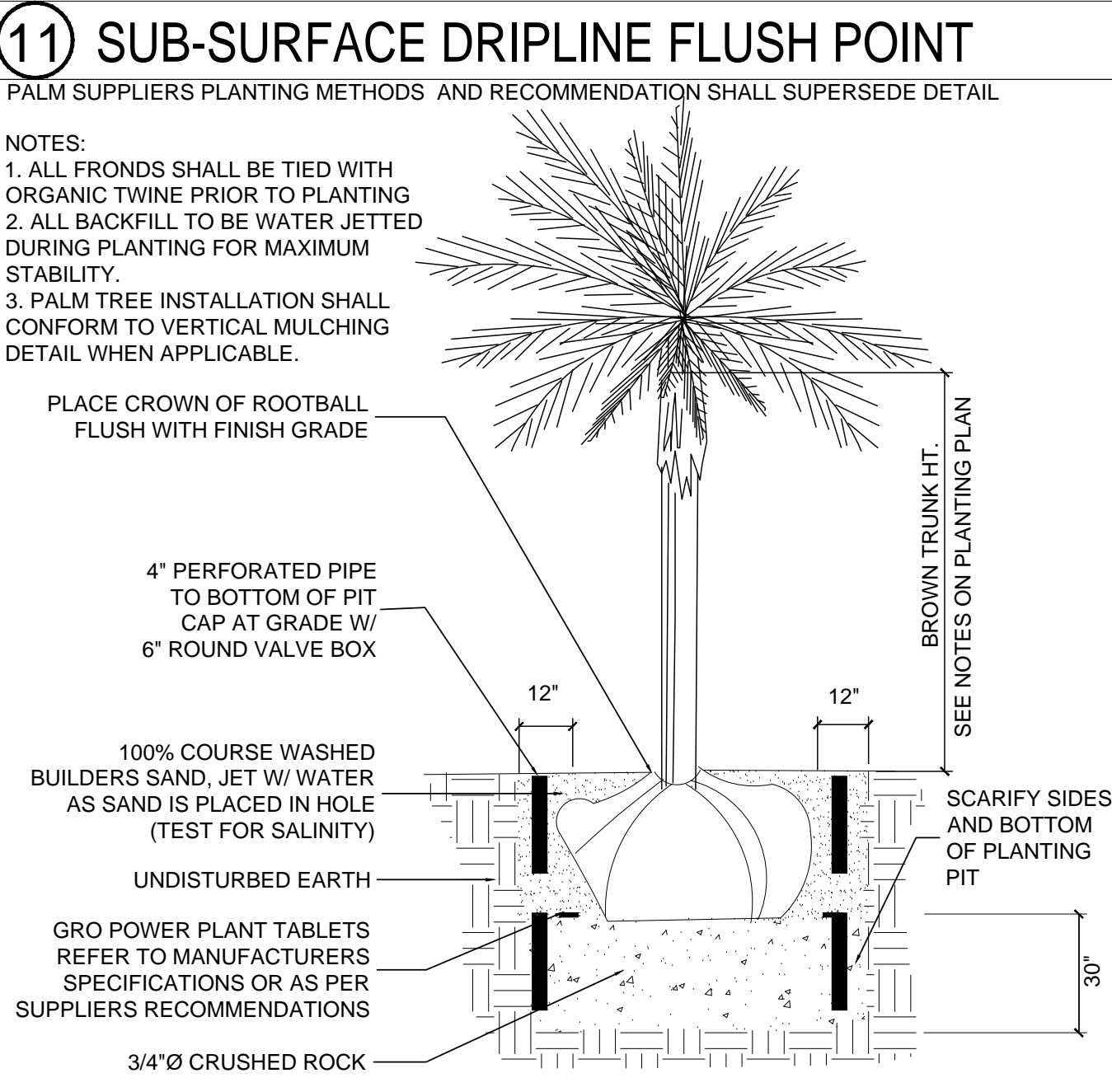
4 ELECTRIC MASTER CONTROL VALVE

NOT TO SCALE



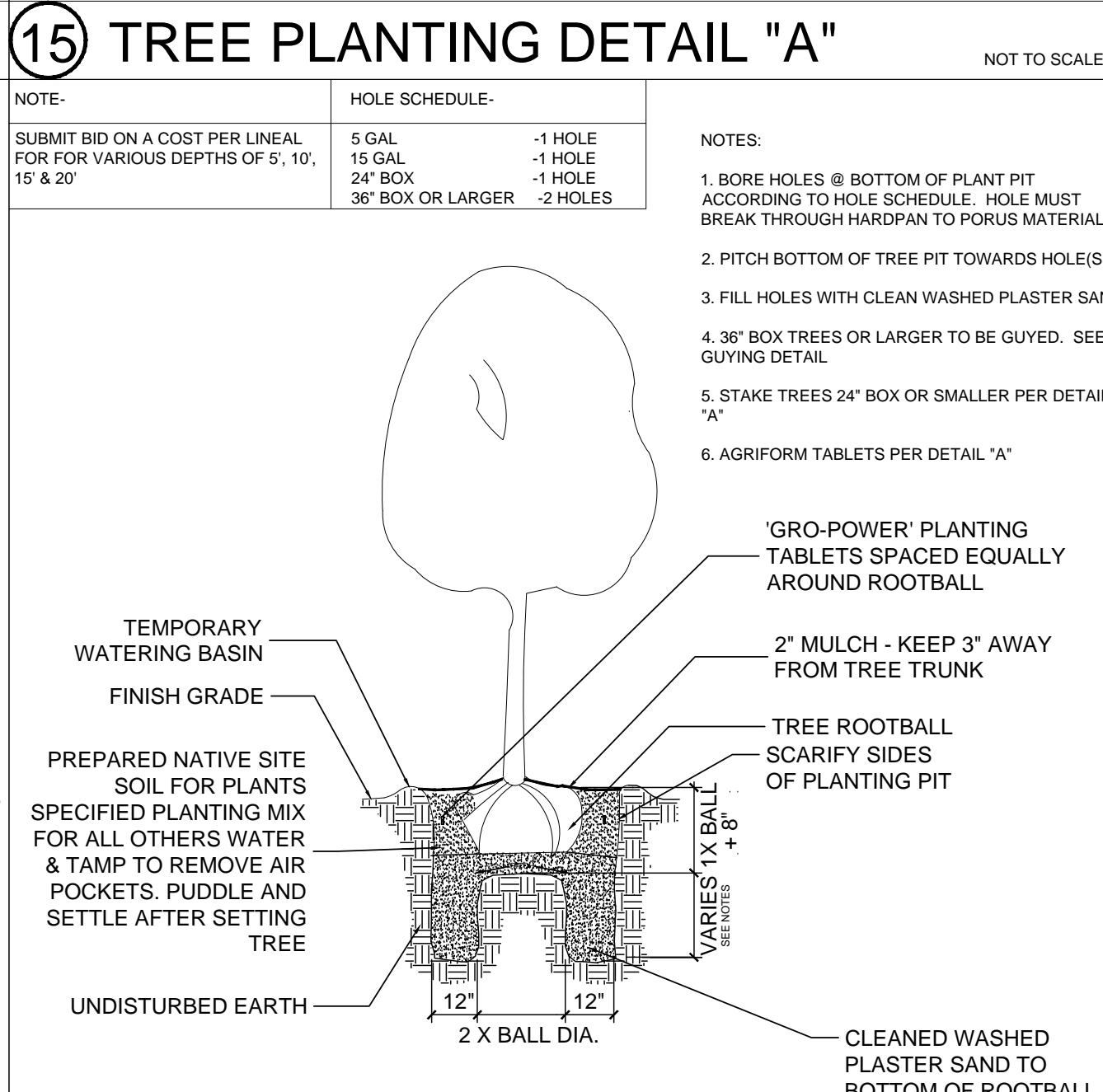
8 ELECTRIC REMOTE CONTROL VALVE

NOT TO SCALE



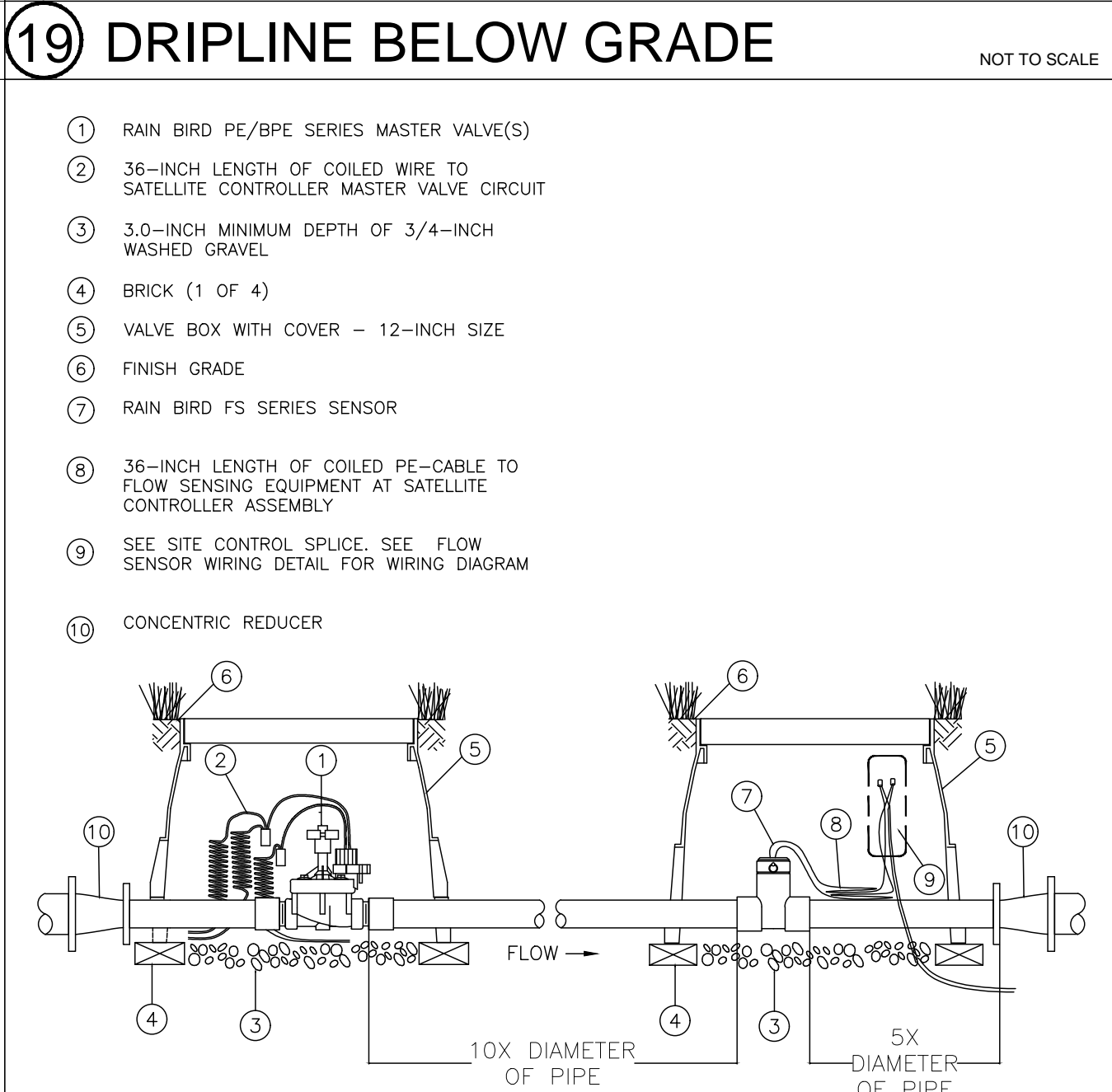
12 PALM PLANTING DETAIL

NOT TO SCALE



16 TREE PLANTING DETAIL "B"

VERTICAL MULCHING



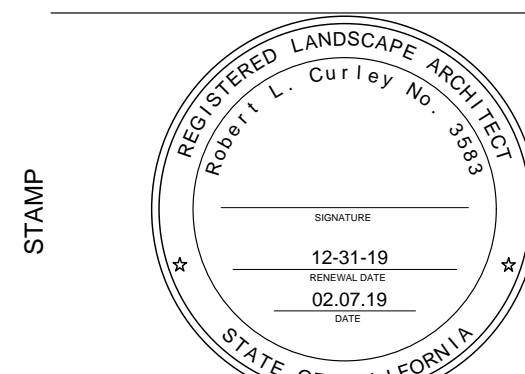
20 SITECONTROL MASTER VALVE (NORMALLY CLOSED) AND TEE MOUNTED FLOW SENSOR

NOT TO SCALE

REVISIONS	DATE	DESCRIPTION

AGENCY NO.

APPROVAL



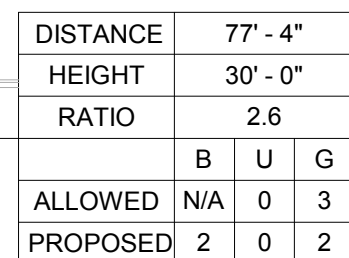
PROJECT NO. 17-9963
DRAWN RLC Author RLC
REVIEWED RLC Checker

LANDSCAPE INSTALLATION
DETAILS

LEGEND OF BUG CALLOUT RATINGS:

[illegible]

DISTANCE	101' - 3"		
HEIGHT	30' - 0"		
RATIO	3.4		
	B	U	G
ALLOWED	N/A	0	3
PROPOSED	4	0	2



**MEMORIAL CARE
MILLER CHILDREN'S & WOMEN'S
HOSPITAL LONG BEACH
2801 ATLANTIC AVE, LONG BEACH CA 90806**

AGENCY NO. _____

SITE LIGHTING PHOTOMETRIC PLAN