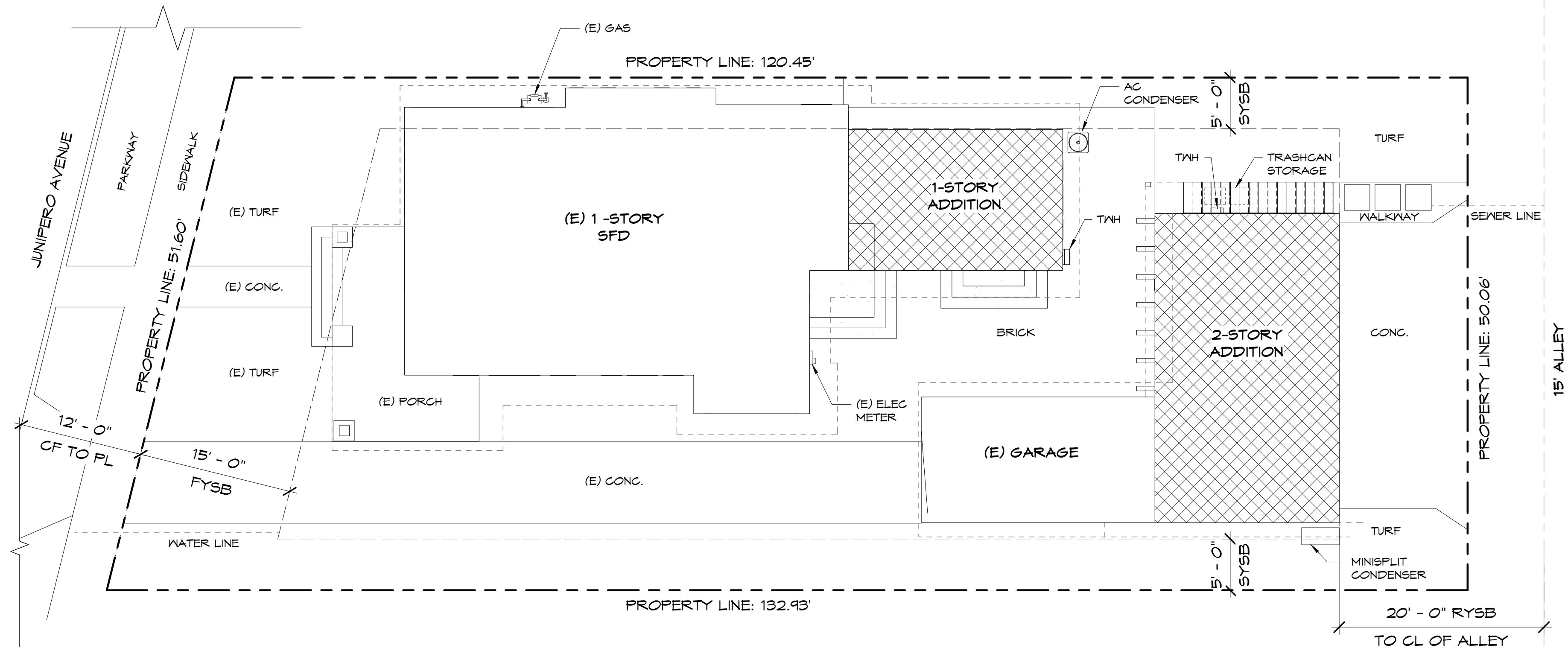




SITE PLAN NOTES

1. ALL 2ND UNIT UTILITIES TO BE SEPARATED FROM MAIN HOUSE.

1 SITE PLAN
1/8" = 1'-0"

ABBREVIATIONS

ABV	ABOVE	FG	FIELD GAS SUPPLY OUTLET	PA	PLANTER AREA	TH	TOWEL HOOK
AFF	ABOVE FINISH FLOOR	FIN GR	FINISHED GRADE	PKT	POCKET DOOR	TOC	TOP OF CURB
BA	BATH	FRZ	FREEZER	PL	PROPERTY LINE	TN	TOE NICHE
BCR	BELOW COUNTER REFRIGERATOR	FV	FOUNDATION VENT	PLT HT	PLATE HEIGHT	TP	TOILET PAPER HOLDER
BS	BAR SINK	FYSB	FRONT YARD SETBACK	(R)	REFURBISH	TPM	TOILET PAPER / MAGAZINE RACK
CAB	BUILT-IN CABINETRY	GB	GREY BOX	RAG	RETURN AIR GRILL	TUB	SOAKING TUB
CF	CURB FACE	GD	GARBAGE DISPOSER	REF	REFRIGERATOR	TWH	TANKLESS WATER HEATER
CNTR	COUNTERTOP	GDO	GARAGE DOOR OPENER (JACK SHAFT)	RHB	RECESSED HOSE BIBB	U.F.A.	UNDER FLOOR ACCESS
CT	COOKTOP	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	RNG	RANGE	U.N.O.	UNLESS NOTED OTHERWISE
D	DOWNSPOUT	GFF	GROUND FINISH FLOOR	RO	REVERSE OSMOSIS	UR	URINAL
DA	DOOR ACTIVATED LIGHT	GV	GARAGE VENT	RS	RAIN SHOWER	VS	VEGETABLE SINK
DDV	DOWN DRAFT VENT	HB	HOSE BIBB	RYSB	REAR YARD SETBACK	WC	WATER CLOSET/ TOILET
DET	DETAIL	HD	HOOD	S4P	SHelf AND POle IN cLOSET	WD	WARMING DRAWER
DN	DOWN	HDR	HEADER	SC	SHOWER CONTROLS	WD	WASHER / DRYER
DO	DOUBLE OVEN	HT	HEIGHT	SHR	SHAMPOO RECESS	WF	WIDE FLANGE
DO/M	DOUBLE OVEN W/MICRO COMBO	HTB	HEATED TOWEL BAR	SK	SKYLIGHT	WH	WATER HEATER
DR	DOOR	HW	HAND WAND	SR	SOAP RECESS	W.I.C.	WALK IN CLOSET
DS	DISH SINK	IT	INSTANT HOT	SS	SERVICE SINK	WM	WATER METER
DV	DRYER VENT	L	LAVATORY / SINK	ST	"SOLA-TUBE" SKYLIGHT	WND	WINDOW
DN	DISHWASHER	LS	LAZY SUSAN	SUB FLR	SUB FLOOR	WRB	WEATHER RESISTIVE BARRIER
(E)	EXISTING	MC	MEDICINE CABINET (TYPICAL)	SYB	SIDE YARD SETBACK		
ELEV	ELEVATION	MGM	MEDICINE CABINET BEHIND MIRROR	T&G	TONGUE AND GROOVE		
EV	ELECTRIC VEHICLE	MIR	MIRROR	T/R	TRASH / RECYCLE CAB		
FAU	FORCED AIR UNIT	MISC	MISCELLANEOUS	TB	TOWEL BAR		
FD	FLOOR DRAIN	MIN	MICROWAVE	TBD	TO BE DETERMINED		
FF	FINISH FLOOR	(N)	NEW	TC	TRASH COMPACTOR		

SHEET INDEX

A-1.1	SITE PLAN
A-3.1	DEMOLITION PLAN
A-4.1	FIRST FLOOR PLAN
A-4.2	SECOND FLOOR PLAN
A-5.1	ROOF PLAN
A-6.1	DEMO ELEVATIONS
A-7.1	PROPOSED NORTH/WEST EXTERIOR ELEVATIONS
A-7.2	PROPOSED SOUTH/EAST EXTERIOR ELEVATIONS
A-11.1	ARCHITECTURAL SECTIONS

LEGAL OWNER

KENNY AND MELISSA
KAWAMOTO-NORRBOM
520 JUNIPERO AVE, CA 90814
PHONE: 707/696.6357

LEGAL DATA

CITY: LONG BEACH
COUNTY: LOS ANGELES
APN: 726-302-1003

DESIGN DATA

CODE: 2016 CRC, 2016 CEC, 2016 CPC, 2016 CMC,
2016 CA ENERGY CODE, 2016 CALGREEN,
CITY ORDINANCE

SETBACKS:	ZONE:	R-3-S
FRONT: 15'	OCCUPANCY:	R-3
SIDES: 5'	USE:	SFD
REAR: 20'	CONSTRUCTION TYPE:	V-B
HEIGHT LIMIT:	SFRINKLERS:	NO

NOT TO EXCEED 2-STORIES

CURB FACE TO	FLOOD ZONE:	NO
PROPERTY LINE:		
ALLEY WIDTH:		

SQUARE FOOTAGE CALCULATIONS

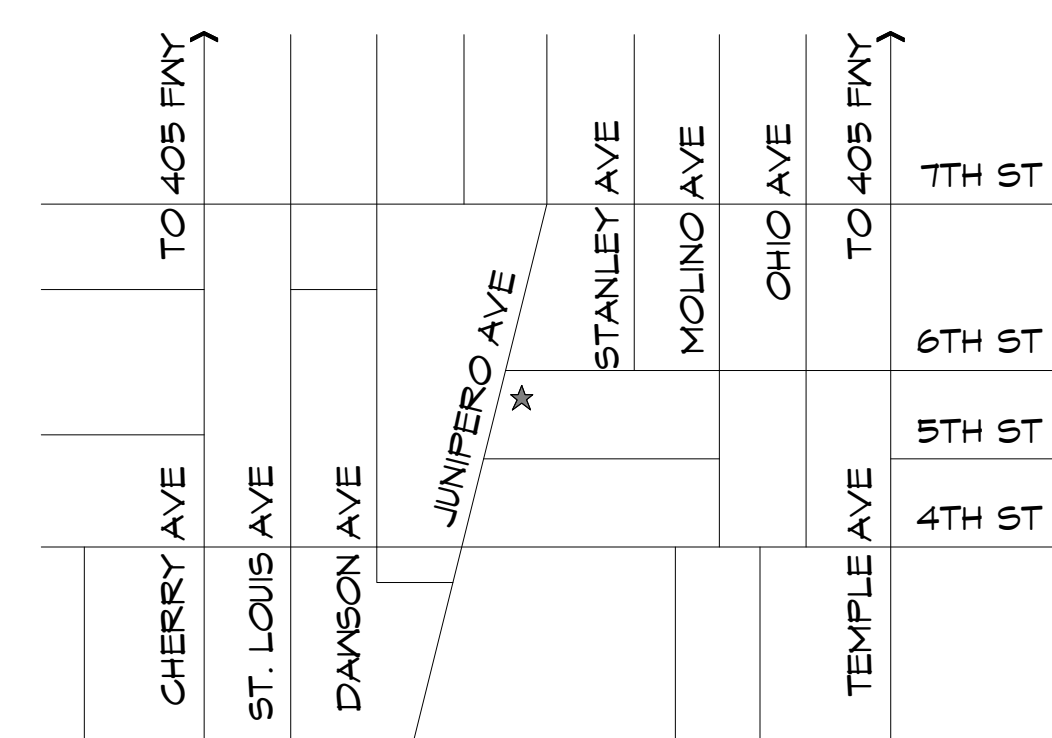
EXISTING SQUARE FOOTAGE	
FIRST FLOOR:	1,138 SF
TOTAL LIVABLE:	1,138 SF
GARAGE	264 SF
TOTAL STRUCTURAL:	1,402 SF
AREA OF REMODEL	
FIRST FLOOR:	53 SF
GARAGE	17 SF
TOTAL STRUCTURAL:	70 SF
AREA ADDED TO DWELLING-	
FIRST FLOOR (MAIN HOME):	262 SF
AREA REMOVED FROM DWELLING-	
FIRST FLOOR (MAIN HOME):	-6 SF
TOTAL AREA ADDED (MAIN HOME)	256 SF
AREA OF (N) 2ND FLOOR UNIT:	540 SF
TOTAL LIVABLE ADDED:	796 SF
AREA OF (N) GARAGE:	565 SF
AREA REMOVED (E) GARAGE:	-17 SF
TOTAL AREA ADDED (GARAGE):	548 SF

NEW TOTAL SQUARE FOOTAGE:	
FIRST FLOOR (MAIN HOME):	1,394 SF
SECOND FLOOR UNIT:	540 SF
TOTAL LIVABLE:	1,934 SF
GARAGE	812 SF
TOTAL STRUCTURAL:	2,746 SF
LOT SIZE:	6,343 SF
TOTAL BUILDING AREA:	2,746 SF
FLOOR TO AREA RATIO:	N/A
(< N/A ALLOWED)	
MAXIMUM LOT COVERAGE:	N/A
(< N/A ALLOWED)	
OPEN SPACE PROVIDED:	1,039 SF
(500 SF REQUIRED)	

GENERAL SCOPE OF WORK

EXISTING 1-STORY HOME ADDITION WITH NEW GARAGE IN
REAR & NEW SECOND UNIT OVER GARAGE

VICINITY MAP



KAWAMOTO RESIDENCE
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LONG BEACH
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SITE PLAN

REVISIONS:

NO.	DESCRIPTION	DATE

PC#:

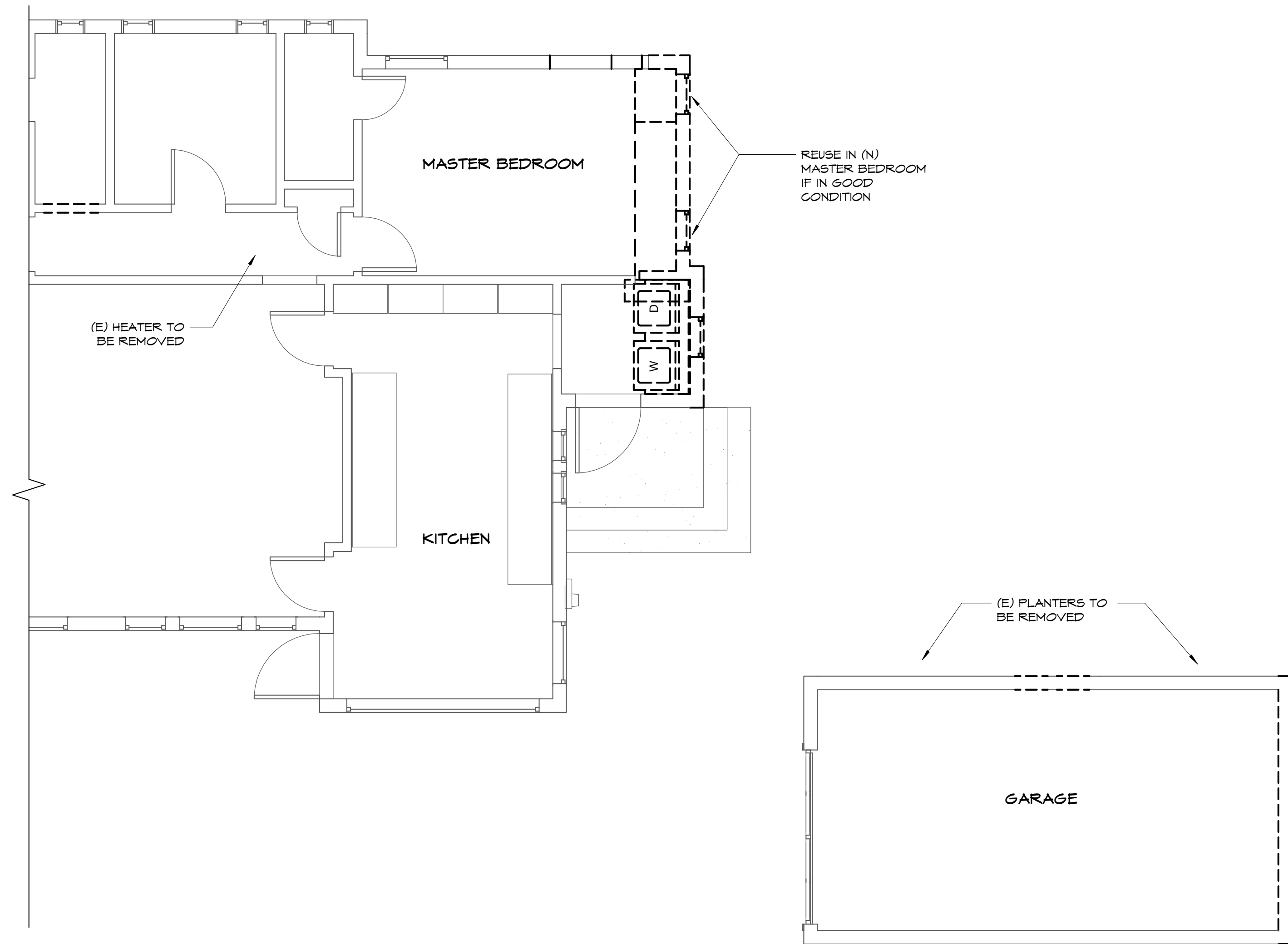
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JOB#: 2018.05.15



A-1.1

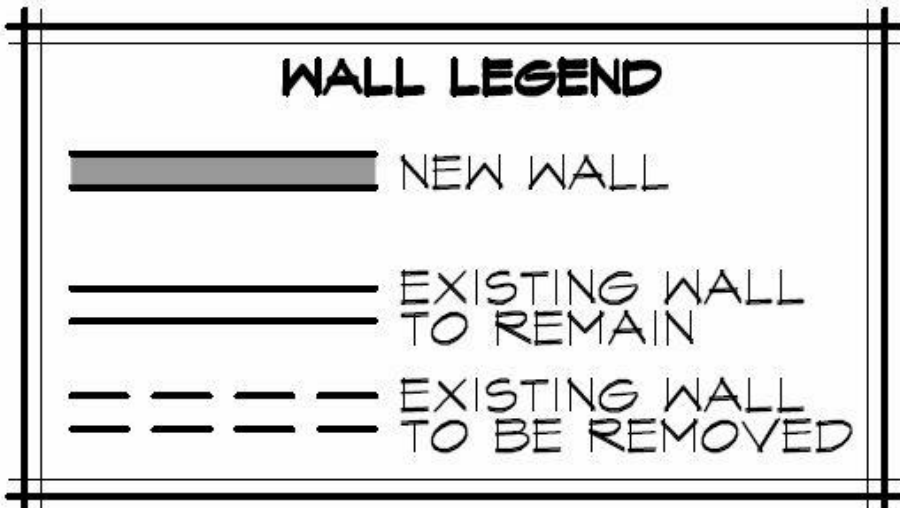
DATE: 02/26/19



WALL LEGEND		
	NEW WALL	
	EXISTING WALL TO REMAIN	
	EXISTING WALL TO BE REMOVED	

KAWAMOTO RESIDENCE			DEMOLITION PLAN	<table><tr><th colspan="3">REVISIONS:</th></tr><tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	REVISIONS:			NO.	DESCRIPTION	DATE															
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NO.	DESCRIPTION	DATE																							
520 JUNIPERO AVENUE LONG BEACH CALIFORNIA, 90814																									
		296 redondo avenue . long beach . ca . 90803 562/987.9139 jeannettearchitects.com																							
				<table><tr><td>A-3.1</td></tr><tr><td>DATE: 02/26/19</td></tr></table>	A-3.1	DATE: 02/26/19																			
A-3.1																									
DATE: 02/26/19																									

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FIRST FLOOR PLAN

PC#:	
DB:	JN/SO
JOB#:	2018.05.15

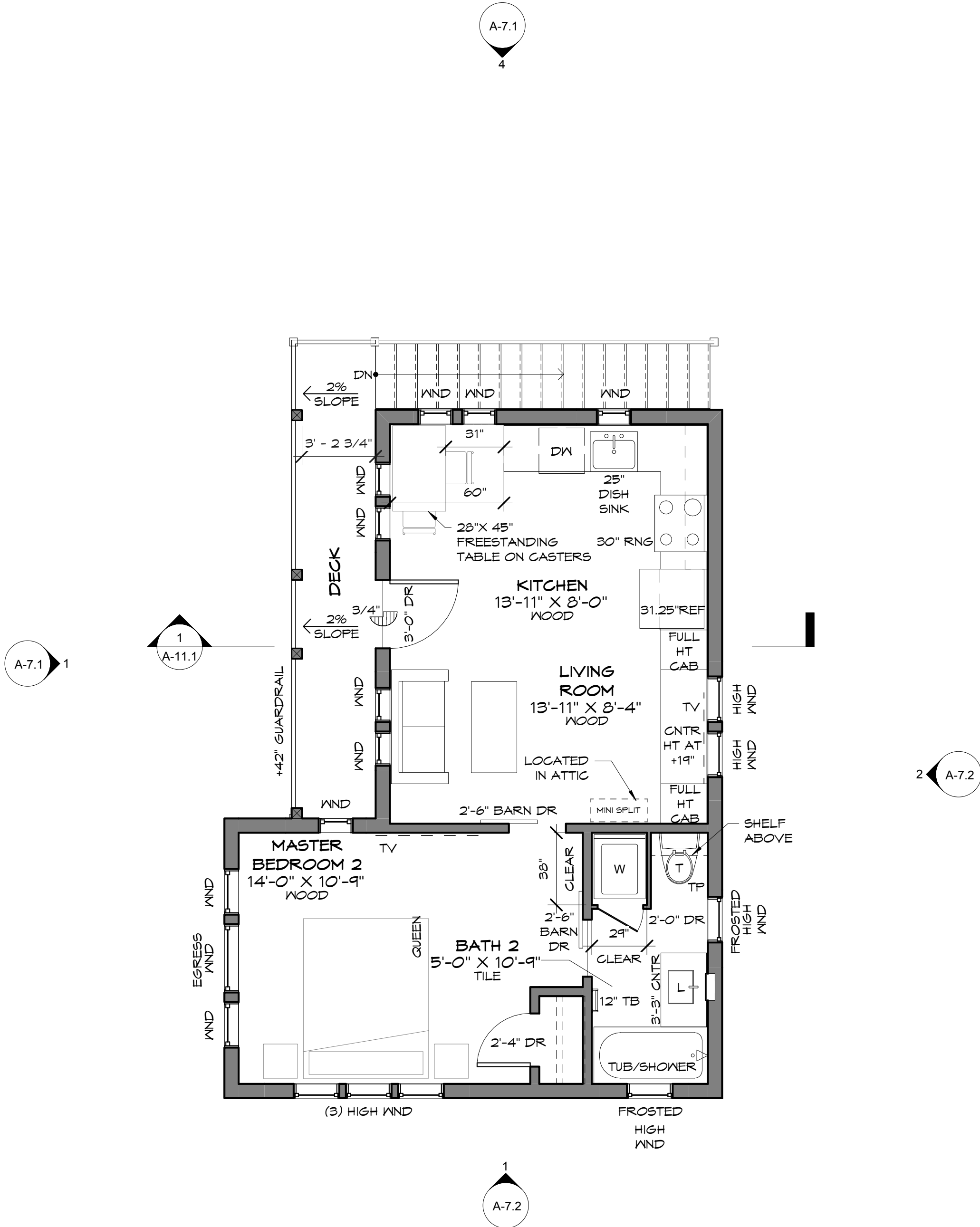


DATE: 02/26/19

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WALL LEGEND		
	NEW WALL	
	EXISTING WALL TO REMAIN	
	EXISTING WALL TO BE REMOVED	

REFER TO SHEET A-4.1 FOR
NOTES AND OTHER
INFORMATION NOT SEEN HERE



1 SECOND FLOOR PLAN
1/4" = 1'-0"

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SECOND FLOOR PLAN

REVISIONS:

NO.	DESCRIPTION	DATE

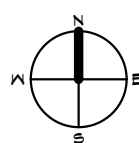
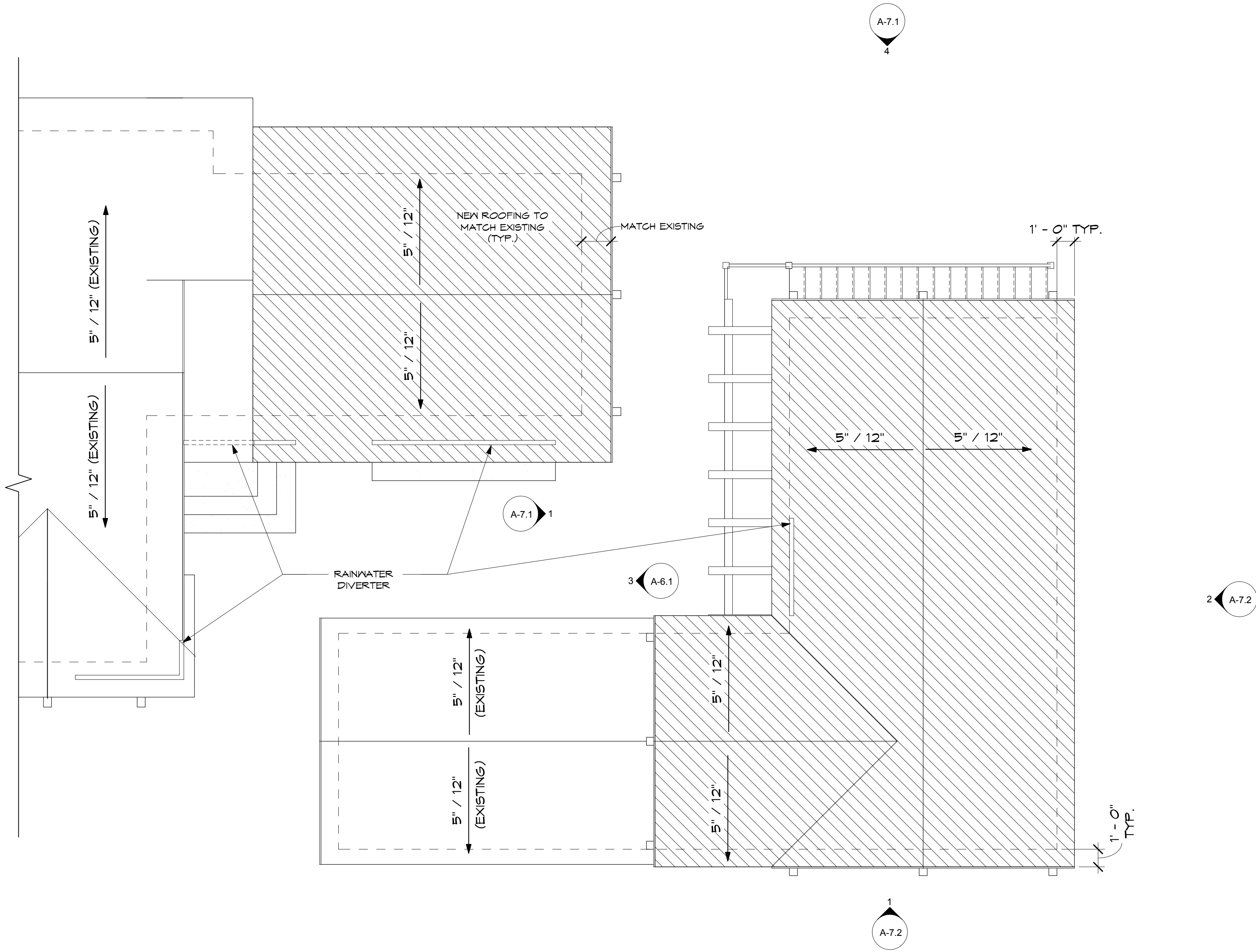
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DB: JN/SO
JOB#: 2018.05.15

LICENSED ARCHITECT
JEFFREY S. JEANNETTE
C 30598
4.30.19
RENEWAL DATE
STATE OF CALIFORNIA

A-4.2
DATE: 02/26/19

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1 ROOF PLAN
1/4" = 1'-0"



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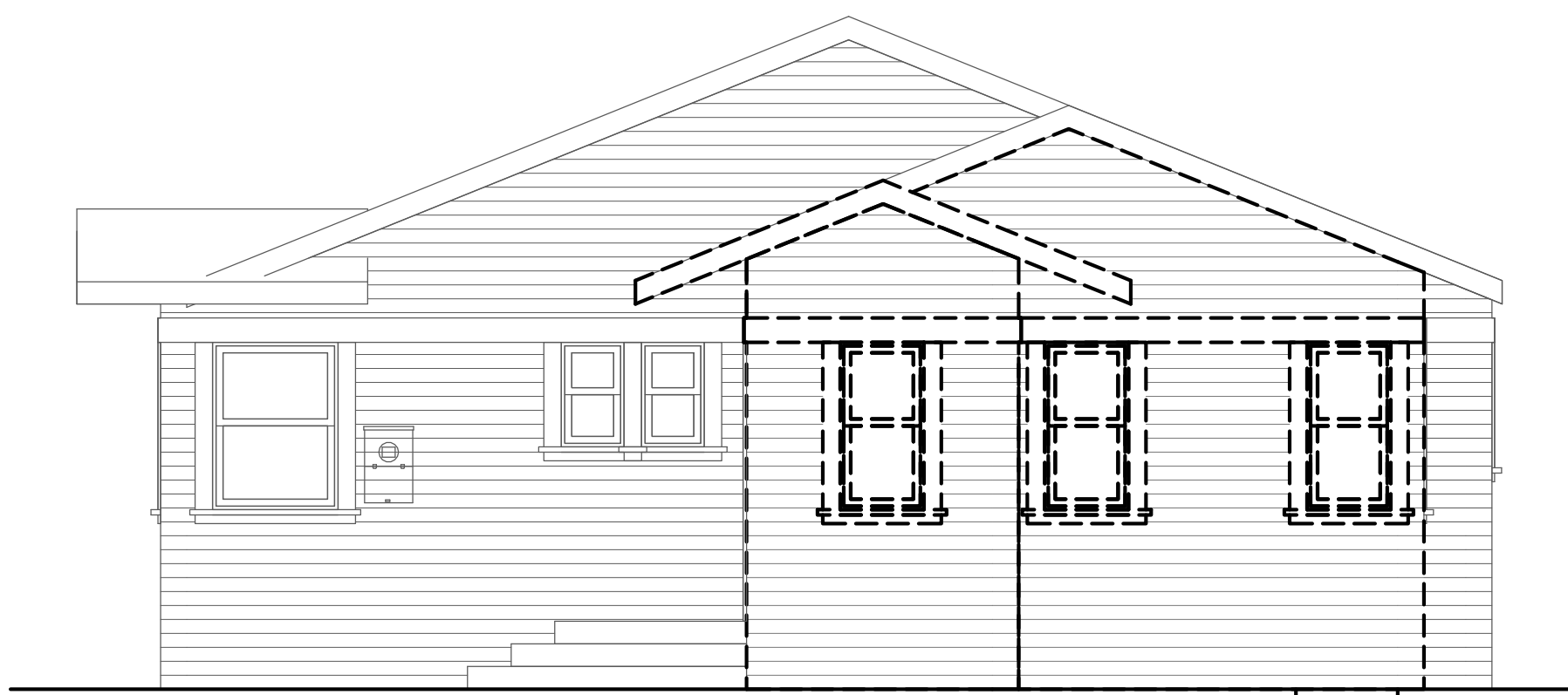
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DATE: 02/26/19

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3 DEMO EAST ELEVATION
1/4" = 1'-0"

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520 JUNIPERO AVENUE LONG BEACH CALIFORNIA, 90814		
DEMO ELEVATIONS		
REVISIONS:		
NO.	DESCRIPTION	DATE
PC#:		
DB:		JN/SO
JOB#:		2018.05.15
LICENSED ARCHITECT JEFFREY S. JEANNETTE C 30598 4.30.19 RENEWAL DATE STATE OF CALIFORNIA		
A-6.1		
DATE: 02/26/19		

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ALL PRODUCTS LISTED BELOW SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS SO AS NOT TO VOID WARRANTIES.

SIDING: TEARDROP WOOD SIDING WITH 4-INCH EXPOSURE. COLOR AND TEXTURE TO MATCH EXISTING.

EXTERIOR TRIM: SHALL BE PRIMED ON ALL SIDES AND ENDS, ALL EXPOSED SIDES TO BE PAINTED TO MATCH EXISTING.

WINDOW TRIM: TO MATCH EXISTING MAIN HOME COLOR, SIZE AND TEXTURE.

DOOR TRIM: TO MATCH EXISTING MAIN HOME COLOR, SIZE AND TEXTURE.

BELLY BAND TRIM: TO MATCH EXISTING MAIN HOME COLOR, SIZE AND TEXTURE.

GABLE END SIDING: TO MATCH EXISTING MAIN HOME COLOR, SIZE AND TEXTURE.

EXTERIOR WINDOWS/DOORS: WINDOWS AND DOOR FRAMES TO BE WOOD TO MATCH EXISTING MAIN HOME.

FRONT DOOR: CUSTOM WOOD DOOR, PAINT GRADE, COLOR TO MATCH EXISTING AT MAIN HOME.

GARAGE DOOR: WOOD CARRIAGE HOUSE GARAGE DOOR BY CLOPAY.

EXPOSED BEAMS/POSTS: ARCH GRADE WOOD RATED FOR EXTERIOR APPLICATIONS,
PAINTED TO MATCH ADJACENT MATERIALS.

ROOFING: COMPOSITION SHINGLES, COLOR TO MATCH EXISTING MAIN HOME. SEE ROOF PLAN FOR SPECS.

DECK: SEE ROOF PLAN FOR SPECS. COLOR TBD.

STAIRWAY/ DECK TRIM: PAINT GRADE WOOD, PRIMED ON ALL SIDES AND ENDS, ALL EXPOSED SIDES TO BE PAINTED, COLOR TO MATCH EXPOSED BEAMS AND POSTS.

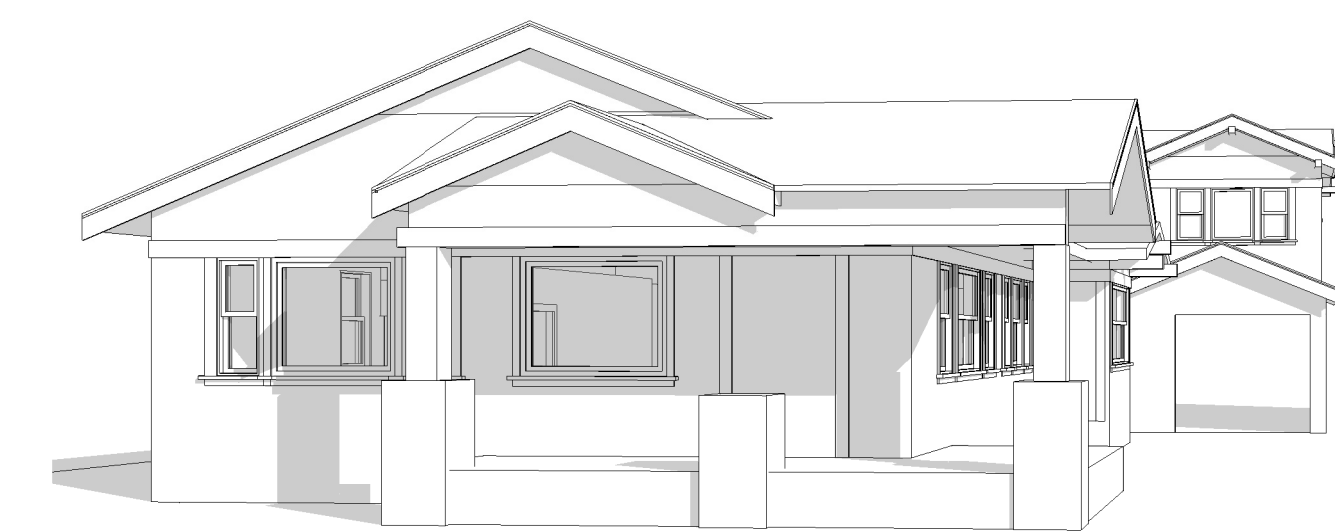
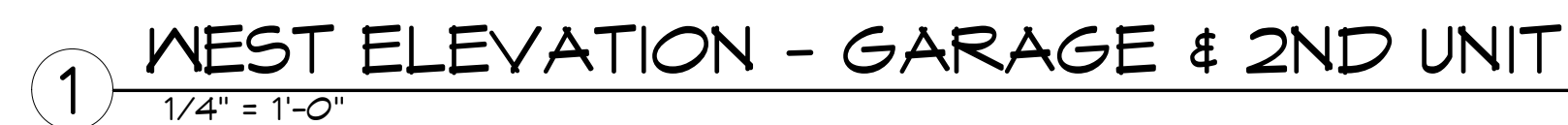
ROOF FASCIA: PAINT GRADE WOOD BOARDS, PRIMED ON ALL SIDES AND ENDS, ALL EXPOSED SIDES TO BE PAINTED, COLOR TO MATCH EXISTING.

OUTLOOKERS: TO MATCH EXISTING LENGTH, PROFILE, AND COLOR OF THOSE EXISTING AT MAIN HOME.

EAVE AND RAKE UNDER SIDES: EXPOSED RAFTERS, EAVE UNDERSIDE TO HAVE T&G. ALL T&G BOARD MUST BE CLEAR GRAIN - NO KNOTS. CEDAR OR SPRUCE WOOD MAY BE USED. PINE SHALL NOT BE USED.

RAILINGS: PAINT GRADE CEDAR WOOD. PROFILE TO MATCH EXISTING GABLE END
DETAIL OF MAIN HOME. COLOR TO MATCH EXPOSED BEAMS AND POSTS.

TRELLIS AND POSTS: PAINT GRADE CEDAR WOOD. WOOD TO BE ARCH GRADE AND RATED FOR EXTERIOR APPLICATIONS. COLOR TO MATCH EXPOSED BEAMS AND POSTS.



2 CONCEPT MASSING FROM JUNIPERO



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PROPOSED
NORTH/WEST EXTERIOR
ELEVATIONS

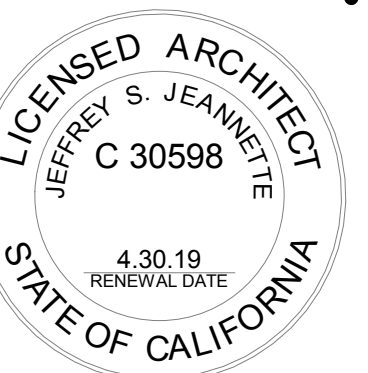
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A-7.1

DATE: 02/26/19

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PROPOSED
SOUTH/EAST EXTERIOR
ELEVATIONS

REVISIONS:		
NO.	DESCRIPTION	DATE

PC#:

DB: JN/SO

JOB#: 2018.05.15

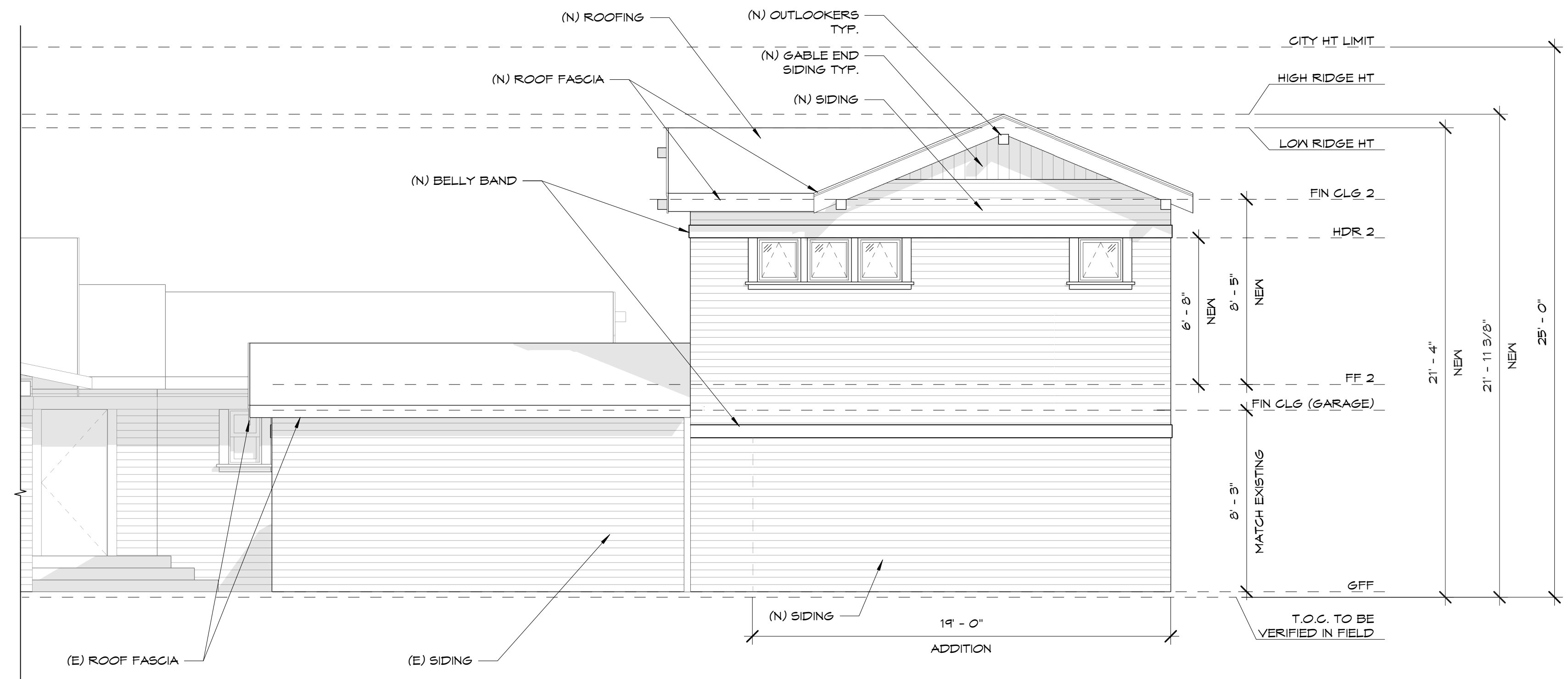


A-7.2

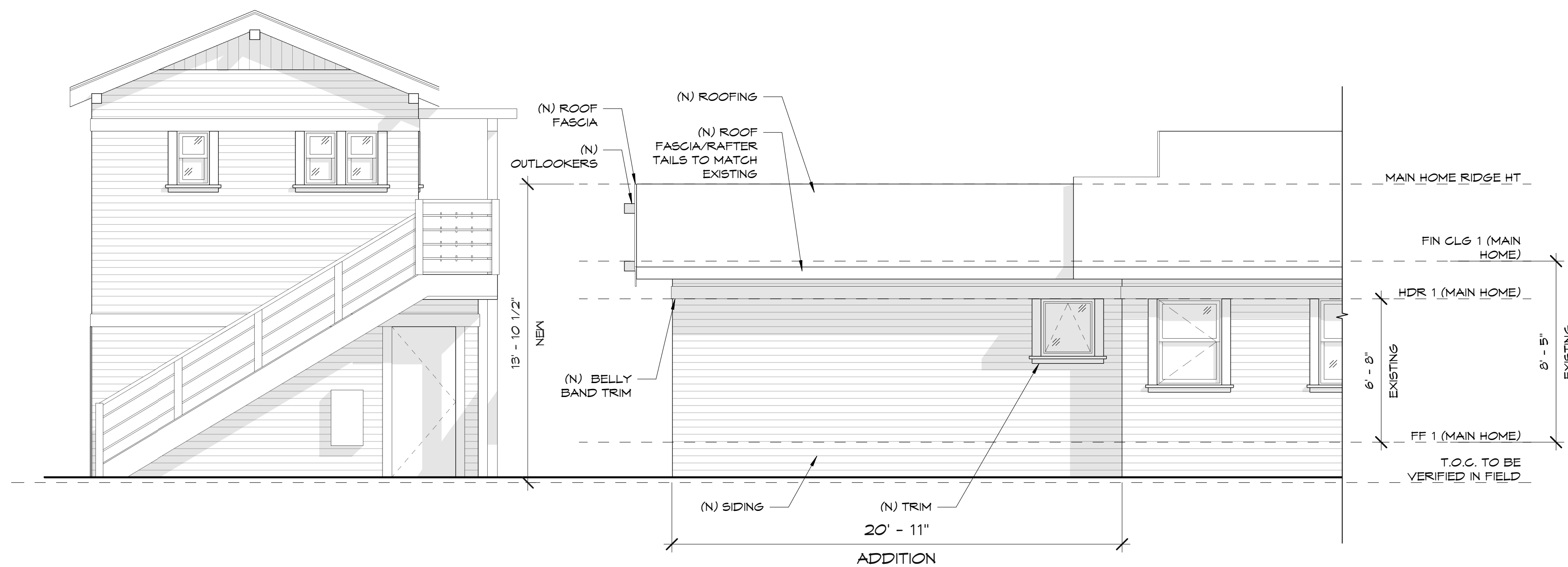
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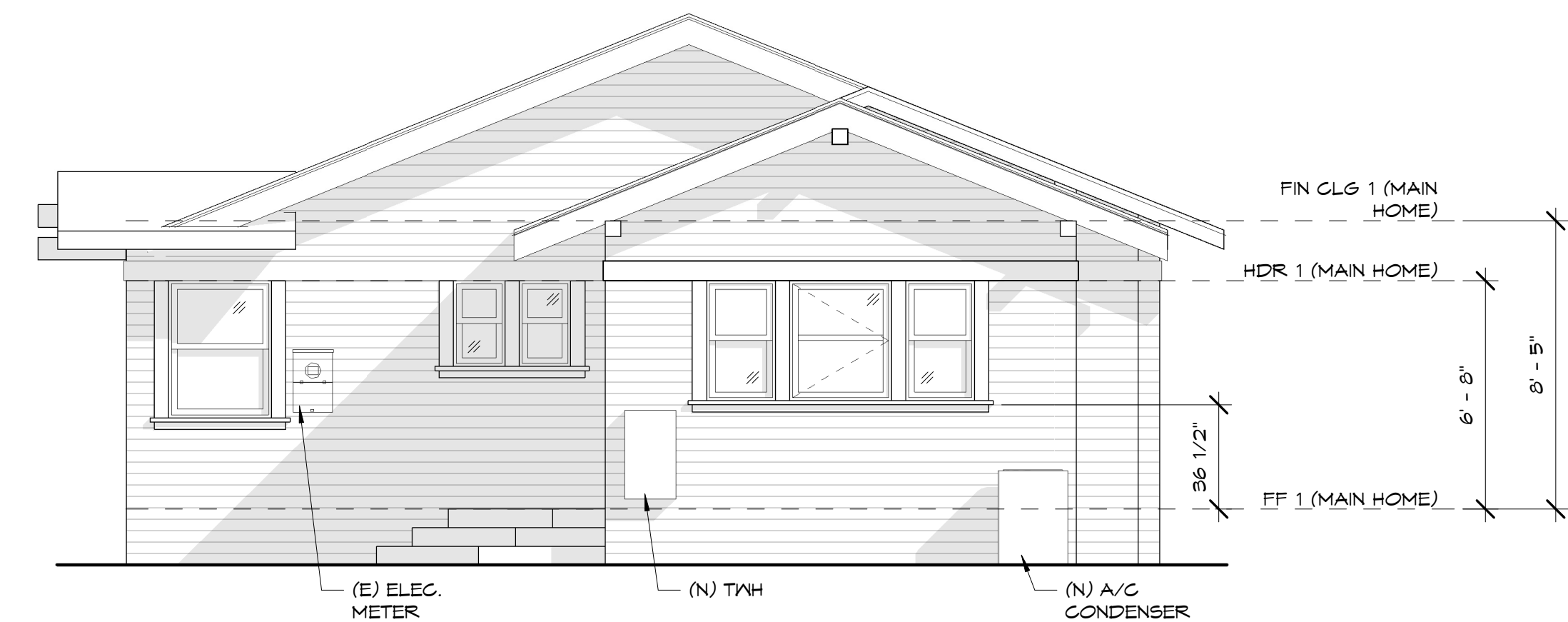
2 EAST ELEVATION - GARAGE & 2ND UNIT
1/4" = 1'-0"



1 SOUTH ELEVATION - GARAGE & 2ND UNIT
1/4" = 1'-0"

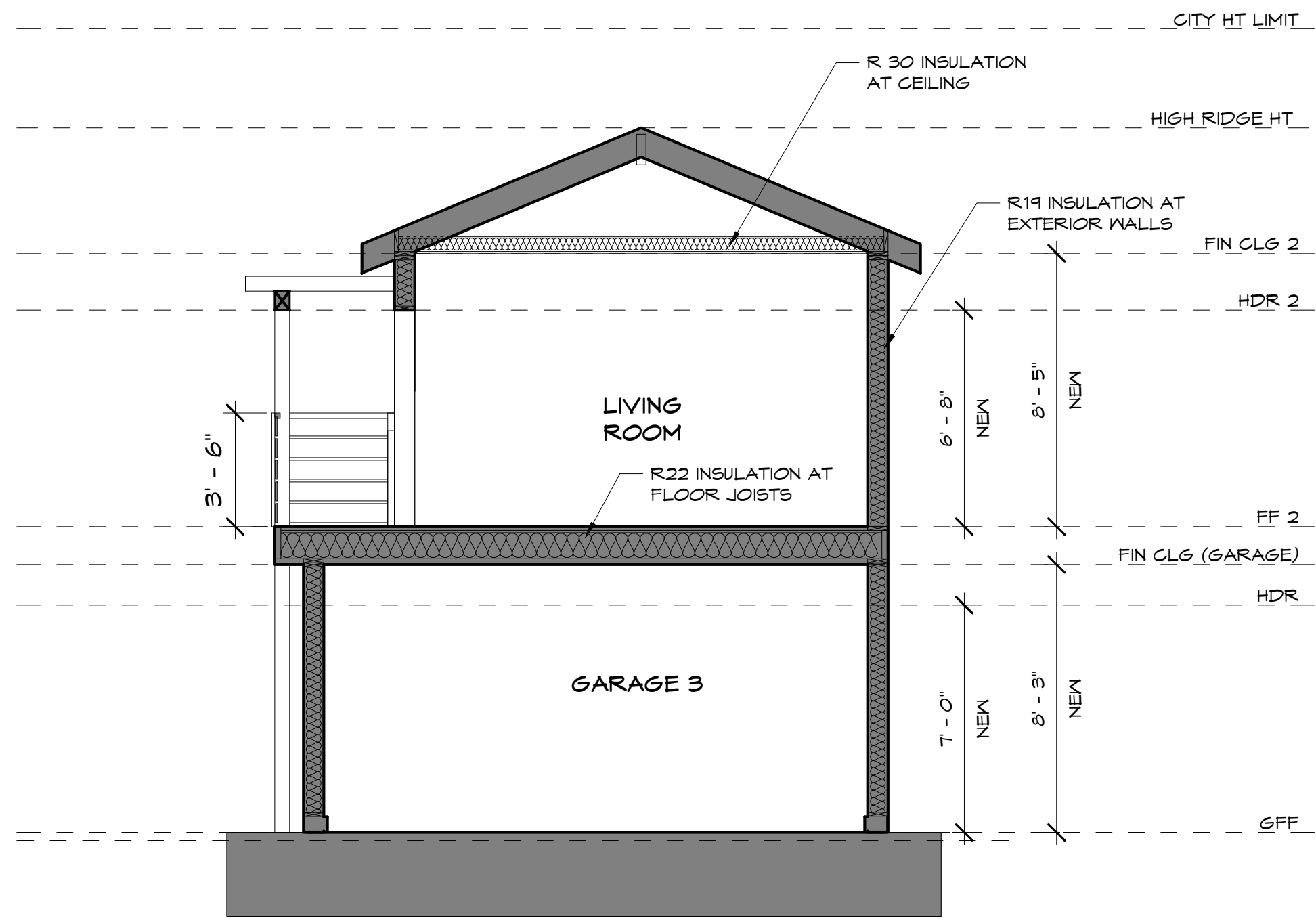


4 NORTH ELEVATION - MAIN HOME
1/4" = 1'-0"



3 EAST ELEVATION - MAIN HOME
1/4" = 1'-0"

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1 EAST WEST SECTION (2ND UNIT)
1/4" = 1'-0"

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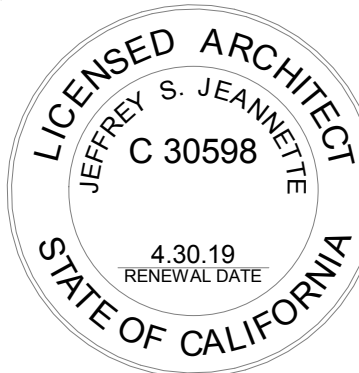
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A-11.1

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