EXHIBIT B

POLY PLAZA

NEC Anaheim St. & Atlantic Ave.
Long Beach, CA 90813

SITE PLAN REVIEW AND CONDITIONAL USE PERMIT RESUBMITTAL

GENERAL DATA

PROJECT ADDRESS:	NEC ANAHEIM ST. & ATLANTIC AVE. LONG BEACH, CALIFORNIA 90813
ASSESSOR'S PARCEL #:	7268-010-049 (A) 7268-010-048B (B)
LOCATION:	CITY OF LONG BEACH, CALIFORNIA
SITE AREA:	PARCEL A = ± 116,327.07 S.F. (±2.67 AC) PARCEL B = ± 76,555.99 S.F. (±1.75 AC) TOTAL = ± 192,883.06 S.F. (±4.42 AC)
JURISDICTION:	CITY OF LONG BEACH LONG BEACH, CALIFORNIA
EXISTING LAND USE:	COMMERCIAL
EXISTING ZONING:	C4 (COMMERCIAL DISTRICT)
REQUIRED SETBACKS:	YARD FRONTING ON MINOR ARTERIAL OR GREATER STREET CLASSIFICATION: 10 FT.
	YARD FRONTING ON LOCAL OR COLLECTOR STREET: 6 FT.
	PARKING LOT SETBACK FOR YARD FRONTING ON A STREET: 5 FT.
	YARDS ABUTTING ALLEYS: 10 FT. FROM CENTERLINE
	YARDS ABUTTING RESIDENTIAL DISTRICT: 20 FT.
	YARDS ABUTTING NONRESIDENTIAL DISTRICT: 0 FT.
MAXIMUM HEIGHT	4 STORIES OR 60 FT.
BOUNDARIES INFORMATION:	THIS PLAN HAS BEEN PREPARED BY USING THE ALTA/ACSM LAND TITLE SURVEY BY M&G CIVIL ENGINEERING AND LAND SURVEYING, DATED SEPTEMBER 29, 2014.

LEGAL DESCRIPTIONS: APN 7268-010-049 (A)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1 OF PARCEL MAP NO. 8981, IN THE CITY OF LONG BEACH, AS PER MAP FILED IN BOOK 147, PAGES 45 AND 46 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPTING THEREFROM ALL OIL, GAS, HYDROCARBON SUBSTANCES AND MINERALS OF EVERY KIND AND CHARACTER LYING MORE THAN FIVE HUNDRED (500) FEET BELOW THE SURFACE OF SAID LAND; TOGETHER WITH THE RIGHT TO DRILL INTO, THROUGH AND TO USE AND OCCUPY ALL PARTS OF SAID LAND LYING MORE THAN FIVE HUNDRED (500) FEET BELOW THE SURFACE THEREOF FOR ANY AND ALL PURPOSES INCIDENTAL TO THE EXPLORATION FOR AND PRODUCTION OF OIL, GAS, HYDROCARBON SUBSTANCES OR MINERALS FROM SAID OR OTHER LANDS, BUT WITHOUT, HOWEVER, ANY RIGHT TO USE EITHER THE SURFACE OF SAID LAND OR ANY PORTION OF SAID LAND WITHIN FIVE HUNDRED (500) FEET OF THE SURFACE FOR ANY PURPOSE, PURPOSES WHATSOEVER, IN THE DEEDS RECORDED OCTOBER 2, 1975, BOOK D6819, PAGE 873; OCTOBER 6, 1975, BOOK D6822, PAGE(S) 489, 495 AND 497; OCTOBER 20, 1975, BOOK D6838, PAGE 696; NOVEMBER 3, 1975, BOOK D6856, PAGE 871; JANUARY 21, 1976, BOOK D6943, PAGE 938; MARCH 24, 1977, INSTRUMENT NO. 77-295157; JUNE 7, 1977, INSTRUMENT NO. 77-594992; AUGUST 4, 1977, INSTRUMENT NO(S). 77-805406 AND 77-805407; MAY 26, 1978, INSTRUMENT NO(S). 78-564262 AND 78-564263; AND OCTOBER 2, 1978, INSTRUMENT NO. 78-1089906, ALL OF OFFICIAL RECORDS.

EXISTING BUILDING SUMMARY

EXISTING BUILDING DATA:

(E) PAD 1	1,300 S.F.
(E) PAD 2	1,400 S.F.
(E) BUILDING 3	4,258 S.F.
(E) BUILDING 4 (SMART & FINALS)	26,000 S.F.
(E) BUILDING 5	27,267 S.F.
TOTAL EXISTING BUILDING AREA	60,225 S.F.

BUILDING AREA TO BE DEMOLISHED:

(E) PAD 1	1,300 S.F.
(E) PAD 2	1,400 S.F.
(E) BUILDING 3	4,258 S.F.
PORTION OF IN-LINE BUILDING 5	±7,142 S.F.
TOTAL BUILDING AREA TO BE DEMOLISHED:	±14,100 S.F.
TOTAL BUILDING AREA TO REMAIN:	±46,125 S.F.
EXISTING PARKING:	239 STALLS
PARKING RATIO BASED ON CURRENT PROJECT:	1 STALL/ 252 S.F. OR 3.97/1,000 S.F.

NOTE:
ALL EXISTING BUILDING AREAS WERE BASED ON LANDLORD'S RENT ROLL.

PROPOSED BLDG. & PARKING SUMMARY

PROPOSED BUILDING DATA:

NEW PAD 1	(READY TO EAT, W/ DRIVE-THRU)	±1,800 S.F.
NEW PAD 2	(REST. W/ DRIVE-THRU)	±4,400 S.F.
NEW BUILDING 3	(RESTAURANT)	±4,020 S.F.
TOTAL PROPOSED BUILDING AREA		±10,220 S.F.
TOTAL BUILDING AREA TO REMAIN:		±46,125 S.F.
TOTAL NEW BUILDING AREA:		±10,220 S.F.
OVERALL BUILDING AREA:		±56,345 S.F.

FLOOR AREA RATIO: (±56,345 S.F. / ±192,883.06 S.F.) = 0.29

LOT COVERAGE: (±56,345 S.F. / ±192,883.06 S.F.) = 29.21 %

TOTAL PARKING PROVIDED: 221 STALLS

STANDARD	(8'-6" x 18")	=	143 STALLS
HANDICAP	(9'-0" x 18")	=	10 STALLS
EV STALL	(8'-6" x 18")	=	56 STALLS
EVCS STD.:	(8'-6" x 18")	=	10 STALL
EVCS STD. ACCESSIBLE:	(9'-0" x 18")	=	1 STALL
EVCS VAN ACCESSIBLE:	(12'-0" x 18")	=	1 STALL

ELECTRICAL VEHICLE SPACES (EV):
25% OF PARKING SPACES SHALL BE ELECTRIC VEHICLE:
221 STALLS x .25 = 55.25 OR 56 STALLS

ELECTRICAL VEHICLE CHARGING STATION SPACES (EVCS):
5% OF 224 STALLS
221 STALLS x .05 = 11.05 OR 12 STALLS

SHORT TERM BICYCLE PARKING:
REQUIRED: 221 x 5% = 11.0
PROVIDED: 12 BICYCLES (6 RACKS x 2 BIKES EACH)

LONG TERM BICYCLE STORAGE:
PROVIDED: 4 BICYCLES (2 DBL. BIKE LOCKERS)

PARKING RATIO PROVIDED: 1 STALL/ 253 S.F. OR 3.9/1,000 S.F.

GENERAL DATA (CONT'D.)

LEGAL DESCRIPTION: APN 7268-010-049 (A)

ALSO EXCEPT ALL OIL, GAS, HYDROCARBON SUBSTANCES AND MINERALS OF EVERY KIND AND CHARACTER, LYING MORE THAN 500 FEET BELOW THE SURFACE OF SAID PROPERTY, TOGETHER WITH THE RIGHT TO DRILL INTO, THROUGH AND TO USE AND OCCUPY ALL PARTS OF SAID PROPERTY LYING MORE THAN 500 FEET BELOW THE SURFACE THEREOF FOR ANY AND ALL PURPOSES INCIDENTAL TO THE EXPLORATION FOR AND PRODUCTION OF OIL, GAS, HYDROCARBON SUBSTANCES, OR MINERALS FROM SAID PROPERTY OR OTHER LANDS, BUT WITHOUT HOWEVER, ANY RIGHT TO USE EITHER THE SURFACE OF SAID PROPERTY OR ANY PORTION OF SAID PROPERTY WITHIN 500 FEET OF THE SURFACE FOR ANY PURPOSE OR PURPOSES WHATSOEVER, AS RESERVED BY THE PARTIES NAMED IN DEEDS, LEASES AND OTHER DOCUMENTS OF RECORD, AS RESERVED IN DEED RECORDED FEBRUARY 23, 1979, AS INSTRUMENT NO. 79-214154, OFFICIAL RECORDS.

LEGAL DESCRIPTION: APN 7268-010-048 (B)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 16, 18, 20, 22, 24 AND PORTION OF LOTS 13, 15, 17, 19, 21 AND 23 IN BLOCK A OF HENDRICKSON TRACT, AS SHOWN ON MAP RECORDED IN BOOK 4, PAGE 76 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND ALSO THAT CERTAIN ALLEY, 10 FEET WIDE, LYING BETWEEN SAID LOTS, VACATED BY ORDER OF THE CITY COUNCIL OF THE CITY OF LONG BEACH, BY RESOLUTION NO. C-18114, A CERTIFIED COPY OF WHICH WAS RECORDED SEPTEMBER 14, 1961, AS INSTRUMENT NO. 3557, IN BOOK D-1354, PAGE 930, OF OFFICIAL RECORDS OF SAID COUNTY AND RESOLUTION NO. C-22917, A CERTIFIED COPY OF WHICH WAS RECORDED JUNE 3, 1980, AS INSTRUMENT NO. 80-542181, OFFICIAL RECORDS, IN SAID OFFICE OF THE COUNTY RECORDER, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 24; THENCE ALONG THE EAST LINE OF SAID LOTS 24, 22, 20, 18 AND 16, NORTH 270.07 FEET TO THE NORTHEAST CORNER OF SAID LOT 16, BEING ALSO THE SOUTHWEST CORNER OF SAID PARCEL 1 AS SHOWN ON MAP FILED IN BOOK 147, PAGES 45 AND 46 OF PARCEL MAPS, IN SAID OFFICE OF THE COUNTY RECORDER; THENCE WESTERLY ALONG THE BOUNDARY LINE OF SAID PARCEL 1 A DISTANCE OF 50.02 FEET TO AN ANGLE POINT THEREIN; THENCE WESTERLY ALONG THE BOUNDARY LINE OF SAID PARCEL 1 AND ITS PROLONGATION A DISTANCE OF 125.06 FEET TO THE EAST LINE OF THE WEST 10 FEET OF SAID LOT 13; THENCE ALONG SAID LAST MENTIONED EAST LINE, AND ITS SOUTHERLY PROLONGATION, SOUTH 320.08 FEET TO THE SOUTH LINE OF SAID LOT 23; THENCE NORTH 89□ 58' 20" EAST, ALONG THE SOUTH LINE OF SAID LOT 24, A DISTANCE OF 260.12 FEET TO THE POINT OF BEGINNING.

EXCEPT FROM SAID LOT 15 ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES IN, UNDER AND/OR THAT MAY BE PRODUCED FROM A DEPTH BELOW 500 FEET FROM THE SURFACE OF SAID LAND, BUT WITH NO RIGHTS IN OR TO ANY PORTION OF SURFACE OF SAID LAND TO A DEPTH OF 500 FEET BELOW THE SURFACE THEREOF, AS RESERVED BY LOUISE R. BURRILL AND GEORGE M. LANCASTER IN DEED RECORDED DECEMBER 23, 1958, IN BOOK D-313, PAGE 38, OFFICIAL RECORDS.

ALSO EXCEPT FROM SAID LOT 13 ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES IN, UNDER AND/OR THAT MAY BE PRODUCED FROM A DEPTH BELOW 500 FEET FROM THE SURFACE OF SAID LAND, BUT WITH NO RIGHTS IN OR TO ANY PORTION OF THE SURFACE OF SAID LAND TO A DEPTH OF 500 FEET BELOW THE SURFACE THEREOF AS RESERVED BY ELIZABETH LANCASTER, IN DEED RECORDED FEBRUARY 17, 1961, IN BOOK D-1127, PAGE 414, OFFICIAL RECORDS.

PROJECT TEAM

OWNER: LONG BEACH BUILDINGS III, LLC
433 North Camden Dr., Suite 1070
Beverly Hills, California 90210
310.278.5333 CELL
CONTACT: Ms. Michelle Rojas
E-mail Address: mrojas@begroup.us

APPLICANT & ARCHITECT: McKENTLY MALAK ARCHITECTS, INC.
35 Hugus Alley, Suite 200
Pasadena, California 91103
626.583.8348 TEL 626.583.8387 FAX
CONTACT: Mr. Hany Malak
E-mail Address: hany@mckently.com

LANDSCAPE ARCHITECT: TROLLER MAYER, LANDSCAPE ARCHITECT
1403 Kenneth Road, Suite B
Glendale, California 91201
818.956.8101 TEL 818.956.0120 FAX
CONTACT: Mr. Rick Mayer

SHEET LEGEND

COLUMN GRID LINES & TAGS
DRAWING NUMBER
SECTION CUT & TAG
SHEET NUMBER
DRAWING NUMBER
SHEET NUMBER
VIEW OR DIRECTION
HEIGHT OR LEVEL
DESCRIPTION
MATCH LINE
DRAWING NUMBER
SHEET NUMBER
DRAWING NUMBER
SHEET NUMBER
AREA OF DETAIL
DATUM POINT
DRAWING NO.
SHEET NO.
REVISION CLOUD & TAG

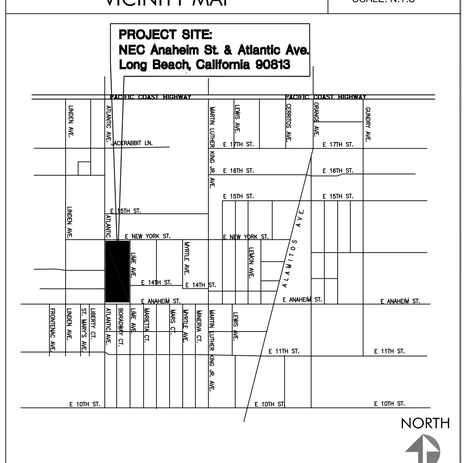
SHEET INDEX

ARCHITECTURAL

T-100	TITLE SHEET	
C001	ALTA/ACSM LAND TITLE SURVEY	(FOR REFERENCE ONLY)
D010	OVERALL EXISTING SITE/ DEMOLITION PLAN	
D011	ENLARGED EXISTING SITE /DEMOLITION PLAN	
D012	ENLARGED EXISTING SITE /DEMOLITION PLAN	
D013	ENLARGED EXISTING SITE /DEMOLITION PLAN	
L1.1	PRELIMINARY IRRIGATION PLAN & WATER BUDGET CALCULATION	
L2.1	PRELIMINARY TREE PLANTING PLAN	
L2.2	PRELIMINARY SHRUB PLANTING PLAN	
A010	OVERALL PROPOSED SITE PLAN	
A011	ENLARGED SITE PLAN	
A012	ENLARGED SITE PLAN	
A013	ENLARGED SITE PLAN	
A101	PROPOSED FLOOR PLAN	(PAD 1)
A102	PROPOSED FLOOR PLAN	(PAD 2)
A103	PROPOSED FLOOR PLAN	(NEW BUILDING 3)
A131	PROPOSED ROOF PLAN	(PAD 1)
A132	PROPOSED ROOF PLAN	(PAD 2)
A133	PROPOSED ROOF PLAN	(NEW BUILDING 3)
A201	PROPOSED EXTERIOR ELEVATIONS	(NEW PAD 1)
A201.1	PROPOSED EXTERIOR ELEVATIONS	(NEW PAD 1)
A202	PROPOSED EXTERIOR ELEVATIONS	(NEW PAD 2)
A202.1	PROPOSED EXTERIOR ELEVATIONS	(NEW PAD 2)
A203	PROPOSED EXTERIOR ELEVATIONS	(NEW BUILDING 3)
A204	PROPOSED EXTERIOR ELEVATIONS	(MODIFIED BLDG. 5)
A204.1	PROPOSED EXTERIOR ELEVATIONS	(MODIFIED BLDG. 5)

VICINITY MAP

SCALE: N.T.S



McKently Malak ARCHITECTS
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A PROJECT FOR:

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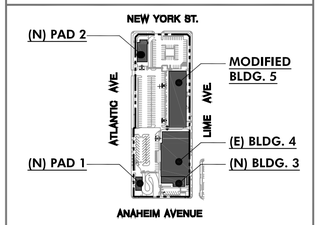
ARKA Properties Group, Inc.
9350 Wilshire Boulevard, Suite 402
Beverly Hills, CA 90212
Tel. 310-274.2259 Fax 310.274.1798



POLY PLAZA

KEY MAP N

POLY PLAZA
NEC Anaheim St. & Atlantic Ave.
Long Beach, CA 90813

ISSUES / REVISIONS

No.	DATE	DESCRIPTION
1	01.22.18	PRE-APPLICATION SUBMITTAL
2	06.29.18	SITE PLAN REVIEW & CUP SUBMITTAL
3	09.20.18	SITE PLAN REVIEW & CUP RESUBMITTAL

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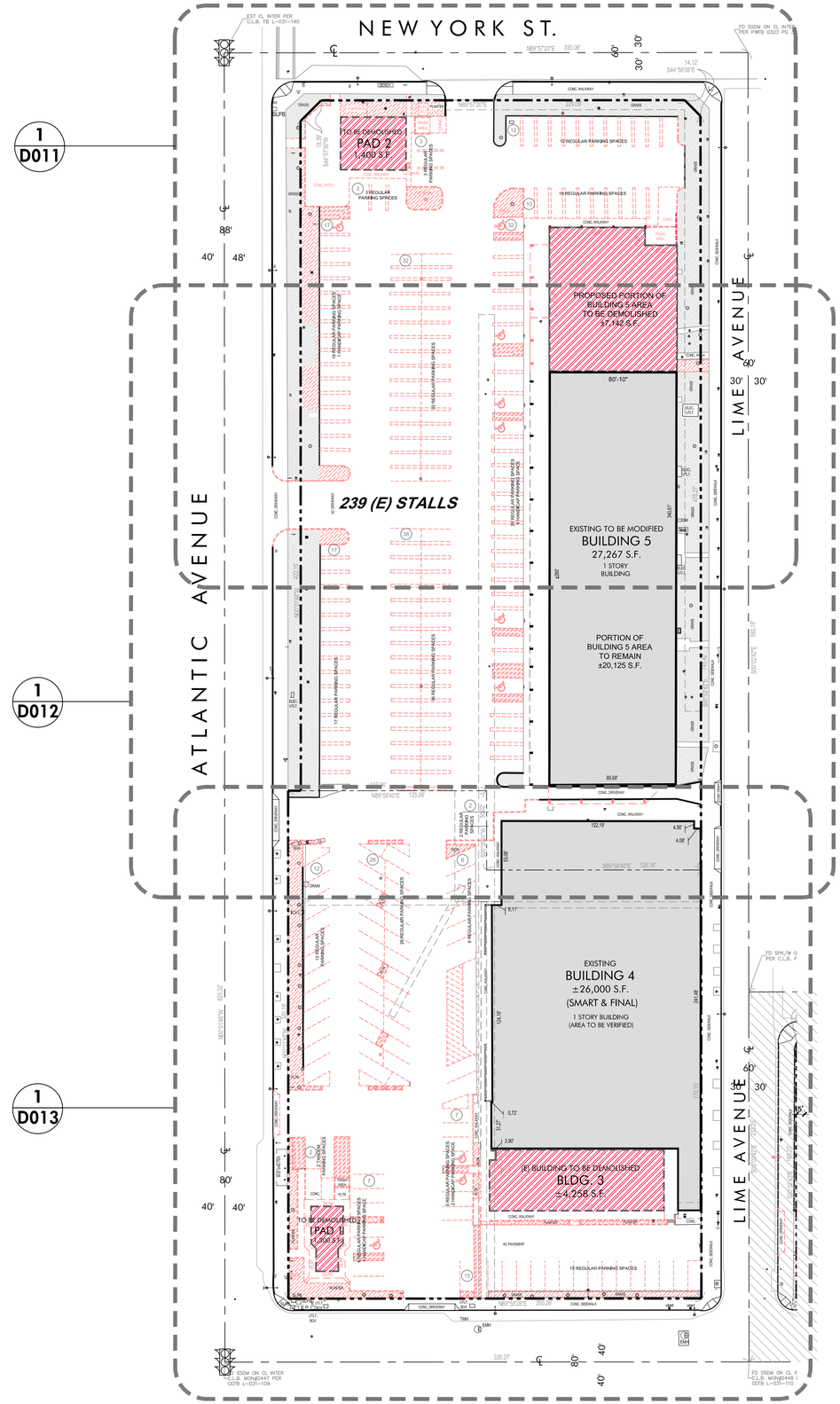
JOB NUMBER: 16038MMA
DRAWN BY: CR CHECKED BY: HM
DATE: 08.21.18
SHEET DESCRIPTION:

TITLE SHEET

SHEET NUMBER:

T100

BASED ON SCHEME SP-24



LEGEND

- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING LANDSCAPE AREA TO REMAIN.
- EXISTING LANDSCAPE AREA TO BE REMOVED.
- EXISTING PROPERTY LINE

NORTH

NOTE:

1. See Sheet T 100 for proposed building and parking summary.
2. Existing building areas were based on landlord's rent roll.

OVERALL EXISTING SITE /DEMOLITION PLAN (POLY PLAZA)

SCALE: 1" = 40'-0"

1

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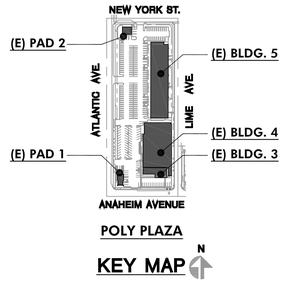

POLY PLAZA

NEC Anaheim St. & Atlantic Ave.
Long Beach, CA 90813

ISSUES / REVISIONS

No.	DATE	DESCRIPTION
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3	09.20.18	SITE PLAN REVIEW & CUP RESUBMITTAL

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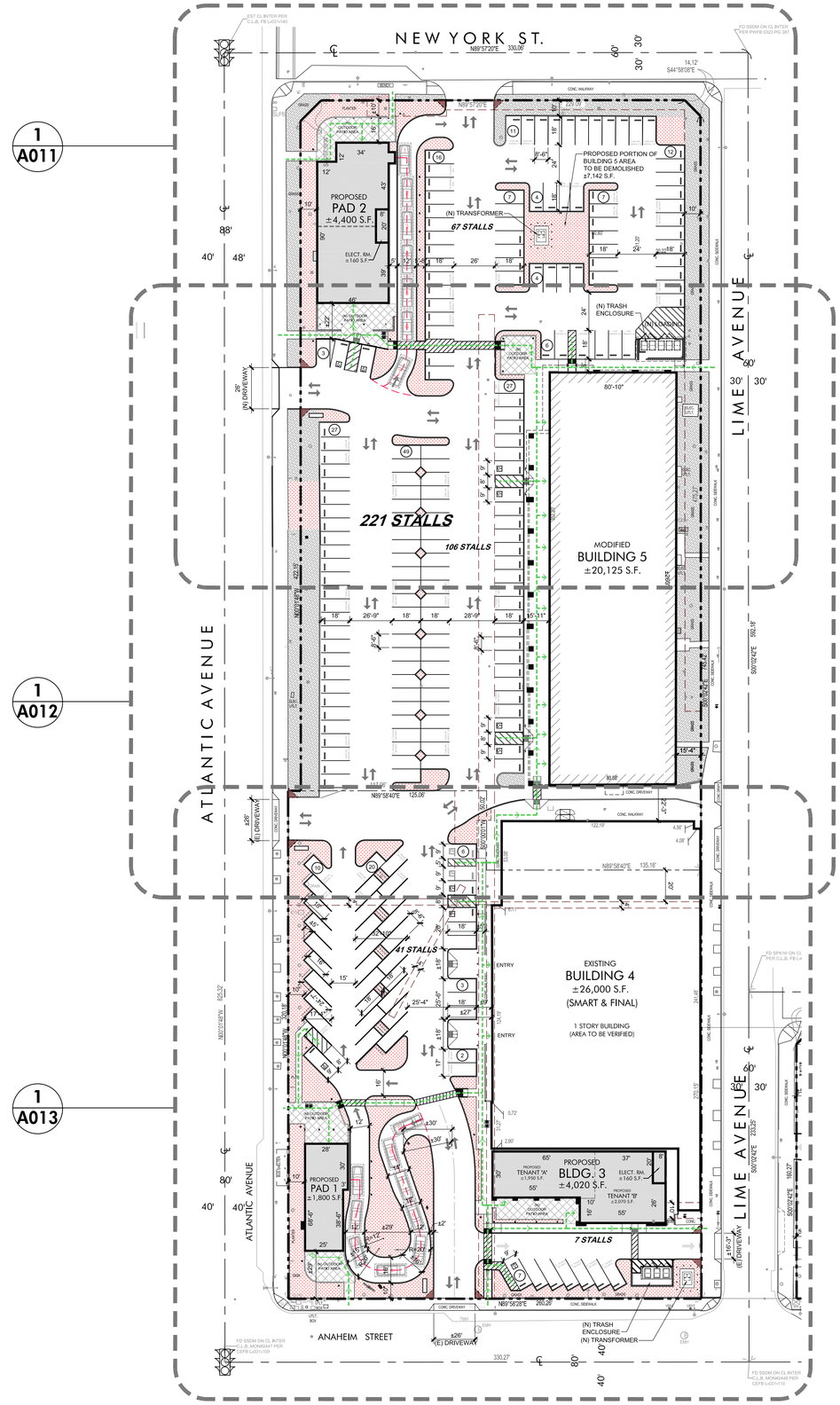
JOB NUMBER: 16038MMA
DRAWN BY: CHECKED BY: HM
DATE: 09.12.18
SHEET DESCRIPTION:

OVERALL EXISTING SITE/DEMOLITION PLAN

SHEET NUMBER:

D010

BASED ON SCHEME SP-24



LEGEND

- EXISTING BUILDING WITH FACADE IMPROVEMENT
- NEW BUILDING
- NEW LANDSCAPE AREA = ± 15,068 S.F.
- EXISTING LANDSCAPE AREA = ± 16,239 S.F.
- TOTAL LANDSCAPE AREA = ± 31,307 S.F.
- HANDICAP INDICATION PATH OF TRAVEL

GRAPHIC SCALE

40 0 20 40 80 120

(IN FEET)
1 inch = 40 ft.

NORTH

NOTE:
See Sheet T 100 for proposed building and parking summary.

OVERALL PROPOSED SITE PLAN (POLY PLAZA)

SCALE: 1" = 40'-0"

1

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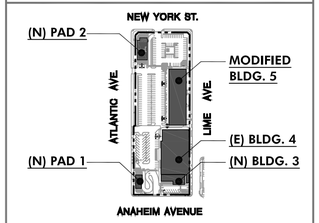

POLY PLAZA

KEY MAP

POLY PLAZA

NEC Anaheim St. & Atlantic Ave.
Long Beach, CA 90813

ISSUES / REVISIONS

No.	DATE	DESCRIPTION
1	01.22.18	PRE-APPLICATION SUBMITTAL
2	06.29.18	SITE PLAN REVIEW & CUP SUBMITTAL
3	09.20.18	SITE PLAN REVIEW & CUP RESUBMITTAL

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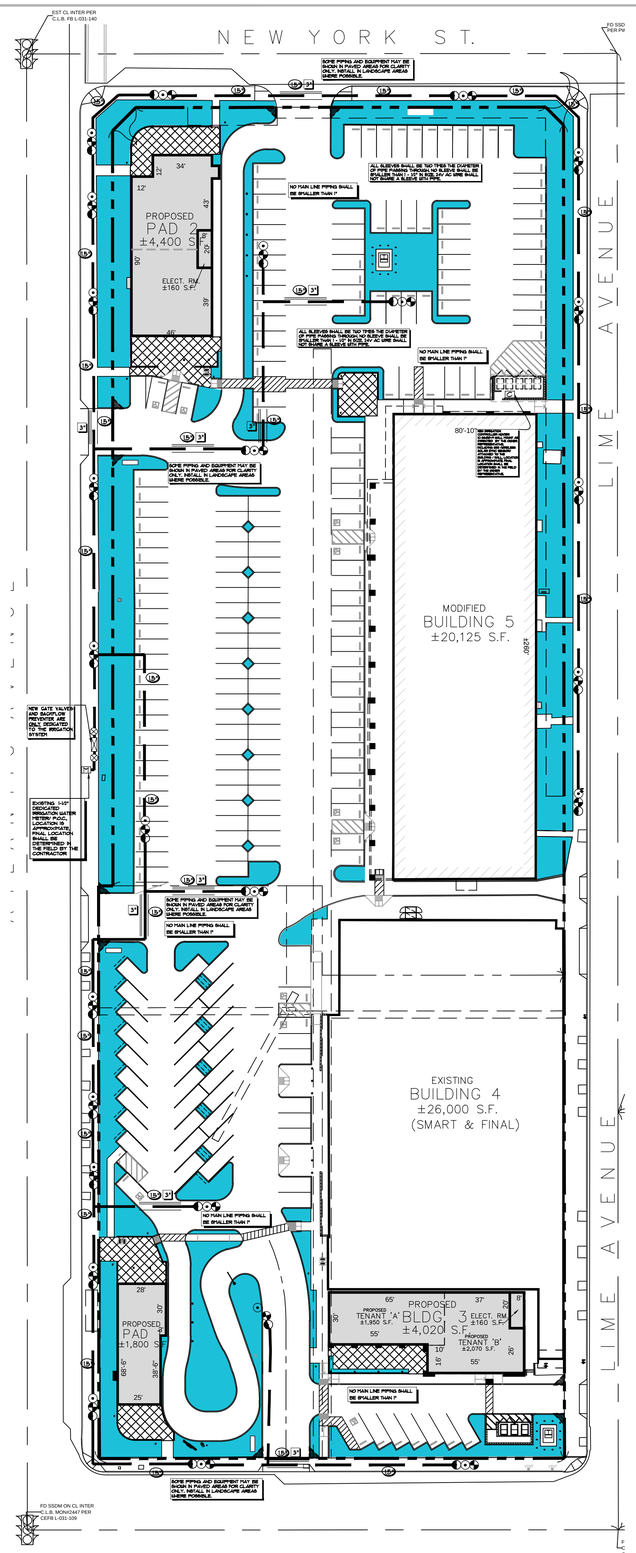
JOB NUMBER: 16038MMA
DRAWN BY: CHECKED BY: HM
DATE: 08.21.18
SHEET DESCRIPTION:

OVERALL PROPOSED SITE PLAN

SHEET NUMBER:

A010

BASED ON SCHEME SP-24



EVAPOTRANSPIRATION (ETo) TABLE:

CITY	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	ANNUAL ETO
LONG BEACH	1.8	2.1	3.3	3.9	4.5	4.3	5.3	4.7	3.7	2.8	1.8	1.5	39.7

WATER EFFICIENT WORK SHEET

PROJECT NAME: POLY PLAZA
PROJECT LOCATION: ANAHEIM ST. & ATLANTIC AVE., LONG BEACH, CA 90813
TOTAL LANDSCAPE AREA: 31,307 sq.ft.

Maximum Applied Water Allowance (MAWA)

MAWA = (ETo) (0.62) [(0.55 x LA) + (0.3 x SLA)]

MAWA= Maximum Applied Water Allowance
ETo = Reference Evapo.....
0.62 = Conversion factor (to gallons per square foot)
0.45 = ET Adjustment Factor (ETAF)
LA = Landscaped Area includes Special Landscape Area
0.3 = Additional ET Adjustment Factor for Special Landscape Area (1.0 - 0.7 = 0.3)
SLA - Portion of Landscape Area identified as Special Landscape Area - see Definitions (square feet)

Applicant to fill in boxes below.

39.7 ETo (reference Evapotranspiration from Appendix A (inches per year)
31,307 Landscape Area including Special Landscape Area/SLA (square feet)
0 Portion of Landscape Area identified as Special Landscape Area (square feet)

	ETo		ETAF		AREA (s,f,)		Conversion		MAWA
MAWA for LA	39.7	x	0.55	x	31,307	x	0.62	=	423,825
*MAWA for SLA**	39.7	x	0.3	x	0	x	0.62	=	0
Total MAWA									**423,825** *(gallons per year)*

Estimated Total Water Use (ETWU)

ETWU = (ETo) (0.62) [(PF x HA) / IE + SLA)]

ETWU = Estimated
ETo = Reference Evapo.....
0.62 = Conversion factor (to gallons per square foot)
PF = Plant Factor from WUCOLS (see Definitions)
HA = Hydrozone Area - planting area separated to high, moderate, low and very low water usea areas (square feet)
*IE = Irrigation Efficiency - see Chart ** (minimum 0.71)*
SLA - Portion of Landscape Area identified as Special Landscape Area - see Definitions (square feet)

ETWU arrived from Hydrozone Table below= **180,064** gallons per year

HYDROZONE TABLE

hydrozone	*plant water use type*	*plant factor (PF)* *(see table B)*	*hydrozone area (HA)* *(square ft.)*	*PFxHA* *(square ft.)*	% of landscape area (LA)	*irrigation efficiency IE*	*Hydro-zone ETWU*
Drip	low water	0.2	29,291	5,858	94%	0.90	160,215
Bubblers	low - mod.	0.3	2,016	605	6%	0.75	19,849
						Subtotal ETWU	180,064
	SLA	--	0	--	0%	--	0
		TOTAL	31,307		100%		180,064
							0

GENERAL NOTES:

1. ALL CONTROL AND COMMON WIRE TO BE AWG #14UF-600 VOLT SOLID COPPER.
2. PROVIDE P.V.C. SCHED. 40 SLEEVES FOR ALL LATERAL AND PRESSURE LINE AND CONTROL WIRING UNDER PAVING. INSTALL WITH 30" OF COVER AND RECOMPACT TO 95%. SEE SPECIAL INSTRUCTION NOTE #6. USE SEPARATE SLEEVES FOR MAINLINE, LATERAL AND WIRE.
3. ACTUAL LOCATION OF AUTOMATIC CONTROLLER TO BE VERIFIED WITH OWNER OR HIS REPRESENTATIVE.
4. IF MAINLINE AND CONTROL VALVES SHOWN IN WALK AREAS, IT IS FOR CLARITY ONLY. ROUTE IN PLANTED AREAS.
5. STOP ALL BACK DRAINAGE OF HEADS PER SPECIAL IRRIGATION NOTE #4 ELSEWHERE IN THIS SHEET.
6. USE TEFLON TAPE OR DOPE ON ALL MALE PIPE THREADS OF CONTROL ASSEMBLY, SWING JOINT AND BACKFLOW ASSEMBLY.
7. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, ROADWAYS AND/OR BUILDINGS, AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH.
8. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, INCLUDING NEW PLANT MATERIALS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT ARE IN CONFLICT WITH THE PLANS. SUCH CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE IN WRITING. IN THE EVENT OF THE NOTIFICATION IS NOT PERFORMED, THE IRRIGATION INSTALLER SHALL ASSUME FULL RESPONSIBILITY FOR ANY ON-SITE ADJUSTMENTS NECESSARY TO MAKE SURE THE SYSTEM PERFORMS AT NO ADDITIONAL COST TO THE OWNER.
9. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALKS, RETAINING WALLS ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING STRUCTURES, ETC.
10. INSTALL VALVES IN SHRUB OR GROUND COVER AREAS 12" FROM EXISTING SIDEWALK AS SPACE PERMITS.
11. INSTALL ALL SPRAY HEADS 6" FROM PAVED SURFACES, AS SPACE PERMITS.
12. ALL SPRAY HEADS SHOULD BE ADJUSTED TO MINIMIZE OVERSPRAY ONTO WALKS AND MAXIMIZE COVERAGE.
13. A PLUMBING PERMIT SHALL BE OBTAINED FOR THE IRRIGATION SYSTEM BY THE IRRIGATION CONTRACTOR.
14. THE IRRIGATION CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ALL FIELD REVISIONS AND SHALL PRESENT THE OWNER AND SHALL PRESENT THE OWNER WITH AN 'AS-BUILT' SET OF SEPIAS AT THE CONCLUSION
15. THE IRRIGATION SYSTEM SHALL BE TESTED IN THE FIELD BEFORE FINAL APPROVAL.

MAIN LINE AND RELATED EQUIPMENT

- SUPERIOR #950 REMOTE CONTROL VALVE, SIZE PER PLAN
- DRIP REMOTE CONTROL VALVE, RAINBIRD XCZ-100-PRB-COM
- RAINBIRD #33-DLRC QUICK COUPLER VALVE IN BOX
- SPEARS 2000 SERIES TRUE UNION BALL VALVE, LINE SIZE
- NEW BACKFLOW PREVENTER FEBCO 825YA 1-1/2" INSTALL PER LOCAL CODE (APPROXIMATE LOCATION)FINAL LOCATION SHALL BE DETERMINED IN THE FIELD BY THE OWNER REPRESENTATIVE.
- C — NEW IRRIGATION CONTROLLER HUNTER IC-3000-M WALL MOUNT AS DIRECTED BY THE OWNER REPRESENTATIVE. INCLUDING WSS (WIRELESS SOLAR SYNC SENSOR) ATTACHED TO THE BUILDING / WALL. LOCATION IS APPROXIMATE. FINAL LOCATION SHALL BE DETERMINED IN THE FIELD BY THE OWNER REPRESENTATIVE.
- M — EXISTING DEDICATED IRRIGATION WATER METER. LOCATION IS APPROXIMATE AT THE PRESENT TIME. FINAL LOCATION SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR.
- DENOTES MAIN LINE PIPE SIZE
- DENOTES SLEEVE PIPE SIZE
- (N) MAIN LINE PIPING, SCHEDULE 40 PVC PIPE SIZE PER PLAN, 18" COVER
- SLEEVE PIPING, SCHEDULE 40 PVC PIPE SIZE PER PLAN, DEPTH AS NECESSARY
- SPRINKLER LATERAL PIPING, CLASS 200 PVC PIPE, SIZE PER PLAN, 12" COVER. ALL PIPING UNDER PAVING SHALL BE SCHEDULE 40 PVC PIPE DENOTES PIPE SIZE

G.P.M.
CONTROLLER
SEQUENCE
SIZE

TYPICAL VALVE DESIGNATOR

POP-UP BUBBLERS

SYMBOL	MFGR.	MODEL	NOZZLE	P.S.I.	G.P.M.	RADIUS	ARC
	RAINBIRD 1802	PCS-030	5Q-B	30	30	3'	90°

ROOT WATERING SYSTEM

SYMBOL	MFGR.	MODEL	NOZZLE	P.S.I.	G.P.M.	RADIUS
	RAINBIRD RWS	B-C-1402	DEEP WELL	15/70	50	NA

XF SERIES DRIPLINE

SYMBOL	MFGR.	MODEL	G.P.H.	SPACING.	COIL SPACING
	RAINBIRD DRIP	XFS-09-12-100	0.9	12"	250'

RAIN BIRD XFS-09-12 (12)
LANDSCAPE DRIPLINE WITH COPPER SHIELD, 0.9 GPH EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL PER MANUFACTURE RECOMMENDATIONS.

SCH 40 PVC SLEEVING CHART

SLEEVE SIZE	NO. OF WIRES	PIPE SIZE
1 1/4"	1-4 WIRES	1/2"
1 1/2"	5-10 WIRES	3/4"
2"	11-20 WIRES	1"
2 1/2"	21-30 WIRES	1 1/4"

NOTE:
TEST ALL SPRINKLER MAINS AFTER PIPE IS LAID AND JOINT COMPLETED BY SUBMITTING TO A PRESSURE TEST OF ONE AND ONE HALF TIMES EXISTING STATIC PRESSURE IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. DO NOT BACKFILL ANY TRENCH UNTIL THE OWNER'S REPRESENTATIVE HAS APPROVED THE TEST. REPAIR ANY LEAKS UNTIL LINES MEET TEST REQUIREMENTS AND THE OWNER'S REPRESENTATIVE'S APPROVAL. ALL LATERALS SHALL BE TESTED UNDER MAIN PRESSURE FOR LEAKS; ANY LEAKS SHALL BE REPAIRED. ALL TESTS WITH THE EXCEPTION OF THE LATERALS SHALL BE FOR A DURATION OF 4 HOURS WITH A MAXIMUM DROP OF 4 PSI ALLOWED.

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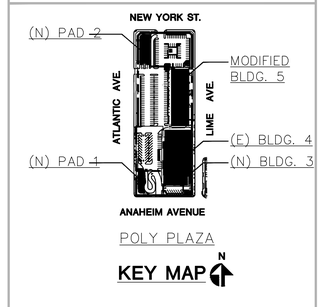

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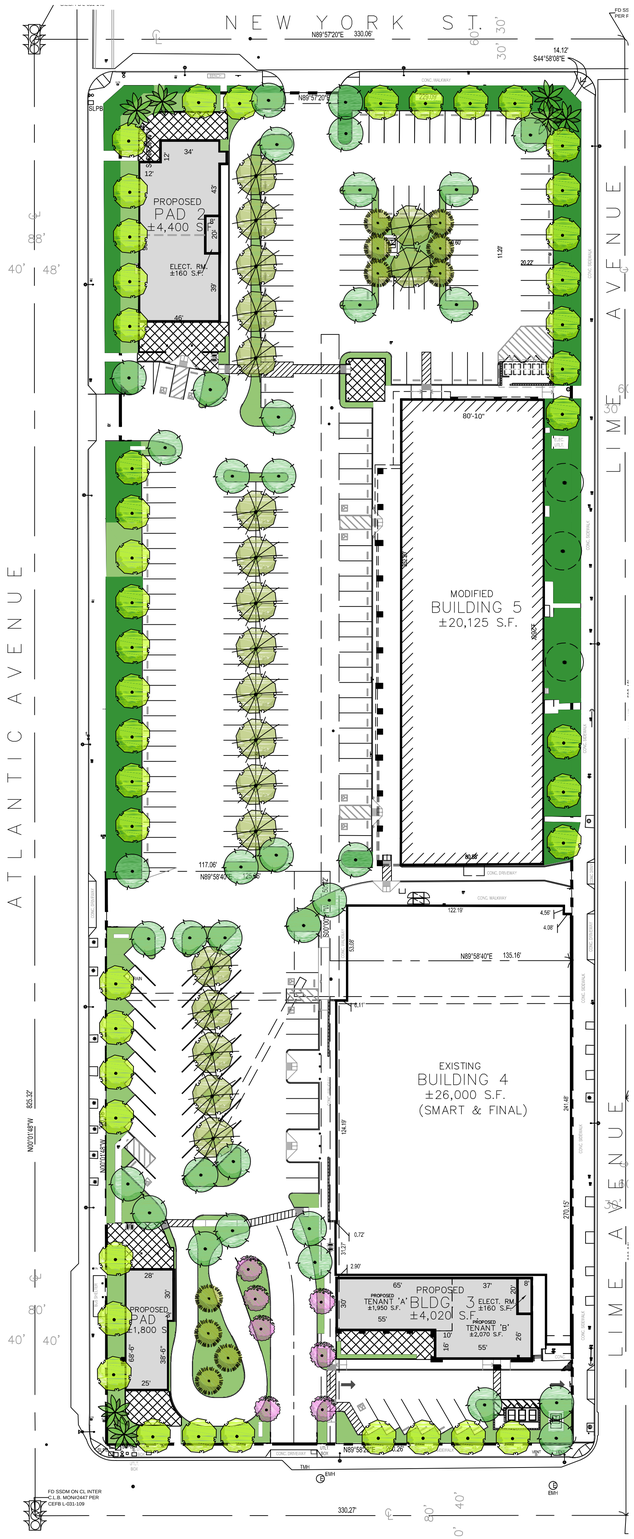
JOB NUMBER:16038MMA
DRAWN BY: CHECKED BY:HM
DATE: 08.21.18
SHEET DESCRIPTION:

PRELIMINARY IRRIGATION PLAN & WATER BUDGET CALCULATION

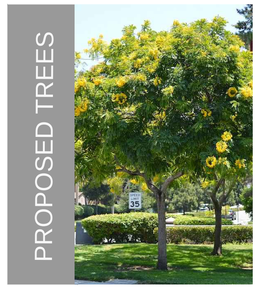
SHEET NUMBER:

L1.1

BASED ON SCHEME SP-24

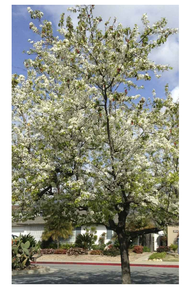


PROPOSED TREES



GOLD MEDALLION TREE

LONDON PLANETREE



EVER GREEN PEAR

MEXICAN FAN PALM

ARAPAHO CRAPE MYRTLE

DESERT MUSEUM PALO VERDE

TREE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS FACTOR
	CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE	24" BOX	LOW
	PLATANUS × ACERIFOLIA	LONDON PLANE TREE	24" BOX	MODERATE
	PYRUS KAWAKAMII	EVERGREEN PEAR	36" BOX	MODERATE
	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	(SEE PLAN FOR SIZES)	LOW
	LAGERSTROEMIA INDICA X FAUERI 'ARAPAHO'	ARAPAHO CRAPE MYRTLE	24" BOX	MODERATE
	PARKINSONIA X 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX	LOW
	EXISTING (E) TREE TO REMAIN AND BE PROTECTED IN PLACE			

LEGEND

- EXISTING BUILDING WITH FACADE IMPROVEMENT
- NEW BUILDING
- NEW LANDSCAPE AREA = ± 15,068 S.F.
- EXISTING LANDSCAPE AREA = ± 16,239 S.F.
- TOTAL LANDSCAPE AREA = ± 31,307 S.F.

GENERAL PLANTING NOTES

1. Landscape Contractor shall procure and reserve trees and plant material at start of contract to ensure availability and quality.
2. Plant count in legend is approximate and for the purpose of estimating only. Plants are shown diagramatically on plan therefore plant spacing in Planting Notes takes precedence to plants shown on the plan. Contractor is to calculate quantity of plants called for and install all that are shown on plan at the spacing in the legend.
3. Color nursery images of trees and shrubs/ground cover shall be submitted as part of the Landscape Submittal as required by the Landscape Specifications 02900. Images shall be submitted to the Landscape Architect/Architect for approval (3) weeks minimum prior to planting. Images shall include tree height (with person in photo), width and caliper and shrub/ground cover height and width.
4. All planting material shall be reviewed and approved by Landscape Architect during the final punch list walk-through.
5. All Landscape Planting, Irrigation and Paving on the property and in the public right-of-way damaged by contractor during construction shall be replaced and approved by Owner's Representative and the City before 100% completion of construction.
6. Plants are shown diagramatically on plan. Planting Specifications and Planting Notes take precedence.
7. Spread 3" layer of "Walk On-Bark" as supplied by Wickes Forest Industries, Kellogg Supply, Sequoia Forest Products, or equal approved by the Owner's Representative. Mulch shall be installed under and in between all new trees. shrubs, ground cover so as to leave soil completely covered with mulch. Pull Mulch away from base of trees and plants. Mulch shall be per the Landscape Specifications. A physical sample of the mulch shall be submitted to the Landscape Architect/Architect for approval prior to installation. See Landscape Specification 02900 for mulch size.
8. Finish grade shall be 2" below all walks/curbs for areas to receive shrub and/or groundcover. Then the mulch is applied on top of the finish grade.
9. Finish grade shall slope 2% away from the building.
12. All new and existing planting areas shall be free of construction debris, rocks, form boards, weeds etc. See Landscape Specifications 02900.
13. Water Percolation -- Contractor to dig a test planting pit, 3'-0" square and 3'-0" deep; fill pit with water up to 2'-0" from bottom and mark location and check level in 24 hours. If standing water is present, Contractor to contact Owner, Owner's Rep and Landscape Architect. Landscape Architect will give written and verbal direction on how to resolve issue.
14. Prior to planting a tree, fill the hole with 10 gallons of water. Let drain, amend and after planting, each tree shall be watered with a minimum of 20 gallons of water. Repeat the watering twice in the next 3 days, not sooner than at 24-hour intervals.
15. Conduct two (2) soil tests per each of the three (3) soil test locations marked on the Planting Plan with the symbol: for a total of six (6) soil tests. The first three (3) tests on site shall be conducted after rough grading is complete and the second three (3) tests before planting commences, but after irrigation installment and soil amendments have been applied. These tests are to determine recommended amounts of fertilizer and harmful substances, if any. See specifications for soil testing information of existing and imported soil.
16. During soil preparation, amend with Gypsum (Agricultural Calcium Sulfate Ca SO4) per amount recommended by the soil test results. See specifications for further information.
17. General Contractor shall schedule a pre-construction meeting with the Landscape Contractor, Owner's Representative and the General Contractor to discuss landscape issues before start of construction and demolition of trees and plants.
18. All trees planted within 6' of any hardscape areas (street, curbs, driveways, and sidewalks). The root barrier should extend 5' on either side of the tree trunk for a total length of 10'. There shall be a root barrier on two sides of the tree as shown on plan. Install barriers from Barriers from Deep Root, (800) 766-8835. See Detail for typical installation. Specification follows:
A. For (36" bx, 24" bx, & 15 gal.) trees planted within the limit of: Curbs and Driveways use MODEL#UB18-2
B. For (36" bx, 24" bx, & 15 gal.) trees planted within the limit of: Sidewalks and concrete drainage swales use MODEL#LB12-2
19. For Permaloc Edging see Planting Plans with the symbol: for edging location. See landscape detail and specification.

NORTH

GRAPHIC SCALE – 1 INCH = 40 FEET (40 0 40 80 160)

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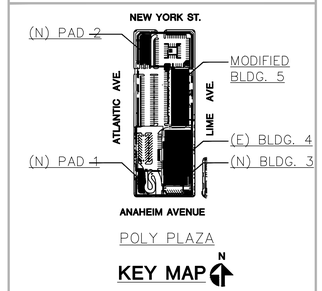

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JOB NUMBER: 16038MMA

DRAWN BY: CHECKED BY: HM

DATE: 08.21.18

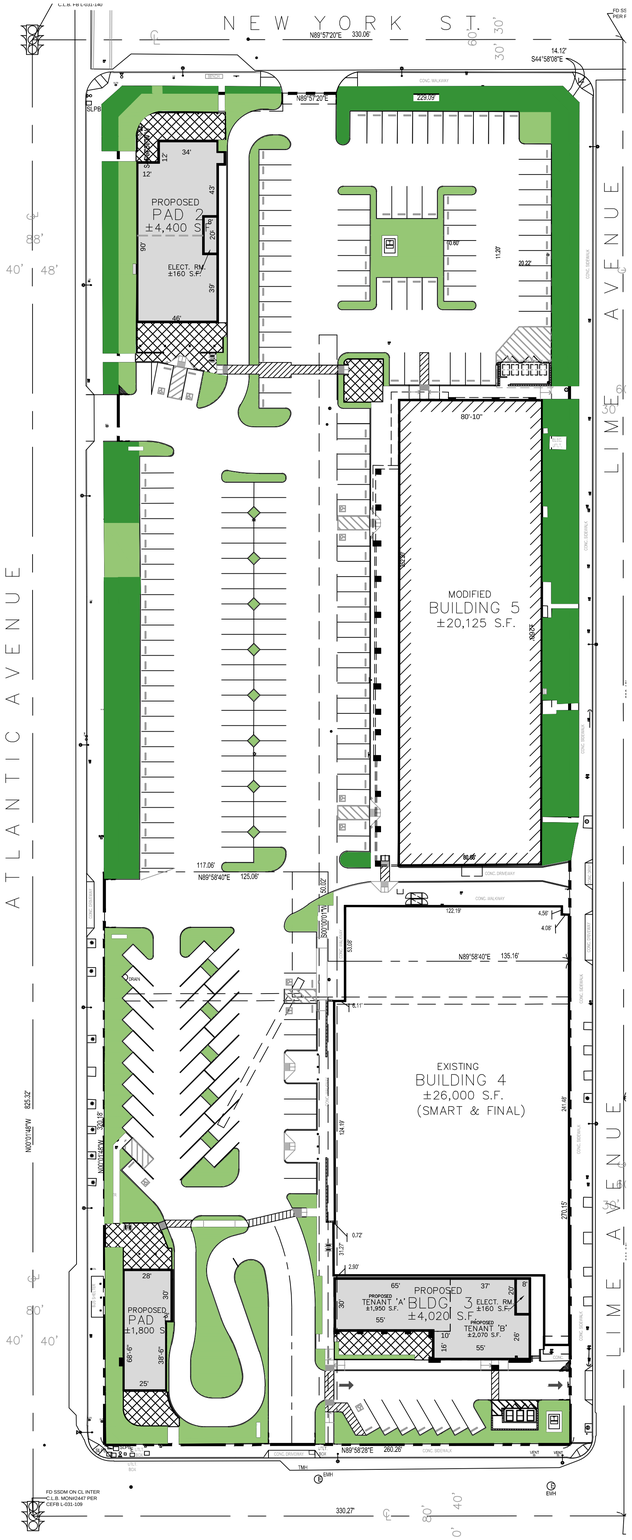
SHEET DESCRIPTION:

PRELIMINARY TREE PLANTING PLAN

SHEET NUMBER:

L2.1

BASED ON SCHEME SP-24



SHRUB / GROUNDCOVER / VINE

AGAVE ATTENUATA

AGAVE DESMETTIANA 'VARIEGATA'

AGAVE 'BLUE GLOW'

CALLISTEMON CITRINUS 'LITTLE JOHN'

DIETES BICOLOR

FURCRAEA FOETIDA 'MEDIOPICTA'

SHRUB / GROUNDCOVER / VINE

LIRIOPE MUSCARI 'VARIEGATA'

LIGUSTRUM JAPONICUM 'TEXANUM'

MYRTUS COMMUNIS 'COMPACTA'

PHORMIUM 'AMAZING RED'

PHORMIUM 'MAORI QUEEN'

PHORMIUM 'YELLOW WAVE'

SHRUB / GROUNDCOVER / VINE

DIANELLA REVOLUTA 'LITTLE REV'

CARISSA MACROCARPA 'GREEN CARPET'

LANTANA MONTEVIDENSIS & LANTANA 'NEW GOLD'

FICUS REPENS

PARTHENOCISSUS TRICUSPIDATA

TRACHELOSPERMUM JASMINOIDES

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS FACTOR	COMMENTS
SHRUBS					
AGAVE ATTENUATA	FOX TAIL AGAVE	5 GAL.	30" O.C.	LOW	
AGAVE DESMETTIANA 'VARIEGATA'	SMOOTH AGAVE	5 GAL.	30" O.C.	LOW	
AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	15 GAL.	2' O.C.	LOW	
CALLISTEMON CITRINUS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL.	4' O.C.	LOW	
DIETES BICOLOR	FORTNIGHT LILY	5 GAL.	18" O.C.	LOW	
FURCRAEA FOETIDA 'MEDIOPICTA'	VARIEGATED MAURITIUS HEMP	15 GAL.	5' O.C.	LOW	
LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	1 GAL.	16" O.C.	MODERATE	
LIGUSTRUM JAPONICUM 'TEXANUM'	JAPANESE PRIVET	5 GAL.	20" O.C.	MODERATE	
MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE	5 GAL.	24" O.C.	LOW	
PHORMIUM 'AMAZING RED'	NEW ZEALAND FLAX	5 GAL.	30" O.C.	MODERATE	
PHORMIUM 'MAORI QUEEN'	NEW ZEALAND FLAX	5 GAL.	3' O.C.	MODERATE	
PHORMIUM 'YELLOW WAVE'	NEW ZEALAND FLAX	5 GAL.	30" O.C.	MODERATE	
GROUNDCOVERS					
CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	5 GAL.	42" O.C.	LOW	
DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL.	16" O.C.	LOW	
LANTANA MONTEVIDENSIS	PURPLE TRAILING LANTANA	5 GAL.	3' O.C.	LOW	
LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL.	2' O.C.	LOW	
DECOMPOSED GRANITE - SEE DETAIL AND LANDSCAPE SPECIFICATIONS FOR MORE INFORMATION					
VINES					
FICUS REPENS	CREEPING FIG	5 GAL.	AS SHOWN	MODERATE	ON STAKE - ATTACH PLANT TO WALL
PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	5 GAL.	AS SHOWN	MODERATE	ON STAKE - ATTACH PLANT TO WALL
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL.	AS SHOWN	MODERATE	ON STAKE - ATTACH PLANT TO WALL

LEGEND

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- NEW BUILDING
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- EXISTING LANDSCAPE AREA = ± 16,239 S.F.

TOTAL LANDSCAPE AREA = ± 31,307 S.F.

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14. Prior to planting a tree, fill the hole with 10 gallons of water. Let drain, amend and after planting, each tree shall be watered with a minimum of 20 gallons of water. Repeat the watering twice in the next 3 days, not sooner than at 24-hour intervals.
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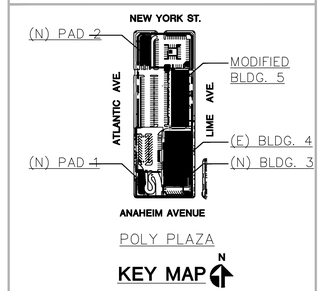

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3	09.20.18	SITE PLAN REVIEW & CUP RESUBMITTAL

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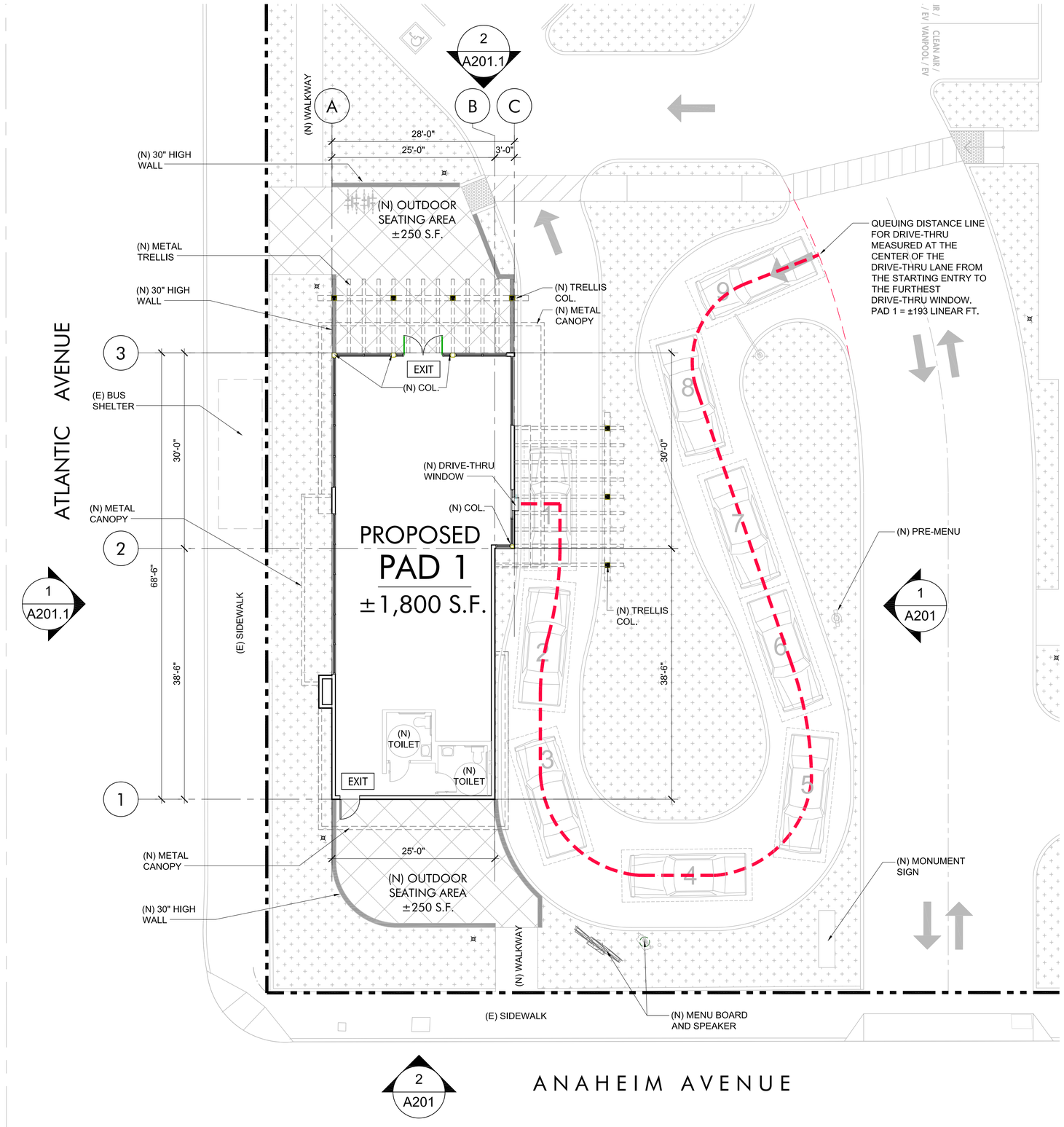
JOB NUMBER:16038MMA
DRAWN BY: CHECKED BY:HM
DATE: 08.21.18
SHEET DESCRIPTION:

PRELIMINARY SHRUB PLANTING PLAN

SHEET NUMBER:

L2.2

BASED ON SCHEME SP-24



FLOOR PLAN LEGEND

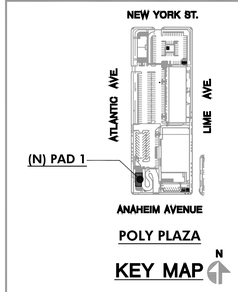
X / X-XXX	ELEVATION SHEET NUMBER ELEVATION NUMBER
(N) COL.	(N) STRUCTURAL COLUMNS.
EXIT	EXIT SYMBOL. ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0,000 11.10'	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	INTERIOR WALL. 2 x 6 WOOD STUDS AT 16" O.C. WITH INSULATOIN.
	EXTERIOR WOOD STUD WALL.

McKently Malak ARCHITECTS
35 Hugus Alley Suite 200
Pasadena California 91103-3648
TEL 626 583 8348 FAX 626 583 8387

A PROJECT FOR:

Black Equities Group, Ltd.
433 North Camden Drive, Suite 1070
Beverly Hills, CA 90210
Tel. 310-278-5333 Fax 310.274.4017

ARKA Properties Group, Inc.
9350 Wilshire Boulevard, Suite 402
Beverly Hills, CA 90212
Tel. 310-274.2259 Fax 310.274.1798



POLY PLAZA

NEC Anaheim St. & Atlantic Ave.
Long Beach, CA 90813

ISSUES / REVISIONS

No.	DATE	DESCRIPTION
1	01.22.18	PRE-APPLICATION SUBMITTAL
2	06.29.18	SITE PLAN REVIEW & CUP SUBMITTAL
3	09.20.18	SITE PLAN REVIEW & CUP RESUBMITTAL

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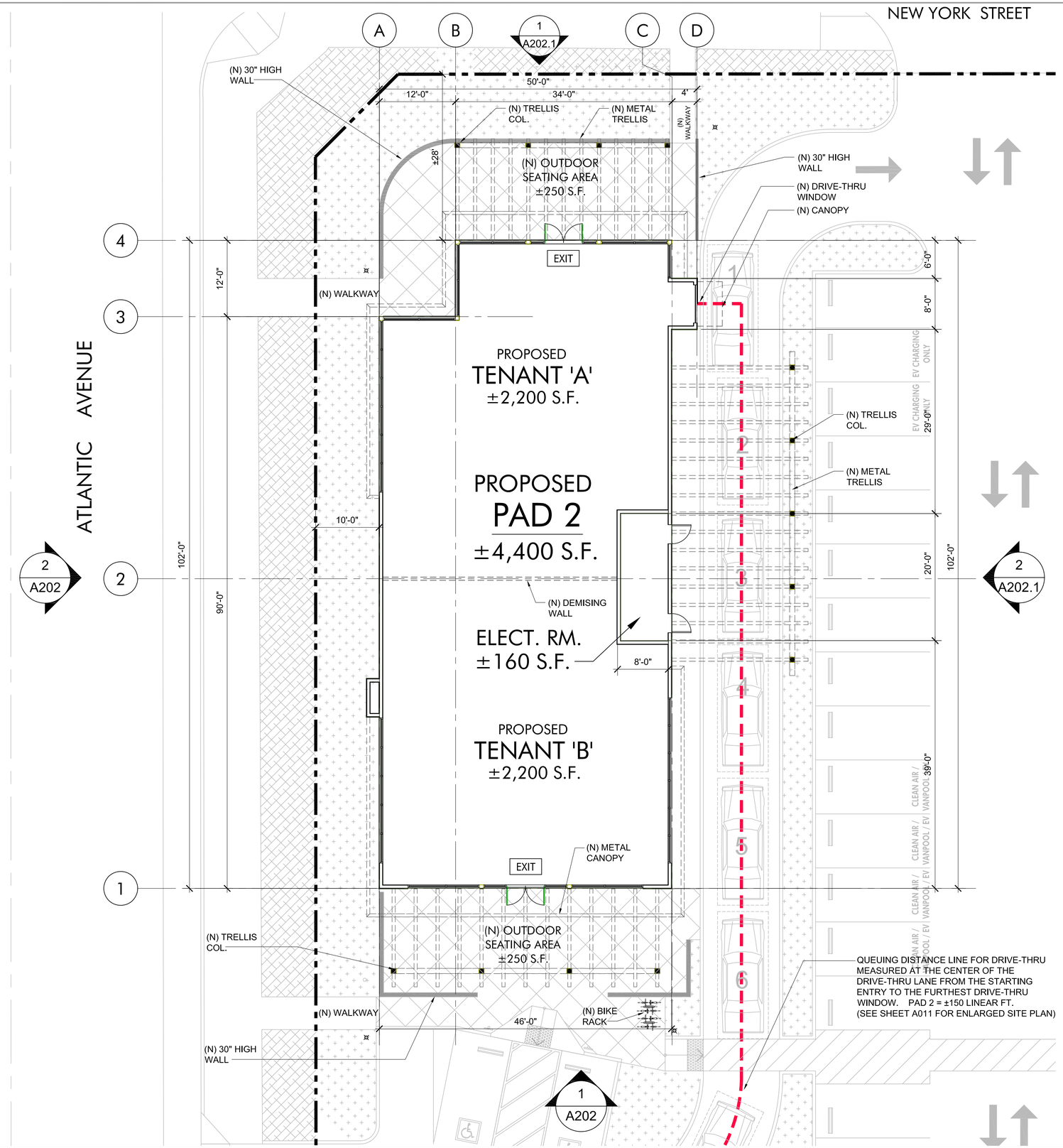
JOB NUMBER: 16038MMA
DRAWN BY: CR CHECKED BY: HM
DATE: 08.21.18
SHEET DESCRIPTION:

PROPOSED FLOOR PLAN
(PAD 1)

SHEET NUMBER:

A101

BASED ON SCHEME SP-24



FLOOR PLAN LEGEND

X / X-XXX	ELEVATION SHEET NUMBER ELEVATION NUMBER
(N) COL.	(N) STRUCTURAL COLUMNS.
EXIT	EXIT SYMBOL. ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0,000 11.10'	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	INTERIOR WALL. 2 x 6 WOOD STUDS AT 16" O.C. WITH INSULATOIN.
	EXTERIOR WOOD STUD WALL.

McKently Malak ARCHITECTS
35 Hugus Alley Suite 200
Pasadena California 91103-3648
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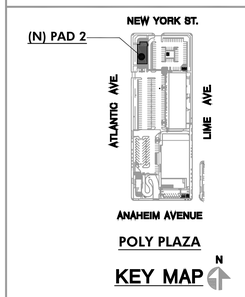

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NEC Anaheim St. & Atlantic Ave.
Long Beach, CA 90813

ISSUES / REVISIONS

No.	DATE	DESCRIPTION
1	01.22.18	PRE-APPLICATION SUBMITTAL
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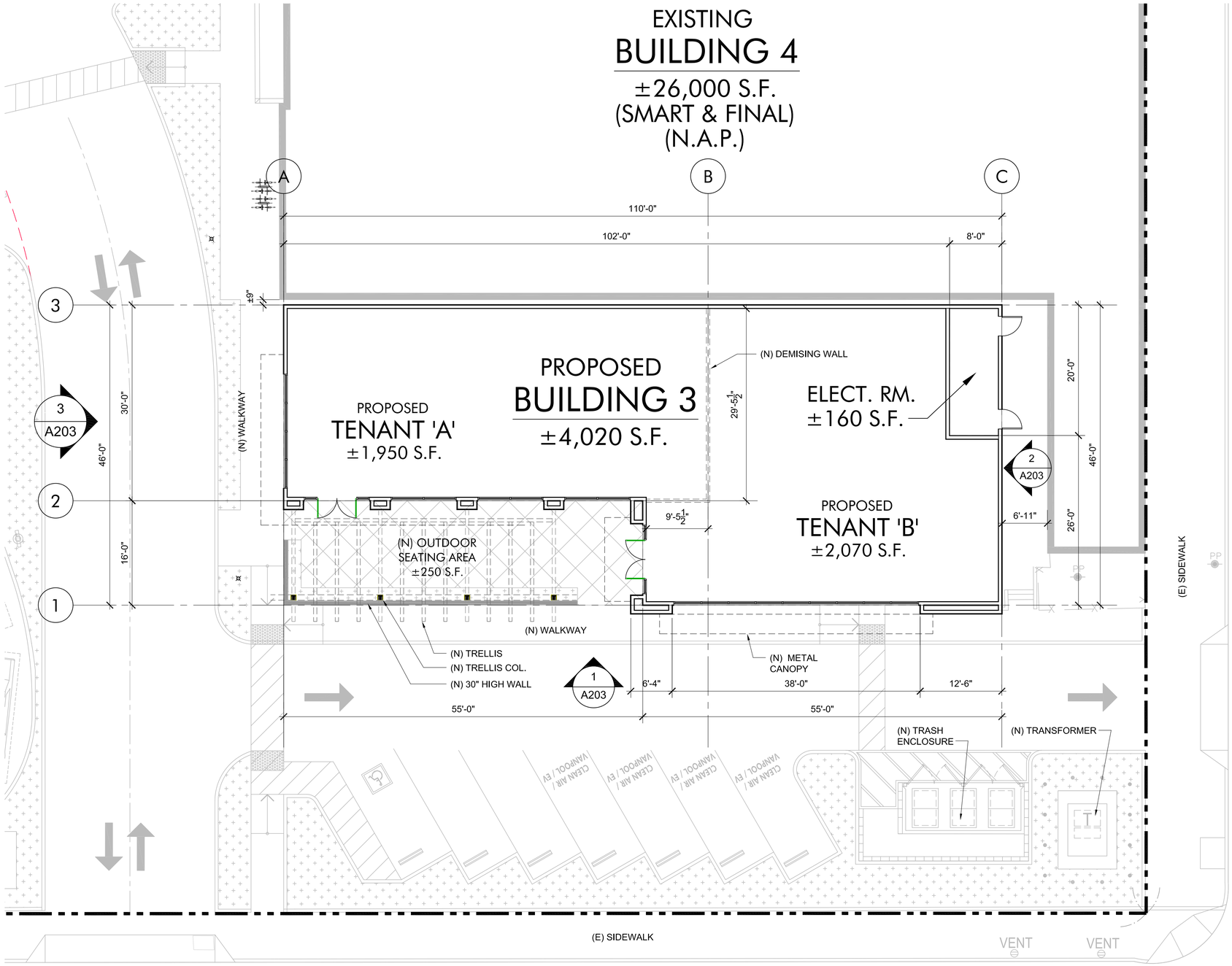
JOB NUMBER: 16038MMA
DRAWN BY: CR CHECKED BY: HM
DATE: 08.21.18
SHEET DESCRIPTION:

PROPOSED FLOOR PLAN
(PAD 2)

SHEET NUMBER:

A102

BASED ON SCHEME SP-24



PROPOSED FLOOR PLAN (MAJOR 1)

SCALE: 1/8" = 1'-0"

1

FLOOR PLAN LEGEND

X / X-XXX	ELEVATION SHEET NUMBER ELEVATION NUMBER
(N) COL.	(N) STRUCTURAL COLUMNS.
EXIT	EXIT SYMBOL. ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0,000 11.10'	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	INTERIOR WALL. 2 x 6 WOOD STUDS AT 16" O.C. WITH INSULATOIN.
	EXTERIOR WOOD STUD WALL.

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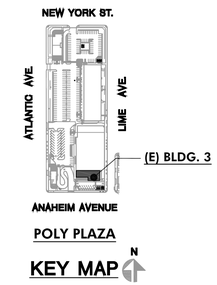

POLY PLAZA

NEC Anaheim St. & Atlantic Ave.
Long Beach, CA 90813

ISSUES / REVISIONS

No.	DATE	DESCRIPTION
1	01.22.18	PRE-APPLICATION SUBMITTAL
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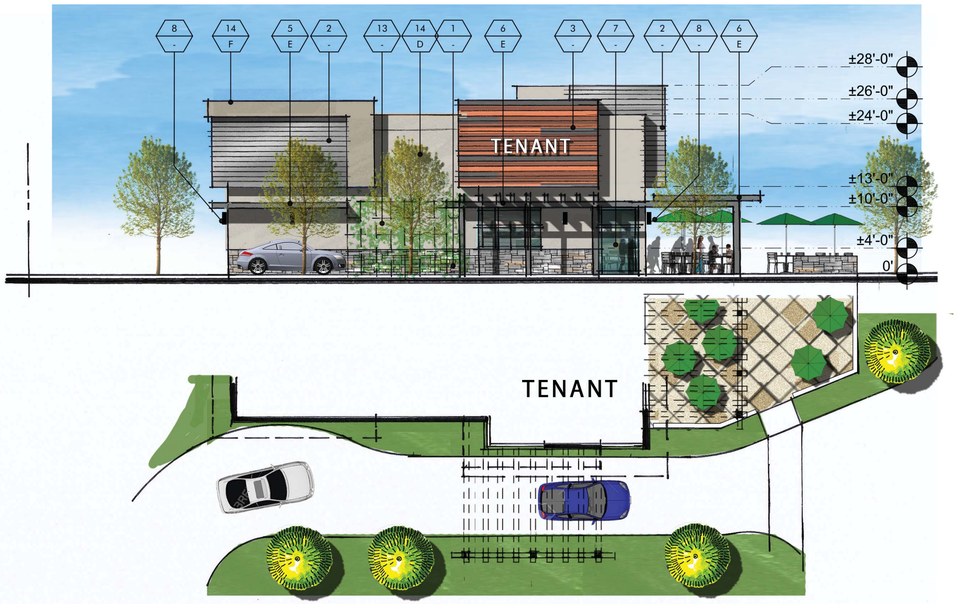
JOB NUMBER: 16038MMA
DRAWN BY: CR CHECKED BY: HM
DATE: 08.21.18
SHEET DESCRIPTION:

PROPOSED FLOOR PLAN
(NEW BUILDING 3)

SHEET NUMBER:

A103

BASED ON SCHEME SP-24



1 EAST ELEVATION

SCALE: 3/32" = 1'-0"

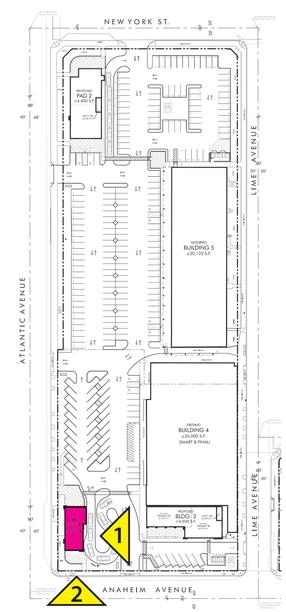
2 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

FINISH LEGEND

KEY	MATERIAL
1	LEDGESTONE MODEL: VISTA COLLECTION-COUNTRY LEDGESTONE COLOR: GRAND MESA BY: CULTURE STONE
2	METAL SIDING MODEL: METAFOR COLOR: SLATE GRAY 20 BY: ATLAS
3	COMPOSITE WOOD SIDING MODEL: VINTAGE COLLECTION COLOR: CYPRESS 20%, MAHOGANY 60%, DARK HICKORY 20% BY: AZEK
4	WALL SCONCE MODEL: EC613-EC6W, ECLIPSE MINI-LED COLOR: GUN METAL BY: LUMINIS
5	METAL CANOPY FINISH: PAINTED STEEL COLOR: DE6369 LEGENDARY GRAY, DUNN EDWARDS BY: GENERAL CONTRACTOR
6	METAL TRELLIS FINISH: PAINTED STEEL COLOR: DE6369 LEGENDARY GRAY BY: GENERAL CONTRACTOR
7	STOREFRONT / STOREFRONT GLASS FINISH: CLEAR ANODIZED ALUMINUM GLASS: 1" CLEAR BY PPG BY: ARCADIA
8	WALL SCONCE MODEL: EC851 ECLIPSE MAXI-LED COLOR: GUN METAL BY: LUMINIS
9	PEDESTRIAN LIGHTS MODEL: EC611 ECLIPSE MINI-LED, PAA512 POLE COLOR: GUN METAL BY: LUMINIS
10	TRELLIS LIGHTS MODEL: PDSW-5-LED COLOR:SATIN BLACK BY: LIGHTWAY
11	NOT USED
12	CONCRETE PAVING (WALKWAYS) FINISH: MEDIUM SANDBLAST, SAW CUT LINES COLOR: NATURAL GRAY BY: GENERAL CONTRACTOR
13	GREENSCREEN COLOR: MATTE TEXTURE GREEN BY: GREENSCREEN
14	STUCCO FINISH: SMOOTH TROWEL BY: LA HABRA STUCCO
15	TRASH RECEPTACLE MODEL: SDC-36 COLOR: TITANIUM BY: VICTOR STANLEY
16	WALL SCONCE MODEL: 33 224 LED COLOR: BLACK BY: BEGA
17	SPANDREL GLASS COLOR: V933 WARM GRAY #2 BY:VIRACON
18	BIKE RACKS MODEL: BRBS-103 COLOR: TITANIUM BY: VICTOR STANLEY
19	BENCHES MODEL: LILY, 6FT LENGTH, WITH INTERMEDIATE ARM REST COLOR: TITANIUM

PAINT COLORS	
A	PAINT COLOR: DE 6192 NOMADIC TAUPE BY: DUNN EDWARDS
B	PAINT COLOR: DE 6205 STUCCO TAN BY: DUNN EDWARDS
C	PAINT COLOR: DEC 795 GRAY PEARL BY: DUNN EDWARDS
D	PAINT COLOR: DEC 786 MINERS DUST BY: DUNN EDWARDS
E	PAINT COLOR: DEC 6369 LEGENDARY GRAY BY: DUNN EDWARDS
F	PAINT COLOR: DE 6221 FLINTSTONE BY: DUNN EDWARDS
G	PAINT COLOR: DEC 743 HIGH NOON BY: DUNN EDWARDS
H	PAINT COLOR: DEC 750 BISON BEIGE BY: DUNN EDWARDS



KEY PLAN

(N) PAD-1

Black Equities
OWNERS OF INCOME PROPERTIES

BLACK EQUITIES GROUP
433 N. CAMDEN DRIVE, SUITE 1070
BEVERLY HILLS, CALIFORNIA 90210
T: 310.278.5333

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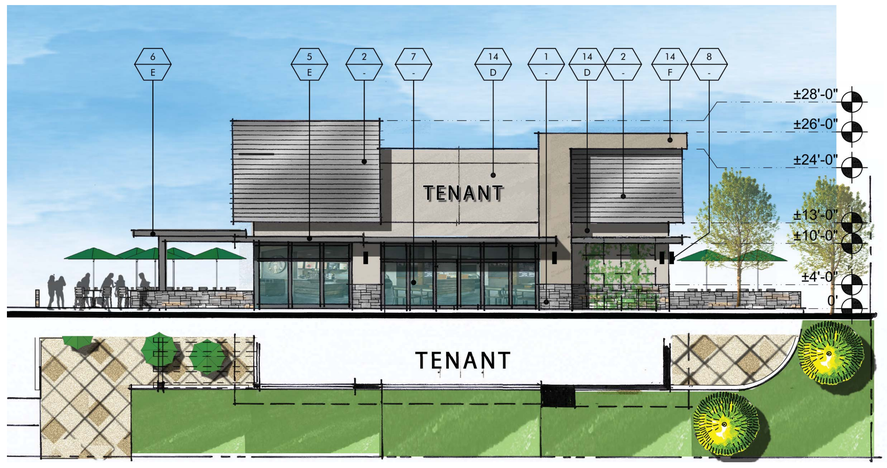
TEL 626 583 8348 FAX 626 583 8387

ELEVATIONS
09.18.2018 16038MMA

EL-1.0

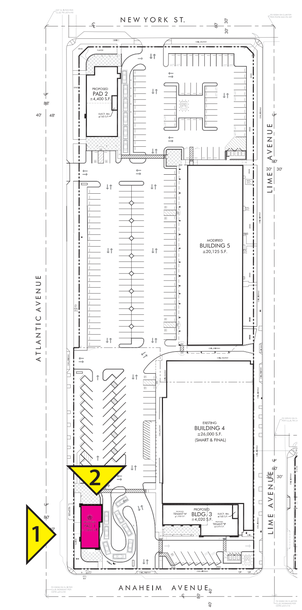


1 WEST ELEVATION

SCALE: 3/32" = 1'-0"

2 NORTH ELEVATION

SCALE: 3/32" = 1'-0"



KEY PLAN

FINISH LEGEND

KEY	MATERIAL
1 -	LEDGESTONE MODEL: VISTA COLLECTION-COUNTRY LEDGESTONE COLOR: GRAND MESA BY: CULTURE STONE
2 -	METAL SIDING MODEL: METAFOR COLOR: SLATE GRAY 20 BY: ATLAS
3 -	COMPOSITE WOOD SIDING MODEL: VINTAGE COLLECTION COLOR: CYPRESS 20%, MAHOGANY 60%, DARK HICKORY 20% BY: AZEK
4 -	WALL SCONCE MODEL: EC613-EC6W, ECLIPSE MINI-LED COLOR: GUN METAL BY: LUMINIS
5 -	METAL CANOPY FINISH: PAINTED STEEL COLOR: DE6369 LEGENDARY GRAY, DUNN EDWARDS BY: GENERAL CONTRACTOR
6 -	METAL TRELLIS FINISH: PAINTED STEEL COLOR: DE6369 LEGENDARY GRAY BY: GENERAL CONTRACTOR
7 -	STOREFRONT / STOREFRONT GLASS FINISH: CLEAR ANODIZED ALUMINUM GLASS: 1" CLEAR BY PPG BY: ARCADIA
8 -	WALL SCONCE MODEL: EC851 ECLIPSE MAXI-LED COLOR: GUN METAL BY: LUMINIS
9 -	PEDESTRIAN LIGHTS MODEL: EC611 ECLIPSE MINI-LED, PAA512 POLE COLOR: GUN METAL BY: LUMINIS
10 -	TRELLIS LIGHTS MODEL: PDSW-5-LED COLOR:SATIN BLACK BY: LIGHTWAY
11 -	NOT USED
12 -	CONCRETE PAVING (WALKWAYS) FINISH: MEDIUM SANDBLAST, SAW CUT LINES COLOR: NATURAL GRAY BY: GENERAL CONTRACTOR
13 -	GREENSCREEN COLOR: MATTE TEXTURE GREEN BY: GREENSCREEN
14 -	STUCCO FINISH: SMOOTH TROWEL BY: LA HABRA STUCCO
15 -	TRASH RECEPTACLE MODEL: SDC-36 COLOR: TITANIUM BY: VICTOR STANLEY
16 -	WALL SCONCE MODEL: 33 224 LED COLOR: BLACK BY: BEGA
17 -	SPANDREL GLASS COLOR: V933 WARM GRAY #2 BY:VIRACON
18 -	BIKE RACKS MODEL: BRBS-103 COLOR: TITANIUM BY: VICTOR STANLEY
19 -	BENCHES MODEL: LILY, 6FT LENGTH, WITH INTERMEDIATE ARM REST COLOR: TITANIUM

PAINT COLORS	
- A	PAINT COLOR: DE 6192 NOMADIC TAUPE BY: DUNN EDWARDS
- B	PAINT COLOR: DE 6205 STUCCO TAN BY: DUNN EDWARDS
- C	PAINT COLOR: DEC 795 GRAY PEARL BY: DUNN EDWARDS
- D	PAINT COLOR: DEC 786 MINERS DUST BY: DUNN EDWARDS
- E	PAINT COLOR: DEC 6369 LEGENDARY GRAY BY: DUNN EDWARDS
- F	PAINT COLOR: DE 6221 FLINTSTONE BY: DUNN EDWARDS
- G	PAINT COLOR: DEC 743 HIGH NOON BY: DUNN EDWARDS
- H	PAINT COLOR: DEC 750 BISON BEIGE BY: DUNN EDWARDS

(N) PAD-1

Black Equities
OWNERS OF INCOME PROPERTIES

BLACK EQUITIES GROUP
433 N. CAMDEN DRIVE, SUITE 1070
BEVERLY HILLS, CALIFORNIA 90210
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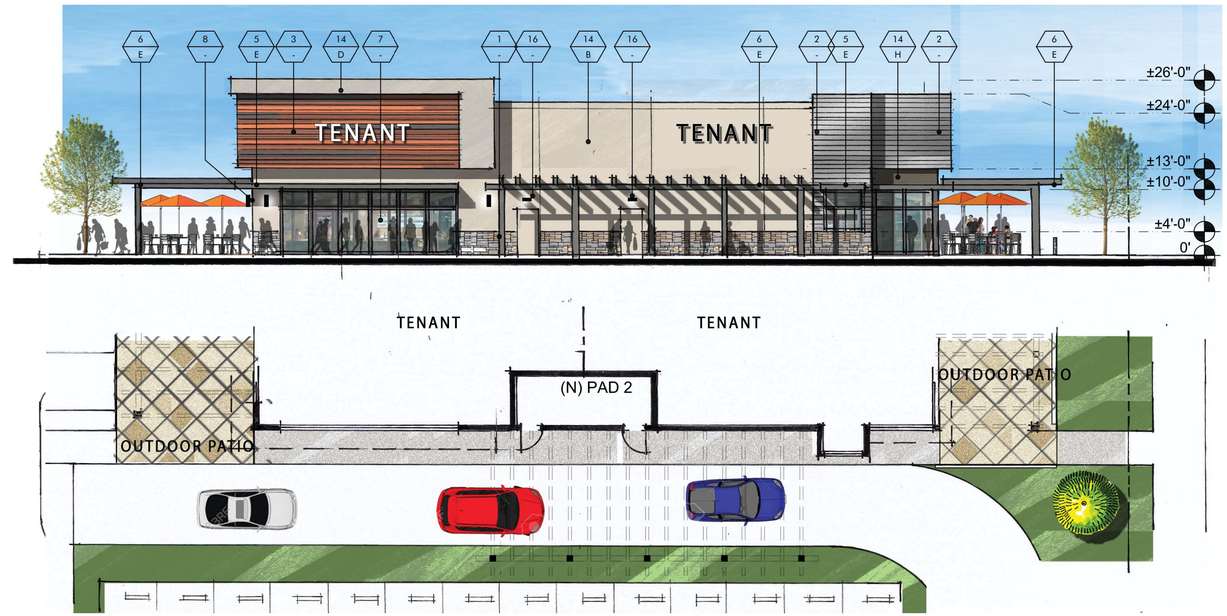
TEL 626 583 8348 FAX 626 583 8387

ELEVATIONS
09.18.2018 16038MMA

EL-1.1

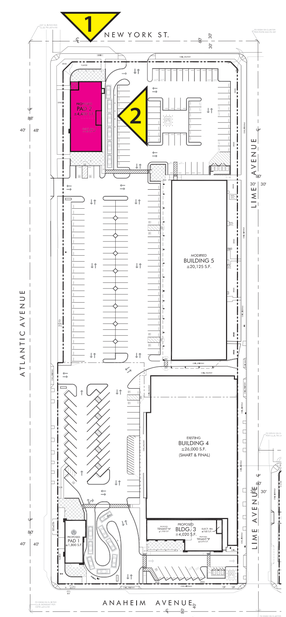
1 NORTH ELEVATION

SCALE: 3/32" = 1'-0"



2 EAST ELEVATION

SCALE: 3/32" = 1'-0"



KEY PLAN

(N) PAD-2

FINISH LEGEND

KEY	MATERIAL
1 -	LEDGESTONE MODEL: VISTA COLLECTION-COUNTRY LEDGESTONE COLOR: GRAND MESA BY: CULTURE STONE
2 -	METAL SIDING MODEL: METAFOR COLOR: SLATE GRAY 20 BY: ATLAS
3 -	COMPOSITE WOOD SIDING MODEL: VINTAGE COLLECTION COLOR: CYPRESS 20%, MAHOGANY 60%, DARK HICKORY 20% BY: AZEK
4 -	WALL SCONCE MODEL: EC613-EC6W, ECLIPSE MINI-LED COLOR: GUN METAL BY: LUMINIS
5 -	METAL CANOPY FINISH: PAINTED STEEL COLOR: DE6369 LEGENDARY GRAY, DUNN EDWARDS BY: GENERAL CONTRACTOR
6 -	METAL TRELLIS FINISH: PAINTED STEEL COLOR: DE6369 LEGENDARY GRAY BY: GENERAL CONTRACTOR
7 -	STOREFRONT / STOREFRONT GLASS FINISH: CLEAR ANODIZED ALUMINUM GLASS: 1" CLEAR BY PPG BY: ARCADIA
8 -	WALL SCONCE MODEL: EC851 ECLIPSE MAXI-LED COLOR: GUN METAL BY: LUMINIS
9 -	PEDESTRIAN LIGHTS MODEL: EC611 ECLIPSE MINI-LED, PAA512 POLE COLOR: GUN METAL BY: LUMINIS
10 -	TRELLIS LIGHTS MODEL: PDSW-5-LED COLOR:SATIN BLACK BY: LIGHTWAY
11 -	NOT USED
12 -	CONCRETE PAVING (WALKWAYS) FINISH: MEDIUM SANDBLAST, SAW CUT LINES COLOR: NATURAL GRAY BY: GENERAL CONTRACTOR
13 -	GREENSCREEN COLOR: MATTE TEXTURE GREEN BY: GREENSCREEN
14 -	STUCCO FINISH: SMOOTH TROWEL BY: LA HABRA STUCCO
15 -	TRASH RECEPTACLE MODEL: SDC-36 COLOR: TITANIUM BY: VICTOR STANLEY
16 -	WALL SCONCE MODEL: 33 224 LED COLOR: BLACK BY: BEGA
17 -	SPANDREL GLASS COLOR: V933 WARM GRAY #2 BY:VIRACON
18 -	BIKE RACKS MODEL: BRBS-103 COLOR: TITANIUM BY: VICTOR STANLEY
19 -	BENCHES MODEL: LILY, 6FT LENGTH, WITH INTERMEDIATE ARM REST COLOR: TITANIUM

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- B	PAINT COLOR: DE 6205 STUCCO TAN BY: DUNN EDWARDS
- C	PAINT COLOR: DEC 795 GRAY PEARL BY: DUNN EDWARDS
- D	PAINT COLOR: DEC 786 MINERS DUST BY: DUNN EDWARDS
- E	PAINT COLOR: DEC 6369 LEGENDARY GRAY BY: DUNN EDWARDS
- F	PAINT COLOR: DE 6221 FLINTSTONE BY: DUNN EDWARDS
- G	PAINT COLOR: DEC 743 HIGH NOON BY: DUNN EDWARDS
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ELEVATIONS
09.18.2018 16038MMA

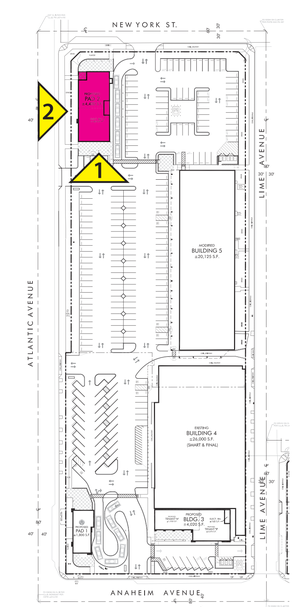
EL-2.0

1 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

2 WEST ELEVATION

SCALE: 3/32" = 1'-0"



KEY PLAN

(N) PAD-2

FINISH LEGEND

KEY	MATERIAL
1 -	LEDGESTONE MODEL: VISTA COLLECTION-COUNTRY LEDGESTONE COLOR: GRAND MESA BY: CULTURE STONE
2 -	METAL SIDING MODEL: METAFOR COLOR: SLATE GRAY 20 BY: ATLAS
3 -	COMPOSITE WOOD SIDING MODEL: VINTAGE COLLECTION COLOR: CYPRESS 20%, MAHOGANY 60%, DARK HICKORY 20% BY: AZEK
4 -	WALL SCONCE MODEL: EC613-EC6W, ECLIPSE MINI-LED COLOR: GUN METAL BY: LUMINIS
5 -	METAL CANOPY FINISH: PAINTED STEEL COLOR: DE6369 LEGENDARY GRAY, DUNN EDWARDS BY: GENERAL CONTRACTOR
6 -	METAL TRELLIS FINISH: PAINTED STEEL COLOR: DE6369 LEGENDARY GRAY BY: GENERAL CONTRACTOR
7 -	STOREFRONT / STOREFRONT GLASS FINISH: CLEAR ANODIZED ALUMINUM GLASS: 1" CLEAR BY PPG BY: ARCADIA
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10 -	TRELLIS LIGHTS MODEL: PDSW-5-LED COLOR:SATIN BLACK BY: LIGHTWAY
11 -	NOT USED
12 -	CONCRETE PAVING (WALKWAYS) FINISH: MEDIUM SANDBLAST, SAW CUT LINES COLOR: NATURAL GRAY BY: GENERAL CONTRACTOR
13 -	GREENSCREEN COLOR: MATTE TEXTURE GREEN BY: GREENSCREEN
14 -	STUCCO FINISH: SMOOTH TROWEL BY: LA HABRA STUCCO
15 -	TRASH RECEPTACLE MODEL: SDC-36 COLOR: TITANIUM BY: VICTOR STANLEY
16 -	WALL SCONCE MODEL: 33 224 LED COLOR: BLACK BY: BEGA
17 -	SPANDREL GLASS COLOR: V933 WARM GRAY #2 BY:VIRACON
18 -	BIKE RACKS MODEL: BRBS-103 COLOR: TITANIUM BY: VICTOR STANLEY
19 -	BENCHES MODEL: LILY, 6FT LENGTH, WITH INTERMEDIATE ARM REST COLOR: TITANIUM

PAINT COLORS	
- A	PAINT COLOR: DE 6192 NOMADIC TAUPE BY: DUNN EDWARDS
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- E	PAINT COLOR: DEC 6369 LEGENDARY GRAY BY: DUNN EDWARDS
- F	PAINT COLOR: DE 6221 FLINTSTONE BY: DUNN EDWARDS
- G	PAINT COLOR: DEC 743 HIGH NOON BY: DUNN EDWARDS
- H	PAINT COLOR: DEC 750 BISON BEIGE BY: DUNN EDWARDS

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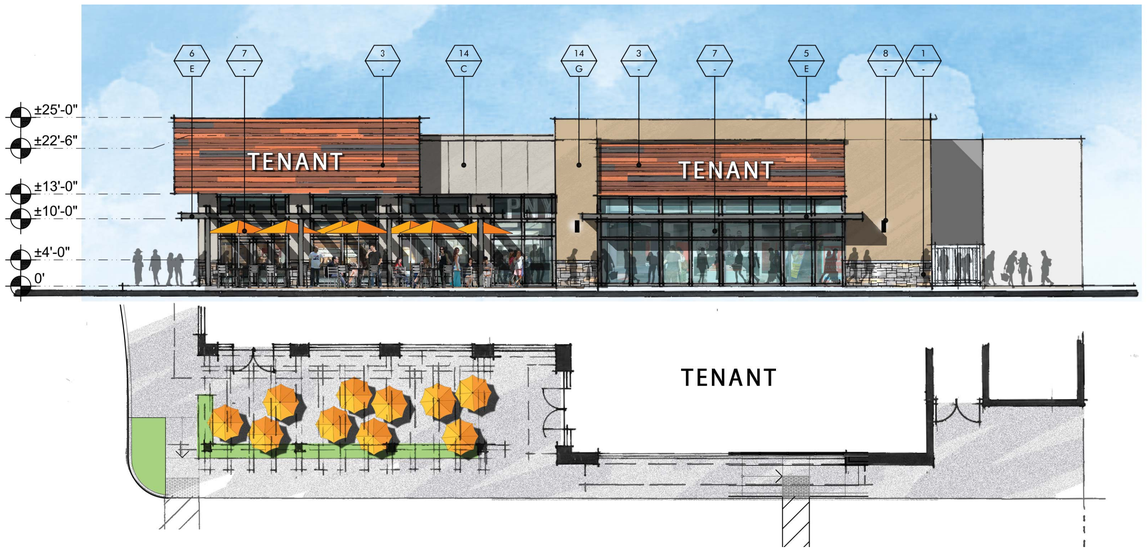
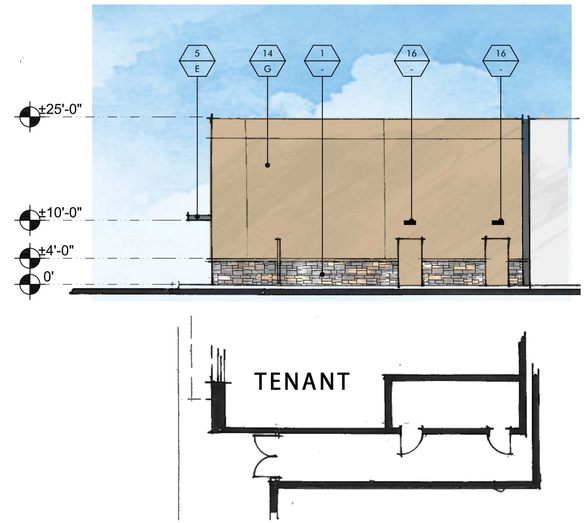
EL-2.1



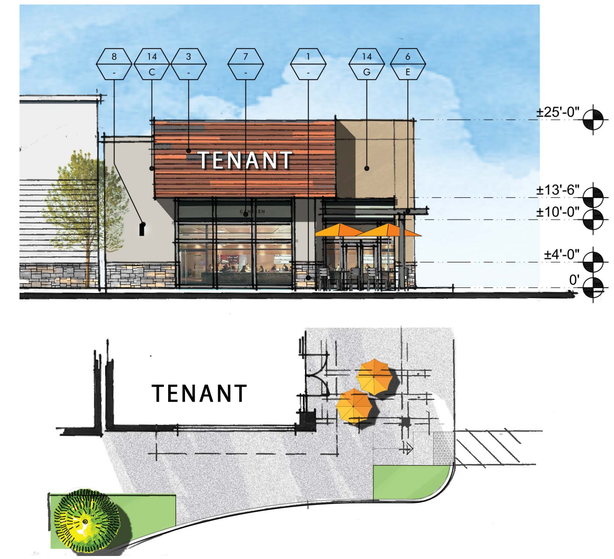
1 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



2 EAST ELEVATION

SCALE: 3/32" = 1'-0"



3 WEST ELEVATION

SCALE: 3/32" = 1'-0"

FINISH LEGEND

KEY	MATERIAL
1 -	LEDGESTONE MODEL: VISTA COLLECTION-COUNTRY LEDGESTONE COLOR: GRAND MESA BY: CULTURE STONE
2 -	METAL SIDING MODEL: METAFOR COLOR: SLATE GRAY 20 BY: ATLAS
3 -	COMPOSITE WOOD SIDING MODEL: VINTAGE COLLECTION COLOR: CYPRESS 20%, MAHOGANY 60%, DARK HICKORY 20% BY: AZEK
4 -	WALL SCONCE MODEL: EC613-EC6W, ECLIPSE MINI-LED COLOR: GUN METAL BY: LUMINIS
5 -	METAL CANOPY FINISH: PAINTED STEEL COLOR: DE6369 LEGENDARY GRAY, DUNN EDWARDS BY: GENERAL CONTRACTOR
6 -	METAL TRELLIS FINISH: PAINTED STEEL COLOR: DE6369 LEGENDARY GRAY BY: GENERAL CONTRACTOR
7 -	STOREFRONT / STOREFRONT GLASS FINISH: CLEAR ANODIZED ALUMINUM GLASS: 1" CLEAR BY PPG BY: ARCADIA
8 -	WALL SCONCE MODEL: EC851 ECLIPSE MAXI-LED COLOR: GUN METAL BY: LUMINIS
9 -	PEDESTRIAN LIGHTS MODEL: EC611 ECLIPSE MINI-LED, PAA512 POLE COLOR: GUN METAL BY: LUMINIS
10 -	TRELLIS LIGHTS MODEL: PDSW-5-LED COLOR:SATIN BLACK BY: LIGHTWAY
11 -	NOT USED
12 -	CONCRETE PAVING (WALKWAYS) FINISH: MEDIUM SANDBLAST, SAW CUT LINES COLOR: NATURAL GRAY BY: GENERAL CONTRACTOR
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PAINT COLORS	
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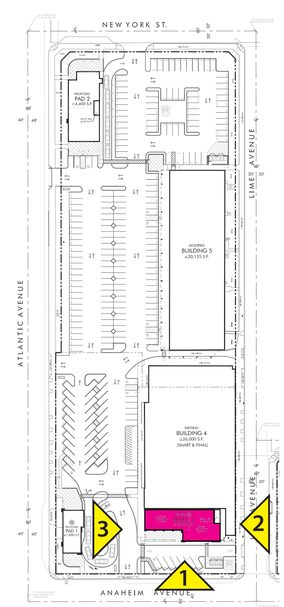

KEY PLAN

(N) BLDG-3

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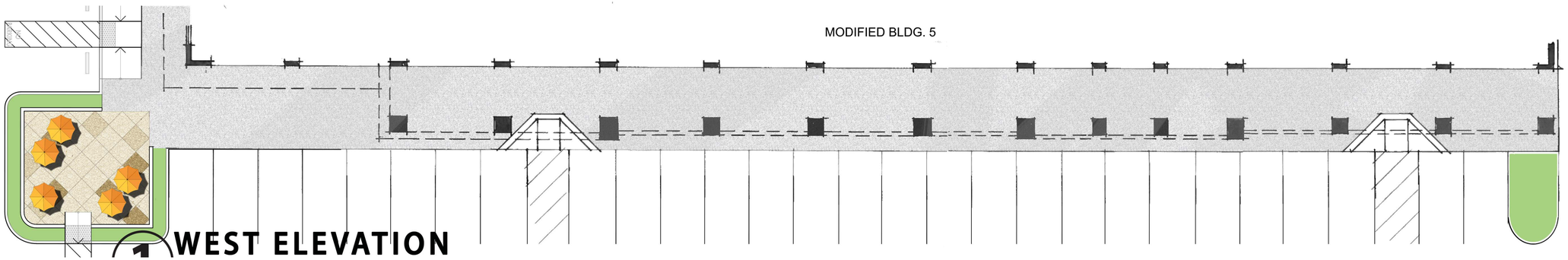
ELEVATIONS
09.18.2018 16038MMA

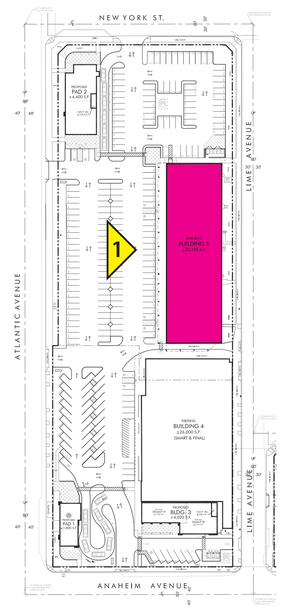
EL-3.0



WEST ELEVATION

1 WEST ELEVATION
SCALE: 3/32" = 1'-0"

1- EXISTING CONDITION - WEST



KEY PLAN

FINISH LEGEND

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- H	PAINT COLOR: DEC 750 BISON BEIGE BY: DUNN EDWARDS

BLDG-5

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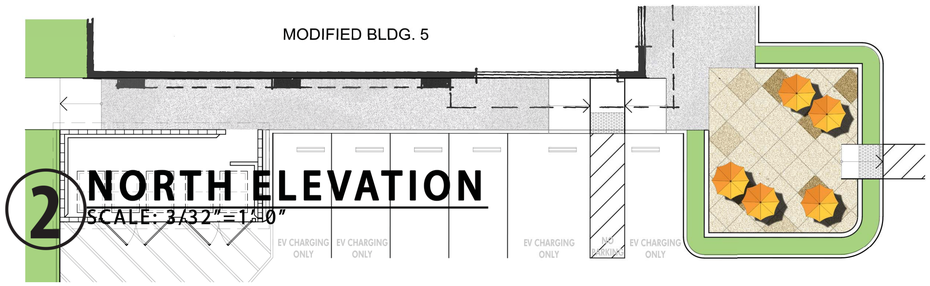
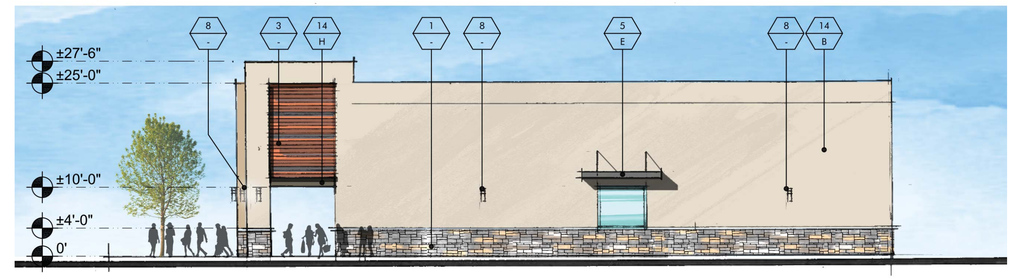
09.18.2018 16038MMA

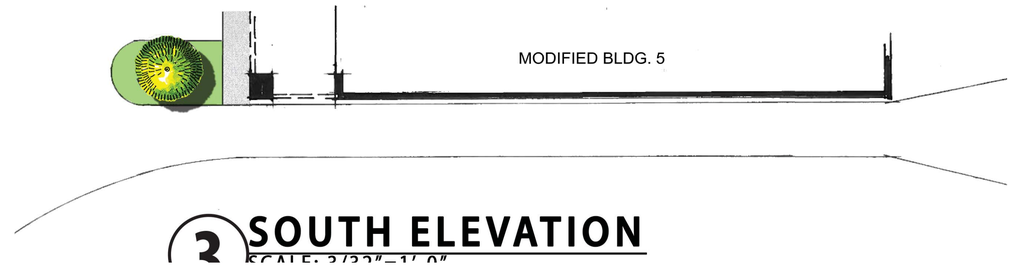
EL-4.0



2 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



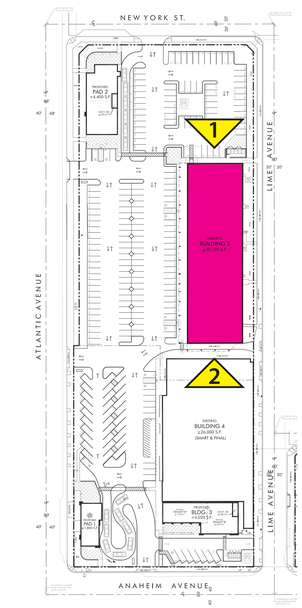


3 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

2 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

1 - EXISTING CONDITION - NORTH

2 - EXISTING CONDITION - SOUTH



KEY PLAN

BLDG-5

FINISH LEGEND

KEY	MATERIAL
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EL-4.1